

# 6 W ELDER ST. CINCINNATI, OHIO, 45202

## FINDLAY FLATS RENOVATION

**PLATTE**  
architecture + design

1810 CAMPBELL ALLEY, SUITE 300 | CINCINNATI, OH 45202  
WWW.PLATTEDESIGN.COM | T: 513.871.1850 | F: 513.871.1829

**STRUCTURAL ENGINEER**  
ADVANTAGE GROUP  
1527 MADISON ROAD, FL 2  
CINCINNATI, OH 45206  
(513) 396-8900

**MEP ENGINEER**  
ENGINEERED BUILDING SYSTEMS, INC.  
515 MONMOUTH STREET, SUITE 201  
NEWPORT, KY 41071  
(859) 261-0585

**CIVIL ENGINEER**  
BAYER BECKER  
1404 RACE STREET, SUITE 204  
CINCINNATI, OH 45202  
(513) 336-6600

**ARCHITECT**  
PLATTE DESIGN  
1810 CAMPBELL ALLEY, STE 300  
CINCINNATI, OH 45202  
(513) 871-1850

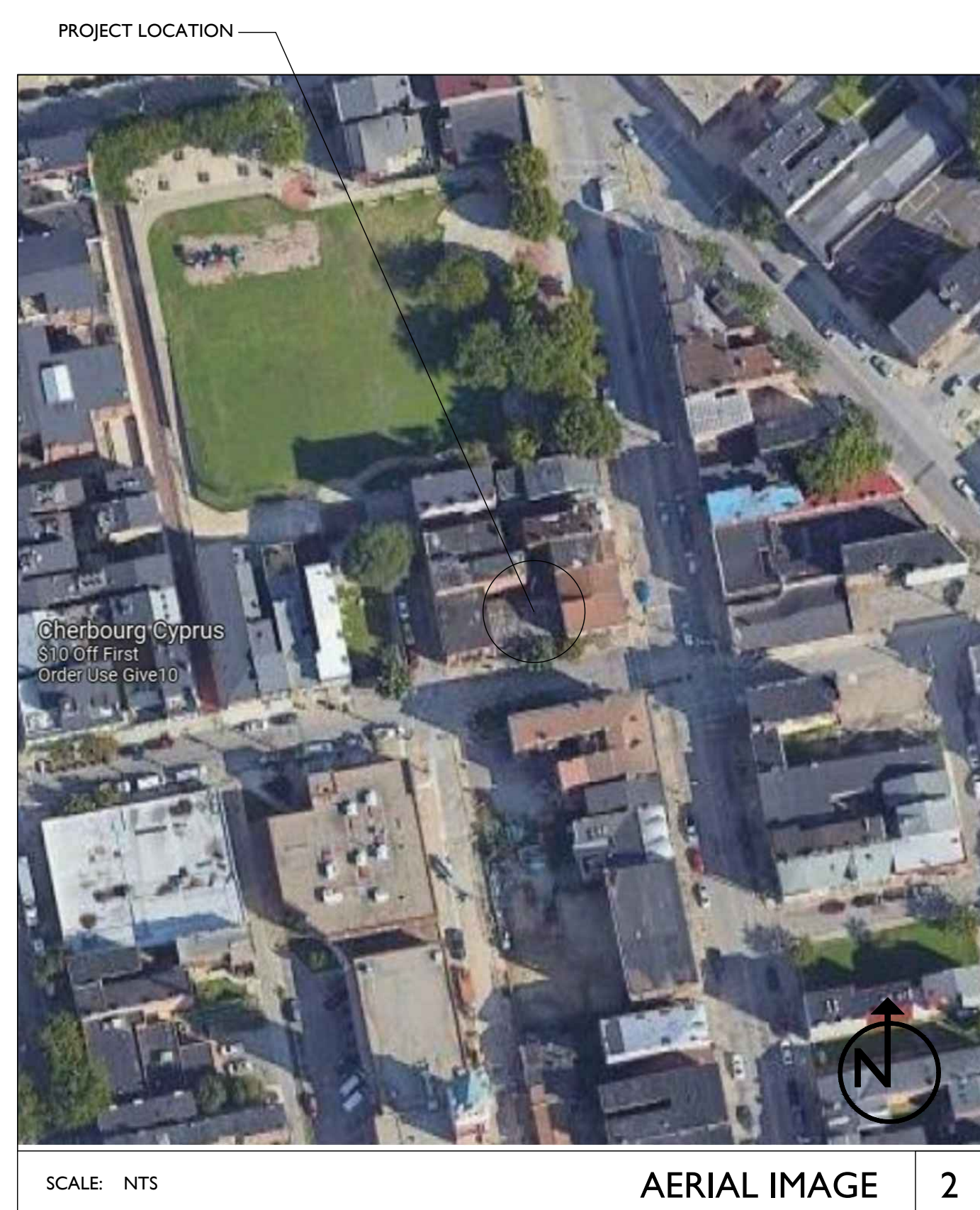
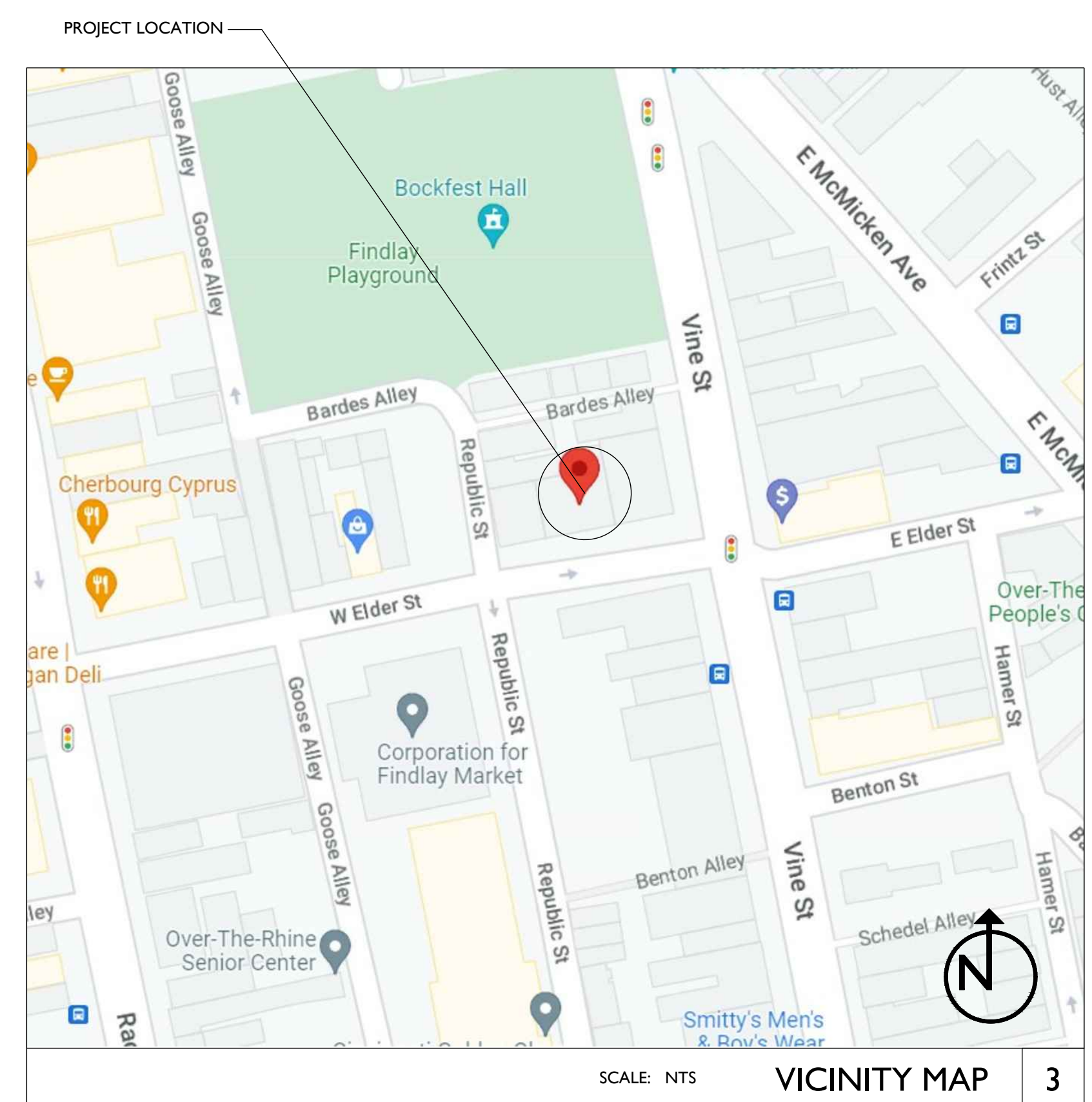
**CLIENT/DEVELOPER**  
3CDC  
1203 WALNUT STREET  
CINCINNATI, OH 45202  
(513) 621-4400

### PROJECT DESCRIPTION

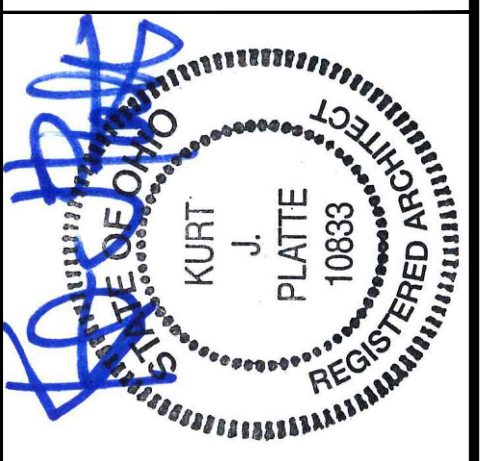
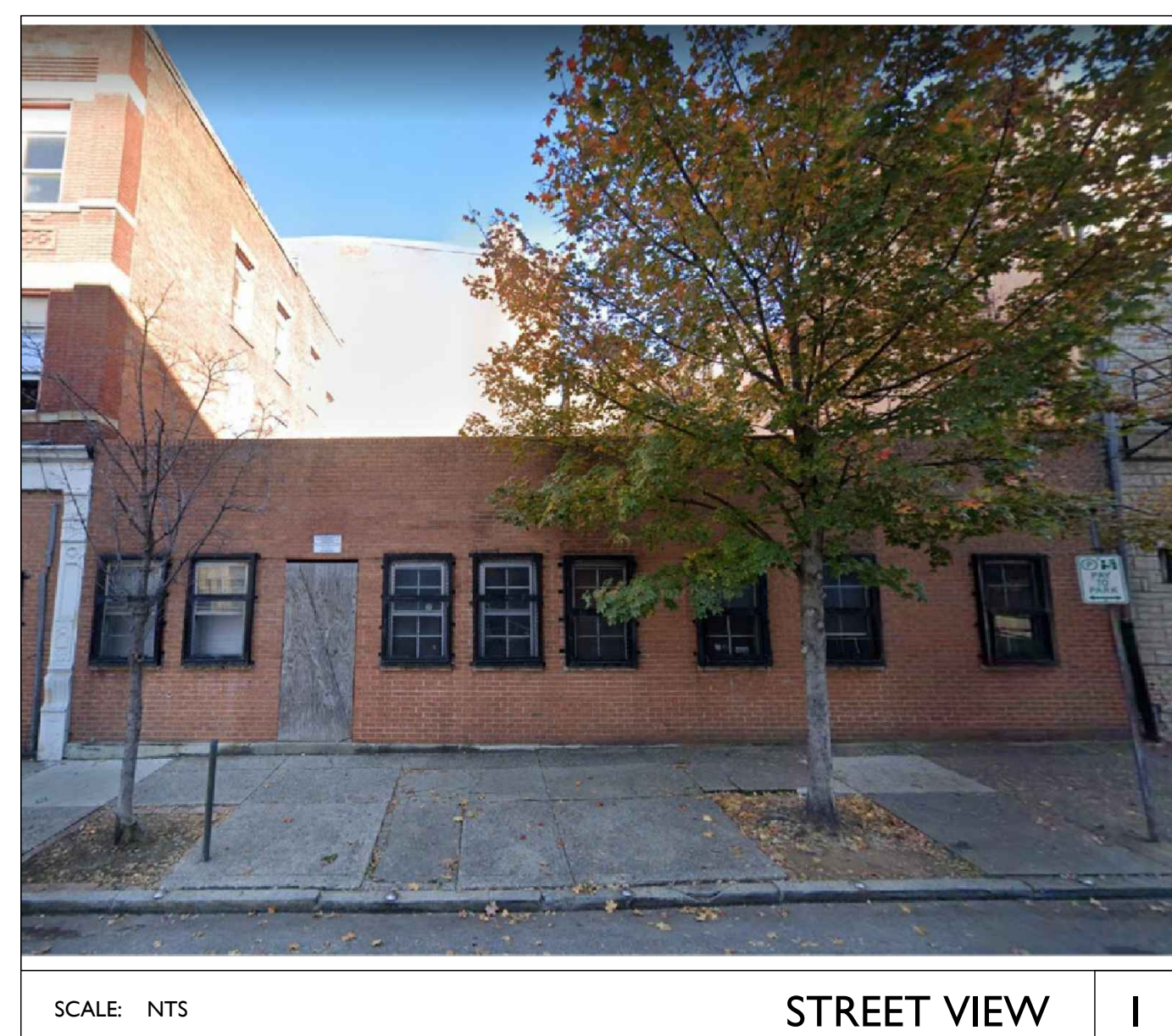
THIS PROJECT IS THE REHABILITATION/RENOVATION OF AN EXISTING HISTORIC MIXED-USE BUILDING. THE BUILDING IS 3 STORIES WITH A FULL BASEMENT. THE BASEMENT WILL REMAIN UNOCCUPIED WITH THE EXCEPTION OF MECHANICAL EQUIPMENT. THE FIRST FLOOR WILL BE COMMERCIAL WHITE BOX WITH POTENTIAL BIMA-2 USE. THE SECOND AND THIRD FLOORS WILL REMAIN USE R-2 APARTMENTS. THE SECOND AND THIRD FLOORS WILL REMAIN USE R-2 APARTMENTS.

NEW WORK TO INCLUDE INTERIOR PARTITION WALLS, KITCHENS, BATHROOMS, FINISHES, AND MECHANICAL SYSTEMS.

DRAWING INDEX		100% DD 02/23/2023
SHEET #	SHEET TITLE	
<b>GENERAL DRAWINGS</b>		
A0.00	COVER	
A0.01	EGRESS DIAGRAMS & CODE SUMMARY	
<b>CIVIL/LANDSCAPE DRAWINGS</b>		
C1.00	SITE SURVEY & EXG. CONDITIONS	
C2.00	PROPOSED SITE PLAN	
C3.00	PROPOSED GRADING PLAN	
<b>ARCHITECTURAL DRAWINGS</b>		
AD1.01	FIRST FLOOR PLAN	
AD1.02	ROOF PLAN	
AD2.00	SOUTH ELEVATION	
AD2.01	NORTH ELEVATION	
A1.00	GENERAL NOTES	
A1.11	FIRST FLOOR PLAN	
A1.12	ROOF PLAN	
A1.21	FIRST FLOOR RCP	
A2.11	SOUTH ELEVATION	
A2.13	NORTH ELEVATION	
A4.00	FINISH SCHEDULE & FINISH PLANS	
A4.10	INT ELEV	
A5.00	DETAILS	
A6.00	ASSEMBLIES	
A6.01	ASSEMBLIES	
A6.10	DOOR SCHEDULE	
A6.11	DOOR TYPES & DETAILS	
A6.12	STOREFRONT DETAILS	
A6.20	WINDOW B1 B2	
<b>STRUCTURAL DRAWINGS</b>		
S110	FRAMING PLANS - FOUNDATION & FIRST FLOOR	
S120	FRAMING PLANS - ROOF	
<b>MECHANICAL DRAWINGS</b>		
M1.00	MECHANICAL PLAN - FIRST FLOOR	
M1.01	MECHANICAL PLAN - ROOF	
M2.00	MECHANICAL DETAILS	
<b>ELECTRICAL DRAWINGS</b>		
E1.00	ELECTRICAL POWER PLAN - FIRST FLOOR	
E1.01	ELECTRICAL POWER PLAN - ROOF	
E2.00	ELECTRICAL DETAILS	
E2.01	ELECTRICAL DETAILS	
<b>PLUMBING DRAWINGS</b>		
P1.00	PLUMBING FIRST FLOOR PLAN	
P2.00	PLUMBING DETAILS	



TYPICAL ABBREVIATIONS		TYPICAL SYMBOLS	
ADJ	ADJACENT	▲	NORTH ARROW
A.F.F.	ABOVE FINISH FLOOR	◻	EGRESS WINDOW
ALT	ALTERNATE	— —	KEYNOTE
ALUM	ALUMINUM	— —	CENTERLINE TAG
APPROX	APPROXIMATELY	X-X'	FLOOR ELEVATION TAG
APT	APARTMENT	☁	REVISION CLOUD
BD	BOARD	☁	TAG
BLDG	BUILDING	dwg # sheet #	ELEVATION TAG
C.L.	CENTER LINE	dwg # sheet #	
C.J.	CONTROL JOINT	X A4.01 X	INTERIOR ELEVATION TAG
CLG	CEILING	dwg # sheet #	
CLR	CLEAR DIMENSION	I A3.01 I	SECTION CUT TAG
C.M.U.	CONCRETE MASONRY UNIT	dwg # sheet #	
COL	COLUMN	I A4.01 I	DETAIL CALLOUT
CONC	CONCRETE		
CONT	CONTINUOUS/CONTINUED		
CONTR	CONTRACTOR		
DIAG	DIAGONAL		
DIA or Ø	DIAMETER		
DIM(S)	DIMENSION(S)		
D.O.T.E.	DEPARTMENT OF TRANSPORTATION & ENGINEERING		
D.L.	DEAD LOAD		
D.S.	DOWNSPOUT		
DTL(S)	DETAIL(S)		
DWG(S)	DRAWING(S)		
EA	EACH		
ELEC	ELECTRICAL		
ELEV(S)	ELEVATION(S)		
EJ	EXPANSION JOINT		
EQ	EQUAL		
EXG	EXISTING EXTERIOR		
EXT	EXTENSION		
FDC	FIRE DEPARTMENT CONNECTION		
FDN	FOUNDATION		
F.F.E.	FIRE EXTINGUISHER FINISH FLOOR ELEVATION		
FLR	FLOOR		
FTG	FOOTING		
G.C.	GENERAL CONTRACTOR		
GYP	GYPSONUM		
H.M.	HOLLOW METAL		
HR	HOUR		
HORIZ	HORIZONTAL HEATING, VENTILATION, & AIR CONDITIONING INCLUDED		
HVAC	HVAC		
INCL	INCLUDING		
INFO	INFORMATION		
INSUL	INSULATED/INSULATING		
INT	INTERIOR		
L.L.	LIVE LOAD		
MATL	MATERIAL		
MECH	MECHANICAL		
MEP	MECHANICAL & ELECTRICAL		
MIN	MINIMUM		
MAX	MAXIMUM		
MANUF	MANUFACTURER		
N/A	NOT APPLICABLE		
N.I.C.	NOT IN CONTRACT		
N.I.S.	NOT IN SCOPE		
N.T.S.	NOT TO SCALE		
OBC	OHIO BUILDING CODE		
O.C.	ON CENTER		
OPNG	OPENING		
OPP	OPPOSITE		
O'	OVER		
OPW	PLYWOOD		
PLUMB	PLUMBING		
PT.	PRESSURE TREATED		
RCP	REFLECTED CEILING PLAN		
REQ	REQUIRED		
REV	REVISED/REVISION		
R.O.	ROUGH OPENING		
R.O.W.	RIGHT OF WAY		
SECT	SECTION		
SIM	SIMILAR		
SF	SQUARE FEET		
SPEC	SPECIFICATION		
STRUCT	STRUCTURAL		
T.O. or T/	TOP OF TONGUE & GROOVE		
T&G	TONGUE & GROOVE		
TYP	TYPICAL		
U.N.O.	UNLESS NOTED OTHERWISE		
V.B.	VAPOR BARRIER		
VERT	VERTICAL		
V.I.F. or ±	VERIFY IN FIELD		
W/	WITH		
W/O	WITHOUT		
WD	WOOD		



KURT PLATTE 10833  
EXP DATE 12.31.2021

Progress Dates  
04.28.2023 - BID / PERMIT

Revisions

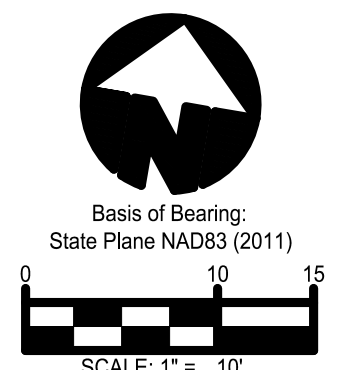
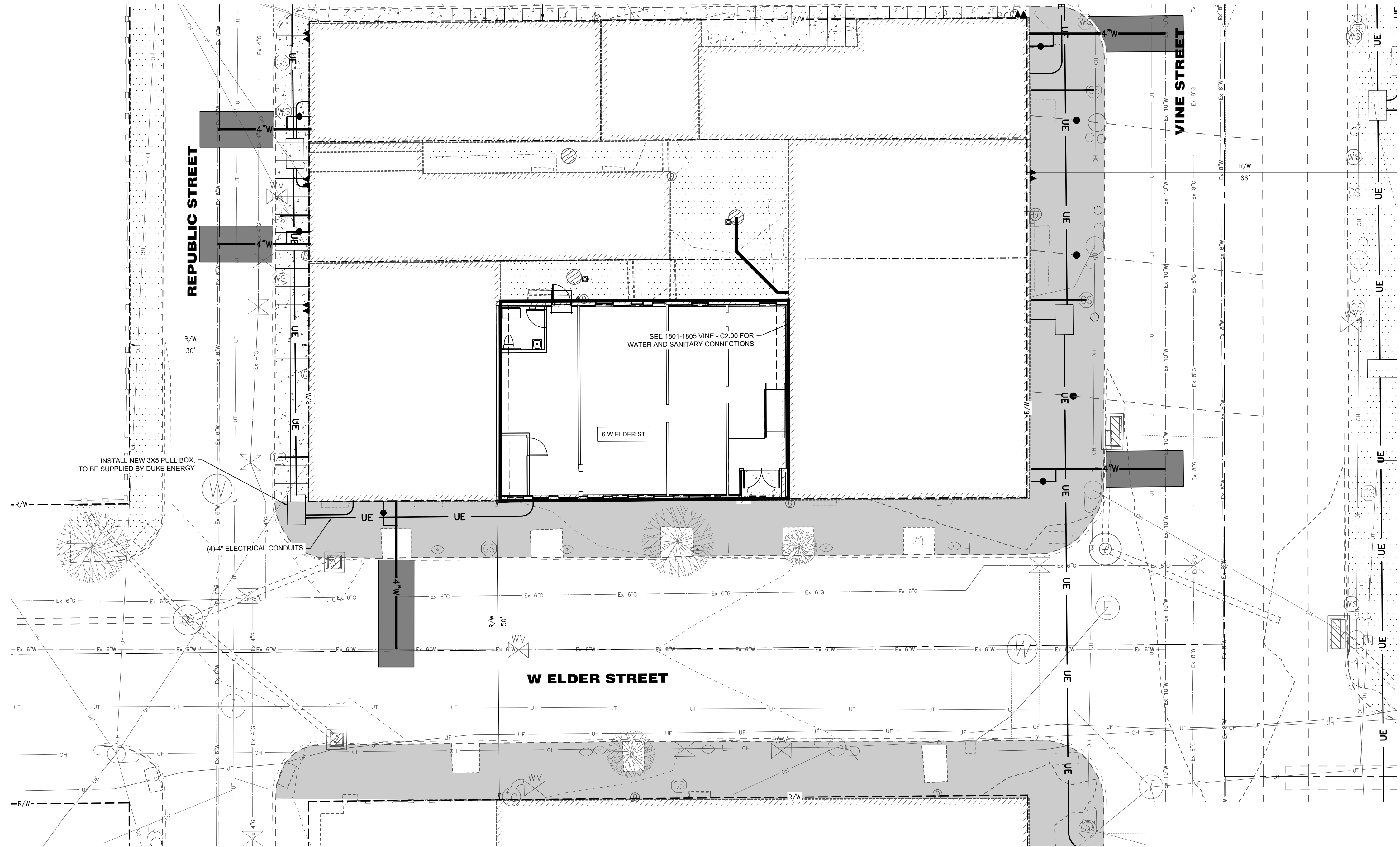
Design Team:  
CO, JK, MR, MR, RK, RO, SO, TB  
Drawn by:  
RO, AM

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RENOVATION FOR  
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FINDLAY FLATS

Job No: 22042 8/10/2022

**A0.00**





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**LOCATION OF ALL EXISTING UTILITIES TO BE DETERMINED IN THE FIELD PRIOR TO CONSTRUCTION**

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**MAINTENANCE OF TRAFFIC NOTES**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT STATE OF OHIO DEPARTMENT OF TRANSPORTATION, CONSTRUCTION AND MATERIAL SPECIFICATIONS, AND CURRENT STANDARD DRAWINGS, UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ITEM 614 AND OTHER APPLICABLE PORTIONS OF THE C&M SPECIFICATIONS AS WELL AS IN ACCORDANCE WITH PART 7 OF OMUTCD. LANE CLOSURES SHALL BE IN ACCORDANCE WITH STANDARD CONSTRUCTION DRAWINGS MT-97.10, MT-99.10.
3. LOCAL TRAFFIC SHALL BE MAINTAINED AT ALL TIMES THROUGH THE USE OF FLAGGERS AND SAFETY CONES, AS DIRECTED BY THE CITY ENGINEER.
4. THE CONTRACTOR MUST COORDINATE THE WORK SO AS TO NOT INTERRUPT INGRESS AND EGRESS FROM AFFECTED PROPERTIES.
5. IF THE CONTRACTOR SO ELECTS, HE MAY SUBMIT ALTERNATE METHODS FOR THE MAINTENANCE OF TRAFFIC, PROVIDED THAT THE INTENT OF THE ABOVE PROVISIONS IS FOLLOWED AND NO ADDITIONAL INCONVENIENCE TO THE TRAVELING PUBLIC RESULTS THEREFROM. NO ALTERNATE PLAN WILL BE PUT INTO EFFECT UNTIL THE APPROVAL HAS BEEN GRANTED, IN WRITING, BY THE CITY OF CINCINNATI DOT.
6. THE OPEN TRENCH SHALL BE ADEQUATELY MAINTAINED AND PROTECTED WITH DRUMS OR BARRICADES AT ALL TIMES.
7. NO TRENCH SHALL BE LEFT OPEN OVERNIGHT. IN CASE WORK MUST BE SUSPENDED BECAUSE OF INCLEMENT WEATHER OR OTHER REASONS, THE TRENCH FOR THE UNCOMPLETED WORK SHALL BE PLATED OR BACKFILLED AT THE DIRECTION OF THE COUNTY ENGINEER.
8. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES LOCATED PRIOR TO BEGINNING CONSTRUCTION.

**GCWW WATER MAIN NOTES**

1. ALL WATER WORK AND WATER MAIN MATERIALS INCLUDING PIPE, FITTINGS, VALVES, HYDRANTS, AND INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF GREATER CINCINNATI WATER WORKS. THE MOST RIGID SPECIFICATIONS SHALL GOVERN IN THE EVENT OF A CONFLICT WITH THE PROJECT SPECIFICATIONS.
2. ALL WATER FACILITIES ON THIS PROJECT ARE TO BE PRIVATE.
3. BACKFILL SHALL BE CLASS A WHEN MAIN IS FIVE (5) FEET OR GREATER FROM EXISTING PUBLIC CURB. LESS THAN FIVE (5) FEET FROM EXISTING PUBLIC CURB, UNDER CURB OR EXISTING PUBLIC PAVEMENT BACKFILL SHALL BE CONTROLLED DENSITY FILL.
4. WATER MAINS SHALL MAINTAIN A MINIMUM COVER OF FOURTY TWO (42) INCHES. A MINIMUM CLEAR DISTANCE OF TEN (10) FEET HORIZONTAL AND EIGHTEEN (18) INCHES VERTICAL SHALL BE MAINTAINED BETWEEN SANITARY AND/OR STORM SEWERS AND WATER MAINS.
5. SANITARY AND STORM SEWERS THAT CROSS WATER MAINS SHALL BE LOCATED SUCH THAT THE SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS.
6. PRIVATE WATER MAINS BEYOND THE METER PIT MAY BE C900 DR18 FOR WORKING PRESSURES LESS THAN 150 PSI. FOR DESIGN PRESSURES GREATER THAN 150 PSI, DUCTILE IRON PRESSURE CLASS 350 OR C900 DR 14 SHALL BE USED.
7. SERVICE PIPING SMALLER THAN THREE (3) INCHES SHALL BE SEAMLESS COPPER FLEXIBLE WATER TUBING, ASTM B 88, TYPE K, PRESSURE CLASS 250.

**MSD SEWER NOTES**

1. SANITARY PIPE MATERIAL SHALL BE 6" PVC SDR-35 @2.00% MINIMUM.
2. IF LOWEST LEVEL ELEVATION IS BELOW RIM ELEVATION OF UPSTREAM MANHOLE, THEN TAP MUST INCLUDE BACKFLOW PREVENTION OR BE PUMPED TO GRAVITY.

**SITE PERMITS NOTES**

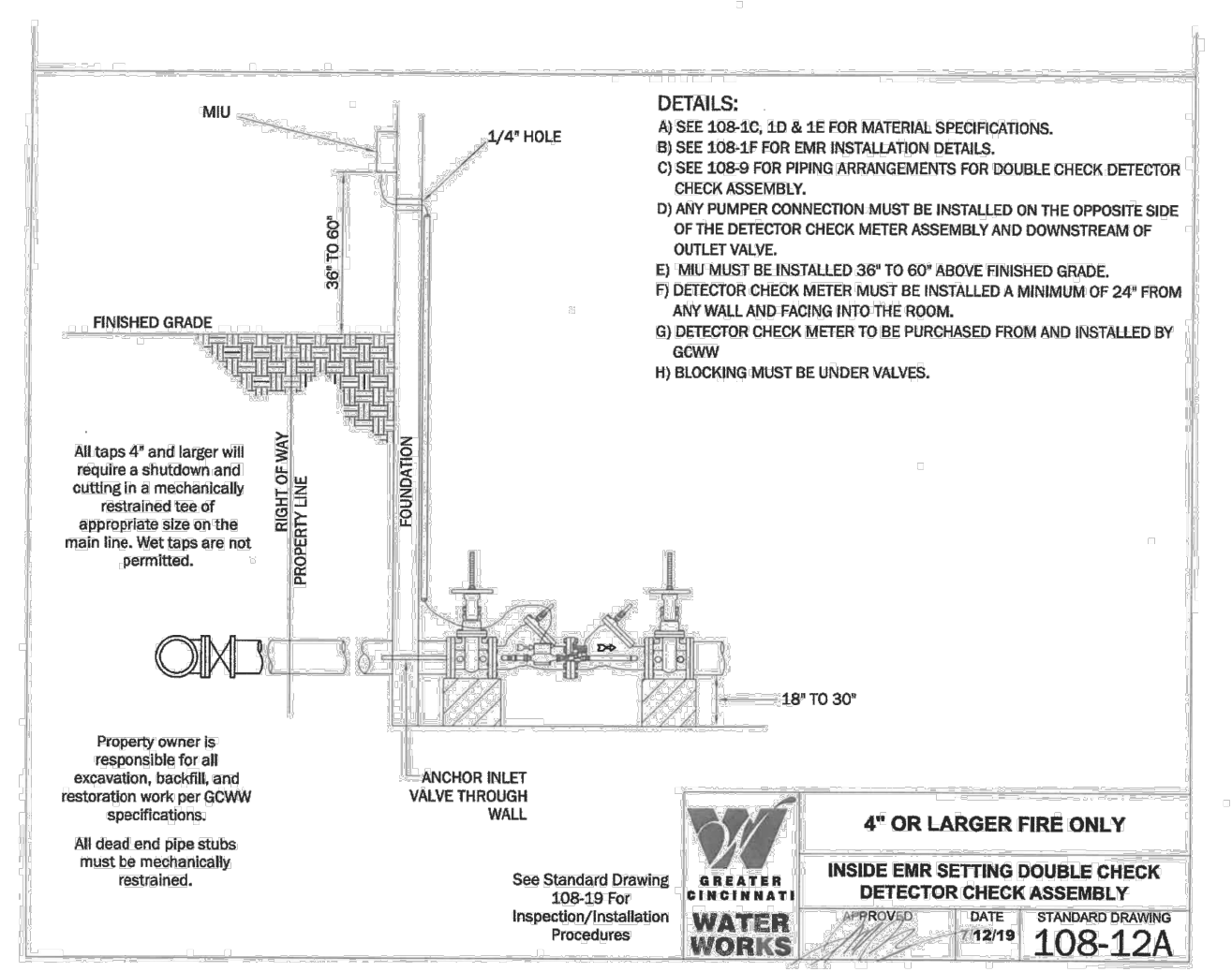
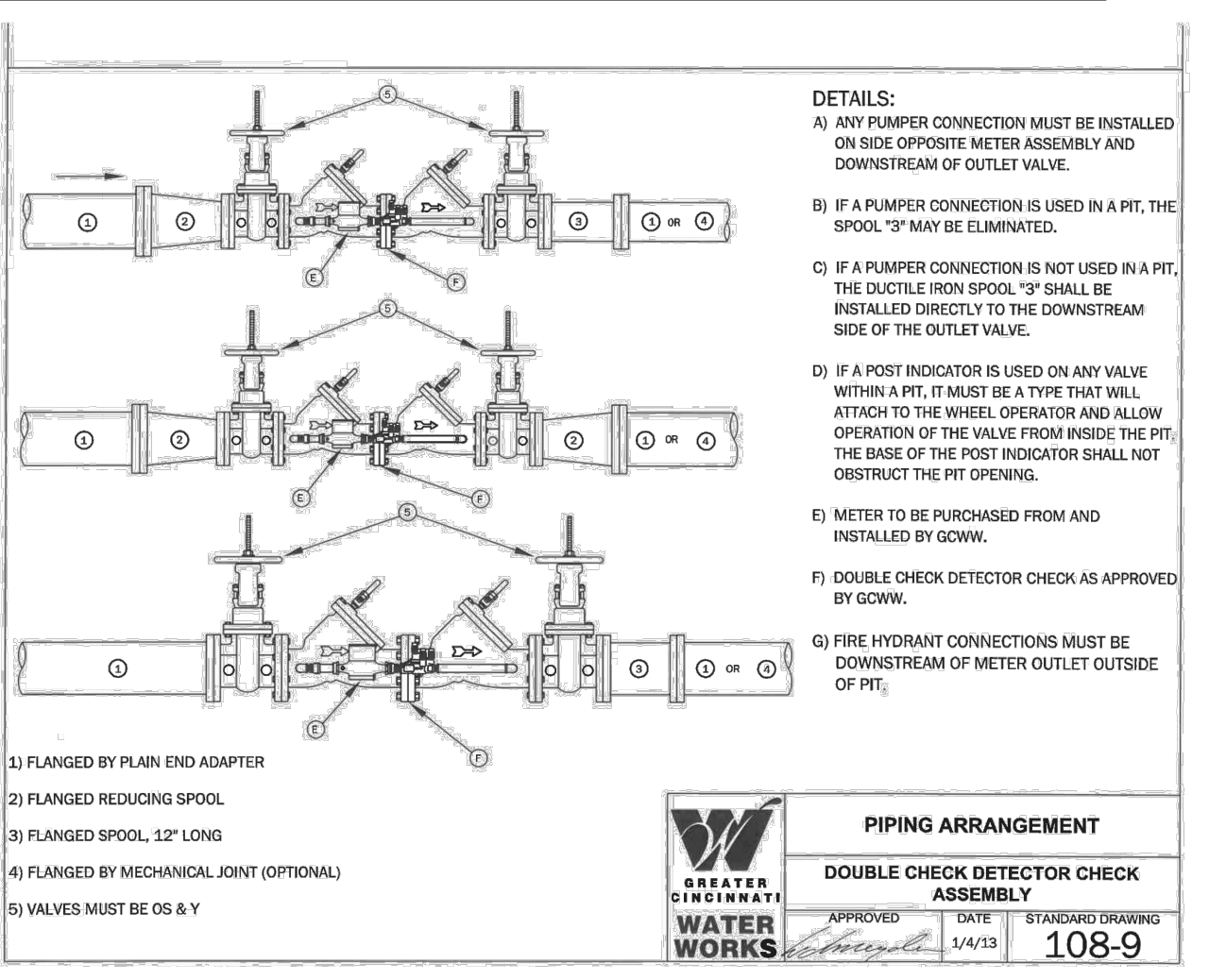
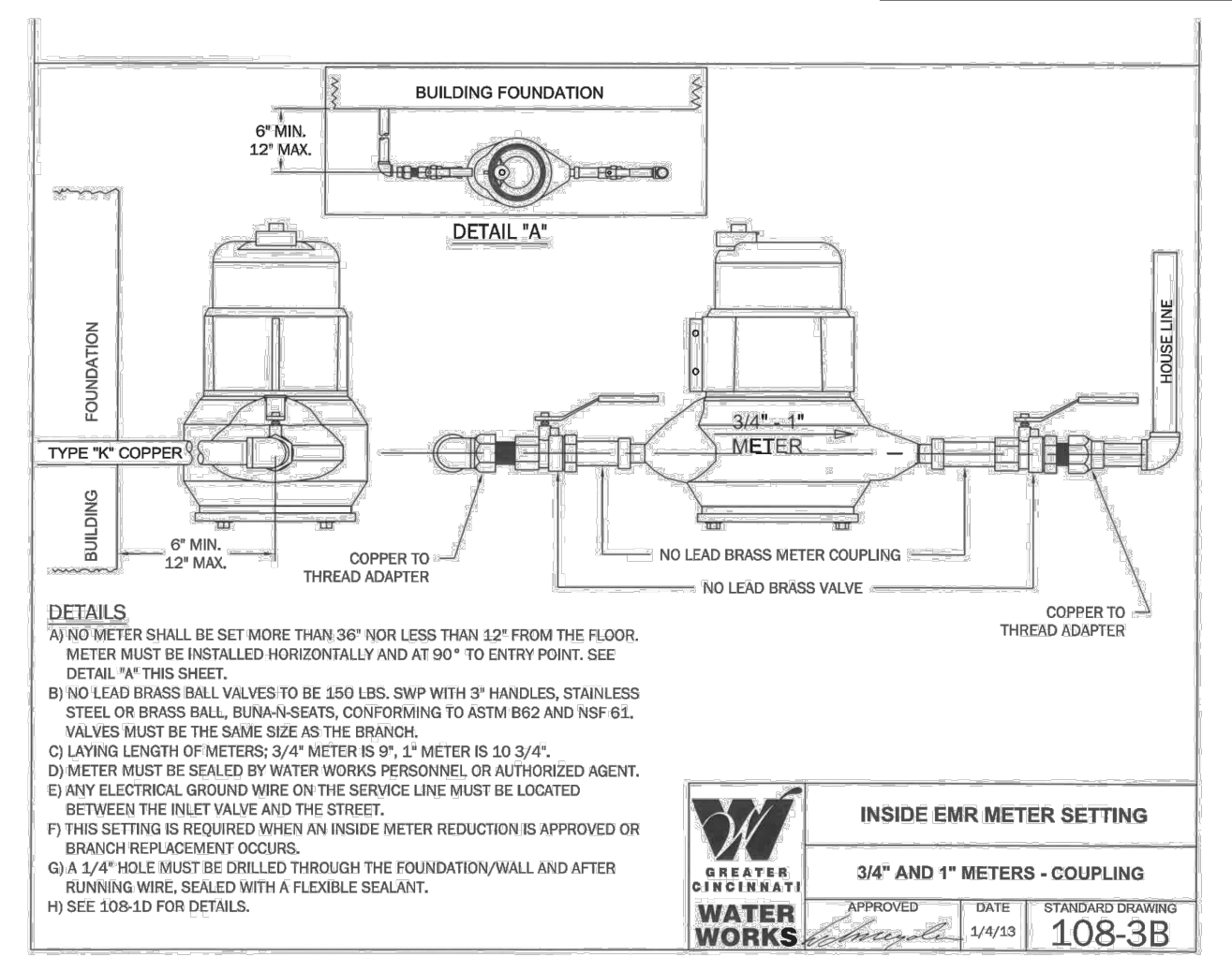
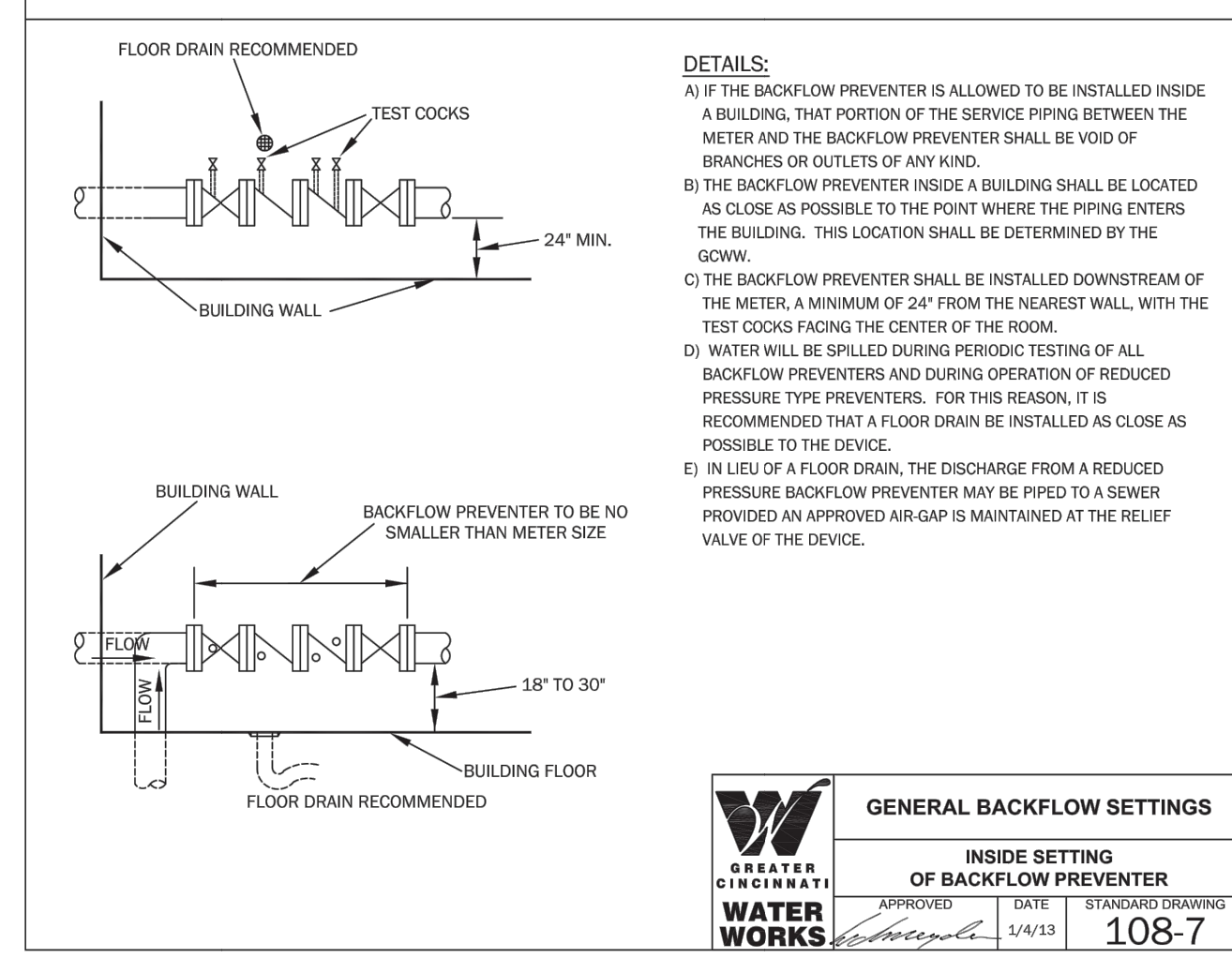
1. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL CITY OF CINCINNATI PERMITS FOR PROPOSED SITE WORK, INCLUDING (BUT NOT LIMITED TO); GCWW BRANCH APPLICATION, MSD TAP PERMIT, DOTE RIGHT-OF-WAY PERMIT (FOR UTILITY CONNECTIONS, STREET/WALK CLOSURE, AND PAVEMENT INSTALLATION), DOTE BARRICADE PERMIT, DOTE REVOCABLE STREET PERMIT (IF APPLICABLE).

**BRANCH APPLICATION PLAN VERIFY DISCLAIMER**

THIS PLAT/SHEET HAS BEEN PREPARED BY THE APPLICANT FOR WATER SERVICE.  
ALL EXISTING UTILITY AND RECORD INFORMATION DEPICTED ON THE DRAWING, INCLUDING BUILDING FOOTPRINT (WHICH MUST SHOW ANY ENCROACHMENTS INTO THE PUBLIC RIGHT OF WAY, INCLUDING; BUT NOT LIMITED TO; BASEMENT AREAS, ROOT CELLARS AND COAL CHUTES), PARCEL AND EASEMENT INFORMATION, ROADWAY AND RIGHT OF WAY LOCATION ARE THE RESULT OF RESEARCH BY THIS APPLICANT.  
ANY AND ALL DAMAGES OR NEED FOR ADDITIONAL WORK, RESULTING FROM INACCURACY ON THE PART OF THE APPLICANT IS THE APPLICANT'S SOLE FINANCIAL RESPONSIBILITY.

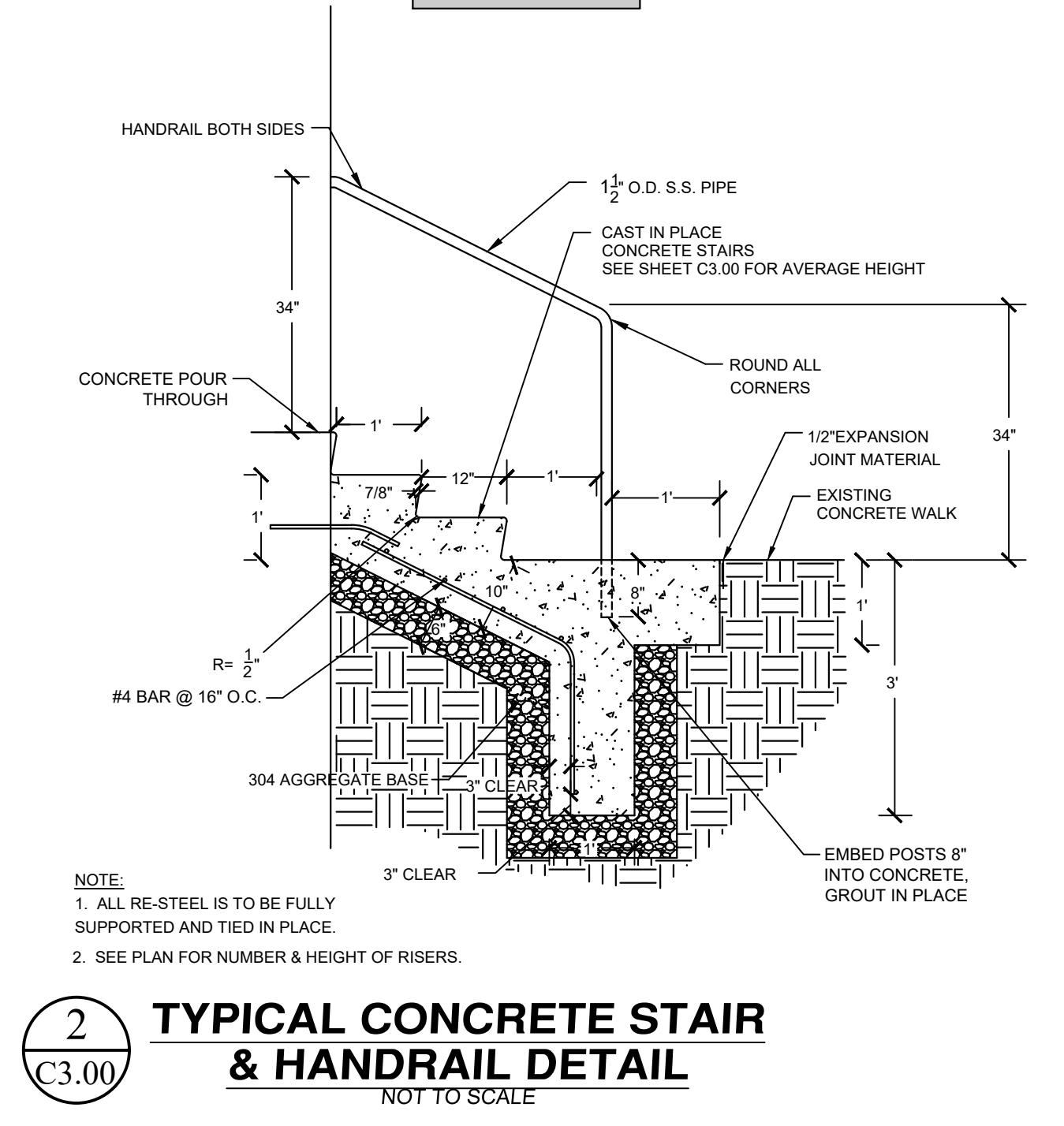
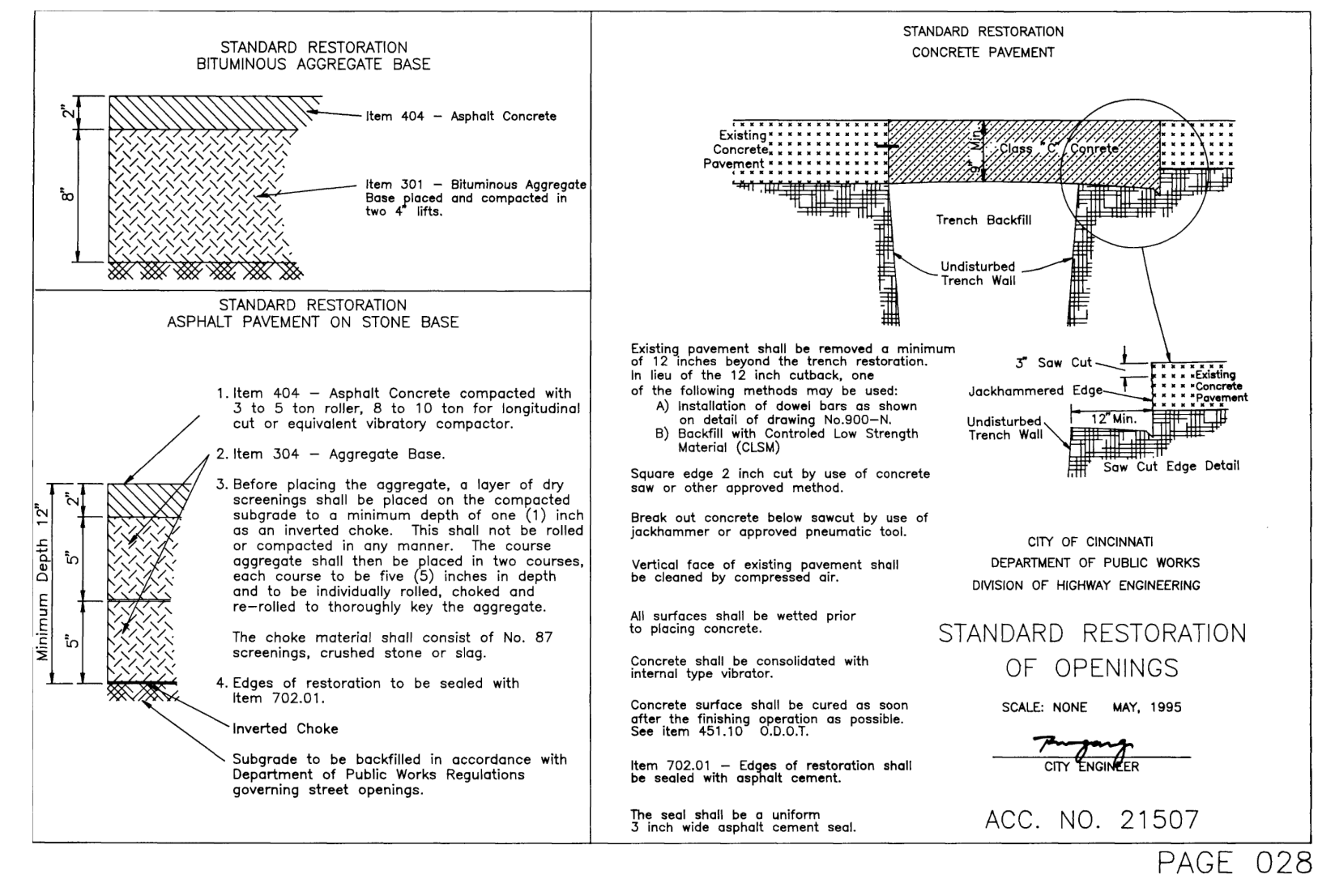
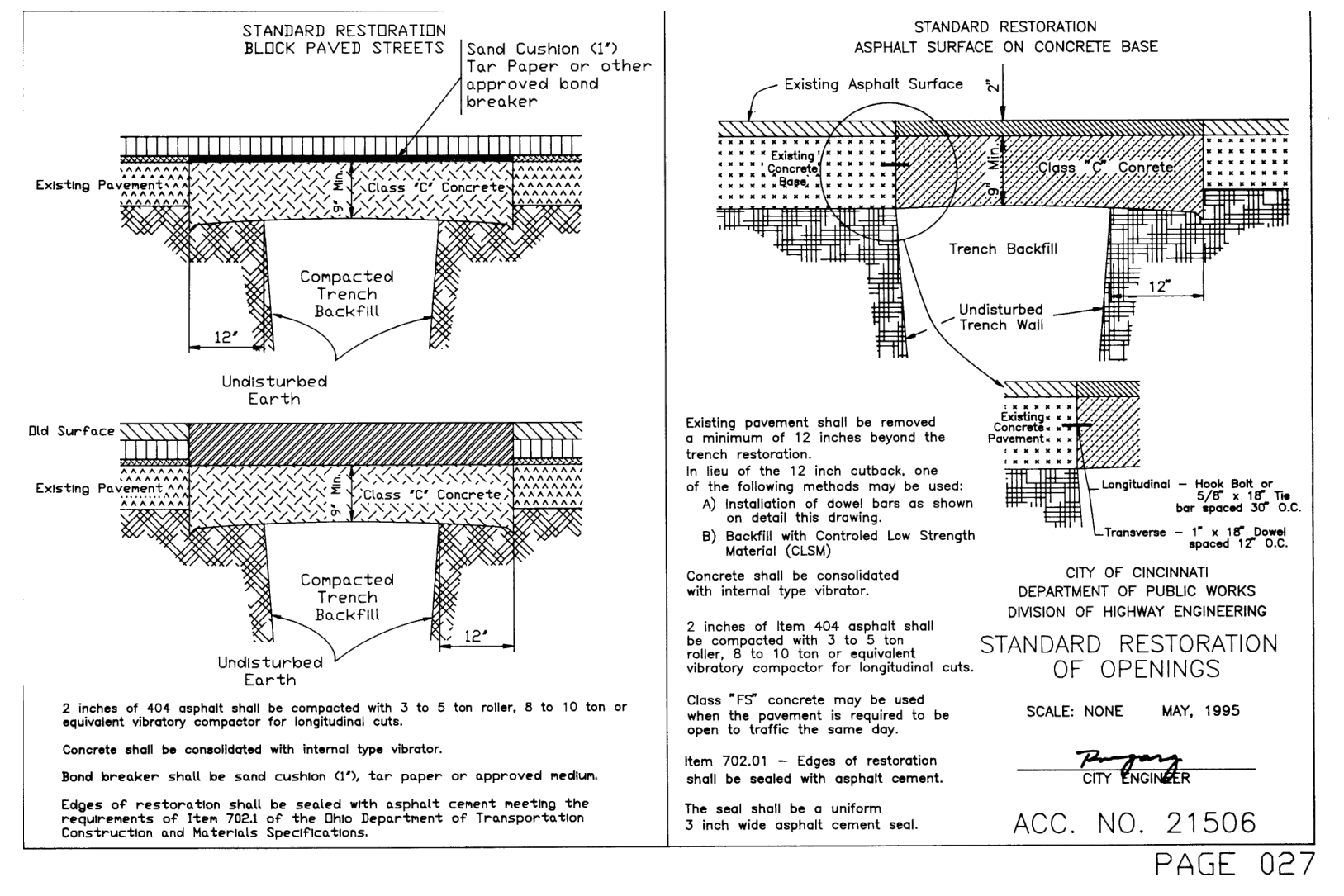
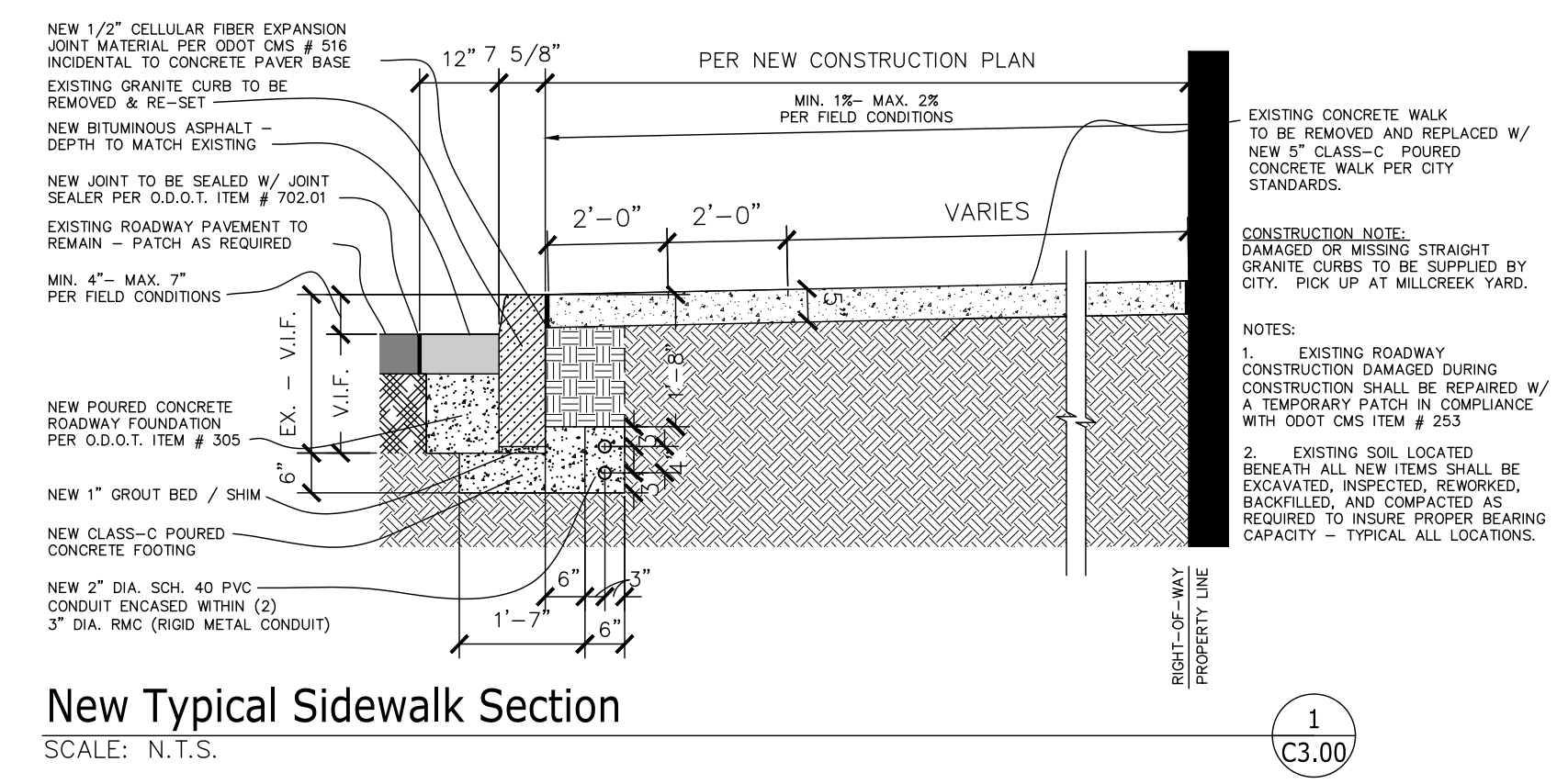
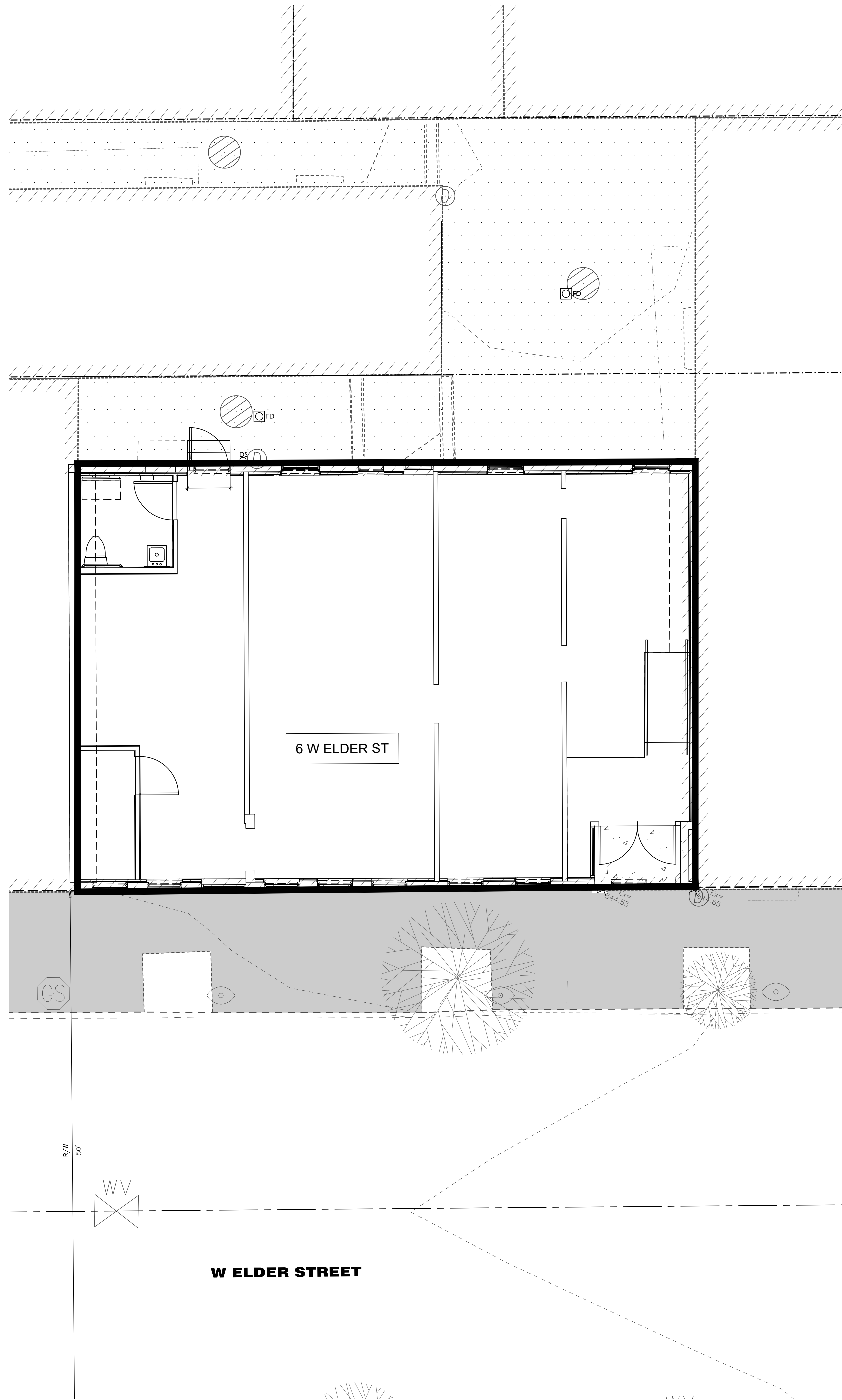
**LEGEND**

- EXISTING CONCRETE WALK OR DRIVE (TO REMAIN)
- PROPOSED CONCRETE WALK (SEE DETAIL 1/C3.00)
- STREETSCAPE PROJECT BY OTHERS
- REMOVE & REPLACE EX PAVEMENT IN KIND PER DOTE STANDARDS (SEE SHEET C3.00 FOR DETAILS)



PROPOSED PROJECT:  
**RENOVATION FOR 6 W ELDER**  
CINCINNATI, OH, 45202  
FINDLAY FLATS

Job No: 22042 04/28/2023



**HANDRAIL NOTES:**

1. SUBMIT SHOP DRAWINGS FOR ALL HANDRAILS.
2. ALL STAINLESS STEEL COMPONENTS SHALL HAVE MECHANICALLY BRUSHED FINISH. SUBMIT MANUFACTURER'S PRODUCT INFORMATION AND SAMPLES.
3. PTD. STEEL COMPONENTS TO BE GLOSS BLACK TO MATCH SITE FURNISHINGS. SUBMIT COLOR SAMPLE.
4. HANDRAILS SHALL BE SECURED SO AS TO NOT ROTATE WITHIN THEIR FOOTINGS.

Basis of Bearing:  
State Plane NAD83 (2011)

SCALE: 1" = 5'

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www.bayerbecker.com  
1404 Race Street, Suite 204  
Cincinnati, OH 45202 - 513.634.6151

**811**  
Know what's below.  
Call before you dig.

**LOCATION OF ALL EXISTING UTILITIES TO BE DETERMINED IN THE FIELD PRIOR TO CONSTRUCTION**

**LEGEND**

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- PROPOSED CONCRETE WALK (SEE DETAIL 1/C3.00)
- REMOVE & REPLACE EX PAVEMENT IN KIND PER DOTE STANDARDS (SEE SHEET C3.00 FOR DETAILS)
- STREETSCAPE PROJECT BY OTHERS

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Progress Dates  
04.28.2023 - PERMIT SUBMISSION

Revisions

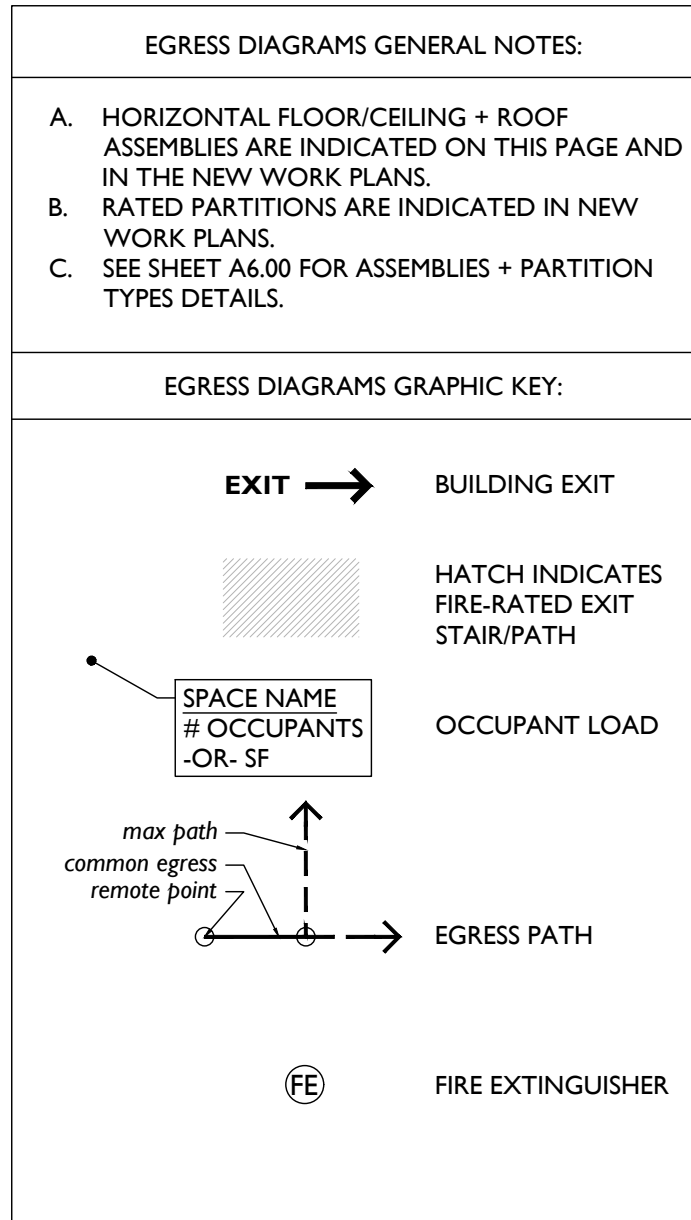
Design Team:

Drawn by:  
EFS

PROPOSED PROJECT:  
**RENOVATION FOR 6 W ELDER ST**  
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**C3.00**



**PROPOSED BUILDING RENOVATION**

- LOCATION: 6 W. ELDER STREET, CINCINNATI, OH 45202
- DESCRIPTION: THIS PROJECT IS THE REHABILITATION/RENOVATION OF AN EXISTING COMMERCIAL / RESIDENTIAL BUILDING. 6 WEST ELDER IS A SINGLE STORY BUILDING. THE FIRST FLOOR WILL REMAIN OCCUPIED AND WILL BECOME B / M / A USES.  
**THERE IS A CHANGE OF USE ON THE FIRST FLOOR (PREVIOUSLY R-2).**  
PLUMBING, ELECTRIC, SPRINKLER + FIRE ALARM SYSTEMS WILL BE SUBMITTED UNDER A SEPARATE PERMIT.
- GOVERNING CODE: 2017 OBC (OHIO BUILDING CODE)/ CINCINNATI BUILDING CODE/ CINCINNATI ZONING CODE
- ZONING DESIGNATION: CC-P - COMMERCIAL COMMUNITY - PEDESTRIAN URBAN PARKING OVERLAY DISTRICT - NO PARKING REQUIRED.
- CONSTRUCTION TYPE:
 

	EXISTING TYPE III B	PROPOSED TYPE III B
EXTERIOR BEARING:	EXIST. CONSTRUCTION MASONRY / 2HR	CONSTRUCTION MASONRY / 2HR*
INTERIOR BEARING:	WOOD	MASONRY / METAL / WOOD/
0HR*		
INTERIOR NON - BEARING:	WOOD	METAL OR WOOD/0HR +
NON - BEARING FLR/ROOF:	WOOD/0HR	METAL OR WOOD/0HR +

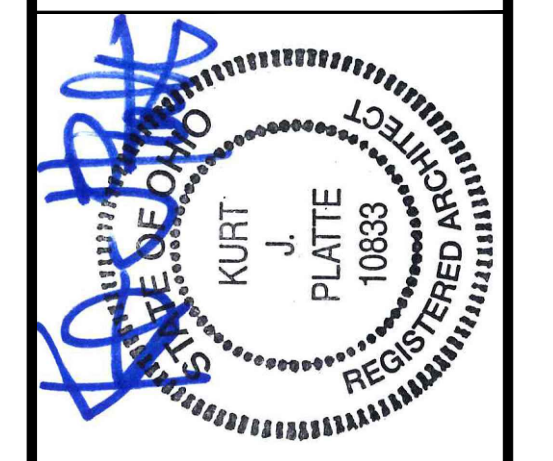
\*SEE CHAP. 10 FIRE RESISTANCE RATINGS AND PARTITION/ASSEMBLY TYPES SHEET
- USE GROUP/OCCUPANCY:
 

	#OCCUPANCY	EXISTING	PROPOSED
FIRST FLOOR/1470 SF(TOTAL)		R-2	M
= 25 OCC.			1470 SF/60
- HEIGHT + AREA:
 

EXISTING III B CONSTRUCTION USE	HEIGHT - ALLOWABLE/PROPOSED	STORIES ABV GRADE-
M	55' / 10'-1"	2 / 1

USE	AREA - ALLOWABLE/PROPOSED
M	12,500SF / 1614SF
- NOT USED
- INTERIOR FINISH RATINGS: SPRINKLERED/ TABLE 803.1.1 ROOMS AND ENCLOSED SPACES - USE M REQUIRED C
- EXIT REQUIREMENTS: NO SPRINKLER (WHEN 2 EXITS) ALLOWABLE (FT) PROVIDED (MAX)(FT)  
M 200' 55'-7"
- FIRE PROTECTION: SPRINKLER NOT REQUIRED AND NOT PROVIDED.
- FIRE ALARM: FIRE ALARM NOT REQUIRED AND NOT PROVIDED.
- ACCESSIBILITY: ACCESSIBILITY WILL BE PROVIDED TO THE EXTENT FEASIBLE. A NEW RAMP WILL BE CONSTRUCTED TO PROVIDE AN ACCESSIBLE ROUTE AND ENTRANCE AT THE SOUTH ELEVATION. AN INTERIOR FIRST FLOOR ACCESSIBLE PATH WILL CONNECT ALL COMMERCIAL SPACES. ONE ACCESSIBLE RESTROOM IS PROVIDED FOR THE COMMERCIAL TENANT.

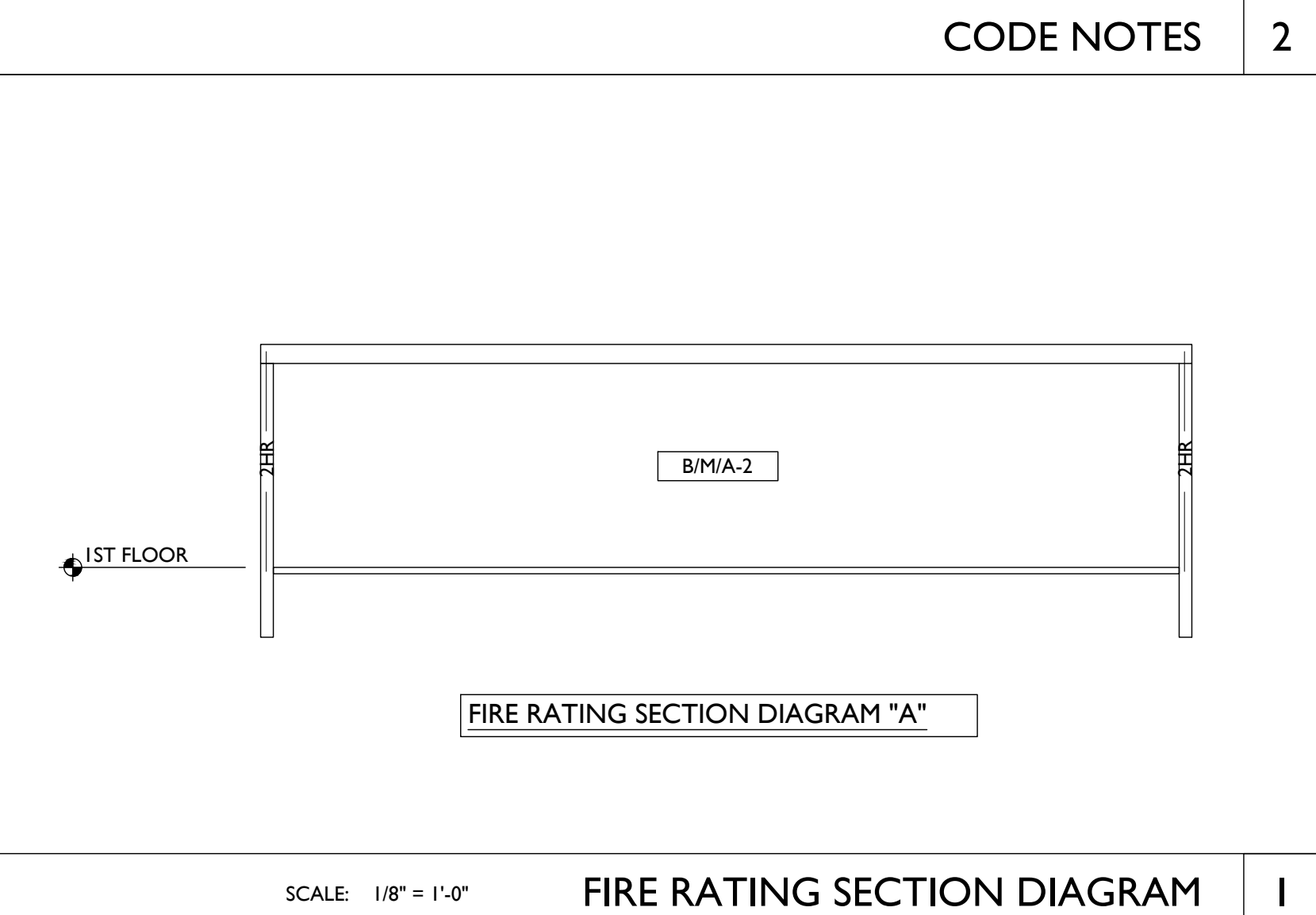
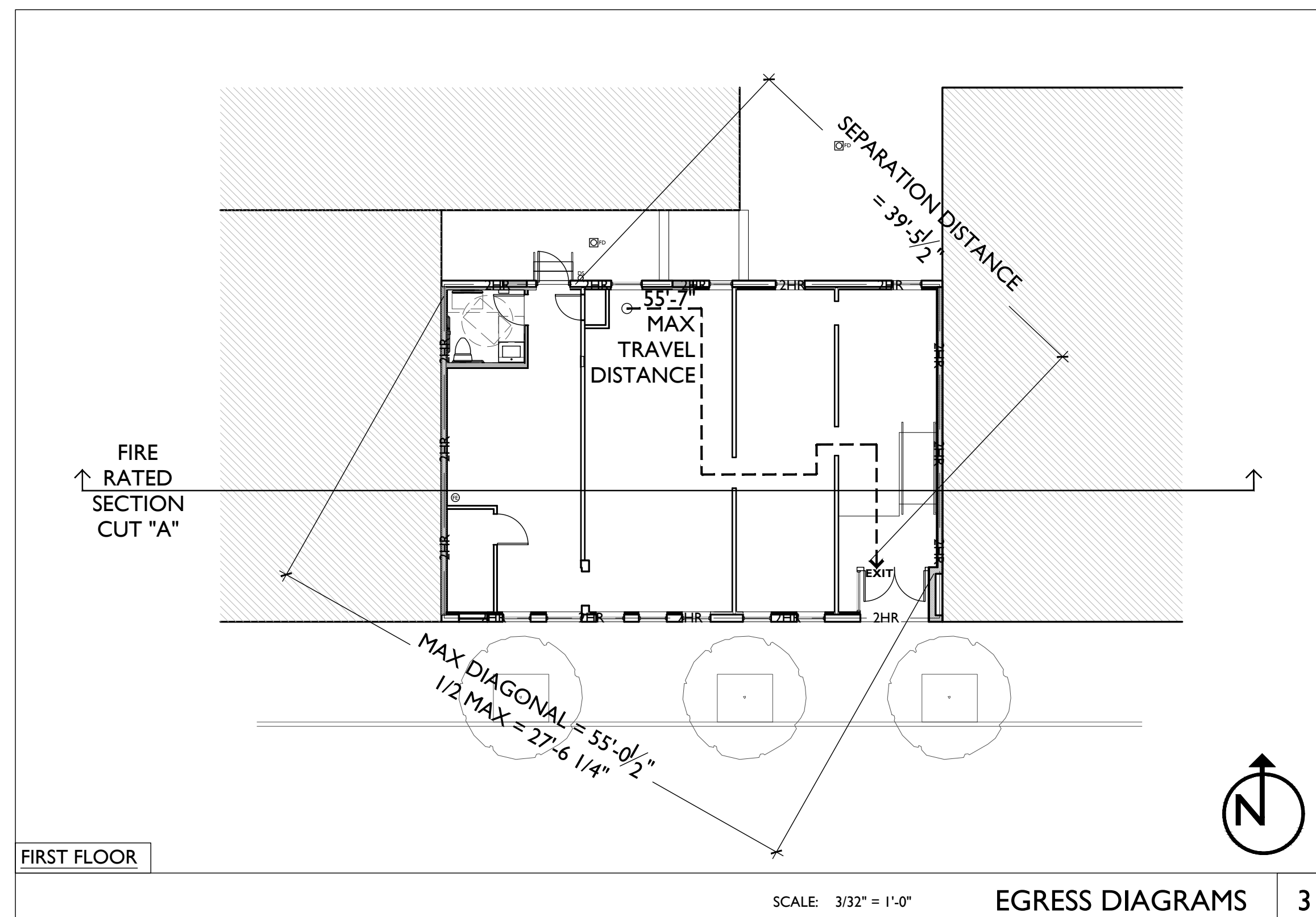


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Revisions

Design Team:  
CO, JK, MR, MR, RK, RO, SO, TB  
Drawn by:  
RO, AM



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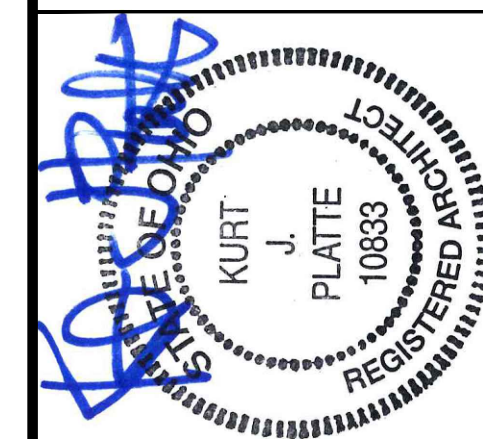
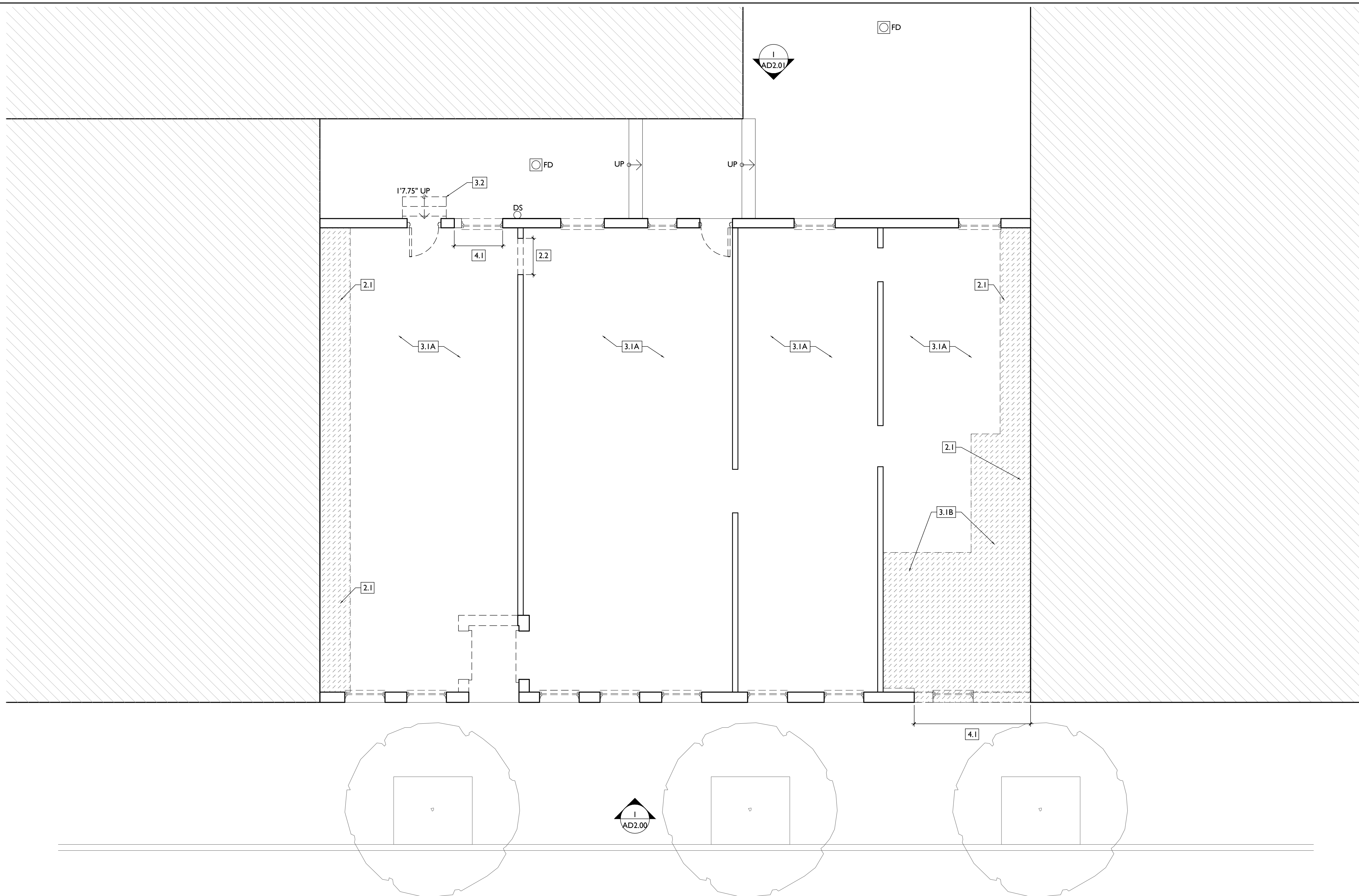
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- 1. GENERAL**
- 2. EXG CONDITIONS**
  - 2.1 EXCAVATE AREA FOR NEW GRADE BEAM. SEE NEW WORK PLANS AND STRUCTURAL DRAWINGS.
  - 2.2 NEW OPENING IN BEARING WALL. PROVIDE SHORING AS REQ'D. SEE STRUCTURAL DWGS.
- 3. CONCRETE**
  - 3.1 CONCRETE SLAB.
    - A. TO REMAIN
    - B. REMOVE
  - 3.2 REMOVE EXG CONCRETE STEPS.
- 4. MASONRY**
  - 4.1 NEW OR EXPANDED OPENING IN EXG MASONRY WALL. PROVIDE NEW STEEL LINTEL. SEE NEW WORK PLANS, ELEVATIONS & STRUCT DWGS.
- 5. METALS**
  - 5.1 NOT USED.
- 6. WOOD, PLASTICS, AND COMPOSITES**
  - 6.1 NOT USED.
- 7. THERMAL AND MOISTURE PROTECTION**
  - 7.1 REMOVE NON-HISTORIC GUTTER & DOWNSPOUTS.
  - 7.2 REMOVE ROOFING ENTIRELY.
- 8. OPENINGS**
  - 8.1 NEW OPENING IN MASONRY WALL.
  - 8.2 REMOVE WINDOW & FRAME ENTIRELY, BACK TO MASONRY OPENING.
  - 8.3 REMOVE DOOR & FRAME ENTIRELY, BACK TO MASONRY OPENING.
- 9. FINISHES**
  - 9.1 NOT USED.

- KEYNOTE
- EXG EXTERIOR WALL TO REMAIN
- EXG INTERIOR WALL TO REMAIN
- EXG WALL/ELEMENT TO BE REMOVED
- EXG DOOR & FRAME TO BE REMOVED
- EXG WINDOW TO BE REMOVED
- EXG FLOOR OR WALL CONSTRUCTION TO BE REMOVED



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Drawn by:  
RO, AM


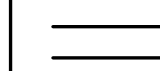
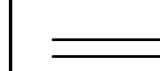

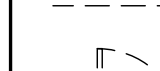

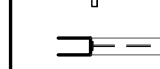
PROPOSED PROJECT:  
**RENOVATION FOR  
6 W ELDER ST.**  
CINCINNATI, OH, 45202  
FINDLAY FLATS

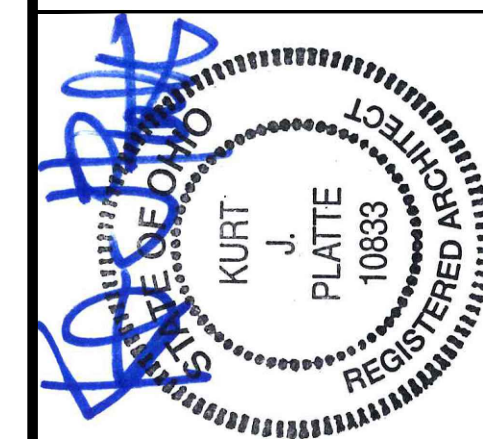
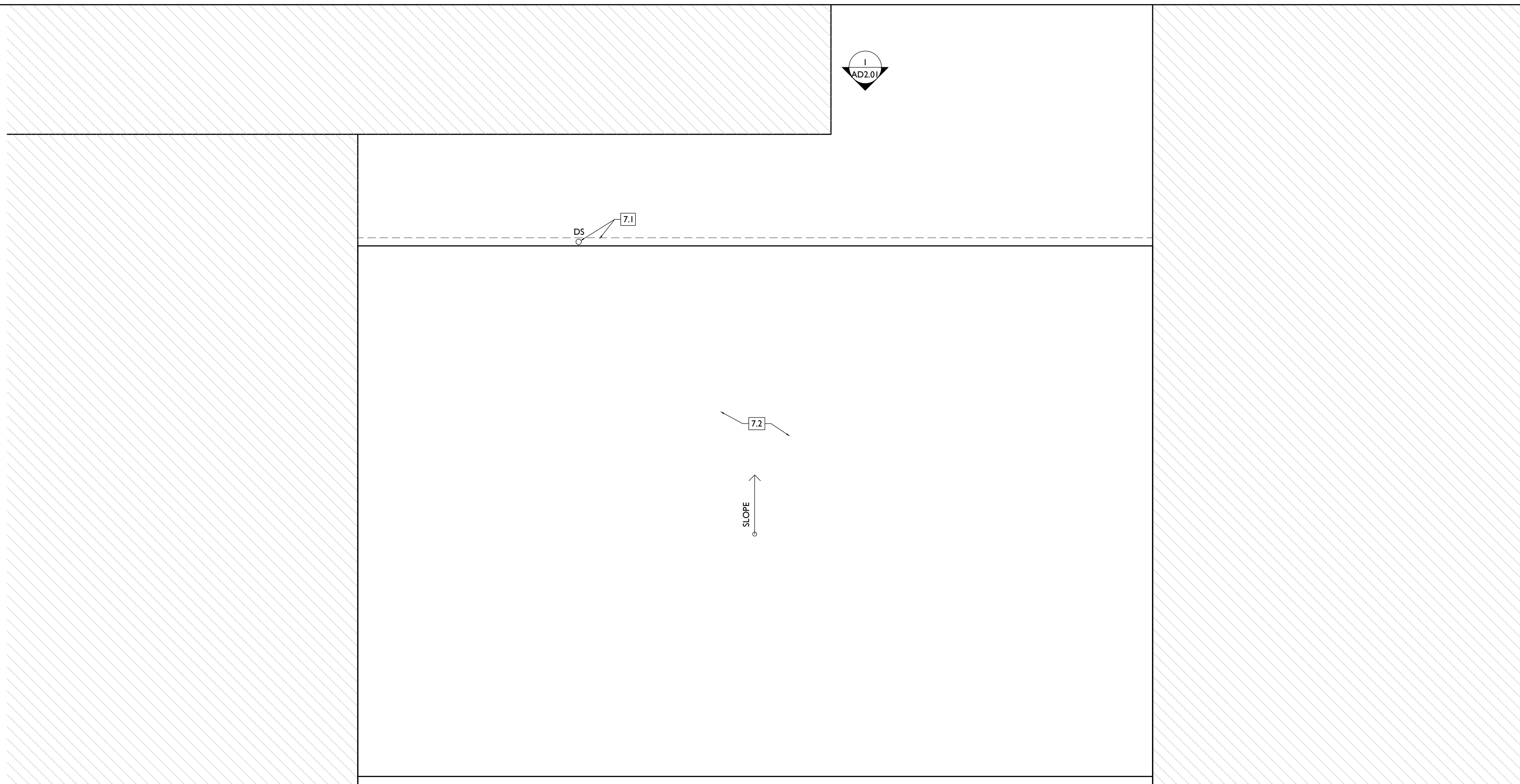
Job No: 22042 8/10/2022

**ADI.01**



- 1. GENERAL**
- 2. EXG CONDITIONS**
  - 2.1 EXCAVATE AREA FOR NEW GRADE BEAM. SEE NEW WORK PLANS AND STRUCTURAL DRAWINGS.
  - 2.2 NEW OPENING IN BEARING WALL. PROVIDE SHORING AS REQ'D. SEE STRUCTURAL DWGS.
- 3. CONCRETE**
  - 3.1 CONCRETE SLAB.
    - A. TO REMAIN
    - B. REMOVE
  - 3.2 REMOVE EXG CONCRETE STEPS.
- 4. MASONRY**
  - 4.1 NEW OR EXPANDED OPENING IN EXG MASONRY WALL. PROVIDE NEW STEEL LINTEL. SEE NEW WORK PLANS, ELEVATIONS & STRUCT DWGS.
- 5. METALS**
  - 5.1 NOT USED.
- 6. WOOD, PLASTICS, AND COMPOSITES**
  - 6.1 NOT USED.
- 7. THERMAL AND MOISTURE PROTECTION**
  - 7.1 REMOVE NON-HISTORIC GUTTER & DOWNSPOUTS.
  - 7.2 REMOVE ROOFING ENTIRELY.
- 8. OPENINGS**
  - 8.1 NEW OPENING IN MASONRY WALL.
  - 8.2 REMOVE WINDOW & FRAME ENTIRELY, BACK TO MASONRY OPENING.
  - 8.3 REMOVE DOOR & FRAME ENTIRELY, BACK TO MASONRY OPENING.
- 9. FINISHES**
  - 9.1 NOT USED.

-  KEYNOTE
-  EXG EXTERIOR WALL TO REMAIN
-  EXG INTERIOR WALL TO REMAIN
-  EXG WALL/ELEMENT TO BE REMOVED
-  EXG DOOR & FRAME TO BE REMOVED
-  EXG WINDOW TO BE REMOVED
-  EXG FLOOR OR WALL CONSTRUCTION TO BE REMOVED



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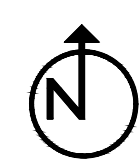
Revisions

Design Team:  
CO, JK, MR, MR, RK, RO, SO, TB  
Drawn by:  
RO, AM

PROPOSED PROJECT:  
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**ADI.02**

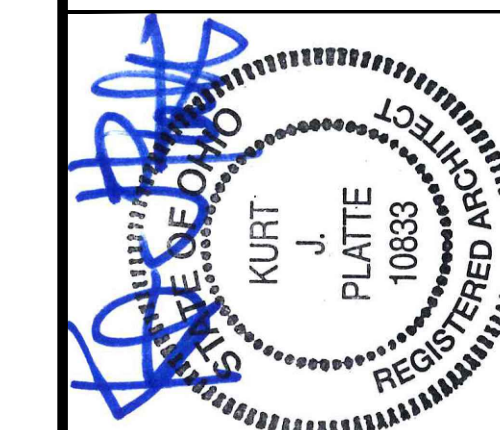


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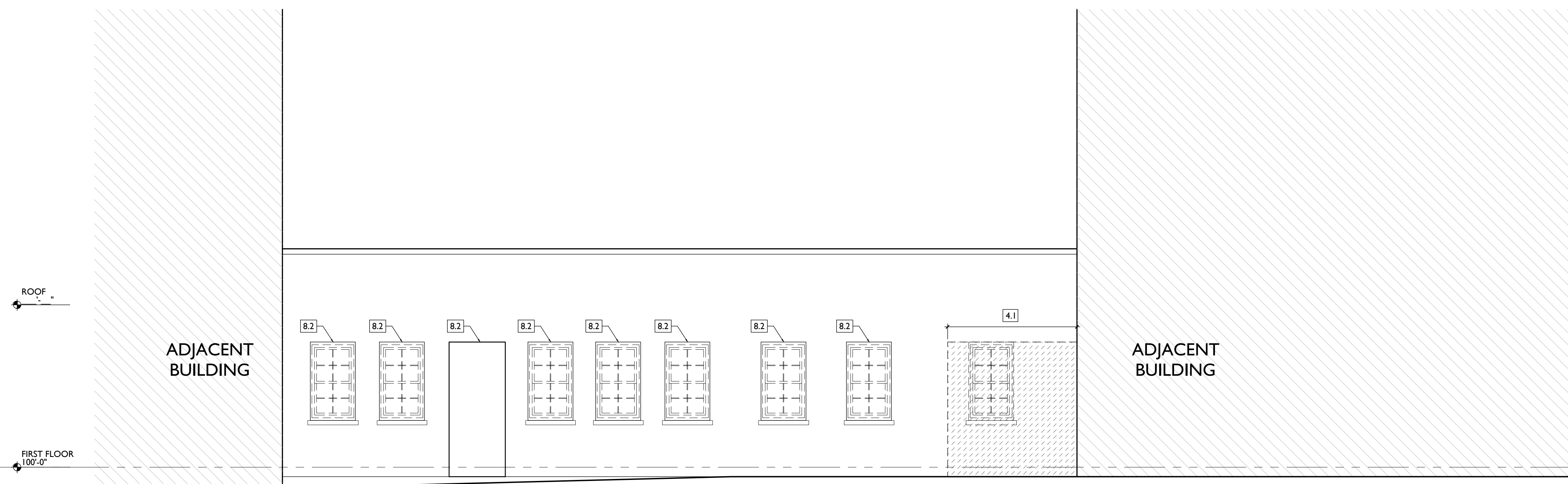


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**AD2.00**

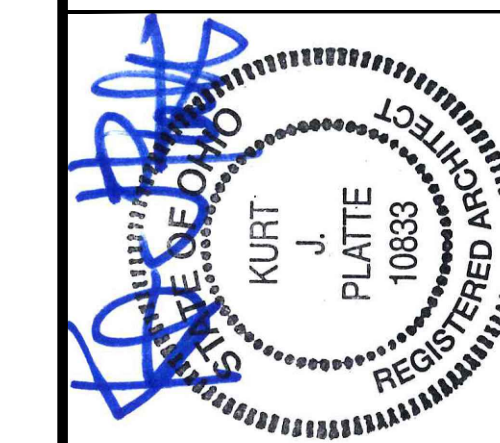


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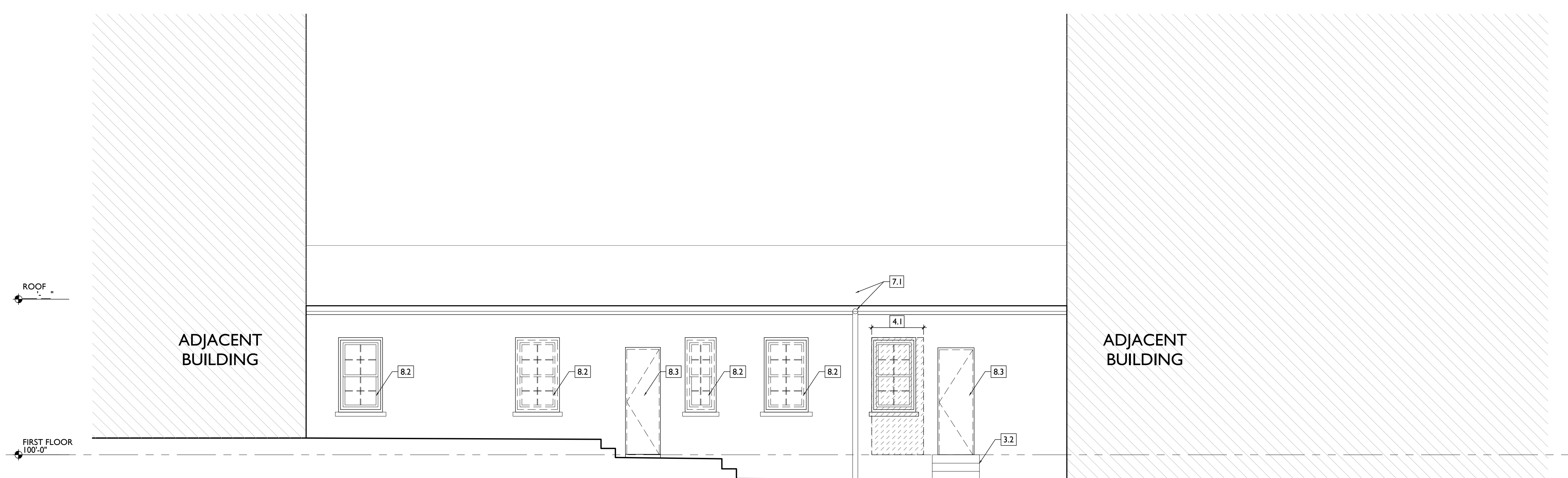


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**AD2.01**

## GENERAL NOTES:

1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND INFORMATION IN THESE DRAWINGS.
2. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, INCLUDING SITE CONDITIONS, ALL ERRORS, OMISSIONS, AND INCONSISTENCIES ARE TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. FAILURE TO DO SO WILL RELEASE THE ARCHITECT OF ALL RESPONSIBILITY. ANY CHANGES FROM THESE DOCUMENTS ARE THE RESPONSIBILITY OF THE CONTRACTOR. THESE DRAWINGS ARE NOT TO BE SCALED. IF INSUFFICIENT INFORMATION EXISTS, CONTACT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK. EACH CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS AS MAY EFFECT HIS OWN WORK, DESIGN/BUILD OR OTHERWISE.
3. BEST MANAGEMENT PRACTICES SHALL BE USED BY THE CONTRACTOR DURING DEMOLITION TO PREVENT RELEASE OF LEAD-CONTAMINATED DUST SHALL BE EMITTED FROM DEMOLITION ACTIVITIES. ALL PAINT CHIPS AND OTHER DEBRIS OR RESIDUE SHALL BE REMOVED FROM THE PROJECT SITE AT THE COMPLETION OF DEMOLITION. STORAGE AND TRANSPORT OF MATERIALS KNOWN OR ASSUMED TO CONTAIN LEAD BASED PAINT SHALL BE COVERED TO PREVENT ACCESS TO OR RELEASE OF LEAD-CONTAMINATED DUST OR DEBRIS.
4. IT SHALL BE THE RESPONSIBILITY OF THE BUILDING OWNER TO SUPERVISE CONSTRUCTION AND INSURE THAT THESE DRAWINGS ARE COMPLIED WITH IN THE EVENT THAT THIS ARCHITECT IS NOT RETAINED FOR SUCH SERVICES.
5. ALL WORK SHALL COMPLY WITH STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS, INCLUDING THE AMERICANS WITH DISABILITIES ACT, HAVING AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK, AND SHALL BE DONE TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY EACH RESPECTIVE TRADE.
6. GUARANTEES SHALL BE REQUIRED OF ALL BRANCHES OF THE WORK. CONTRACTORS TO REMEDY ANY DEFECTS IN THEIR WORK AND PAY FOR ANY RESULTANT DAMAGES TO OTHER WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.
7. CONTRACTOR SHALL SUPERVISE THE WORK DURING PROGRESS AND SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION SAFETY, COMPLIANCE TO BE IN ACCORDANCE WITH ALL STATE, FEDERAL AND O.S.H.A. REGULATIONS.
8. CONTRACTOR AND ALL SUB-CONTRACTORS SHALL MAINTAIN THE JOB CLEAR OF TRASH AND DEBRIS. ALL WASTE MATERIAL, TOOLS, CONSTRUCTION EQUIPMENT AND SURPLUS MATERIAL SHALL BE REMOVED FROM THE SITE PRIOR TO SUBSTANTIAL COMPLETION AND FINAL ACCEPTANCE.
9. CONTRACTOR SHALL PRESENT THE PROJECT TO THE OWNER FOR ACCEPTANCE, CLEAN AND READY FOR USE. ALL GLASS TO BE CLEANED, FLOORS SWEEP, BROOM CLEAN, FIXTURES WASHED AND LABELS REMOVED FROM ALL ITEMS.
10. ANY CONTRACTOR OF SUBCONTRACTOR WHO PERFORMS ANY WORK KNOWING IT TO BE CONTRARY TO APPLICABLE LAWS, ORDINANCES OR REGULATION, AND WITHOUT WRITTEN NOTICE TO THE ARCHITECT SHALL ASSUME FULL RESPONSIBILITY AND SHALL BEAR ALL ATTRIBUTABLE COSTS.
11. IN THE EVENT OF ANY CONFLICT BETWEEN ARCHITECTURAL DRAWINGS OR SPECIFICATIONS AND STRUCTURAL DRAWINGS OR SPECIFICATIONS, STRUCTURAL SHALL GOVERN.
12. PROJECT IS TO RECEIVE HISTORIC TAX CREDITS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE WELL VERSED IN THE APPROVED PART 2 AND SUBSEQUENT AMENDMENTS, AND TO INFORM SUBCONTRACTORS OF ANY CHANGES /APPROVALS DURING THE BIDDING AND THE CONSTRUCTION PHASES.

### GENERAL NOTES: ALL TRADES

1. FURNISH ALL LABOR, MATERIAL AND APPURTENANCES NECESSARY FOR A COMPLETE AND OPERATIONAL SYSTEM AS SHOWN OR REQUIRED.
2. ALL WORK SHALL CONFORM TO APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. EACH CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, TESTS AND INSPECTIONS FOR HIS OWN WORK AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
3. PERFORM ALL TESTS, ADJUSTMENTS, ETC. AS REQUIRED BY EQUIPMENT MANUFACTURER OR AUTHORITIES HAVING JURISDICTION.
4. CONTRACTORS SHALL VISIT SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS AS MAY EFFECT HIS OWN WORK. EACH CONTRACTOR SHALL COORDINATE HIS OWN WORK WITH THAT OF OTHER TRADES.
5. EACH CONTRACTOR SHALL FURNISH ALL CUTTING AND PATCHING REQUIRED FOR HIS OWN WORK. NO CUTTING SHALL BE PERFORMED WITHOUT PRIOR APPROVAL OF GENERAL CONTRACTOR.
6. WORKMANSHIP SHALL REPRESENT THE HIGHEST STANDARD OF THE INDUSTRY. GUARANTEE ALL MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE.

### GENERAL CONDITIONS

CONTRACT DOCUMENTS INCLUDE THESE GENERAL CONDITIONS FOR CONSTRUCTION, DRAWINGS, SCHEDULES, AND SPECIFICATIONS PREPARED BY THE ARCHITECT AND CONTAINED HEREIN, AND ALL WRITTEN ADDENDA OR OTHER MODIFICATIONS ISSUED SUBSEQUENTLY BY THE ARCHITECT. THE CONTRACT DOCUMENTS SHALL NOT BE CONSTRUED TO CREATE ANY CONTRACTUAL RELATIONSHIP OF ANY KIND BETWEEN THE ARCHITECT AND THE CONTRACTOR.

CONTRACT MODIFICATIONS: THESE CONTRACT DOCUMENTS SHALL NOT BE FURTHER MODIFIED BY ANY TERMS OR CONDITIONS OTHER THAN THOSE LISTED HEREIN OR IN THE SPECIFICATIONS, OR IN ANY WRITTEN AGREEMENTS EXECUTED BY THE OWNER, CONTRACTOR AND SUBCONTRACTORS.

NOTES WRITTEN IN THE IMPERATIVE MOOD REFER TO ACTION TO BE PERFORMED BY THE CONTRACTOR. THE WORDS "THE CONTRACTOR SHALL" ARE ALWAYS IMPLIED. IF NOT STATED, UNLESS OTHERWISE NOTED, THE TERM "CONTRACTOR" SHALL ALSO APPLY TO ALL SUBCONTRACTORS OF THE CONTRACTOR.

THE CURRENT EDITION OF AIA DOCUMENT A101 SHALL BE THE FORM OF AGREEMENT TO BE SIGNED BY THE OWNER AND GENERAL CONTRACTOR, UNLESS THE OWNER AND CONTRACTOR MUTUALLY AGREE OTHERWISE. GENERAL CONDITIONS CONTAINED IN AIA DOCUMENT A201 SHALL APPLY.

BEST MANAGEMENT PRACTICES SHALL BE EMPLOYED TO CONTROL EROSION DURING CONSTRUCTION AND UNTIL FINAL COVER IS ESTABLISHED.

THE CONTRACTOR SHALL BE NOTIFIED, BOTH VERBALLY AND THROUGH NOTATIONS ON THE FINAL CONST. DWG, THAT WORK SHALL BE HALTED AT A LOT IF INDICATORS OF CONTAMINATION (FILL OTHER THAN "CLEAN FILL", DISCOLORED SOILS OR CHEMICAL/PETROLEUM ODORS) ARE IDENTIFIED DURING CONST. TO ALLOW FOR A QUALIFIED ENVIRONMENTAL PROFESSIONAL TO INSPECT THE LOT AND MAKE RECOMMENDATIONS REGARDING APPROPRIATE ACTIONS.

ANY WATER WELLS OR SEPTIC SYSTEMS IDENTIFIED DURING SITE DEVELOPMENT SHALL BE ABANDONED AS REQUIRED BY OAC 3745.9-10 OR 3701.29-21, AS APPLICABLE, AND AFTER CONSULTATION W/ THE LOCAL HEALTH DEPARTMENT.

### DEFINITIONS:

"CONTRACTOR": THE PERSON OR ENTITY CONSTRUCTING THE DESIGNATED WORK.

"OWNER": THE PERSON OR ENTITY THAT OWNS THE BUILDING BEING RENOVATED. THE TERM "OWNER" INCLUDES HIS DESIGNATED AND AUTHORIZED AGENTS AND REPRESENTATIVES.

"WORK": THE TERM "WORK" MEANS OBLIGATIONS UNDERTAKEN BY THE CONTRACTOR PURSUANT TO THE CONTRACT DOCUMENTS. WORK INCLUDES THE FURNISHING OF ALL MATERIAL, LABOR, EQUIPMENT, SUPPLIES, TOOLS, SCAFFOLDING, SUPERVISION, TRANSPORTATION, INSURANCE, TAXES AND ALL OTHER SERVICES, INCIDENTALS AND EXPENSES NECESSARY FOR THE FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

"PROJECT": THE PROJECT IS THE TOTAL CONSTRUCTION OF WHICH THE WORK PERFORMED UNDER THE CONTRACT DOCUMENTS MAY BE THE WHOLE OR A PART.

"CONTRACT DOCUMENTS": THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS REQUIRED FOR COMPLETION OF THE WORK, INCLUDING DRAWINGS AND SPECIFICATIONS. ALTHOUGH THE CONTRACT DOCUMENTS HAVE BEEN PREPARED WITH DUE CARE AND DILIGENCE, PERFECTION CANNOT BE GUARANTEED. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF THE VARIOUS PARTS OF THE WORK SO THAT NO PART SHALL BE IN AN UNFINISHED OR INCOMPLETE CONDITION.

### DRAWINGS PREPARED BY OTHERS:

ARCHITECTURAL, CIVIL, STRUCTURAL, MECHANICAL AND ELECTRICAL DWGS SHALL BE WORKED TOGETHER, INCLUDING THE LOCATION OF DEPRESSED SLABS, SLOPES, DRAINS, REGLETS, BOLT SETTINGS, ETC. ANY DISCREPANCY SHALL BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

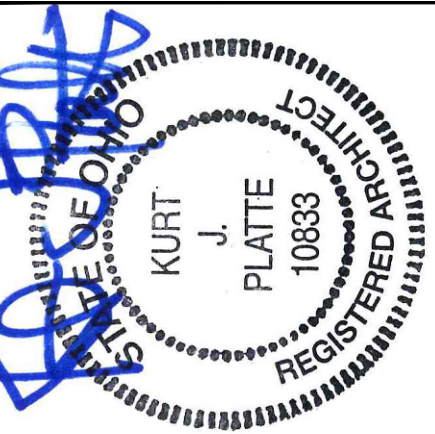
SHOP DWGS PREPARED BY OTHER CONTRACTORS MAY BE REQUIRED TO SUPPLEMENT THE CONTRACT DOCUMENTS. SUCH DWGS ARE FURNISHED FOR THE CONTRACTOR'S INFORMATION AND COORDINATION ONLY.

## GENERAL NOTES: PROPOSED WORK

- A. SEE CODE SHEETS FOR ROOF/FLOOR/CEILING ASSEMBLY LOCATIONS & PARTITION SCHEDULE FOR TYPES.
- B. PENETRATIONS OF RATED ASSEMBLIES TO BE PROTECTED PER SECTION 713.3 & 713.4 OBC. COORD W/ MEP DWGS.
- C. PROVIDE FIRE BLOCKING PER 717.2 OBC.
- D. PROVIDE DRAFTSTOPPING IN FLOORS, CLGS/ROOFS & ATTICS PER OBC.
- E. PROVIDE BLOCKING FOR SHELVING, CABINETS AND BATHROOM ACCESSORIES AND GRAB BARS. SEE PLANS AND INTERIOR ELEVATIONS.
- F. USE PRESSURE TREATED WOOD IN THE FOLLOWING LOCATIONS:
  - EXTERIOR APPLICATIONS.
  - WOOD IN CONTACT WITH MASONRY, STONE, OR CONCRETE.
  - AT ANY NEW FRAMING IN CONTACT W/ MASONRY OR FOUNDATION WALL, PROVIDE SEPARATION/ JOIST & BEAM END WRAPS.
- G. EXTERIOR TRIM, SOFFITS, CORNICE AND STOREFRONT ELEMENTS TO BE REPAIRED/RETAINED/REPLACED AND PAINTED AS NOTED IN DRAWINGS. EXG. UN-PAINTED BRICK AND STONE TO REMAIN UNPAINTED. SEE EXTERIOR ELEVATIONS FOR SCOPE OF WORK. COORD COLORS DIRECTLY W/ ARCHITECT.
- AF. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR LOCATION AND CONNECTIONS OF ALL MEP EQUIPMENT.
- AG. PROVIDE SLEEVES THROUGH EXG. BRICK WALL IN ATTIC AS REQUIRED FOR HVAC LINE-SET INSTALLATION.
- AH. ADDITIONAL OPENINGS IN EXTERIOR WALLS WILL BE REQUIRED FOR VARIOUS MEP DUCTS/PIPES/ETC, AND ARE NOT SHOWN ON ARCH & STRUCT PLANS. COORD W/ MEP PLANS. CONTACT ARCHITECT FOR PLACEMENT.
- AI. PROVIDE FIRE EXTINGUISHERS PER CODE SUMMARY & NFPA REQ. COORD W/ FIRE MARSHALL.
- AJ. FASTENERS INTO EXISTING MASONRY WALLS ARE TO BE FASTENED INTO MORTAR JOINTS.
- AK. EXTERIOR STEEL TO BE DUPLEX-FINISH (GALVANIZED, WITH HIGH-PERFORMANCE COMPATIBLE EPOXY PAINT).
- AL. EXTERIOR WOOD TO BE PRESSURE TREATED.
- AM. WHERE INFILLING EXISTING OPENINGS IN, OR EXTENDING THE LENGTH OF AN EXISTING WOOD FRAMED PARTITION, FINISH FACES OF THE NEW CONSTRUCTION ARE TO ALIGN WITH ADJACENT EXISTING FINISH FACES ON BOTH SIDES.
- AN. SHEET METAL WORK TO COMPLY WITH SMACNA ARCHITECTURAL SHEET METAL MANUAL.
- AO. FLASH AND SEAL NEW ROOF PENETRATIONS THROUGH EXISTING ROOF. EMPLOY INSTALLERS ACCEPTABLE TO EXISTING ROOF MANUFACTURER AND COMPLY WITH EXISTING ROOF MANUFACTURER REQUIREMENTS TO MAINTAIN EXISTING ROOF WARRANTY.
- AP. MASONRY CLEANING: CONTRACTOR SHALL PERFORM MASONRY CLEANING WORK IN ACCORDANCE WITH PRESERVATION BRIEF 6 - "DANGERS OF ABRASIVE CLEANING TO HISTORIC BUILDINGS." CONTRACTOR SHALL CLEAN EXISTING MASONRY THROUGHOUT USING THE GENTLEST MEANS POSSIBLE AND SHALL START EACH NEW METHOD OF CLEANING (E.G. BY BRUSH, WITH DETERGENT, WITH WATER PRESSURE, ETC.) IN DISCRETE AREA OF EACH WALL. CONTRACTOR SHALL BEGIN BY CLEANING WITH WATER AND NATURAL BRISTLE BRUSHES. CONTRACTOR SHALL THEN CLEAN ANY AREAS THAT REQUIRE FURTHER CLEANING USING NON-ABRASIVE, NON-ACIDIC DETERGENTS WITH NATURAL BRISTLE BRUSHES. CONTRACTOR SHALL THEN CLEAN ANY AREAS THAT REQUIRE FURTHER CLEANING USING NON-ABRASIVE, NON-ACIDIC DETERGENTS WITH LOW PRESSURE WATER (STARTING AT 20 PSI AT TIP). UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE PRESSURE WASHING WITH GREATER THAN 40 PSI AT TIP. CLEANING SHALL BE PERFORMED EVENLY THROUGHOUT THE ENTIRETY OF EACH WALL WALLS WHERE STUCCO / PARGING IS TO REMAIN SHALL NOT BE CLEANED WITH PRESSURE WASHING. REMOVE EXISTING LOOSE STUCCO / PARGING BY HAND WITH BRUSHES. PRESERVATION BRIEF 6 - "DANGERS OF ABRASIVE CLEANING TO HISTORIC BUILDINGS: [HTTPS://WWW.NPS.GOV/TPS/HOW-TO-PRESERVE/BRIEFS/6-DANGERS-ABRASIVE-CLEANING-HTML](https://www.nps.gov/tps/how-to-preserve/briefs/6-dangers-abrasive-cleaning.htm)
- AQ. PARGING: CONTRACTOR TO TEST AND ASSESS THE INTEGRITY OF EXISTING STUCCO / PARGING ON EXISTING MASONRY WALLS. ANY STUCCO / PARGING TO REMAIN MUST BE SECURELY HELD TO EXISTING MASONRY WALL. ANY STUCCO / PARGING THAT IS NOT SECURELY HELD TO MASONRY WALL SHALL BE REMOVED THROUGH GENTLEST MEANS POSSIBLE (SEE MASONRY CLEANING ABOVE). NEW STUCCO / PARGING SHALL BE INSTALLED WHERE EXISTING STUCCO / PARGING HAS BEEN REMOVED, AND AS INDICATED ON THE DRAWINGS, INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S HIGHEST RECOMMENDATIONS USING ALL ASSOCIATED COMPONENTS FOR FLASHING, PENETRATIONS, ETC. STUCCO / PARGING SHALL BE INSTALLED ON MASONRY JAMB SURFACES OF NEW DOOR AND WINDOWS OPENINGS UP TO THE WINDOW / DOOR UNIT. NEW STUCCO / PARGING SHALL MATCH EXISTING IN TEXTURE AND COLOR. NEW STUCCO / PARGING SHALL BE A THREE-COAT SYSTEM (SCRATCH COAT, BROWN COAT AND FINISH COAT) WITH A GLASS FIBER REINFORCED LATH. BASIS-OF-DESIGN IS "SENERGY" BRAND, "SENERGY SENTRY STUCCO WALL SYSTEM PERMALATH 1000" WITH PRE-MIXED "SENTRY STUCCO BASE" AND "SENERLASTIC" FINISH COAT WITH TEXTURE TO MATCH EXISTING. CONTROL JOINTS TO BE ALIGNED WITH OPENINGS.
- AR. GYPSUM BOARD: SEE PARTITION SCHEDULE. MOLD & MOISTURE RESISTANT GYPSUM BOARD IN ALL WET AREAS - RESTROOMS, KITCHENS, LAUNDRY, BASEMENTS.

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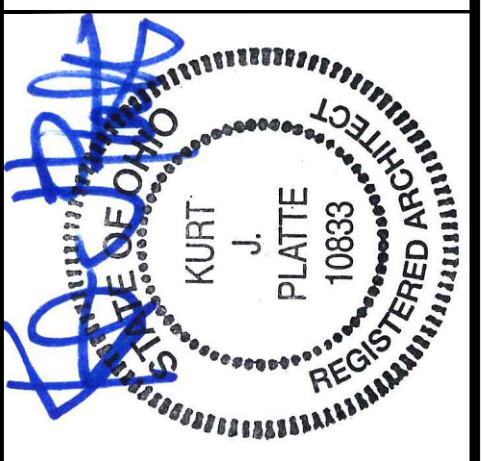
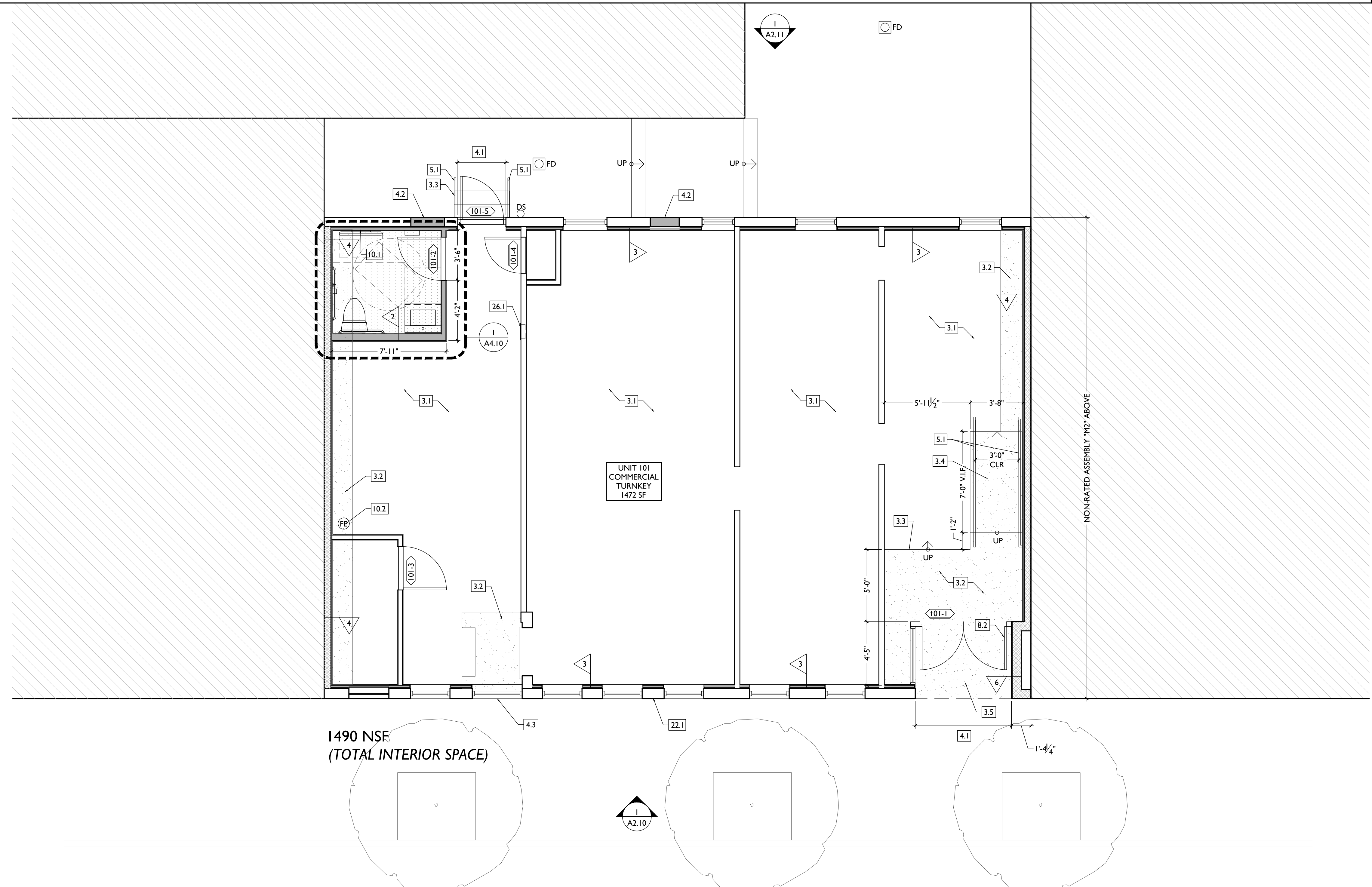
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**A1.00**

- 3. CONCRETE**
- 3.1 SLAB TO REMAIN. SCOPE & VERIFY FLOOR DRAINS CONNECT TO SEWER. REPAIR AS REQUIRED.
- 3.2 NEW CONCRETE SLAB. CONTROL JOINTS PER STRUCTURAL DWG.
- 3.3 NEW CONCRETE STEPS. SEE CIVIL.
- 3.4 NEW CONCRETE RAMP. MAX SLOPE 1:12.
- 3.5 NEW CONCRETE ENTRY. SLOPE AWAY FROM BLDG AT 1:48 MAX. SEE CIVIL DWG FOR GRADING.
- 4. MASONRY**
- 4.1 NEW OR EXPANDED OPENING IN EXG MASONRY WALL (SEE STRUCTURAL DWGS):
  - A. PROVIDE NEW STEEL LINTEL.
- 4.2 NEW CMU INFILL. FACE FLUSH WITH ADJACENT WALL.
- 4.3 EXG DOOR OPENING TO BECOME NEW WINDOW OPENING. INFILL WITH W/SALVAGED BRICK AND NEW CAST STONE SILL TO MATCH EXG ADJACENT WINDOW OPENINGS.
- 5. METALS**
- 5.1 NEW CONTINUOUS STEEL PIPE HANDRAIL AT 36" A.F.F. SEE DETAILS.
- 6. WOOD, PLASTICS, AND COMPOSITES**
- 6.1 NOT USED.
- 7. THERMAL AND MOISTURE PROTECTION**
- 7.1 NEW PRE-FINISHED GUTTER & DOWNSPOUT. SEE EXTERIOR ELEVATIONS. TIE INTO EXISTING SEWER SYSTEM.
- 7.2 NEW PVC AT LOWER 6" OF DOWNSPOUT. PAINT TO MATCH DOWNSPOUT.
- 7.3 NEW FULLY ADHERED MEMBRANE ROOF W/ CRICKETS WHERE REQUIRED FOR POSITIVE DRAINAGE AND WATERIMINATION BARS & METAL COUNTERFLASHING - SEE ROOF DETAILS. INSULATION PER SCHEDULE B.O.D - 60 MIL WHITE TPO. FULLY ADHERED ROOF SYSTEM. 20 YEAR WARRANTY, BY CARLISLE SYNTEC, CARLISLE, PA. OR EQUIVALENT.
- 7.4 NEW ATTIC ROOF VENT.
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- 8.1 EXG WINDOW AND FRAME TO BE REMOVED ENTIRELY. BACK TO MASONRY OPG.
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- 10.1 PROVIDE BLOCKING FOR WALL-MOUNTED CHANGING STATION. SEE INTERIOR ELEVATIONS.
- 10.2 FIRE EXTINGUISHER. COORDINATE FINAL LOCATION WITH LOCAL FIRE MARSHAL. SURFACE MOUNTED.
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- 23.1 MECHANICAL UNIT(S) - INSTALL ON RUBBER PADS TO PROTECT MEMBRANE AND PROVIDE SOUND ISOLATION. WALL CAVITY FOR EXHAUST DUCT - COORDINATE W/ MECHANICAL DWGS.
- 26. ELECTRICAL**
- 26.1 ELECTRIC PANEL RECESSED IN WALL W/ 30"W X 36"D CLEAR IN FRONT. PAINT TO MATCH ADJACENT WALL W/ APPROPRIATE PAINT TYPE FOR PANEL.
- 26.2 NEW EXTERIOR LIGHTING. NO EXPOSED CONDUIT ON FACE OF BUILDING.
- 32. EXTERIOR IMPROVEMENTS**
- 32.1 NOT USED.

- PARTITION TYPE - SEE A6.00.
- KEYNOTE.
- EXISTING WALL.
- NEW PARTITION WALL.
- NEW MASONRY WALL.
- OBJECT OVERHEAD.
- 1-HR FIRE RATING.
- 2-HR FIRE RATING.
- NEW FLOOR & FRAMING TO MATCH ADJ - SEE STRUCT DWGS.
- NEW GYP BD SOFFIT/ BULKHEAD/ DROPPED CLG - SEE RCPS.
- AREA OF ATYPICAL FIRE-RATED ASSEMBLY ABOVE. SEE A0.01 & A6.01.
- AREA OF TUCKPOINTING - SEE ELEVS & STRUCT DWGS.
- DOOR TAG. SEE SCHEDULE / A6.10-13.
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KURT PLATTE 10833  
EXP DATE 12.31.2021

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CO, JK, MR, MR, RK, RO, SO, TB  
Drawn by:  
RO, AM

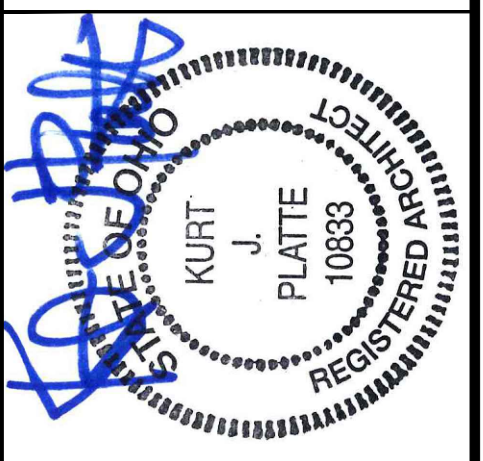
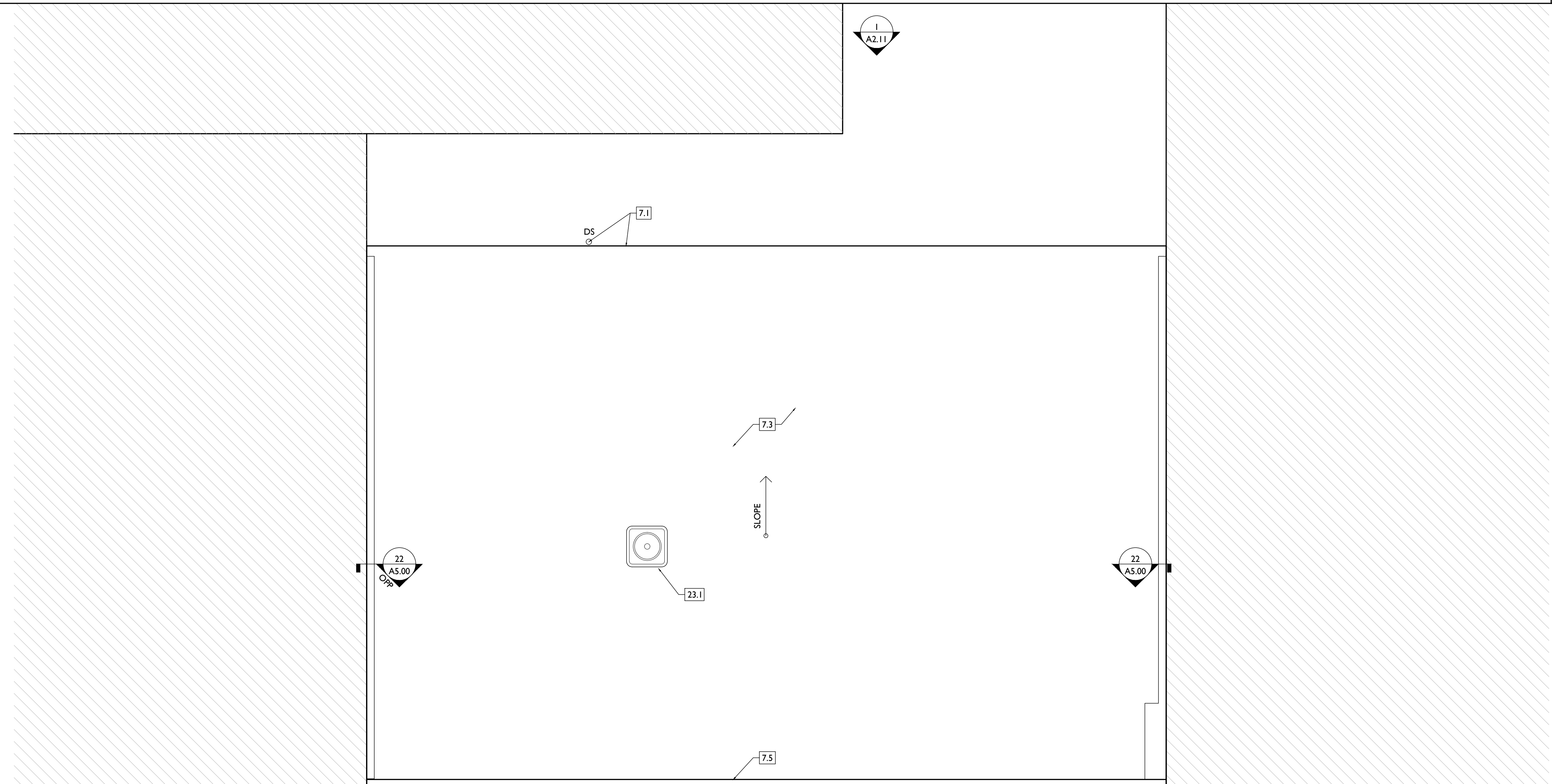
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**RENOVATION FOR  
6 W ELDER ST.**  
CINCINNATI, OH, 45202  
FINDLAY FLATS

Job No: 22042      8/10/2022

**AI.II**

- 3. CONCRETE**
- 3.1 SLAB TO REMAIN. SCOPE & VERIFY FLOOR DRAINS CONNECT TO SEWER. REPAIR AS REQUIRED.
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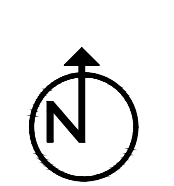
Revisions

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Drawn by:  
RO, AM

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**AI.12**



SYMBOL	FIXTURE TYPE	REMARKS
SM1	SURFACE MOUNT LED CAN LIGHT	SM1 - GENERAL LIGHTS. PROVIDE DIMMERS IN RESIDENTIAL UNITS.
SM2		SM2 - DAMP RATED, TYPICAL IN SHOWERS.
SM3		SM3 - ALWAYS ON, TYPICAL IN COMMON STAIRHALLS.
SM13	SURFACE MOUNT ENTRY LIGHT	STAIR HALL ENTRY VESTIBULE, 1ST FLOOR ONLY
SM8	SURFACE MOUNT LINEAR LED	TYPICAL IN COMMERCIAL TURNKEY SPACES
ST1	SURFACE MOUNT UTILITY FIXTURE	TYPICAL IN ATTICS AND IN BASEMENTS
V1	WALL MOUNT VANITY LIGHT	V1 - TYPICAL OVER BATHROOM VANITIES IN TYPICAL RESIDENTIAL UNITS.
V2	WALL MOUNT VANITY LIGHT	V2 - TYPICAL ON SIDES OF BATHROOM VANITIES IN TYPICAL RESIDENTIAL UNITS.
TLI	SURFACE MOUNT TRACK LIGHT	DIMMABLE, TYPICAL IN COMMERCIAL TURNKEY SPACES AND IN LOBBIES
PI	SURFACE MOUNT PENDANT	TYPICAL OVER KITCHEN ISLANDS

REFLECTED CEILING PLAN FIXTURE LEGEND:

SYMBOL	FIXTURE TYPE	REMARKS
F1	CEILING FAN WITH LIGHT	SMALL FAN, TYPICAL IN BEDROOMS AND LIVING ROOMS
F2	CEILING FAN	LARGE FAN, TYPICAL IN BEDROOM AND LIVING ROOM
WM1	WALL MOUNT EXTERIOR LIGHT	EXTERIOR ARCHITECTURAL UP-DOWN LIGHT
WM5	WALL MOUNT EXTERIOR LIGHT	EXTERIOR ARCHITECTURAL GOOSENECK LIGHT
ES	EMERGENCY EGRESS LIGHT	EMERGENCY EGRESS EXIT SIGN
ESL	EMERGENCY EGRESS LIGHT	EMERGENCY EGRESS EXIT SIGN W/ LIGHTS
EF1	BATHROOM VENT	TYPICAL BATHROOM EXHAUST FAN/VENT

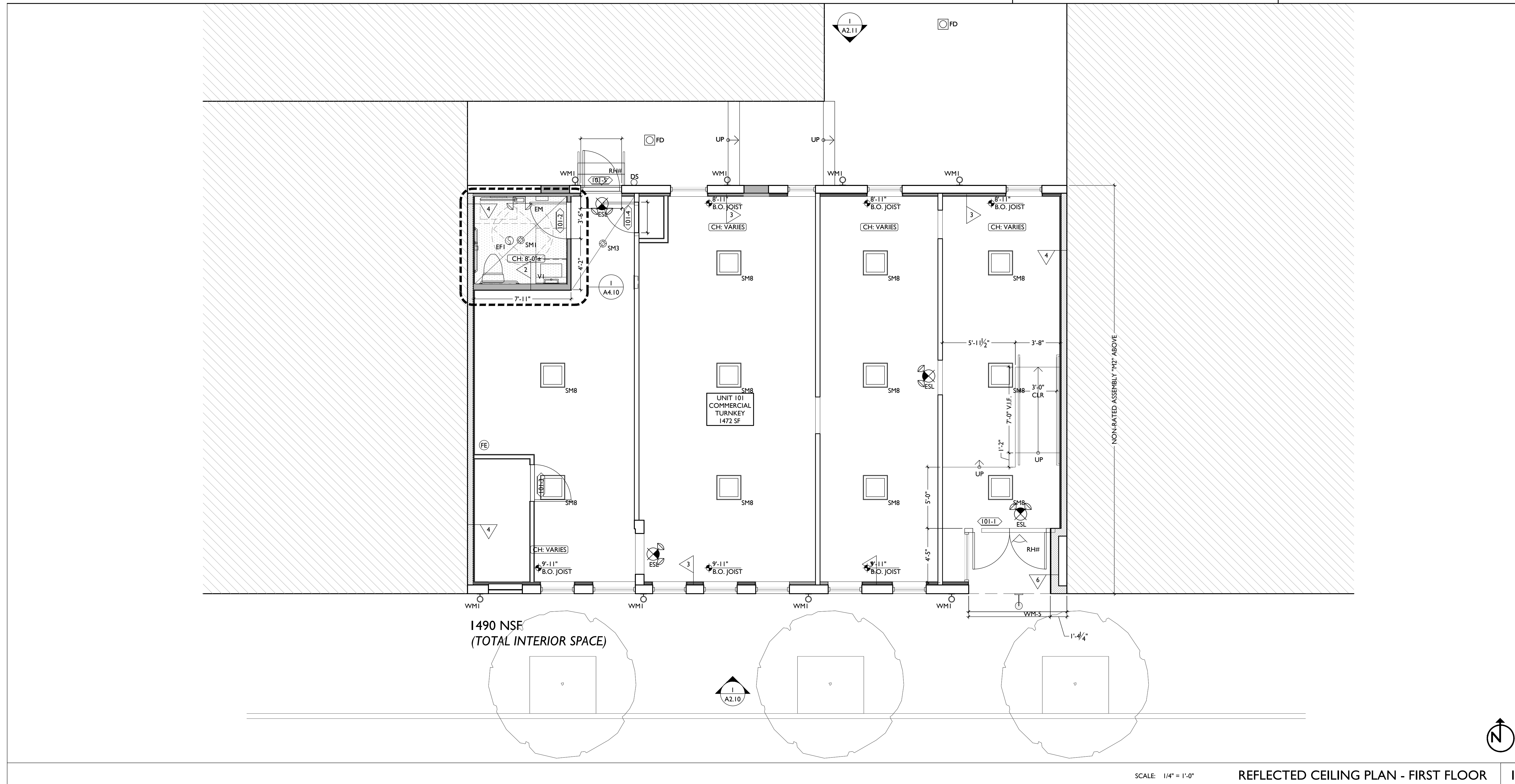
SYMBOL	FIXTURE TYPE	REMARKS
RH1	EMERGENCY EGRESS LIGHT	LED REMOTE HEAD EMERGENCY EGRESS LIGHT
EM	EMERGENCY EGRESS LIGHT	EMERGENCY EGRESS LIGHT WALL PACK

REFLECTED CEILING PLAN GENERAL NOTES:

- NOTE: THIS IS A HISTORIC TAX CREDIT PROJECT. ALL WORK MUST COMPLY W/ APPROVED PART 2, INCLUDING AMENDMENTS. NO HISTORIC ELEMENTS SHALL BE REMOVED/MODIFIED UNLESS SPECIFICALLY INDICATED IN ARCH DWGS.
- IF A FIXTURE APPEARS TO BE CENTERED IN A SPACE, THEN CENTER IT.
- LOWEDED CEILINGS AND SOFFITS SHALL BE 8'-0" HIGH A.F.F., U.N.O.
- CLG HTS AT EXG FLOORS ARE TO BE V.F.
- ALL CEILING FINISHES IN OCCUPIED SPACES TO BE SMOOTH PAINTED DRYWALL U.N.O. SEE FINISH SCHEDULE FOR PAINT COLORS.
- BASEMENTS & UNOCCUPIED ATTICS TO HAVE EXPOSED JOISTS - NO FINISH CLGS U.N.O.
- ALL SOFFITS OVER KITCHEN CABINETS TO BE 8'-0" AFF AND 2'-1 1/2" WIDE MINIMUM.
- PROVIDE UNDER-CABINET LIGHTING BENEATH ALL UPPER KITCHEN CABINETS IN RESIDENTIAL UNITS. SEE ELEC DWGS.
- SEE EXTERIOR ELEVATIONS FOR MOUNTING HEIGHTS OF EXTERIOR LIGHTS.
- SEE ELECTRICAL DRAWINGS FOR FIXTURE SPECIFICATIONS.
- ANY FIXTURES LOCATED IN AREAS WITH REMAINING HISTORIC TIN CEILINGS SHOULD BE CENTERED ON THE CEILING TILES, RATHER THAN PERFECTLY CENTERED IN THE SPACE. ADJUST THE GRID PLACEMENT/DIMENSIONS BY A FEW INCHES AS REQUIRED TO ACCOMMODATE THIS.

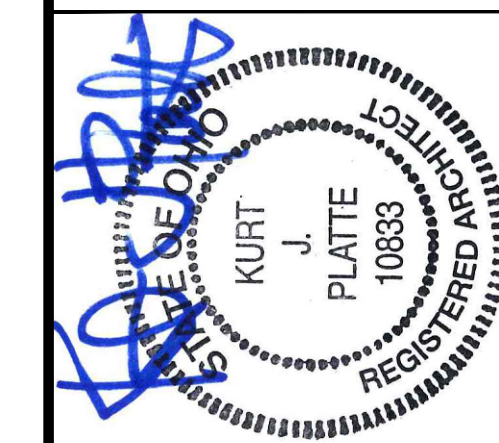
REFLECTED CEILING PLAN GRAPHIC KEY:

CH: 8'-0"	CEILING HEIGHT TAG (TYP 8'-0" U.N.O.)
---	SOFFIT/LOWEDED GYP BD CEILING
///	AREA OF ATYPICAL FIRE-RATING. SEE PLANS & SHEET A0.01
WC	WATER CURTAIN HEAD TO PROVIDE 100% COVERAGE OF WINDOW. COORD W/ F.P PLANS
(NL)	DENOTES NIGHT LIGHT FIXTURE
(OS)	DENOTES OCCUPANCY SENSOR
SD	COMBO SMOKE/CARBON MONOXIDE DETECTOR: IONIZATION (TYP BEDROOMS)
SDP	PHOTOELECTRIC
---	CENTER ON ARCHITECTURAL FEATURE
---	STRUCTURAL MEMBER - SEE STRUCTURAL DWGS



SCALE: 1/4" = 1'-0"

REFLECTED CEILING PLAN - FIRST FLOOR



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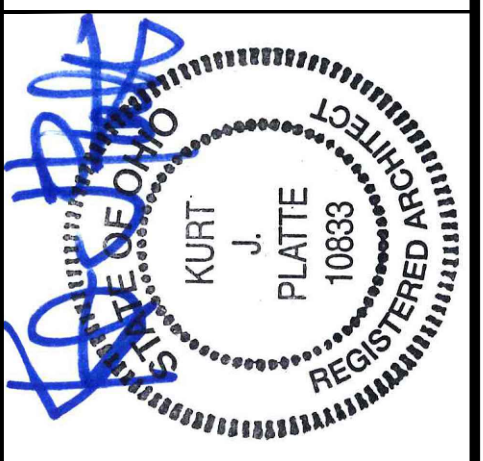
Job No: 22042 8/10/2022

**A1.21**

**PLATTE**  
architecture + design  
1810 CAMPBELL ALLEY, SUITE 300 | CINCINNATI, OH 45202  
WWW.PLATTEDESIGN.COM | T: 513.871.1850 | F: 513.871.1829

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- 3.1 SLAB TO REMAIN. SCOPE & VERIFY FLOOR DRAINS CONNECT TO SEWER. REPAIR AS REQUIRED.
- 3.2 NEW CONCRETE SLAB. CONTROL JOINTS PER STRUCTURAL DWG.
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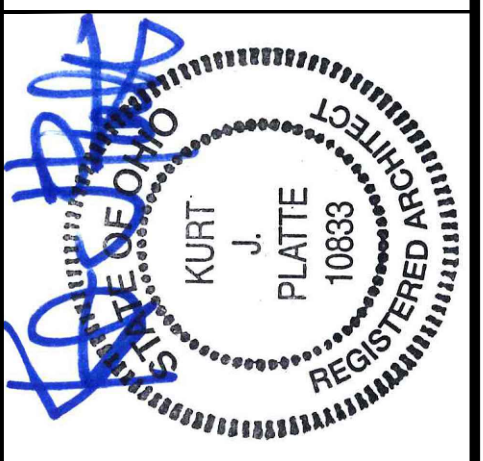
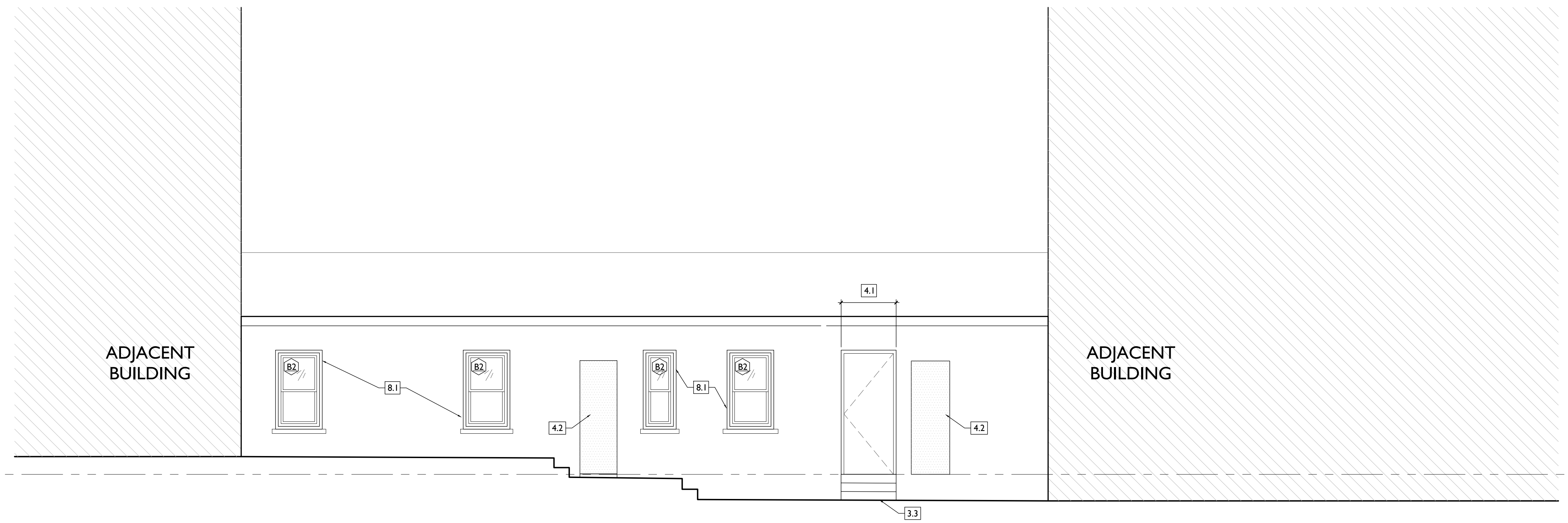
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**A2.10**

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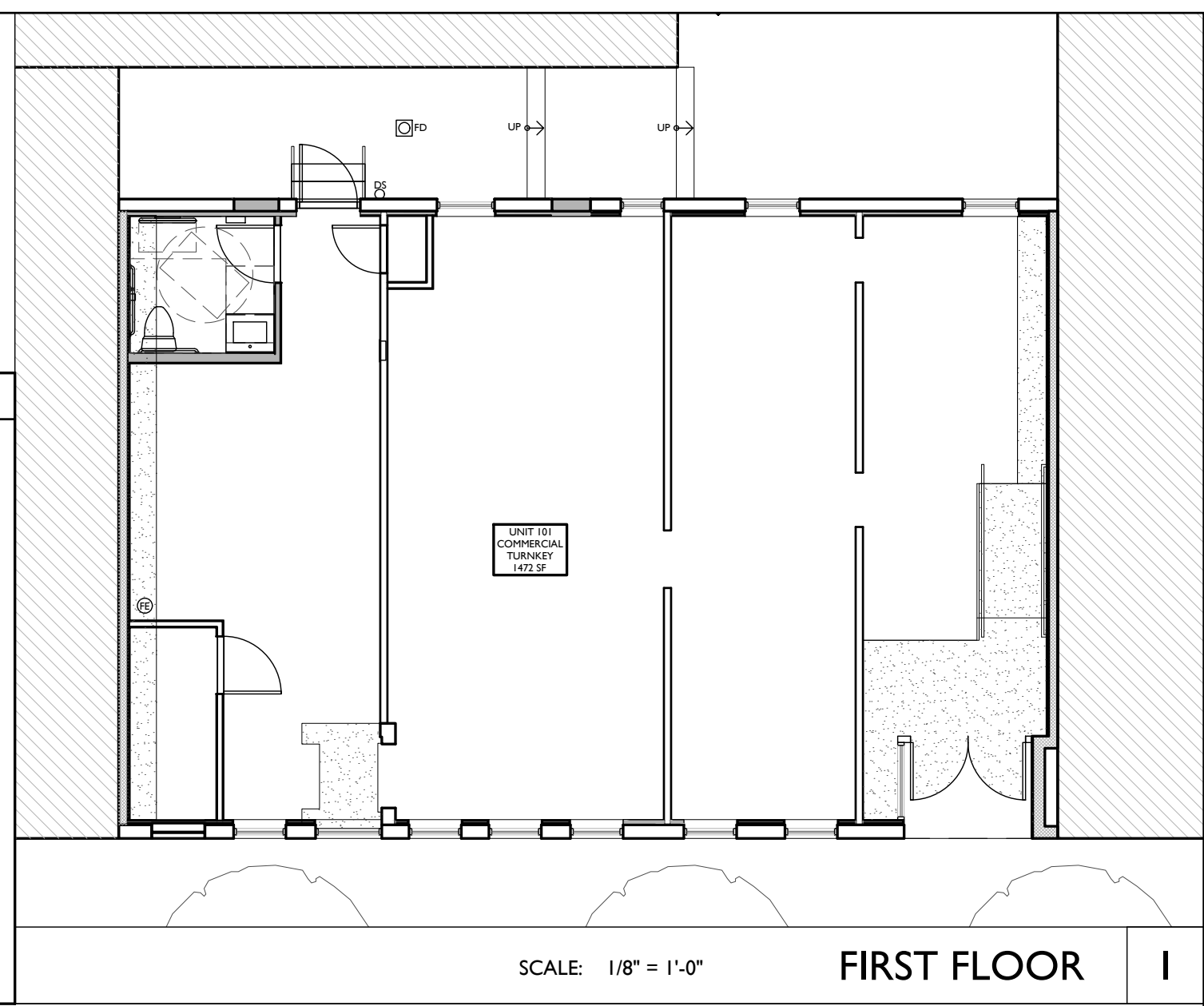
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**A2.11**

FLOOR GENERAL NOTES	FLOOR FINISH LEGEND (SEE FINISH SCHEDULES A4.00-A4.02 FOR DETAILS)
1. WHERE EXG. HEARTH TILE IS PRESENT, PROTECT AND MAINTAIN AS IS. 2. WHERE EXG. HEARTH IS CONCRETE, PATCH / PROVIDE SOME SKIM COAT, PAINT CONCRETE, COLOR TBD. 3. TRANSITION TYPES: 3.1. PROVIDE TRANSITION STRIPS WHERE CHANGES IN MATERIAL OCCUR. 3.2. PROVIDE NEW WOOD TRANSITIONS WHERE NEW WOOD FLOOR MEETS HISTORIC WOOD FLOOR. 3.3. WHERE FLOOR TILE TRANSITIONS TO WOOD PROVIDE ALUMINUM TILE EDGE, B.O.D BENGARD-SHUR-TRIM, THICKNESS TO BE DETERMINED IN THE FIELD.	



SCALE: 1/8" = 1'-0" **FIRST FLOOR** | I

**FINISH FLOOR PLANS**

TYPICAL UNIT FINISHES SCHEDULE				
MATERIAL / LOCATION	CODE	DESCRIPTION	NOTES	SOURCE
<b>FLOORING</b>				
EXISTING WOOD FLOORING - WHERE MAINTAINED	FL-1	MANU: EXISTING WOOD FLOORING FINISH: MINWAX STAIN COLOR: HEIRLOOM OAK MW441	STRIP, SAND AND STAIN PER MANUFACTURER'S SPECIFICATIONS	
NEW WOOD FLOORING - WHERE REQUIRED	FL-2	MANU: WOODWARD FLOORING FINISH: NATURAL WHITE OAK PLANK WIDTH: 3.25"	SEE FINISH PLANS FOR INSTALL DIRECTION.	
FLOOR TILE - BATHROOMS AND ADJACENT MEPLAUNDRY ROOMS	FL-3	MANU: FLORIDA TILE COLLECTION: ALUSTRA COLOR: REGAL BLACK - MATTE SIZE: 12 X 24 - 3/8" THICKNESS GROUT: LATICRETE - 45 RAVEN INSTALL: RUNNING BOND WITH 1/3 OFFSET	PROVIDE LIQUID APPLIED WATERPROOF MEMBRANE BELOW TILE AND FIRESTOP SEALANT AT FLOOR PENETRATIONS	FLORIDA TILE EMILY FISCHER EMILY.FISCHER@FLORIDATILE.COM 513.824.1791
VCT - MEPLAUNDRY ROOM FLOORS	FL-4	MANU: ARMSTRONG COLLECTION: EXCELON VCT COLOR: 51861 SOFT WARM GRAY	USE IN LAUNDRY AND MEP ONLY IF ROOM IS NOT ADJACENT TO BATHROOM. UNDERLAYMENT AS REQ'D.	PAUL MCKAY PAMCKAY@ARMSTRONGFLOORING.COM 513.515.0228
FLOOR TILE - KITCHENS WHERE REQUIRED	FL-5	MANU: FLORIDA TILE COLLECTION: AURA COLOR: LIGHT GRAY SIZE: 12 X 24 - 3/8" THICKNESS GROUT: LATICRETE, COLOR: 78 STERLING SILVER INSTALL: RUNNING BOND WITH 1/3 OFFSET	PROVIDE LIQUID APPLIED WATERPROOF MEMBRANE BELOW TILE AND FIRESTOP SEALANT AT FLOOR PENETRATIONS	FLORIDA TILE EMILY FISCHER EMILY.FISCHER@FLORIDATILE.COM 513.824.1791
<b>WALL TILE</b>				
TILE - SHOWER WALLS	WT-1	MANU: MOSA COLLECTION: COLORS SIZE: 6X6 COLOR: BEECH GLOSSY GROUT: MAPEI I1; COLOR: SAHARA BEIGE INSTALL: HORIZONTAL RUNNING BOND	BLACK SCHLUTER EDGE	LOUISVILLE TILE ROBYN VIDIC RVIDIC@LOUISVILLE-TILE.COM 513-276-4840
<b>PAINT</b>				
GENERAL PAINT - UNIT AND CORRIDOR WALLS AND CEILING	PT-1	MANU: PPG ARCHITECTURAL COATINGS COLOR: SILVER FEATHER - PPG 1002-1	WALL FINISH: SATIN CEILING FINISH: FLAT	
PAINT - UNIT TRIM	PT-2	MANU: PPG ARCHITECTURAL COATINGS COLOR: IN THE CLOUD - PPG 0999-1	BASE, TRIM, MILLWORK FINISH: SEMI-GLOSS	
PAINT - UNIT ENTRY DOORS CORRIDOR: HISTORIC MILLWORK & STAIR RISERS AS REQ'D PER BUILDING	PT-3	MANU: PPG ARCHITECTURAL COATINGS COLOR: THYME GREEN - PPG 1128-6	FINISH: SEMI-GLOSS	
PAINT - STAIR TREADS AND RAILING BALUSTER AS REQ'D PER BUILDING	PT-4	MANU: PPG ARCHITECTURAL COATINGS COLOR: LICORICE - PPG 1009-7	FINISH: SEMI-GLOSS	
<b>WALL BASE</b>				
HISTORIC WOOD BASE - WHERE ABLE TO RETAIN	WB-1	IN-UNIT: PT-2 STAIR HALL: PT-3	KEEP ALL HISTORIC BASE - REPAIR/RETAIN WHEN PRESENT. PATCH TO MATCH ADJACENT. CLEAN, SAND, AND PAINT.	
TILE BASE - BATHROOMS	WB-2	MANU: FLORIDA TILE COLLECTION: ALUSTRA COLOR: REGAL BLACK - MATTE SIZE: 12 X 24 - 3/8" THICKNESS GROUT: LATICRETE - 45 RAVEN	TILE CUT DOWN ON SITE TO 3 X 24" BLACK SCHLUTER EDGE	LOUISVILLE TILE ROBYN VIDIC RVIDIC@LOUISVILLE-TILE.COM 513-276-4840
TYPICAL NEW PAINTED WOOD BASE - WHERE REQUIRED.	WB-3	CONTRACTOR PROVIDED 1X6 POPLAR W/ TOE MOLDING IN-UNIT: PT-2 STAIR HALL: PT-3		

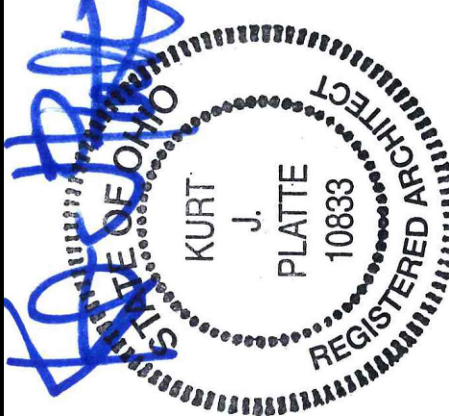
SOLID SURFACE				
QUARTZ - KITCHEN BACKSPLASH & COUNTERTOPS THROUGHOUT	SS-1	MANU: CORIAN - QUARTZ COLOR: CALCATA VILLA - 2CM	FULL BACKSPLASH, SEE ELEVATIONS	BRIAN FORTIN BRIAN.FORTIN@OVSCO.COM 513.582.2528
<b>CASEGOODS</b>				
CABINETS - IN UNITS/ COMMERCIAL RR	CG-1	MANUF: SMART CABINETS W/ PLYWOOD BOX DOOR STYLE: SUMMIT (SOLID WOOD) MAPLE, FULL OVERLAY FINISH: STAIN - ROOT BEER	DOOR PULLS - MANU: AMEROCK MONUMENT 5-1/16" CENTER TO CENTER CABINET PULL MODEL: BP36571FB FINISH: BLACK	SMART CABINetry SALES@SMARTCABINetry.COM 574.831.5010
<b>GLASS</b>				
GLASS SHOWER ENCLOSURE - UNIT BATHROOMS	GL-1	CELESTA FRAMELESS 3/8" GLASS SWING DOOR & PANEL SHOWER DOOR MODEL: CELA-935 GLASS: AQUA GLIDE GLASS FINISH: CHROME		
<b>OTHER</b>				
BLINDS		2" FAUX WOOD BLINDS AT ALL RESIDENTIAL UNITS, WHITE FINISH. VERIFY ALL LOCATIONS WITH OWNER		
UNIT ENTRY SIGNAGE		BECCIZY 4" L X 2.5" W FLOATING WALL MOUNT MODERN HOUSE NUMBER, BLACK. VERIFY ALL LOCATIONS WITH OWNER, COORDINATE LOCATIONS WITH ACCESSIBILITY REQUIREMENTS A117.1-2009	FINAL LOCATION TO BE DETERMINED BY OWNER	AMAZON https://tinyurl.com/mr37xwcn

BATHROOM EQUIPMENT SCHEDULE				
CODE	ITEM	MANUFACTURER & PRODUCT #	MOUNTING HEIGHT	REMARKS
A	GRAB BARS	MANU: BOBRICK LINE 6-5806X18 SIZE: (18") X 36 (36") & 42 (42")	PER ELEVATIONS & ACCESSIBILITY REQUIREMENTS	COMMERCIAL BATHROOM
B	DIAPER CHANGE STATION	MANU: KOALA KARE MODEL: KB200-SS HORIZONTAL WALL MOUNTED FINISH: GREY 01	48" A.F.F. MAX MOUNTING HEIGHT TO T.O. STATION. WORKSURFACE WHEN OPEN TO BE 34" MAX - 28" MIN.	COMMERCIAL BATHROOM
C1	MEDICINE CABINET	RECESSED: MANU: KOHLER 16"x20" SINGLE DOOR REVERSIBLE HINGE FRAMELESS MIRRORED MEDICINE CABINET MODEL: K-CB-CLR1620FS	PER ELEVATIONS	UNIT BATHROOMS
C2		SURFACE MOUNTED: RANGAIRE SURFACE MOUNT 16"x22" SINGLE DOOR MEDICINE CABINET WITH REVERSIBLE DOOR SWING MODEL: 4565MX		
D	PAPER TOWEL DISPENSER	ASI TRADITIONAL PAPER TOWEL DISPENSER MULTI, C-FOLD, SURFACE MOUNTED BLACK MODEL: ASI 0210-41	PER ACCESSIBILITY REQUIREMENTS, 48" MAX TO HIGHEST OPERABLE PART	COMMERCIAL BATHROOM
E1	TOILET TISSUE DISPENSER	HARNEY HARDWARE COLLECTION: CLEARWATER TOILET PAPER HOLDER FINISH: MATTE BLACK PRODUCT #10220	PER ELEVATIONS & ACCESSIBILITY REQUIREMENTS	UNIT/COMMERCIAL BATHROOMS
E2	TOWEL HOOK	HARNEY HARDWARE COLLECTION: CLEARWATER 24" TOWEL BAR FINISH: MATTE BLACK PRODUCT #10222	48" A.F.F.	UNIT BATHROOMS
E3	ROBE HOOK	HARNEY HARDWARE COLLECTION: CLEARWATER ROBE HOOK FINISH: MATTE BLACK PRODUCT # 10218"	48" A.F.F.	UNIT/COMMERCIAL BATHROOMS
F	MIRROR	MANU: NUTYPE (HOME DEPOT) COLLECTION: MEDIUM RECTANGLE BLACK SHELVES AND DRAWERS MODERN MIRROR SIZE: 24 X 36 FINISH: BLACK	PER ELEVATIONS & ACCESSIBILITY REQUIREMENTS	UNIT/COMMERCIAL BATHROOM

SCALE: 3/8" = 1'-0" **FINISH SCHEDULE** | I

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Revisions

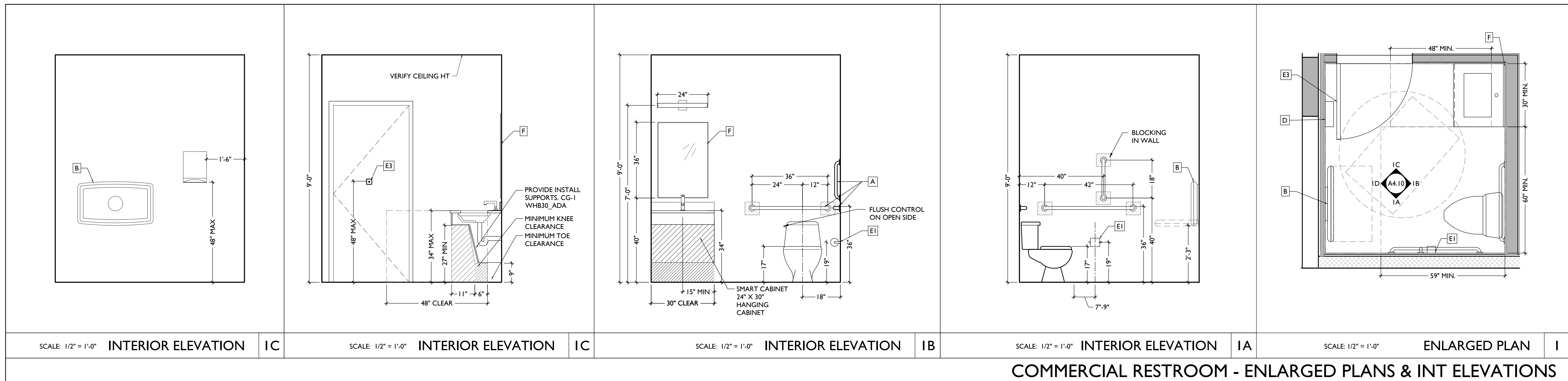
Design Team:  
CO, JK, MR, RK, RO, SO, TB  
Drawn by:  
RO, AM

PROPOSED PROJECT:  
**RENOVATION FOR  
6 W ELDER ST.**  
CINCINNATI, OH, 45202  
FINDLAY FLATS

Job No: 22042 8/10/2022

**A4.00**

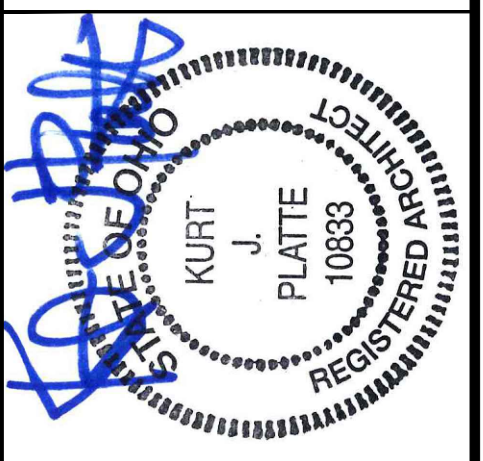




COMMERCIAL RESTROOM - ENLARGED PLANS & INT ELEVATIONS

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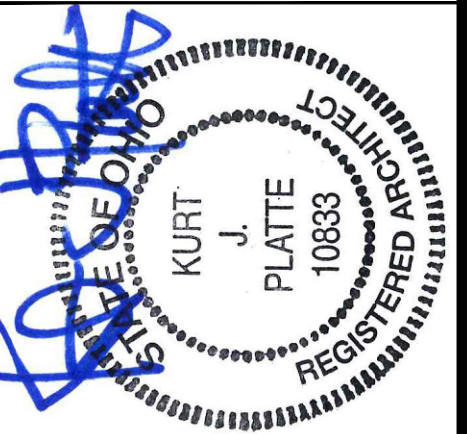
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**A4.10**

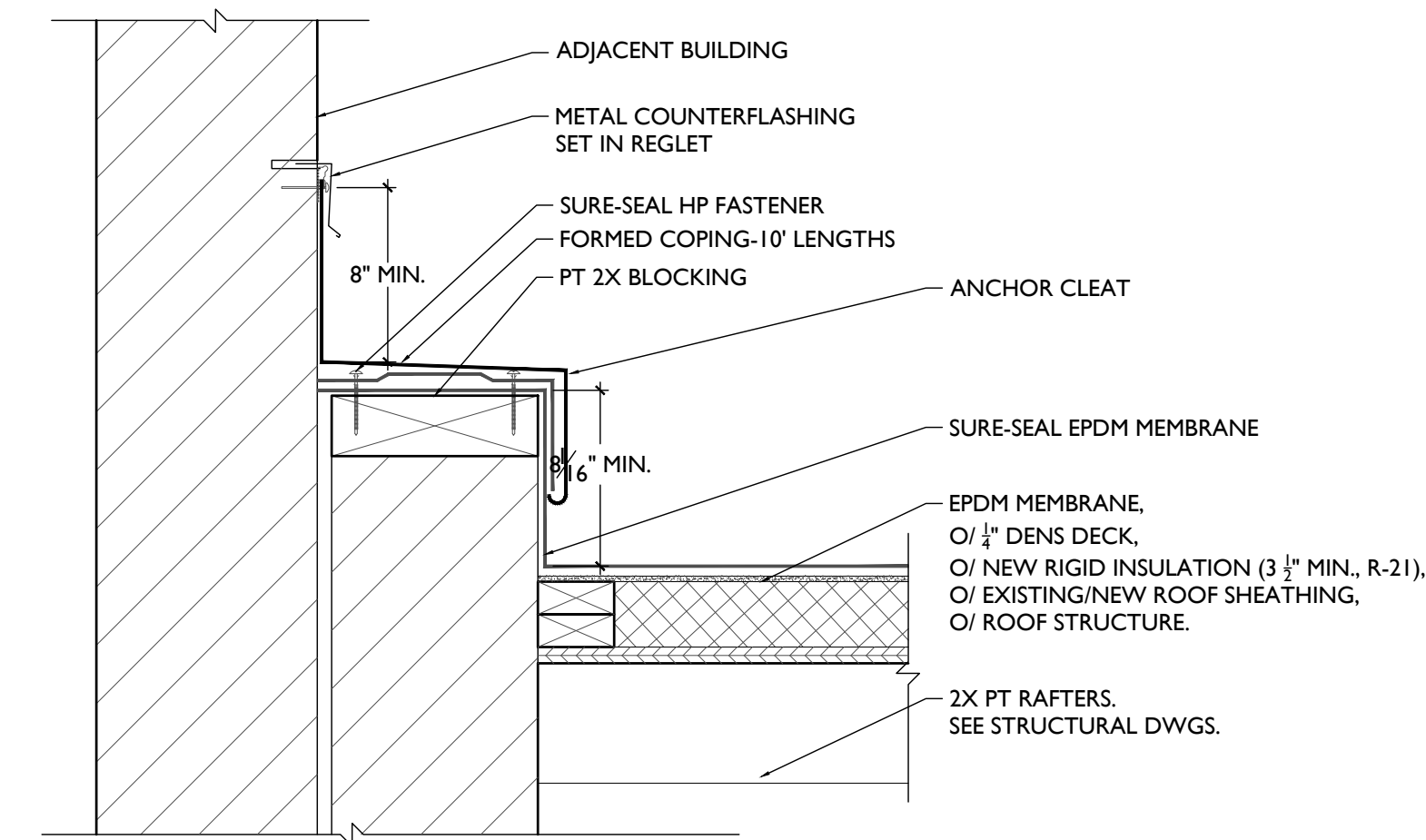


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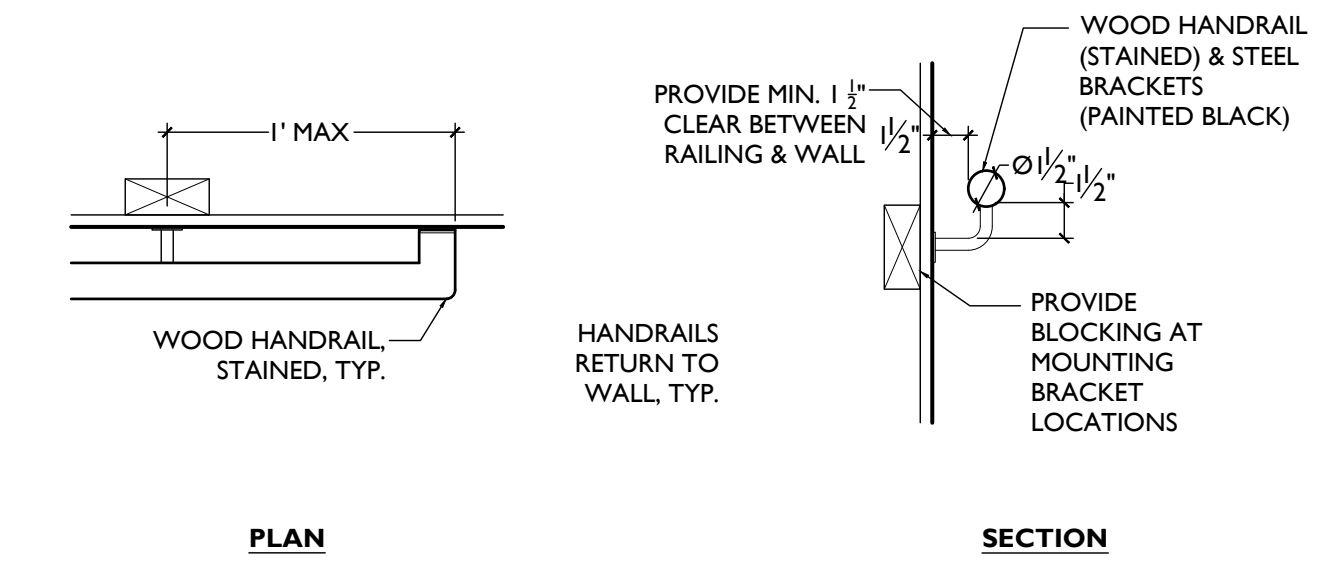
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Revisions

Design Team:  
 CO, JK, MR, MR, RK, RO, SO, TB  
 Drawn by:  
 RO, AM



SCALE | 1/2"=1'-0" STEPPED PARAPET FLASHING 22



SCALE | 1/2"=1'-0" HANDRAIL 5

TYPICAL DETAILS

PROPOSED PROJECT:  
 RENOVATION FOR  
**6 W ELDER ST.**  
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**A5.00**

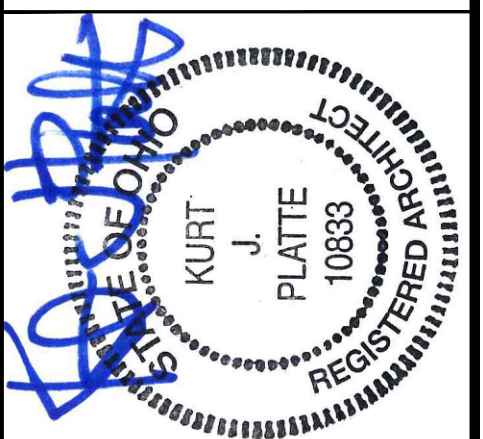
# WALL ASSEMBLIES/ PARTITION TYPES

## KEYED NOTES:

1. FINISHED FLOOR - SEE FINISH SCHEDULE
2. SCHEDULED BASE - SEE FINISH SCHEDULE
3. WOOD WALL FRAMING
  - 3.1. 2X4 WALL FRAMING @ 16" O.C.
  - 3.2. 2X6 WALL FRAMING @ 16" O.C.
  - 3.3. EXG. FRAMED WALL
4. MASONRY WALL
  - 4.1. EXISTING MASONRY WALL (SEAL WHERE EXPOSED)
  - 4.2. 8" CMU
  - 4.3. 4" CMU
  - 4.4. BRICK VENEER
5. METAL WALL FRAMING (NEW OR EXG)
  - 5.1. 1 5/8" METAL STUD FURRING @ 16" O.C.
  - 5.2. 3 5/8" METAL STUD @ 16" O.C.
  - 5.3. 6" METAL STUD @ 16" O.C.
  - 5.4. 7/8" HAT CHANNEL @ 16" O.C.
6. GYPSUM BOARD
  - 6.1. EXG. GYP/PLASTER
  - 6.2. 1/2"
  - 6.3. 5/8" GYP.
  - 6.4. 5/8" TYPE X
  - 6.5. 1" NOMINAL GYP. LINER
  - 6.6. 1/2" TYPE
7. AIR GAP AS REQUIRED PER ASSEMBLY TYPE
8. INSULATION PER SCHEDULE
9. RESILIENT CHANNELS
  - 9.1. 1/2" METAL CHANNELS @ 24" O.C. RUN HORIZONTAL
  - 9.2. 3/8" METAL CHANNELS @ 16" O.C. RUN HORIZONTAL
10. EXG. WALL
  - 10.1. J-TRACK
  - 10.2. C-H STUD
  - 10.3. 2 1/2" C-H @ 24" O.C.
  - 10.4. 4" C-H @ 24" O.C.
11. FLR/CLG FRAMING
  - 11.1. RATED ASSEMBLY TO BE CONTINUOUS TO RATED PARTITION OR WALL. REFER TO FLR/CLG ASSEMBLIES AND RATING DIAGRAMS FOR DTLs
  - 11.2. EXTEND RATED ASSEMBLY TO UNDERSIDE OF FLOOR SHEATHING ABOVE
  - 11.3. WALL STRUCTURE TO BE INDEPENDENT OF AND CONTINUE THROUGH FLR/CLG ASSEMBLY. SEE STRUCTURAL FOR FRAMING OF FLR/CLG ASSEMBLY. SEE FLR/CLG ASSEMBLIES AND RATING DIAGRAMS FOR FLR/CLG ASSEMBLY DTLs.
  - 11.4. FRAMING TO BEAR ON FLOOR OF EQUAL RATING. SEE FLR/CLG ASSEMBLIES AND RATING DIAGRAMS.
  - 11.5. SEE FLR/CLG ASSEMBLIES AND RATING DIAGRAMS FOR HORIZONTAL ASSEMBLY DTLs
12. HARDIE BOARD SIDING
13. 1/2" OSB SHEATHING WITH INTEGRAL AIR/MOISTURE BARRIER

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Drawn by:  
RO, AM

# ASSEMBLY & PARTITION GENERAL NOTES

## GENERAL NOTES:

- A. ALL MOISTURE RESISTANT DRYWALL TO BE PAPERLESS BOARD OR EQUIVALENT, AND TO BE USED ON ALL VERTICAL AND HORIZONTAL SURFACES THAT ARE WITHIN FOUR FEET OF ANY WATER SOURCES, IE. SHOWERS/TUBS, SINKS, WATER HEATERS, CLOTHES WASHER, ETC.
- A.A. B.O.D. MOISTURE RESISTANT DENSGLASS, PROVIDE FIRE RATINGS AS INDICATED ON PLANS AND PARTITIONS/ASSEMBLIES
- B.

TYPICAL INTERIOR PARTITION WALL   1	TYPICAL PLUMBING WET WALL   2	FURRING AT EXG WALLS   3	PLUMBING FURRING AT EXG WALLS   4	CHASE WALL   5	CHASE WALL   6
N/A   GYP/UL #   NON RATED   RATING	N/A   GYP/UL #   NON RATED   RATING	N/A   GYP/UL #   NON RATED   RATING	N/A   GYP/UL #   NON RATED   RATING	N/A   GYP/UL #   NON RATED   RATING	N/A   GYP/UL #   NON RATED   RATING
NOTES: -PROVIDE PT. SILL PLATE IN BASEMENT	NOTES: - PROVIDE MOISTURE RESISTANT DRYWALL ON BATHROOM/KITCHEN SIDE -PROVIDE PT. SILL PLATE IN BASEMENT	NOTES: - PROVIDE MOISTURE RESISTANT DRYWALL ON BATHROOM/KITCHEN SIDE -PROVIDE PT. SILL PLATE IN BASEMENT	UL #: NOTES: - PROVIDE MOISTURE RESISTANT DRYWALL ON BATHROOM/KITCHEN SIDE -PROVIDE PT. SILL PLATE IN BASEMENT	UL #: NOTES: - PROVIDE MOISTURE RESISTANT DRYWALL ON BATHROOM/KITCHEN SIDE -PROVIDE PT. SILL PLATE IN BASEMENT	NOTES: - PROVIDE MOISTURE RESISTANT DRYWALL ON BATHROOM/KITCHEN SIDE -PROVIDE PT. SILL PLATE IN BASEMENT
EXG. 1HR RATED BARRIER   7	EXG. 2HR RATED BARRIER   8	NEW 1HR RATED BARRIER   9	NEW 2HR RATED BARRIER   10	NEW 1HR SHAFTWALL   11	NEW 2HR SHAFTWALL   12
PERSCRPTIVE_FIRE BARRIER   GYP/UL #   1-HR   RATING	PERSCRPTIVE_FIRE BARRIER   GYP/UL #   2-HR   RATING	U309 - FIRE BARRIER   GYP/UL #   1-HR   RATING	U301 - FIRE BARRIER   GYP/UL #   2-HR   RATING	U419 A- FIRE BARRIER   GYP/UL #   1-HR   RATING	U415 B- FIRE BARRIER   GYP/UL #   2-HR   RATING
FIRE RATING = 50 MIN EXG (20 MIN STUD (16" O.C.) + 30 MIN EXG FINISH (5/8" EXG PLASTER) + 40 MIN NEW (5/8" TYPE X GYP BD) = 90 MIN TOTAL FIRE RATING	FIRE RATING = 50 MIN EXG (20 MIN STUD (16" O.C.) + 30 MIN EXG FINISH (5/8" EXG PLASTER) + 80 MIN NEW (2 LAYERS TYPE X GYP BD @ 40 MIN EA) = 120 MIN TOTAL FIRE RATING - BA - ADD 1/2" RESILIENT CHANNELS 1 SIDE	TYPICAL AT STAIRS	TYPICAL AT STAIRS - 10A - NO RESILIENT CHANNELS		

NOTE: SEE TABLES 721.1(2) AND 722.6 FOR PRESCRIPTIVE FIRE RATINGS. PER 721.1(2) EXCEPTION "E", PLASTER MAY BE SUBSTITUTED FOR GYPSUM WALLBOARD PROVIDED IT IS THE SAME SIZE/THICKNESS/CORE TYPE.

## INSULATION SCHEDULE

LOCATION	TYPE	R-VALUE	NOTES
MECHANICAL CLOSET WALLS	SOUND ATTENUATION BATT	-	FILL STUD CAVITY
BATHROOM WALLS	SOUND ATTENUATION BATT	-	FILL STUD CAVITY
PLUMBING CHASE WALLS	FIBERGLASS BATTS STAPLED TO STUDS	R-13 MIN.	CONTINUOUS PIPE INSULATION AT ALL PLUMBING LINES
BETWEEN OFFICE TENANT SPACES	SOUND ATTENUATION BATT	-	FILL CAVITY
BETWEEN DWELLING UNITS	SOUND ATTENUATION BATT	-	FILL CAVITY
FURRING AT EXTERIOR WALLS	SPRAY-APPLIED CELLULOSE	-	FILL CAVITY
STAIR HALL ENCLOSURE WALLS	SOUND ATTENUATION BATTS	-	FILL CAVITY & COORD W/ FIRE-RATING & UL ASSEMBLY
STAIR HALL ENCLOSURE WALLS AT UNCONDITIONED ATTIC	BLOWN-IN CELLULOSE OR FIBERGLASS BATTS	R-19 MIN.	FILL CAVITY
CLG BETWEEN ATTIC FLOOR AND OCCUPIED UNIT BELOW	BLOWN-IN CELLULOSE OR FIBERGLASS BATTS	R-38	INSULATION BETWEEN JOISTS
CEILING BETWEEN BASEMENT/RESIDENTIAL	CLOSED CELL SPRAY FOAM	R-30	COORD W/ UL ASSEMBLY & FIRE RATING
ATTIC CEILING	NONE REQ	---	REQ INSULATION PROVIDED @ ATTIC FLOOR
CEILING OF OCCUPIED ATTIC	CLOSED CELL SPRAY FOAM	R-38	
CEILING B/W BREEZEWAY/OCCUPIED SPACE	FIBERGLASS BATTS	R-30 MIN.	FILL CAVITY & COORD W/ FIRE-RATING & UL ASSEMBLY
CEILING B/W TWO SEPARATE OCCUPIED RESIDENCES	SOUND ATTENUATION BATT	6" MIN SOUND BATT	COORD W/ UL ASSEMBLY & FIRE RATING
CEILING B/W FLOORS OF SAME RESIDENCE	SOUND ATTENUATION BATTS	6" MIN SOUND BATT	

NOTES: COORDINATE ALL W/ FIRE RATING & U.L. ASSEMBLY.

2017 OHIO BUILDING CODE  
721 PRESCRIPTIVE FIRE RESISTANCE - TABLE 720.1 (2) RATED FIRE-RESISTANCE FOR WALLS

MATERIAL	ITEM NUMBER	MIN. EQUIV. THICKNESS / RATING
1. CLAY OR SHALE BRICK; SOLID BRICK	1-1.1	4.9" 3 HR
2. CONCRETE MASONRY UNIT	3-1.2	4.4" 3.6" 2.6"

EXG. MASONRY WALL   13	NEW 1HR RATED UNIT SEPERATION   14	FURRING AT EXG WALLS   15
PERSCRPTIVE - FIRE BARRIER   GYP/UL #   2-HR   RATING	U309 - FIRE PARTITIONS   GYP/UL #   1-HR   RATING	N/A   GYP/UL #   NON RATED   RATING
FIRE RATING = 3.8" MIN EXG. SOLID BRICK= 2HR MIN	TYPICAL UNIT SEPERATION/CORRIDOR WALLS	NOTES: - PROVIDE MOISTURE RESISTANT DRYWALL ON BATHROOM/KITCHEN SIDE -PROVIDE PT. SILL PLATE IN BASEMENT

SCALE: 1" = 1'-0"

ASSEMBLY TYPES

PROPOSED PROJECT:  
RENOVATION FOR  
**6 W ELDER ST.**  
CINCINNATI, OH, 45202  
FINDLAY FLATS

Job No: 22042 8/10/2022

**A6.00**

## TYPICAL FLOOR/CEILING/SHAFT ASSEMBLIES (LABELED ON PLANS AND SECTION DIAGRAM ON SHEET A0.01)

FLR/CLG ASSEMBLY A		FLR/CLG ASSEMBLY B		I-HR FLR/CLG MEMBRANE C		I-HR FLR/CLG DWELLING SEPERATION D		2 HR FLR/CLG CORRIDOR/USE GROUP SEP. E	
N/A   GYP/UL #   NON RATED   RATING		N/A   GYP/UL #   NON RATED   RATING		GA-FC-5406   GYP/UL #   I-HR   RATING		UL#LS14   GYP/UL #   I-HR   RATING		UL#LS05 -OR- LS11   GYP/UL #   2-HR   RATING	
NOTES: PROVIDE MOISTURE RESISTANT DRYWALL IN BASEMENTS		NOTES: PROVIDE MOISTURE RESISTANT DRYWALL IN BASEMENTS		NOTES: -PROTECTION PROVIDED FROM UNDERSIDE -PROVIDE MOISTURE RESISTANT DRYWALL IN BASEMENTS		NOTES: PROVIDE MOISTURE RESISTANT DRYWALL IN BASEMENTS + EXTERIOR SOFFIT BOARD EXTERIOR APPLICATIONS		NOTES: PROVIDE MOISTURE RESISTANT DRYWALL IN BASEMENTS + EXTERIOR SOFFIT BOARD IN EXTERIOR APPLICATIONS	
2-HR FLR/CLG MEMBRANE F		FLR/CLG ASSEMBLY G		I-HR FLR/CLG MEMBRANE H		2-HR FLR/CLG MEMBRANE J			
GA-FC-5725   GYP/UL #   2-HR   RATING		GYP/UL #   NON RATED   RATING		UL #LS14   GYP/UL #   I-HR   RATING		UL #LS05 -OR- LS11   GYP/UL #   2-HR   RATING			
NOTES: -PROVIDES PROTECTION FROM UNDERSIDE -PROVIDE MOISTURE RESISTANT DRYWALL IN BASEMENTS				NOTES: - PROVIDE MOISTURE RESISTANT DRYWALL IN BASEMENTS + EXTERIOR SOFFIT BOARD IN EXTERIOR APPLICATIONS - IF INDICATED IN PLAN KEYNOTES, REINSTALL HISTORIC TIN CEILING AT UNDERSIDE OF ASSEMBLY		NOTES: - PROVIDE MOISTURE RESISTANT DRYWALL IN BASEMENTS + EXTERIOR SOFFIT BOARD IN EXTERIOR APPLICATIONS - IF INDICATED IN PLAN KEYNOTES, REINSTALL HISTORIC TIN CEILING AT UNDERSIDE OF ASSEMBLY			

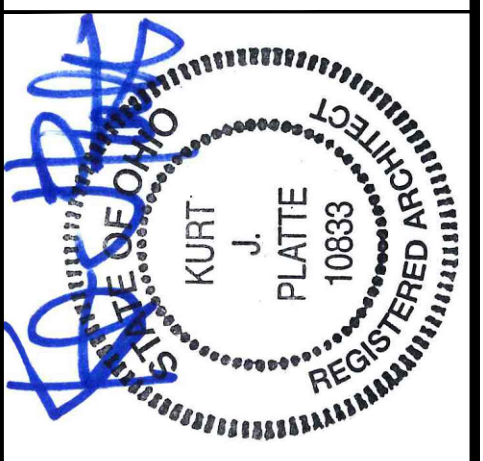
## TYPICAL ROOF ASSEMBLIES (LABELED ON PLANS AND SECTION DIAGRAM ON SHEET A0.01)

INSULATED MEMBRANE ROOF M1		UNINSULATED MEMBRANE ROOF M2		OUTBOARD INSULATED MEMBRANE ROOF M3		INSULATED METAL ROOF MT1		UNSULATED METAL ROOF MT2	
N/A   GYP/UL #   RATING		N/A   GYP/UL #   RATING		N/A   GYP/UL #   RATING		N/A   GYP/UL #   RATING		N/A   GYP/UL #   RATING	
NOTES: - USED WHERE TOP FLOOR IS OCCUPIED		NOTES: - USED WHERE ATTIC/INTERSTITIAL SPACE IS UNOCCUPIED - INSULATION TO BE PROVIDE AT CLG OF OCCUPIED SPACE BELOW		NOTES: - USED WHERE TOP FLOOR IS OCCUPIED		NOTES: - USED WHERE TOP FLOOR IS OCCUPIED		NOTES: - USED WHERE TOP FLOOR IS OCCUPIED	
UNINSULATED SHINGLE ROOF S1		INSULATED SHINGLE ROOF S2							
N/A   GYP/UL #   RATING		N/A   GYP/UL #   RATING							
		NOTES: - USED WHERE TOP FLOOR IS OCCUPIED. - COORDINATE W/ INSULATION SCHEDULE							

SCALE: 1/2" = 1'-0" ASSEMBLY TYPES

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KURT PLATTE 10633  
EXP DATE 12.31.2021

Progress Dates  
04.28.2023 - BID / PERMIT

Revisions

Design Team:  
CO, JK, MR, MR, RK, RO, SO, TB  
Drawn by:  
RO, AM

PROPOSED PROJECT:  
**RENOVATION FOR  
6 W ELDER ST.**  
CINCINNATI, OH, 45202  
FINDLAY FLATS

Job No: 22042 8/10/2022

**A6.01**

# HARDWARE SCHEDULE

HDWR	M	DESCRIPTION
<b>EXISTING DOORS TO REMAIN</b>		
H01	EXISTING TO REMAIN	EXISTING HARDWARE SET TO REMAIN
<b>NEW COMMERCIAL DOORS</b>		
H02	EXTERIOR COMMERCIAL DOOR (TYPICAL)	ENTRY LOCKSET • OUTSIDE KEYLOCK (LOCKED FROM OUTSIDE) • LEVER HANDLES • INSIDE KEYLOCK W/ SINGLE ACTION LEVER RELEASE MECHANISM RELEASES DEADBOLT WHEN INTERIOR HANDLE IS TURNED. MEETS EMERGENCY EGRESS REQUIREMENT. • 1 1/2 PAIR HINGES • (1) CLOSER • WALL/FLOOR STOP • WEATHER SEALS
H02B	EXTERIOR COMMERCIAL DOOR (DOUBLE)	ENTRY LOCKSET • OUTSIDE KEYLOCK (LOCKED FROM OUTSIDE) • LEVER HANDLES • INSIDE KEYLOCK W/ SINGLE ACTION LEVER RELEASE MECHANISM RELEASES DEADBOLT WHEN INTERIOR HANDLE IS TURNED. MEETS EMERGENCY EGRESS REQUIREMENT. • 2x(3) HINGES • (2) CLOSER • WALL/FLOOR STOP • WEATHER SEALS
H05	COMMERCIAL RESTROOM (SINGLE USER)	PRIVACY LOCKSET • INSIDE THUMB LOCK • LEVER HANDLES • (3) HINGES • KICK/MOP PLATE • WALL/FLOOR STOP
H06	DOOR TO BASEMENT/MECHANICAL CLOSET	STORAGE LOCKSET • RATED HARDWARE WHERE REQUIRED • OUTSIDE KEY LOCK, INSIDE ALWAYS UNLOCKED • ACCESSIBLE BY LANDLORD ONLY • (3) HINGES • WALL/FLOOR STOP

## NEW COMMON RESIDENTIAL DOORS

GENERAL HARDWARE NOTES:		
1.	ALL HARDWARE TO BE OPERABLE IN THE DIRECTION OF EGRESS ALWAYS WITHOUT KNOWLEDGE, KEY OR TIGHT PINCHING OR GRASPING THE DEVICE.	
2.	ALL HARDWARE TO BE SATIN CHROME, STAINLESS STEEL AND POWDER COAT TO MATCH. EXIT DEVICES, EXTERIOR HINGES, KICK PLATES TO BE US32D, INTERIOR HINGES, LOCKSETS, WALL STOPS US26D, DOOR CLOSERS TO BE POWDER COAT TO MATCH.	
3.	ALL HARDWARE TO BE AS SPECIFIED OR APPROVED EQUAL. A. LOCKSETS ARE BASED ON BEST CYLINDRICAL GRADE I (MORTISE LOCK FOR TOILETS WITH INDICATOR). COORDINATE KEYING REQUIREMENTS WITH OWNER. APPROVED MANUFACTURERS: BEST (9K3 SERIES), SCHLAGE (ND SERIES), SARGENT (10 LINE), KEY SYSTEM - PROVIDE MASTER SYSTEM (KEY INTO OWNER'S EXISTING SMALL FORMAT KEY SYSTEM), 3 MASTER KEYS, 3 CHANGE KEYS PER CYLINDER. B. EXIT DEVICES ARE BASED ON PRECISION 2100 SERIES GRADE I. APPROVED MANUFACTURERS: PRECISION (2100 SERIES), VON DUPRIN (98 SERIES). C. DOOR CLOSERS ARE BASED ON DORMA 8900 SERIES GRADE I. PROVIDE WITH FULL COVER. APPROVED MANUFACTURERS: DORMA (8900 SERIES), LCN (4040XP SERIES).	
4.	HINGES: A. HINGE SIZE: DOORS UP TO 3 FEET WIDE 4-1/2" X 4-1/2"; DOORS WIDER THAN 3 FEET TO BE 5" X 4-1/2"; B. HINGE QUANTITY - 3 HINGES PER DOOR LEAF FOR DOORS UP TO 76". PROVIDE 4 HINGES FOR DOORS TALLER THAN 76".	
5.	COORDINATE KEYING REQUIREMENTS WITH OWNER.	
6.	COORDINATE ELECTRONIC ACCESS CONTROL REQUIREMENTS WITH OWNER	
7.	PROVIDE INTERCHANGEABLE CORES	

# CALL OUT LEGENDS

<b>DOOR FINISHES (ALSO SEE A4.00 AND A8.00-8.01)</b>	
FF	DOOR TO BE FACTORY FINISHED AS PART OF NEW STOREFRONT SYSTEM. SEE STOREFRONT TYPES ON A6.12.
PT	AT EXTERIOR DOORS: SEE EXTERIOR PAINT SCHEDULE ON <b>A8.00-A8.01</b> . AT INTERIOR DOORS: SEE FINISH SCHEDULE ON A4.00.
WL	WOOD LOOK
ST	STAINED
<b>FRAME TYPES (ALSO SEE A6.11)</b>	
F1	HISTORIC FRAME/TRIM TO REMAIN - REPAIR/REPLICATE MISSING PIECES AS REQ
F2	NEW METAL FRAME - SEE DTLs 1-5/A6.11 AND TYPICAL TRIM DTLs A6.11
F3	NEW METAL FRAME - SEE DTLs 1-5/A6.11 - TRIM TO MATCH EXG ADJ. HISTORIC TRIM
F4	NEW WOOD FRAME - SEE DTLs 7-8/A6.11 AND TYPICAL DOOR TRIM DTLs A6.11
F5	NEW WOOD FRAME - SEE DTLs 7-8/A6.11 - TRIM TO MATCH EXG ADJ. HISTORIC TRIM
SF	PART OF STOREFRONT SYSTEM - SEE A6.12
NOTE: FRAMES TO BE PAINTED, UNO. SEE FINISH SCHEDULE AND EXTERIOR PAINT SCHEDULE FOR MORE INFORMATION.	
<b>TRANSOM TYPES (ALSO SEE A6.11)</b>	
TR1	NEW HOLLOW METAL FRAMED TRANSOM
TR2	HISTORIC TRANSOM TRIM & GLAZING TO REMAIN. REPAIR/REPLICATE MISSING PIECES AS REQ
TR3	NEW WOOD TRANSOM TRIM TO MATCH EXG ADJACENT HISTORIC TRIM OF DOOR - WITH NEW TEMPERED GLAZING
TR4	HISTORIC TRANSOM TRIM TO REMAIN. REPAIR/REPLICATE MISSING PIECES AS REQ'D. INSTALL NEW CLEAR GLAZING.
SF	NEW TRANSOM TO BE PART OF STOREFRONT SYSTEM. SEE STOREFRONT TYPES.

# SCHEDULE NOTES

- EXISTING HISTORIC OPENING:
  - EXISTING HISTORIC DOOR (& TRANSOM, IF APPLICABLE) TO REMAIN IN SITU. REPAIR AS REQ. CONTRACTOR TO PROVIDE ALLOWANCE FOR DOOR REPAIR FOR ALL EXG. DOORS TO REMAIN.
  - EXISTING HISTORIC DOOR IS TO BE FIXED IN PLACE. SEE PLANS.
  - OPENING TO HAVE RELOCATED HISTORIC DOOR. SEE EXISTING PLANS FOR PREVIOUS LOCATION AND NEW WORK PLANS FOR NEW LOCATION.
  - OPENING TO HAVE RELOCATED HISTORIC FRAME/TRIM. SEE EXISTING PLANS FOR PREVIOUS LOCATION AND NEW WORK PLANS FOR NEW LOCATION.
  - NEW OPERABLE DOOR IN HISTORIC OPENING.
  - HISTORIC POCKET DOORS TO BE RESTORED TO ORIGINAL FUNCTION AND OPERATION.
- EXISTING TRANSOM TO BE INFILLED BEHIND WITH GYP. BD. TO MAINTAIN FIRE RATING. SEE DETAILS ON A6.03.
- PROVIDE HOLD OPEN FOR THIS DOOR - SEE HARDWARE SCHEDULE.
- PROVIDE HINGES THAT ALLOW FOR EASY DOOR REMOVAL DURING LAUNDRY UNIT INSTALLATION & MAINTENANCE.
- DOOR TO BE UNDERCUT. SEE MECHANICAL DRAWINGS.
- DOOR(S) TO BE FIXED IN PLACE AND INOPERABLE.
- PROVIDE VIEW HOLE AT 48" A.F.F., CENTERED IN DOOR.

# GENERAL NOTES

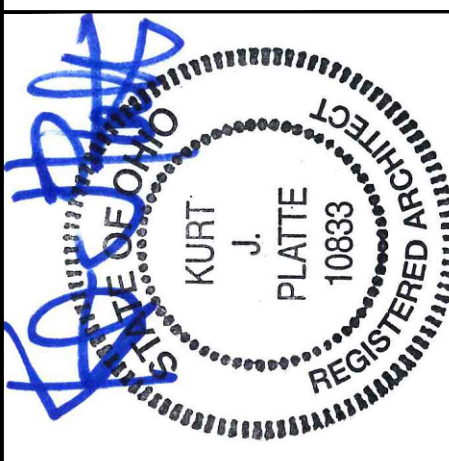
- THIS IS A HISTORIC TAX CREDIT PROJECT WITH SENSITIVE HISTORIC MATERIALS, INCLUDING DOORS & TRIM. DO NOT REMOVE ANY HISTORIC DOORS OR TRIM UNLESS INDICATED IN THESE DRAWINGS & IN THE SHPO NARRATIVE.**
- DOOR FRAMES**
- FURNISH AND INSTALL ALL DOOR FRAMES AS SHOWN ON THE DRAWINGS AND IN ACCORDANCE WITH FINAL SHOP DRAWINGS AND MANUFACTURER'S DATA AND INSTRUCTIONS.
  - SUBMIT SHOP DRAWINGS FOR FABRICATION AND INSTALLATION OF FRAMES. INCLUDE DETAILS OF EACH FRAME TYPE, CONDITIONS AT OPENINGS, DETAILS OF CONSTRUCTION, LOCATION, AND INSTALLATION REQUIREMENTS OF FINISH HARDWARE AND REINFORCEMENTS, AND DETAILS OF JOINTS AND CONNECTIONS. SHOW ANCHORAGE AND ACCESSORY ITEMS. PROVIDE SCHEDULE OF FRAMES USING SAME REFERENCE FOR DETAILS AND OPENINGS AS THOSE ON CONTRACT DRAWINGS.
  - NEW FRAMES SHALL HAVE UL LABELS TO MATCH RATING NOTED IN DOOR SCHEDULE.
  - SET AND BRACE ALL DOOR FRAMES. FRAMES SHALL BE PREPARED FOR HARDWARE PER TEMPLATES FURNISHED BY HARDWARE SUPPLIER.
  - COORDINATE LOCATIONS FOR OTHER TRADES TO BUILD IN THEIR WORK AS REQUIRED.
- DOORS**
- FURNISH AND INSTALL ALL DOORS AS SHOWN ON THE DRAWINGS AND IN ACCORDANCE WITH FINAL SHOP DRAWINGS AND MANUFACTURER'S DATA AND INSTRUCTIONS.
  - SUBMIT DOOR MANUFACTURER'S PRODUCT DATA SPECIFICATIONS AND INSTALLATION INSTRUCTIONS FOR EACH TYPE OF DOOR. PROVIDE SCHEDULE OF DOORS USING SAME REFERENCE FOR DETAILS AND OPENINGS AS THOSE ON CONTRACT DRAWINGS.
  - EXTERIOR DOORS TO BE INSULATED, THERMALLY BROKEN WITH WEATHERSTRIPPING, AND PROVIDED WITH ACCESSIBLE THRESHOLD.
  - GLAZING IN DOOR LITES AND SIDE LITES SHALL BE CLEAR SAFETY GLASS, 1/4" THICKNESS, UNLESS OTHERWISE NOTED. WIRED GLASS, IS NOT ALLOWED. GLASS FRAMES IN DOORS SHALL HAVE FLUSH STOPS.
  - SEE PLANS FOR REQUIRED FIRE RATINGS.
  - FIT DOORS TO FRAMES WITH MINIMUM UNIFORM CLEARANCES AND BEVELS. DOORS SHALL BE PREPARED FOR HARDWARE AS REQUIRED BY HARDWARE SCHEDULE. SEAL DOOR EDGE SURFACES AFFECTED BY FITTING AND MACHINING. PROVIDE DOOR CLEARANCES SO THAT DOOR MAY FREELY MOVE ABOVE FINISH FLOOR MATERIAL.
  - VERIFY SIZE OF ALL EXISTING DOORS AND DOOR OPENINGS IN FIELD. WHERE HISTORIC DOORS ARE BEING RELOCATED, VERIFY DOOR FITS IN NEW LOCATION. IF DOOR DOES NOT FIT, CONTACT ARCHITECT.

# DOOR SCHEDULE

DOOR NO.	LOCATION	DOOR				FRAME			HDW	REMARKS	
		WIDTH	HEIGHT	TYPE	FINISH	TYPE	TRANSOM	FINISH		RATING	NOTES
<b>FIRST FLOOR</b>											
101-1	STOREFRONT ENTRY	6'-0"	8'-0"	DA1	FF	SF	SF	FF	H02B	-	
101-2	ACCESSIBLE RESTROOM	3'-0"	6'-8"	DW3	PT	F4	-	PT	H05	-	5
101-3	MECHANICAL	3'-0"	6'-8"	DW3	PT	F4	-	PT	H06	-	5
101-4	MECHANICAL	2'-6"	6'-8"	DW3	PT	F4	-	PT	H06	-	5
101-5	REAR COMMERCIAL	3'-0"	V.I.F.	DM4	PT	F2	-	PT	H02	-	7

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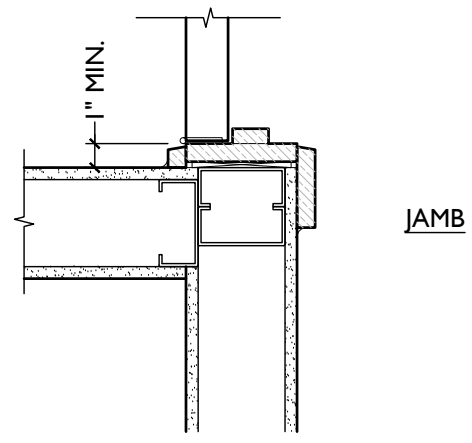
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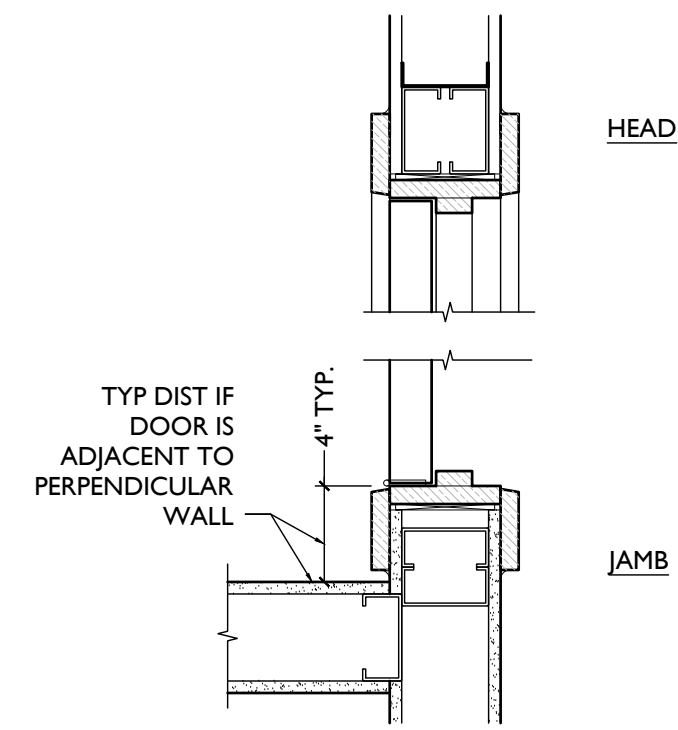
**A6.10**

DOOR DETAILS NOTE:  
SEE NEW PLANS & SHEET A6.00 FOR SPECIFIC  
ASSEMBLY INFO AND FIRE-RATINGS.

## TYPICAL DOOR DETAILS

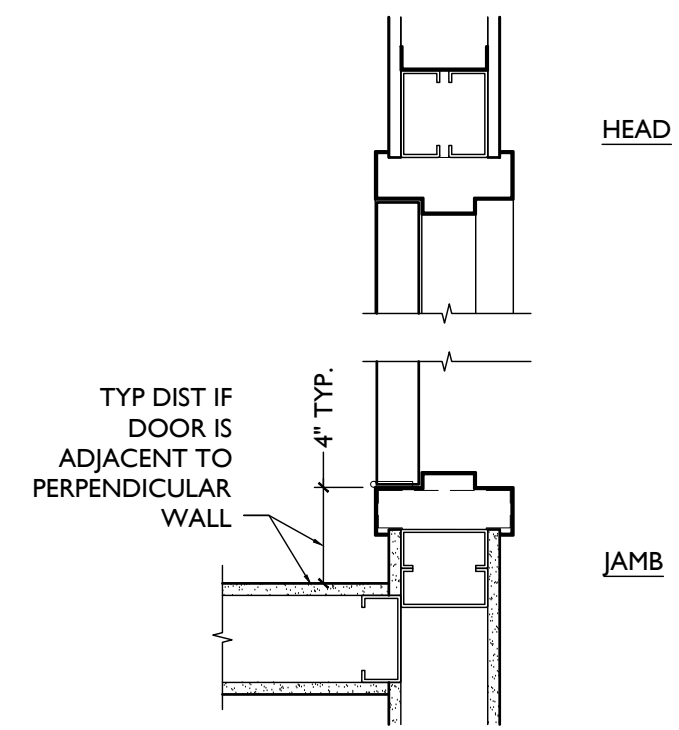


**8** WD FRAME JAMB MIN.  
SCALE: 1 1/2" = 1'-0"

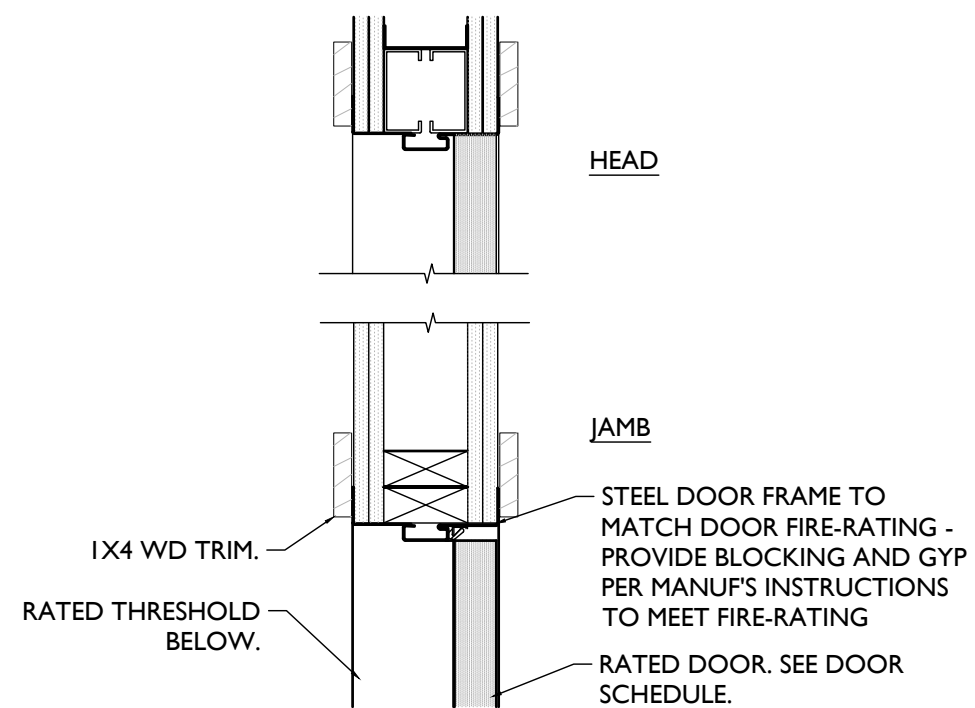


**7** WD FRAME HEAD/JAMB  
SCALE: 1 1/2" = 1'-0"

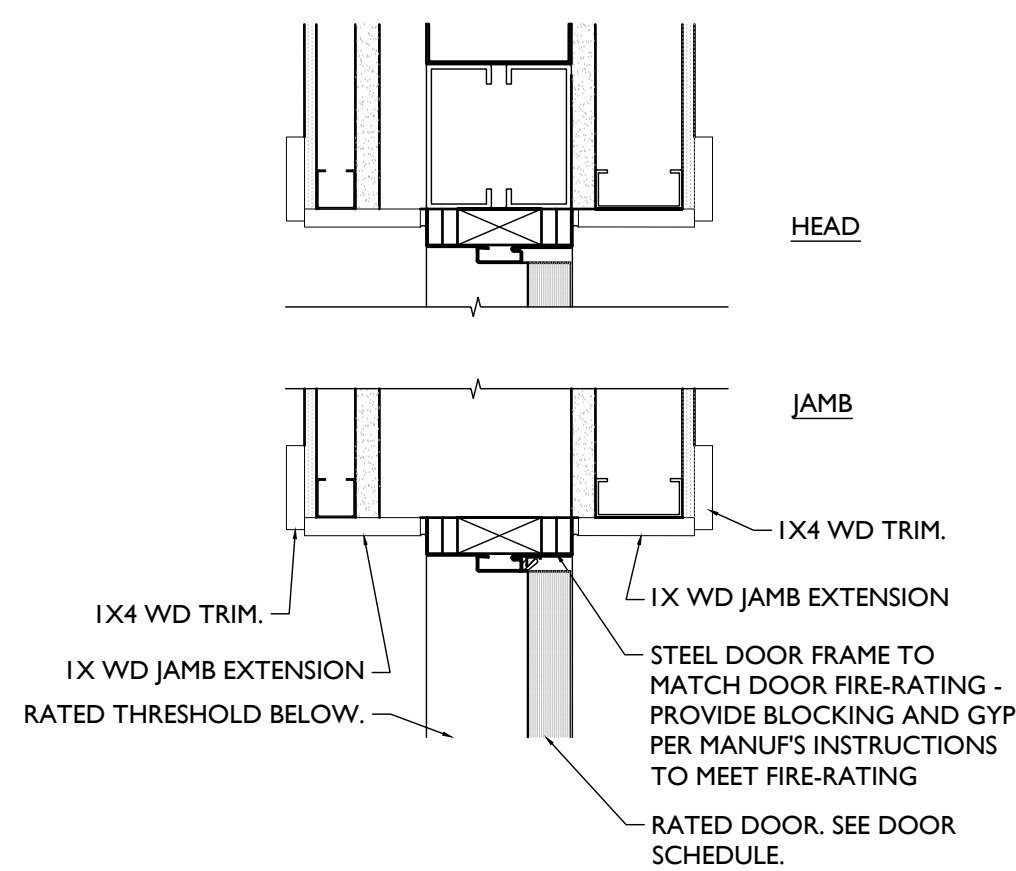
**6** NOT USED  
SCALE: 1 1/2" = 1'-0"



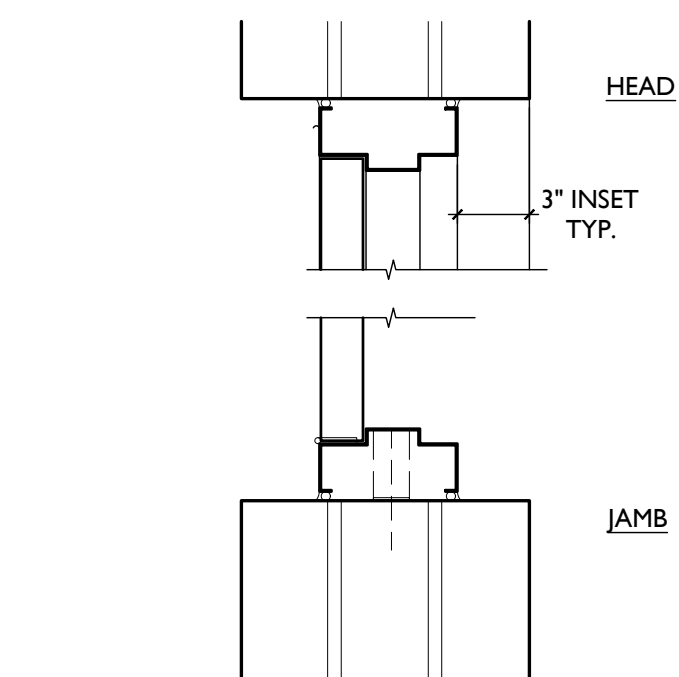
**5** MTL FRAME @ STUD WALL  
BASEMENT ONLY  
SCALE: 1 1/2" = 1'-0"



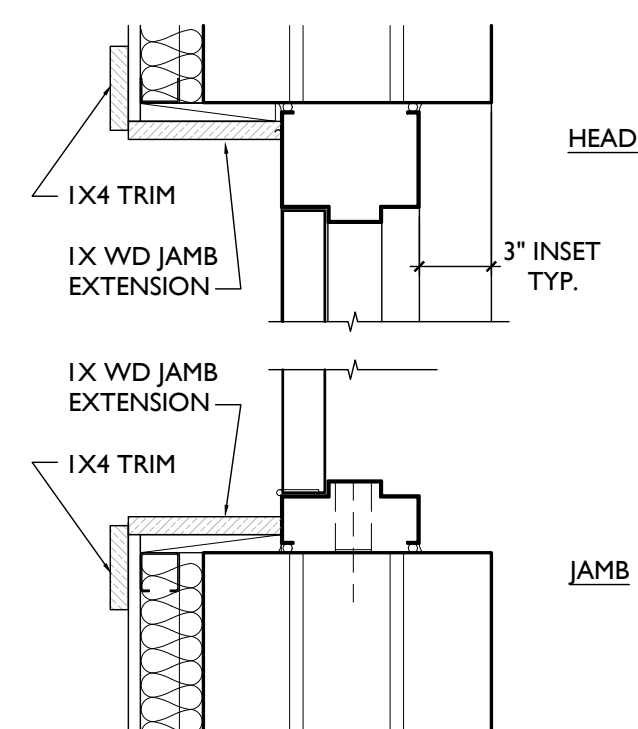
**4** MTL FRAME @ STUD WALL  
FIRE-RATED ONLY, ABOVE BASEMENT  
SCALE: 1 1/2" = 1'-0"



**3** MTL FRAME @ MSNRY - INTERIOR  
FIRE-RATED ONLY  
SCALE: 1 1/2" = 1'-0"

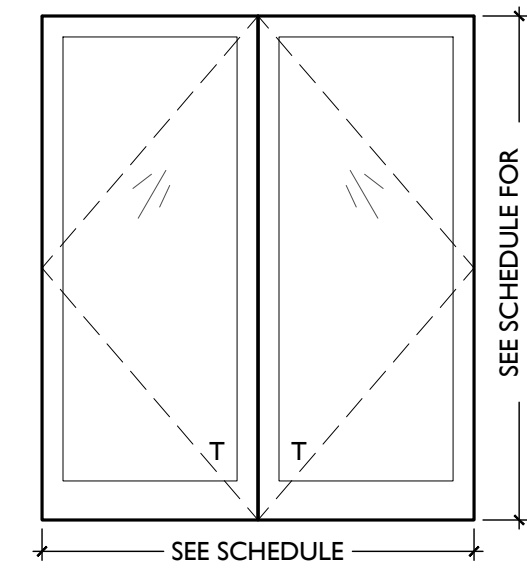


**2** MTL FRAME @ MSNRY - INTERIOR  
BASEMENT ONLY  
SCALE: 1 1/2" = 1'-0"

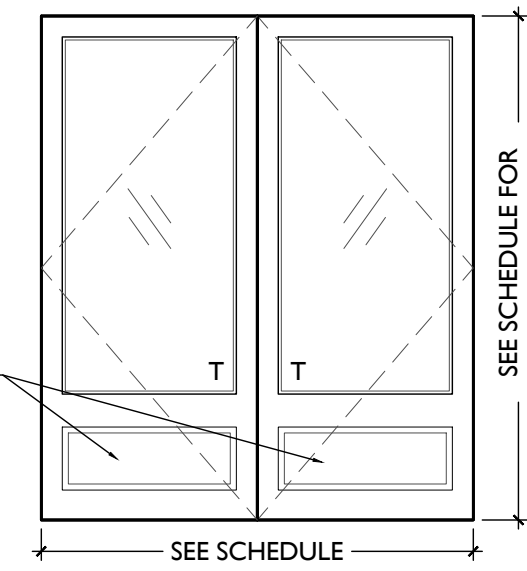


**1** MTL FRAME @ MSNRY - EXTERIOR  
SCALE: 1 1/2" = 1'-0"

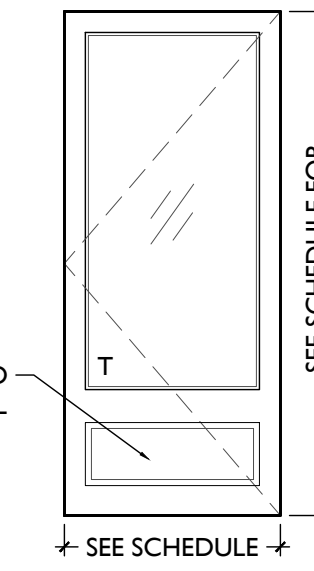
NOTE: SEE A6.12 FOR  
STOREFRONT FRAMES



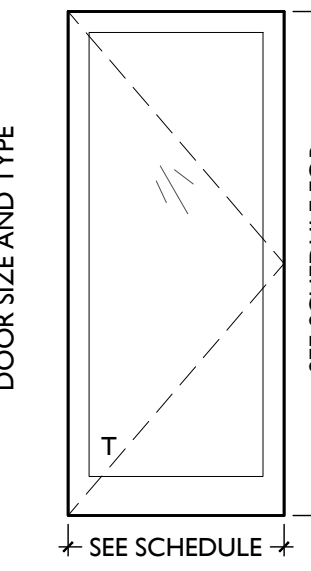
**DA4** FULL LITE  
ALUMINUM  
DOUBLE  
DOOR



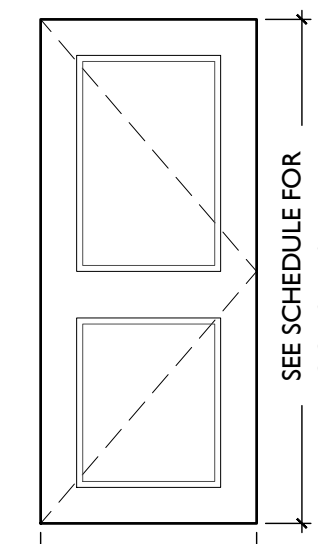
**DA3** 1/2 LITE  
ALUMINUM  
DOUBLE DOOR



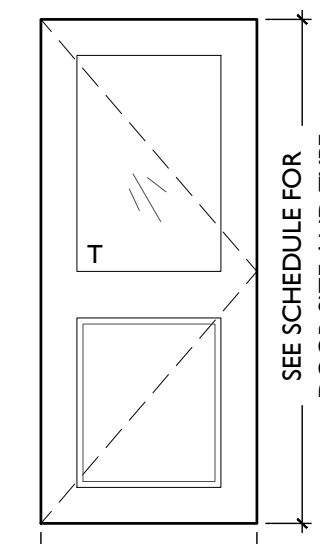
**DA2** 1/4 LITE  
ALUMINUM  
DOOR



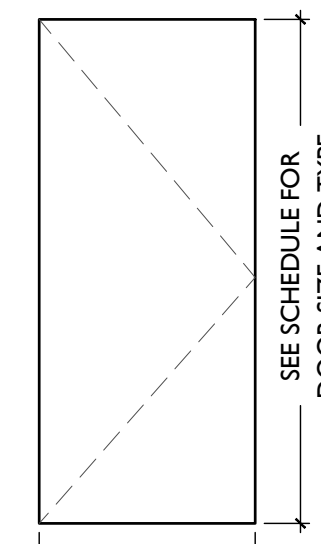
**DA1** FULL LITE  
ALUMINUM  
STOREFRONT  
DOOR



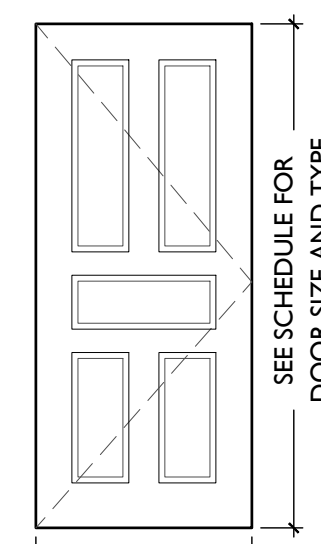
**DM8** METAL  
2 PANELS



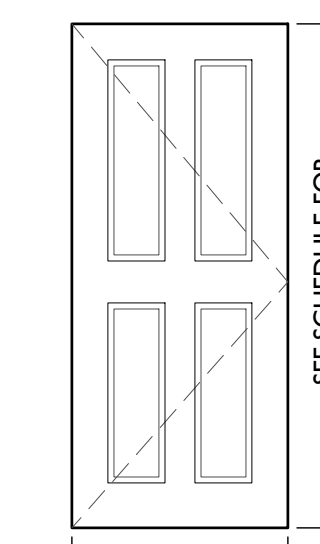
**DM7** HALF LITE  
METAL  
1 PANELS



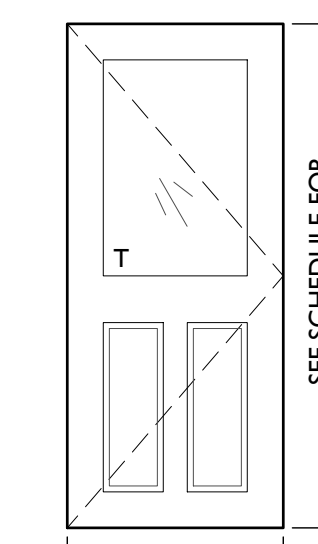
**DM6** FLUSH METAL  
DOOR



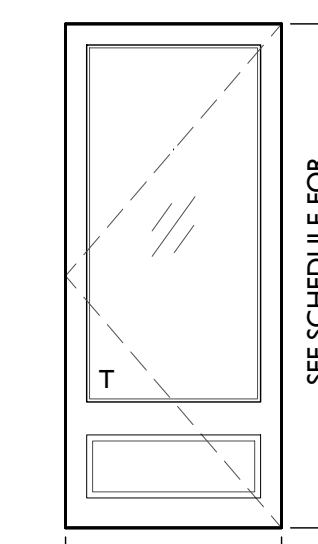
**DM5** METAL  
5 PANELS



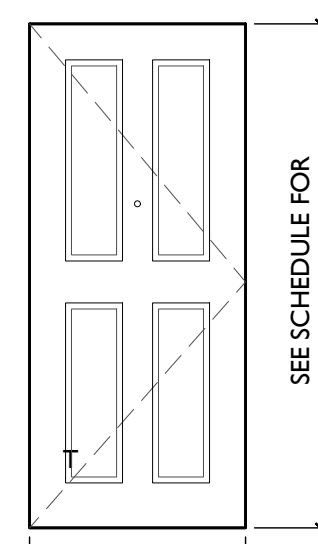
**DM4** METAL  
4 PANELS



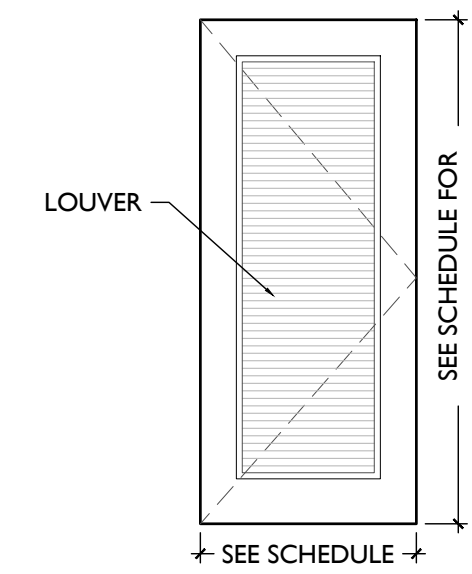
**DM3** HALF LITE  
METAL  
2 PANELS



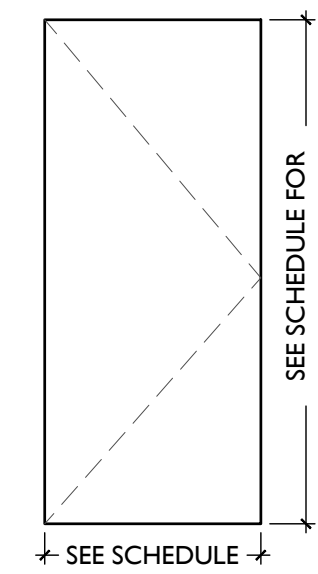
**DM2** 1/4 LITE  
METAL  
DOOR



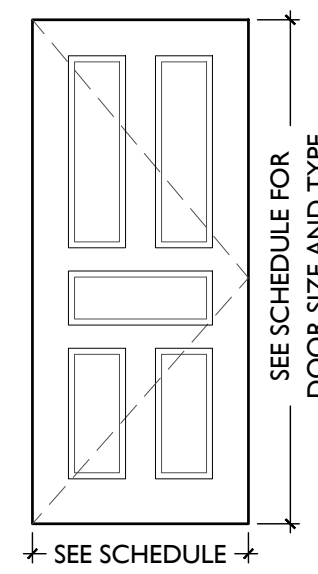
**DM1** METAL  
4 PANELS  
INSULATED



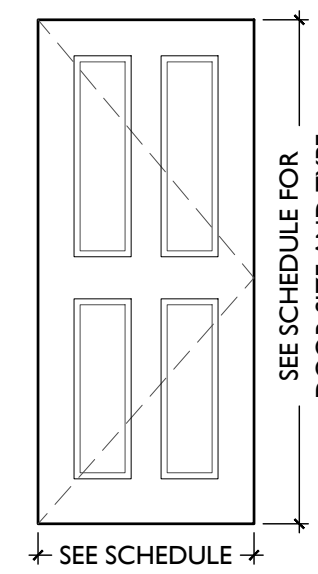
**DW4** SOLID CORE  
WOOD  
1 PANEL  
LOUVER



**DW3** SOLID CORE  
WOOD  
FLUSH



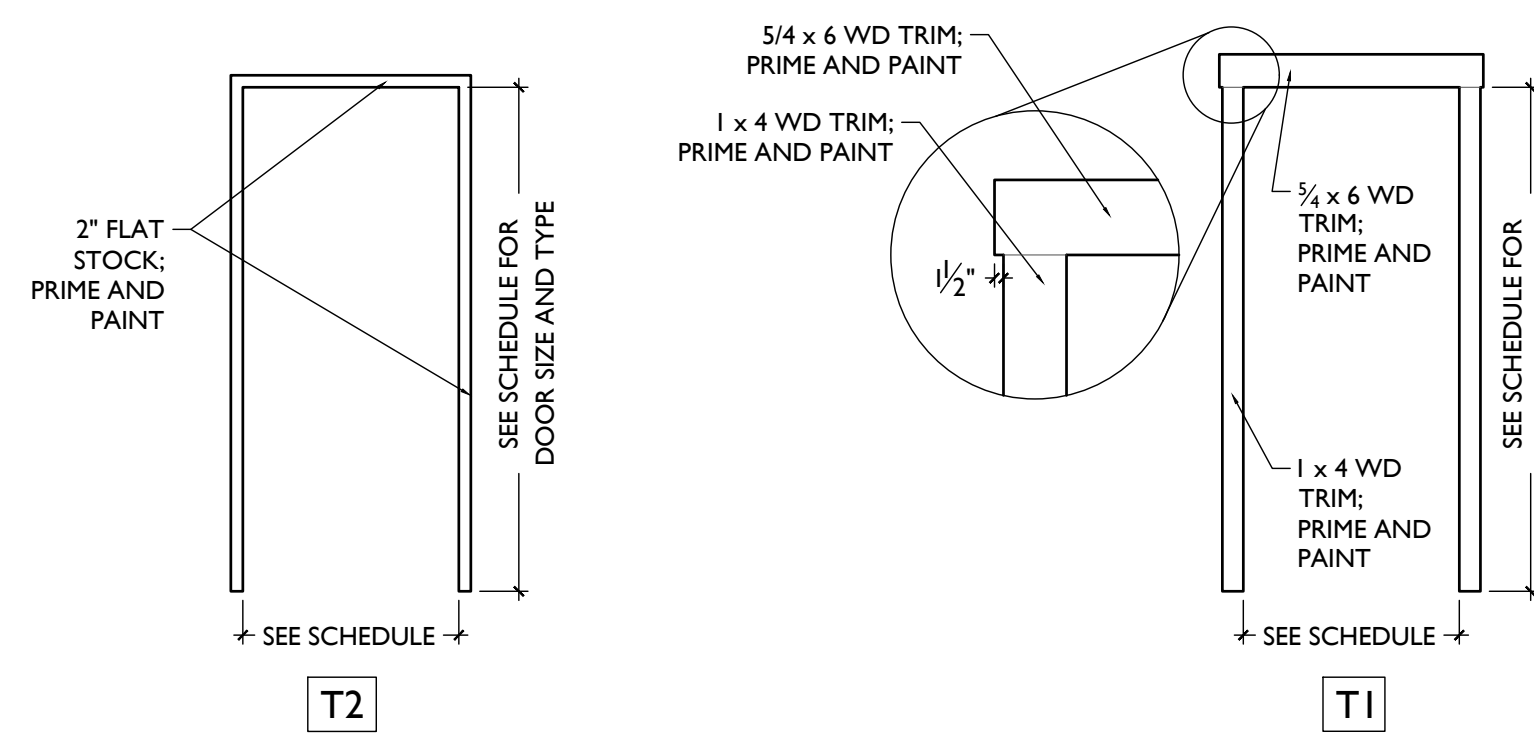
**DW2** SOLID CORE  
WOOD  
5 PANEL



**DW1** SOLID CORE  
WOOD  
4 PANEL

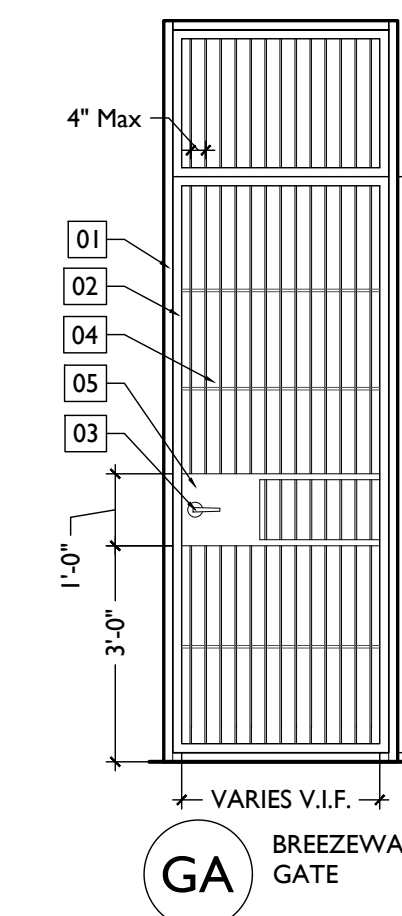
T = TEMPERED GLAZING  
I = INSULATED GLAZING

## TYPICAL NEW WD DOOR TRIM CASING



NOTES:  
1. AT DOORWAYS WITH NEW TRIM CASING, INSTALL PER "T1". IF WALL SPACE IS CONSTRAINED AT JAMBS, INSTALL PER "T2".  
2. NO WOOD DOOR TRIM AT BASEMENT, U.N.O.

## TYPICAL GATE TYPES



KEYED GATE NOTES:  
01. 1/2" x 2" x 2" SQUARE STEEL FRAME ATTACHED TO ADJACENT EXG. MASONRY WALL  
02. 1/2" x 2" x 2" POWDER-COATED STEEL TUBE DOOR FRAME MOUNTED ON HINGES  
03. TYPICAL GATE HARDWARE - SEE DOOR AND DOOR HARDWARE SCHEDULE  
04. STEEL BAR STOCK AT VERTICAL AND HORIZONTAL, TYPICAL  
05. 1/6 GA STEEL PLATE WELDED TO ADJACENT FRAME TO HOUSE HARDWARE  
NOTE: EXTERIOR STEEL TO BE GALVANIZED, TYP., & PAINTED BLACK.

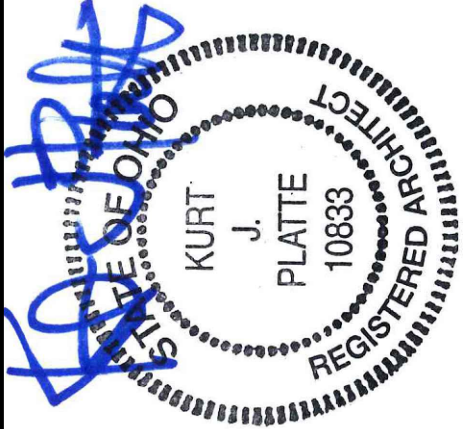
ALUMINUM

METAL

WOOD

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FINDLAY FLATS

Job No: 22042 8/10/2022

**A6.11**

SCALE: 1 1/2" = 1'-0"

# TYPICAL STOREFRONT DETAILS

T = TEMPERED GLAZING

# STOREFRONT TYPES

**NOTES**

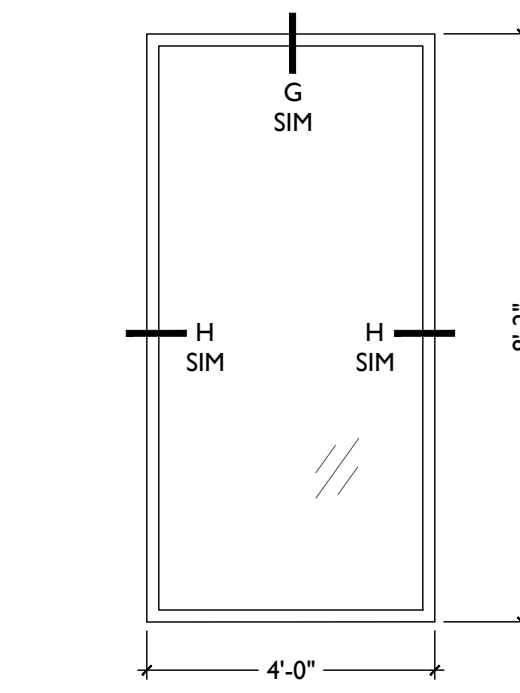
- A. EXTERIOR FINISHES:**
- ALL EXPOSED NON-ALUMINUM SURFACES PAINTED 1 COAT PRIMER + 2 COATS FINISH.
  - FOLLOW MANUFACTURER RECOMMENDATIONS FOR PAINTING OF PVC.
  - ALL CONCEALED WOOD SURFACES PAINTED 1 COAT PRIMER MINIMUM.
  - REFER TO COLORED ELEVATIONS FOR PAINT COLORS.
- B. INTERIOR FINISHES:**
- REFER TO FINISH SCHEDULE FOR COMMERCIAL TURNKEY FINISHES.
  - REFER TO FUTURE TENANT IMPROVEMENT DRAWINGS FOR ADDITIONAL FINISHES.

**IMPORTANT: DRAWINGS IN THIS GROUPING ARE ASSOCIATED. EACH DRAWING MAY NOT BE FULLY NOTED. NOTES SHOWN APPLY TO LIKE CONDITIONS IN ALL DRAWINGS WITHIN THE GROUP.**

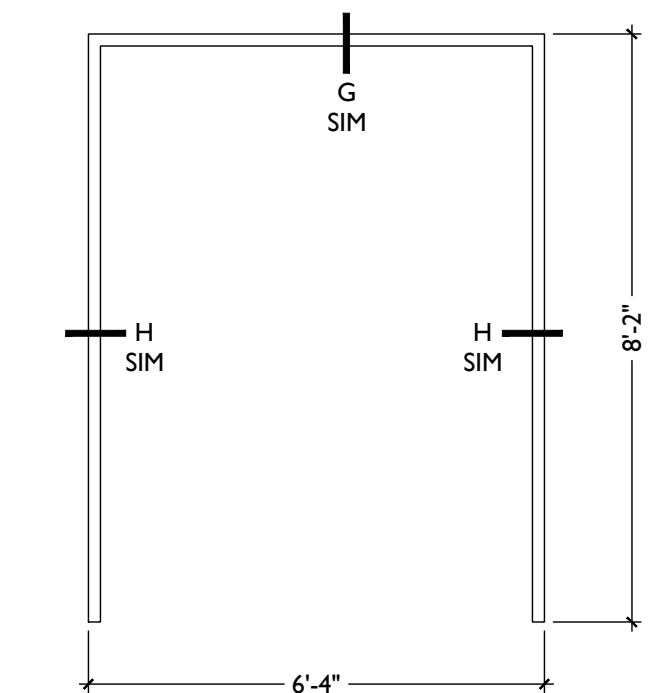
**STOREFRONT NOTES:**

1. BASIS OF DESIGN FOR NEW ALUMINUM STOREFRONT: KAWNEER 451 UT W/ LOW-E ARGON-FILLED I.G.
2. SG = SAFETY GLAZING PER PLANS
3. FIXED UNITS IN STOREFRONT EXCEPT FOR DOOR OR WHERE NOTED OTHERWISE
4. HISTORIC STOREFRONTS & DOORS - SEE PLANS & DOOR SCHEDULE FOR HISTORIC TO REMAIN. REPAIR & REPLICATE PARTS AS REQUIRED.
5. DIMENSIONS ARE FOR BIDDING PURPOSES ONLY. CONTRACTOR TO VERIFY FINAL DIMENSIONS IN FIELD.

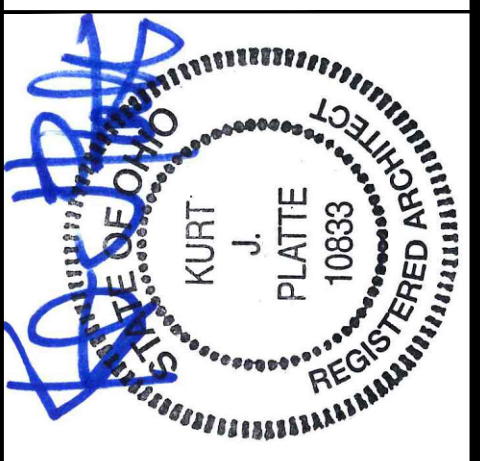
<p>VERTICAL END JAMB H</p>	<p>HEAD JAMB G</p>
<p>VERTICAL MULLION F</p>	<p>INTERMEDIATE HORIZONTAL MULLION E</p>
<p>SILL JAMB AT EXG KNEE WALL D</p>	<p>SILL JAMB C</p>
<p>EXG BASE AT FOUNDATION B</p>	<p>BASE AT FOUNDATION A</p>



**SF2** NEW STOREFRONT  
SCALE: 3" = 1'-0"



**SF1** NEW STOREFRONT DOORWAY  
SCALE: 3" = 1'-0"



KURT PLATTE 10833  
EXP DATE 12.31.2021

Progress Dates  
04.28.2023 - BID / PERMIT

Revisions

Design Team:  
CO, JK, MR, MR, RK, RO, SO, TB  
Drawn by:  
RO, AM

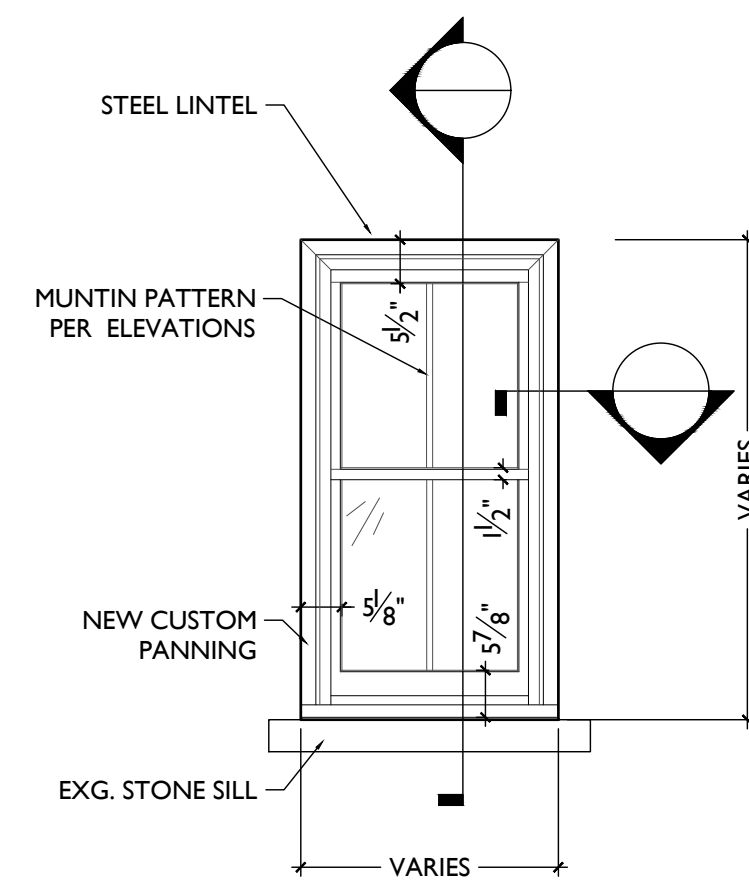
PROPOSED PROJECT:  
**RENOVATION FOR  
6 W ELDER ST.**  
CINCINNATI, OH, 45202  
FINDLAY FLATS

Job No: 22042 8/10/2022

**A6.12**

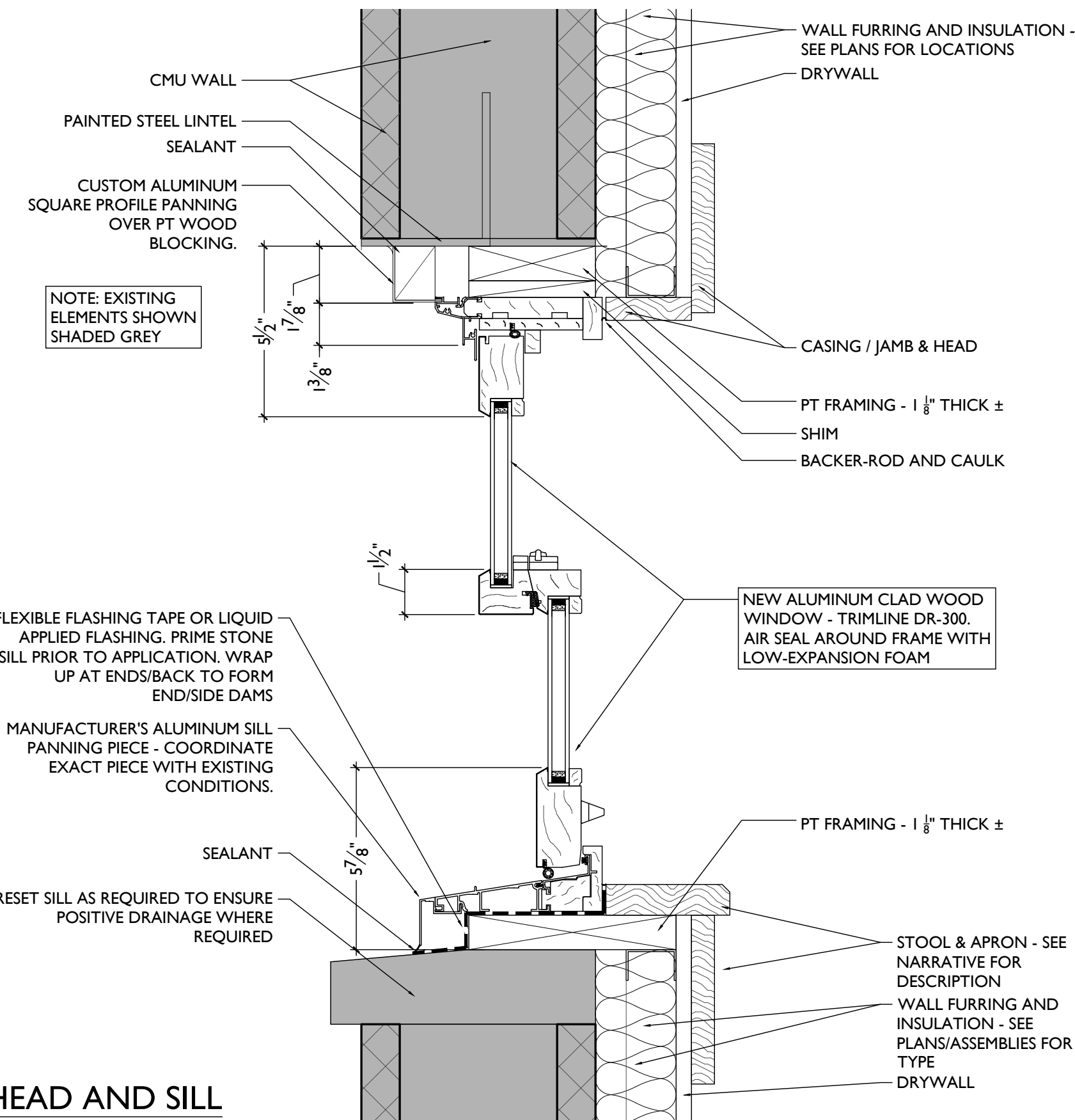
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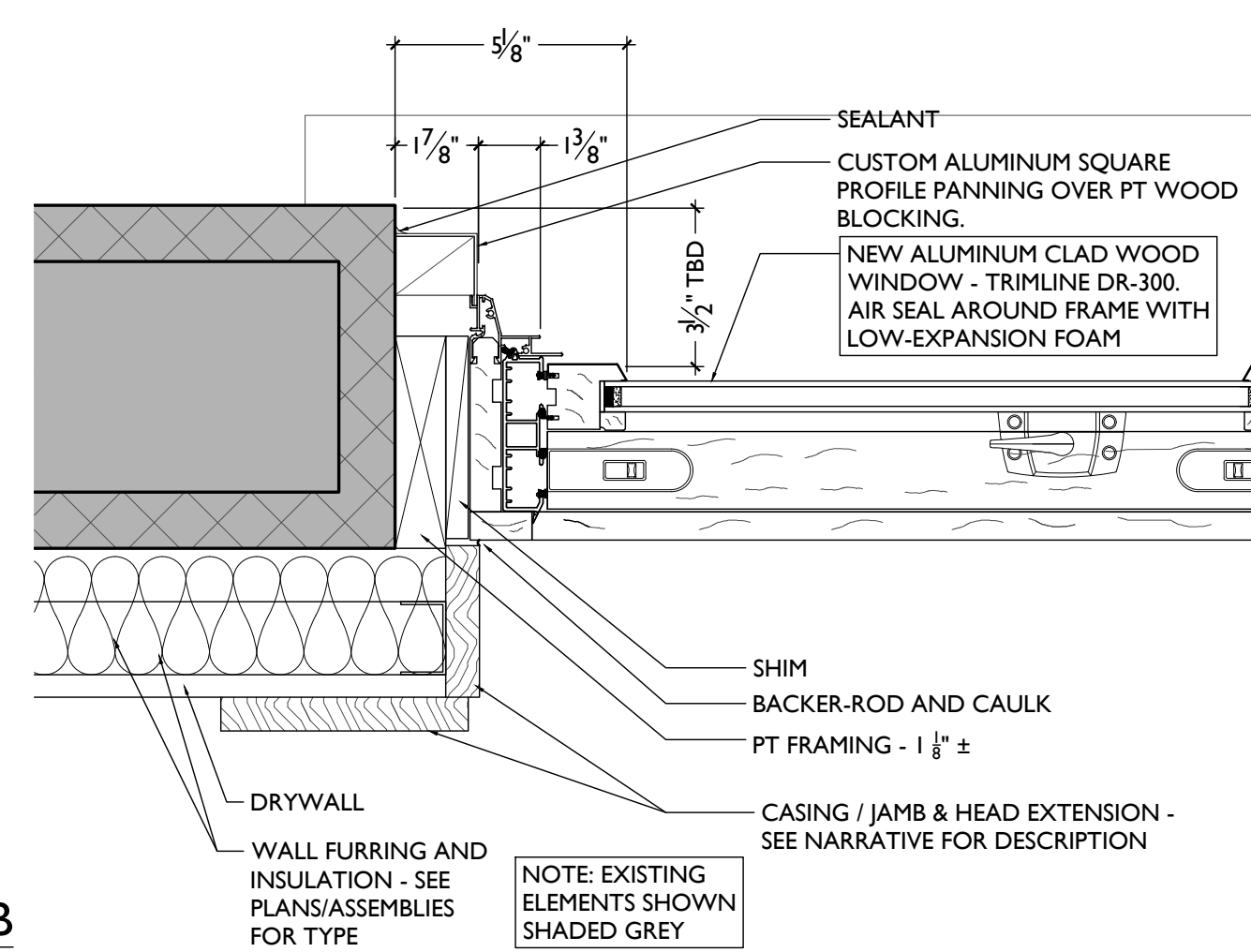


**DETAILED ELEVATION**

SCALE: 1/2" = 1'-0"



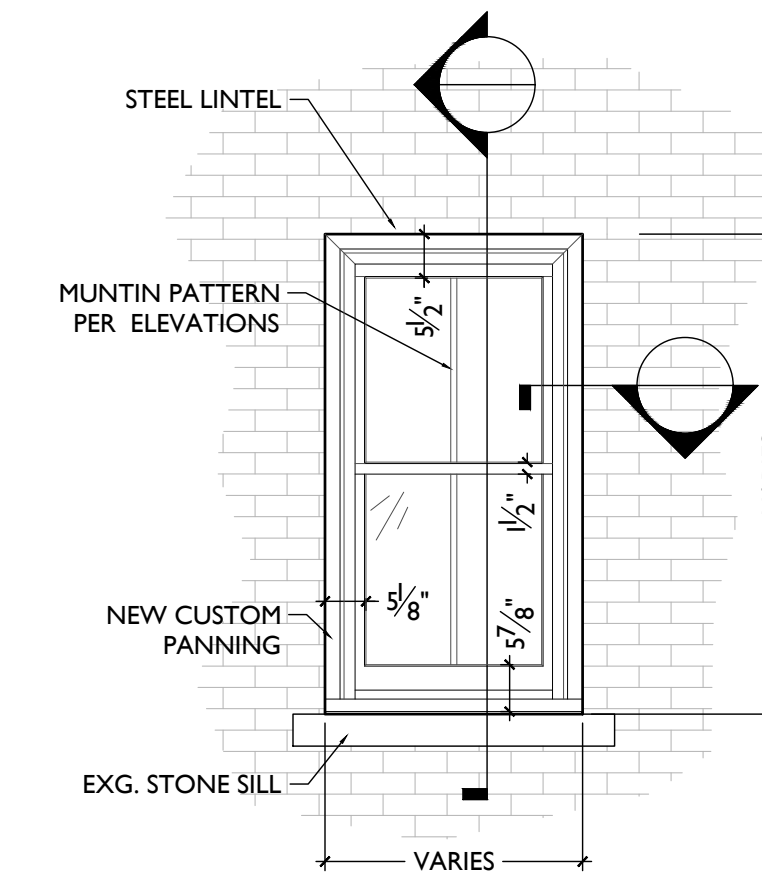
**HEAD AND SILL**



**JAMB**

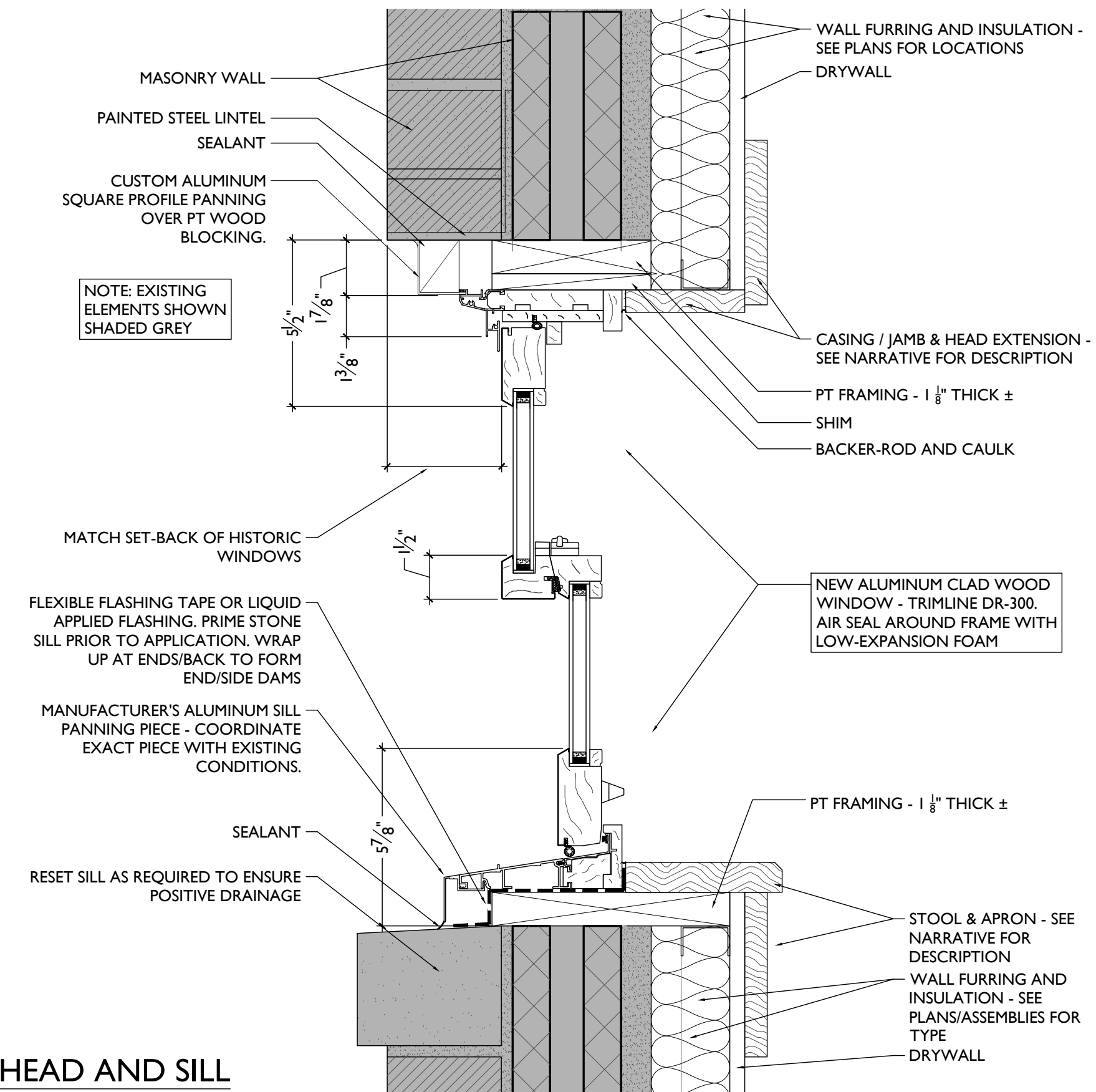
TYPE 'BI' - TRIMLINE DR-300 ALUM CLAD WINDOW

B2

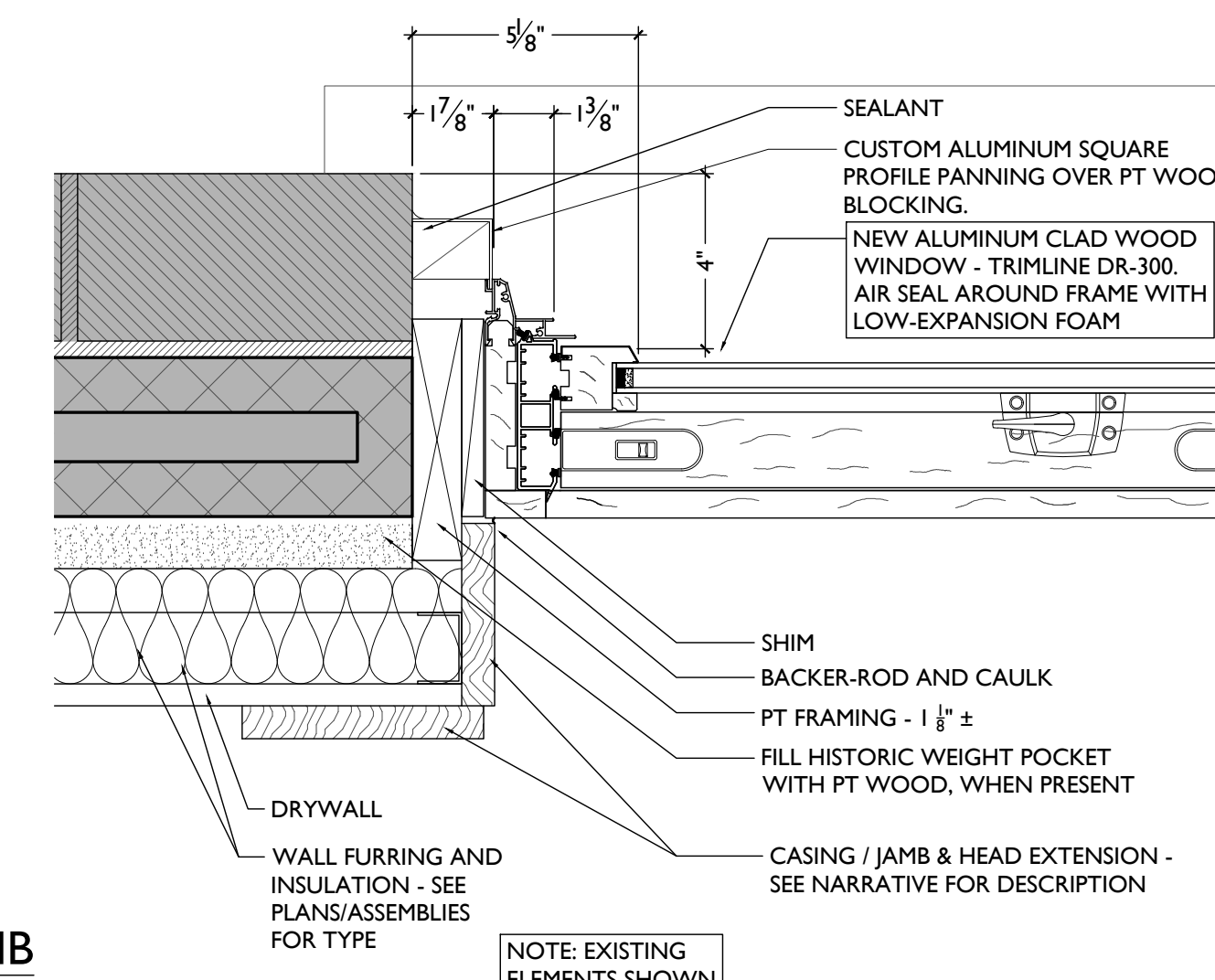


**DETAILED ELEVATION**

SCALE: 1/2" = 1'-0"



**HEAD AND SILL**



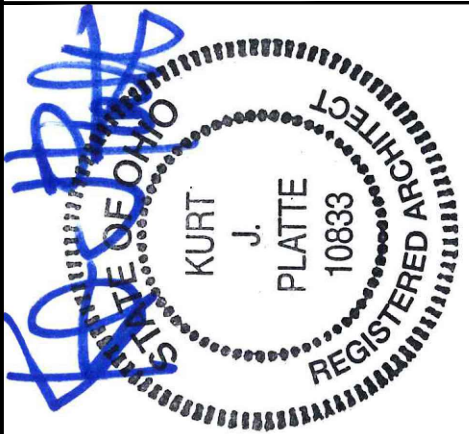
**JAMB**

TYPE 'BI' - TRIMLINE DR-300 ALUM CLAD WINDOW

BI

SCALE: 3" = 1'-0"

**WINDOW DETAILS**



KURT PLATTE 10833  
EXP DATE 12.31.2021  
Progress Dates  
04.28.2023 - BID / PERMIT

Revisions

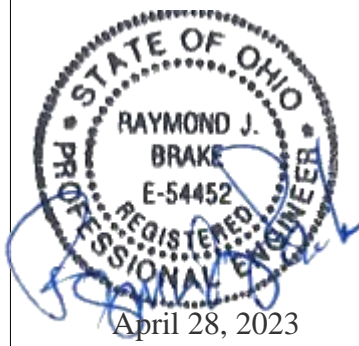
Design Team:  
CO, JK, MR, MR, RK, RO, SO, TB  
Drawn by:  
RO, AM

PROPOSED PROJECT:  
**RENOVATION FOR  
6 W ELDER ST.**  
CINCINNATI, OH, 45202  
FINDLAY FLATS

Job No: 22042 8/10/2022

**A6.20**





#	REVISION/SUBMISSION	Date
04/28/2023	PERMIT SUBMITTAL	
02/17/2023	DESIGN DEVELOPMENT	
	REVISION/SUBMISSION	

Design Team: RJB / MC  
Date: 04/26/2023

DRAWING TITLE: 1ST FLOOR/FOUNDATION  
PREPARED FOR: PLATTE ARCHITECTURE

PROPOSED PROJECT:  
**FINDLAY FLATS**  
**6 W ELDER**  
6 W ELDER  
CINCINNATI, OH 45202

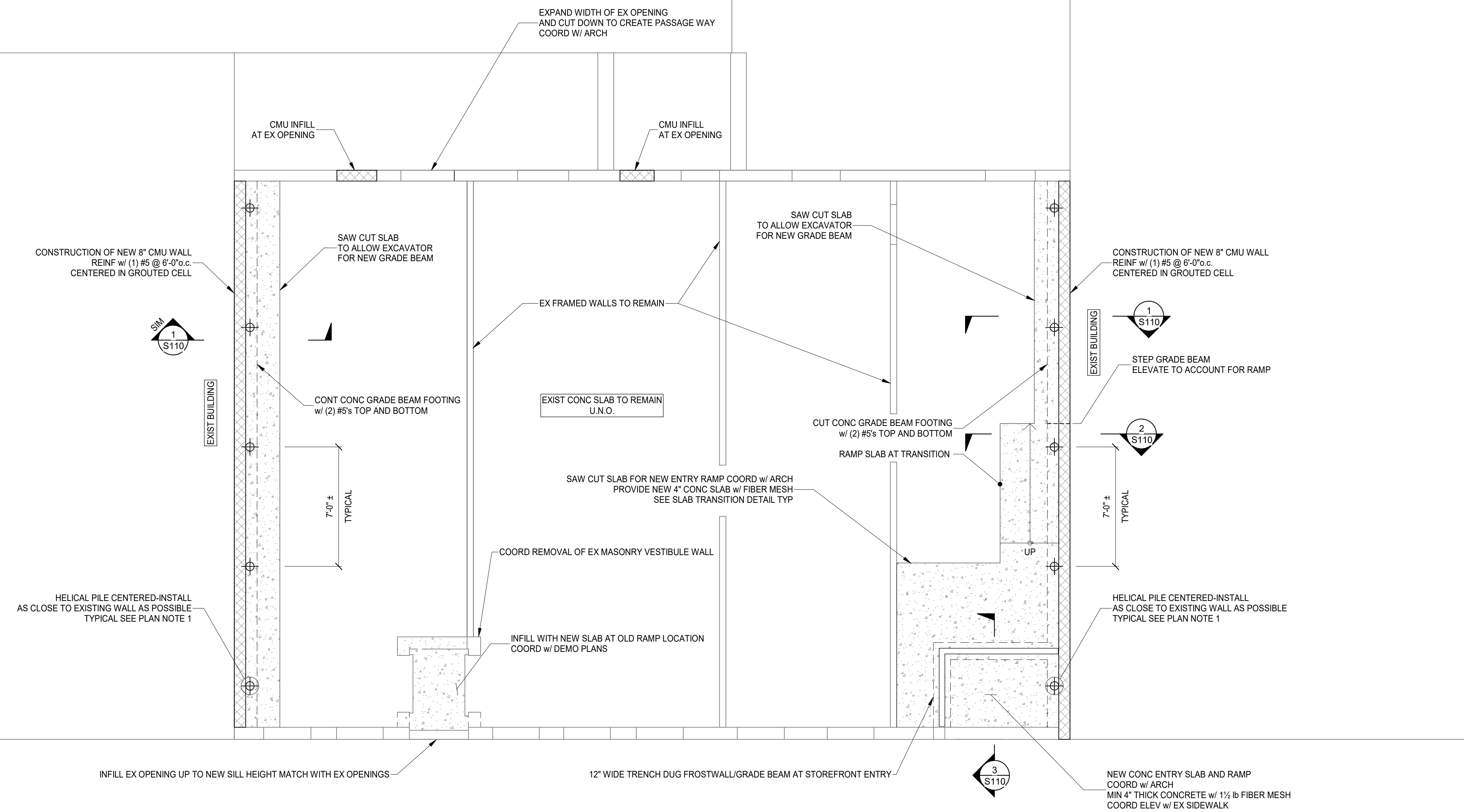
Proj. No.: 22146.27  
Drawing No.

**S110**

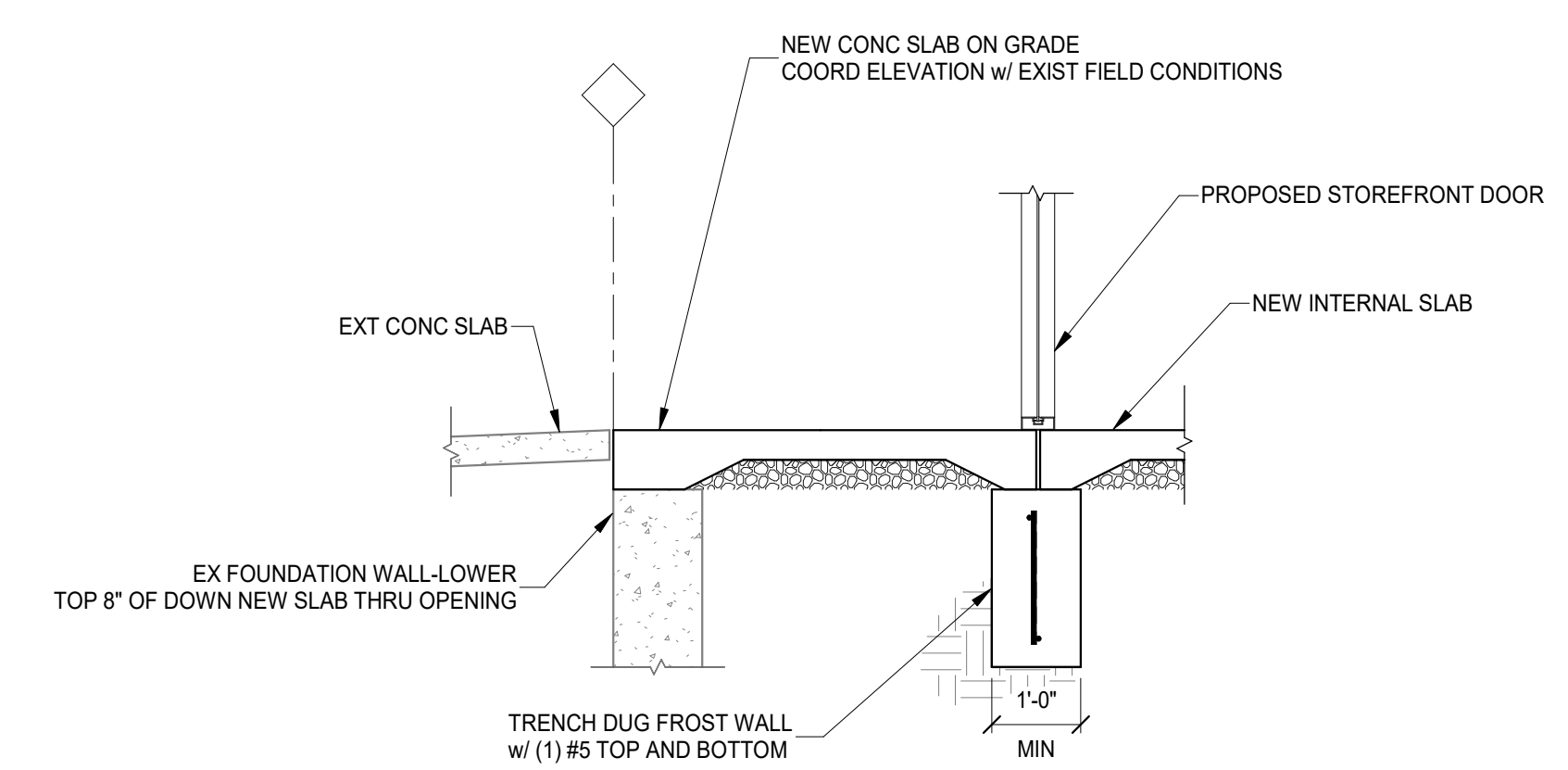
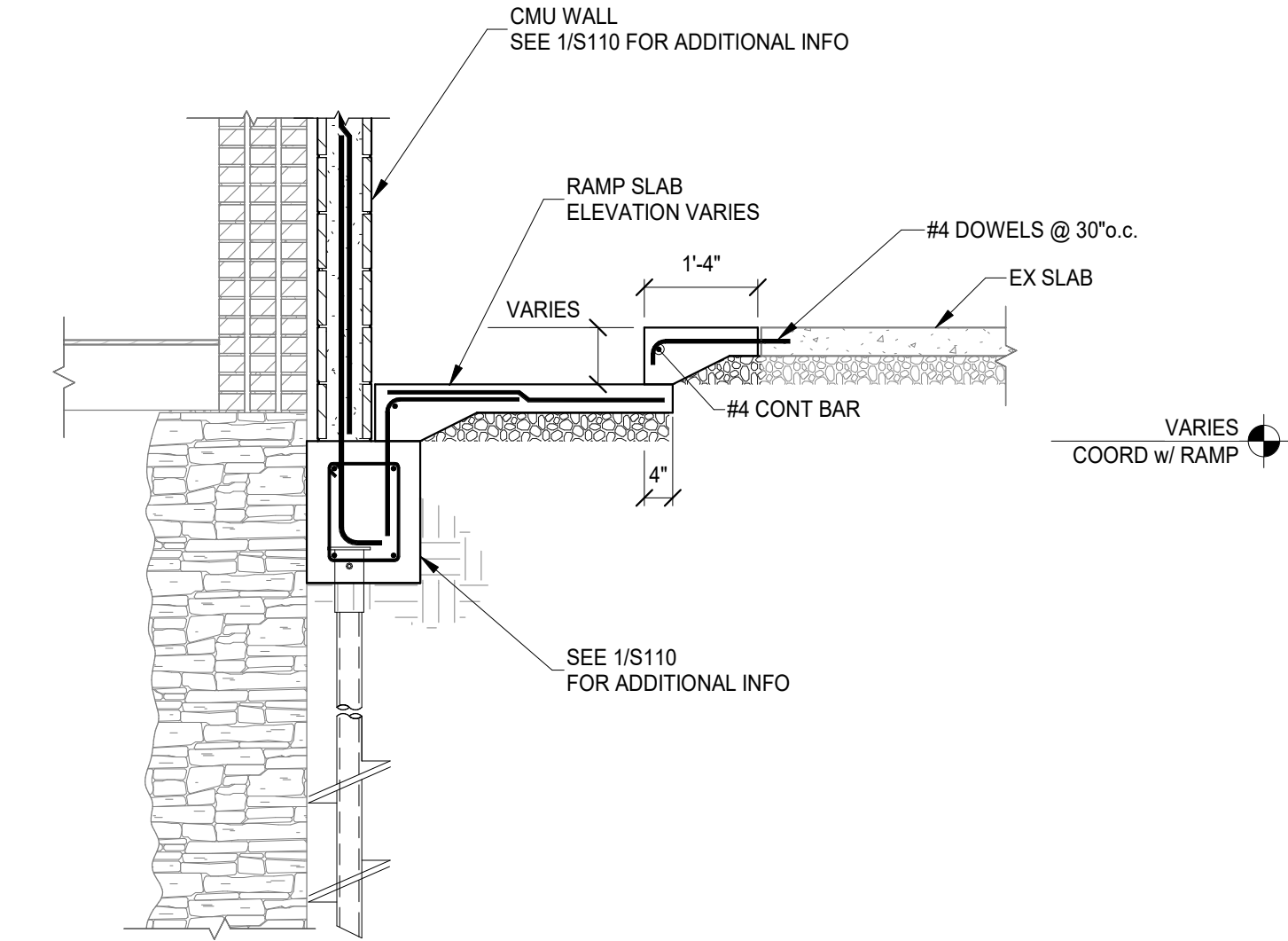
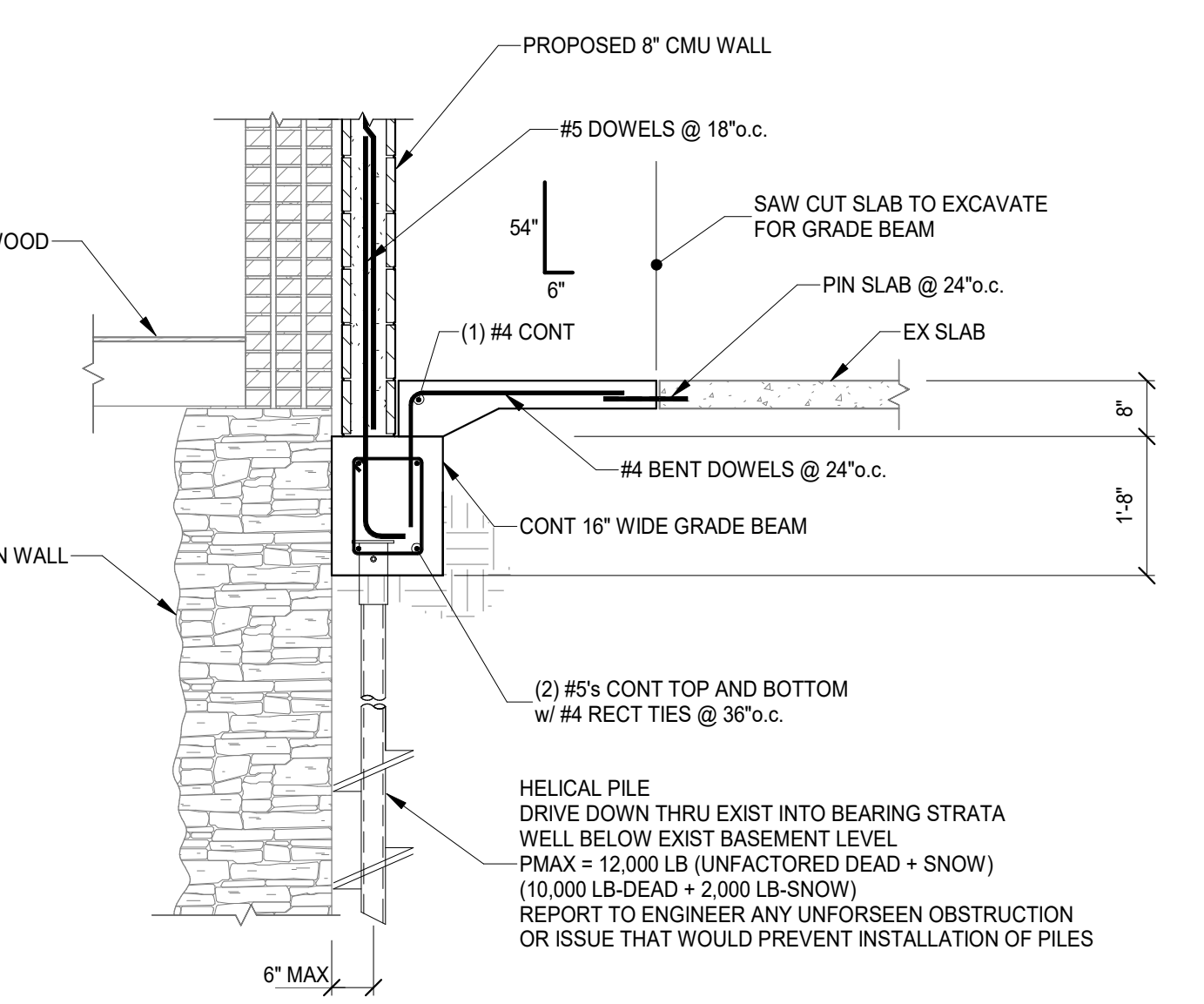
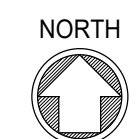
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6 W ELDER  
CINCINNATI, OH 45202

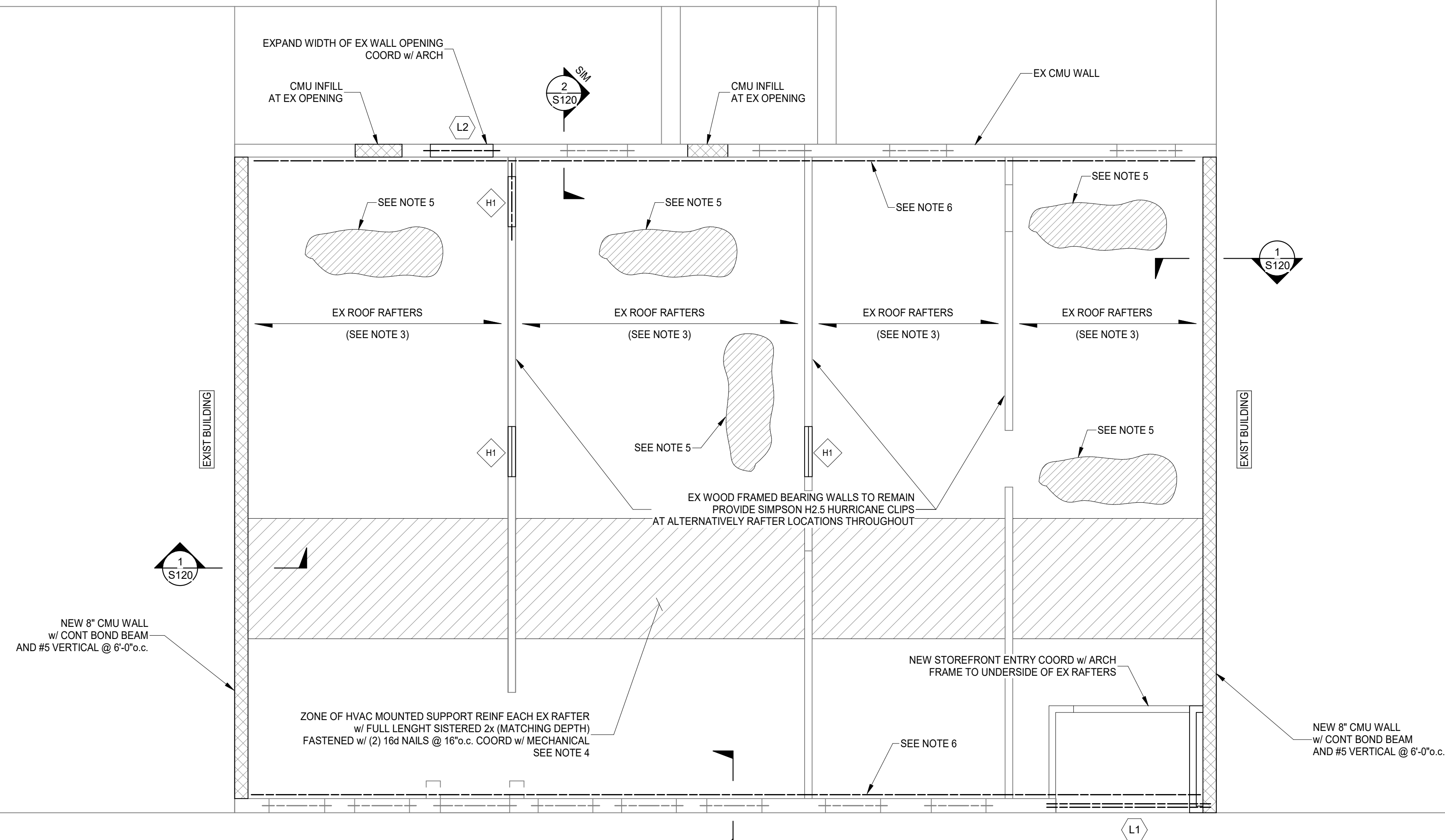
6 W ELDER



**1ST FLOOR/FOUNDATION PLAN**  
SCALE 1/4" = 1'-0"



STRUCTURAL INFORMATION NOTED IS BASED ON ASSUMPTIONS OF CONDITION OF EXISTING FRAMING & FRAMING HIDDEN FROM VISUAL OBSERVATION. DETAILS OF PROPOSED FRAMING MODIFICATION/REPAIRS ARE SUBJECT TO CHANGE ONCE DEMOLITION IS UNDERWAY

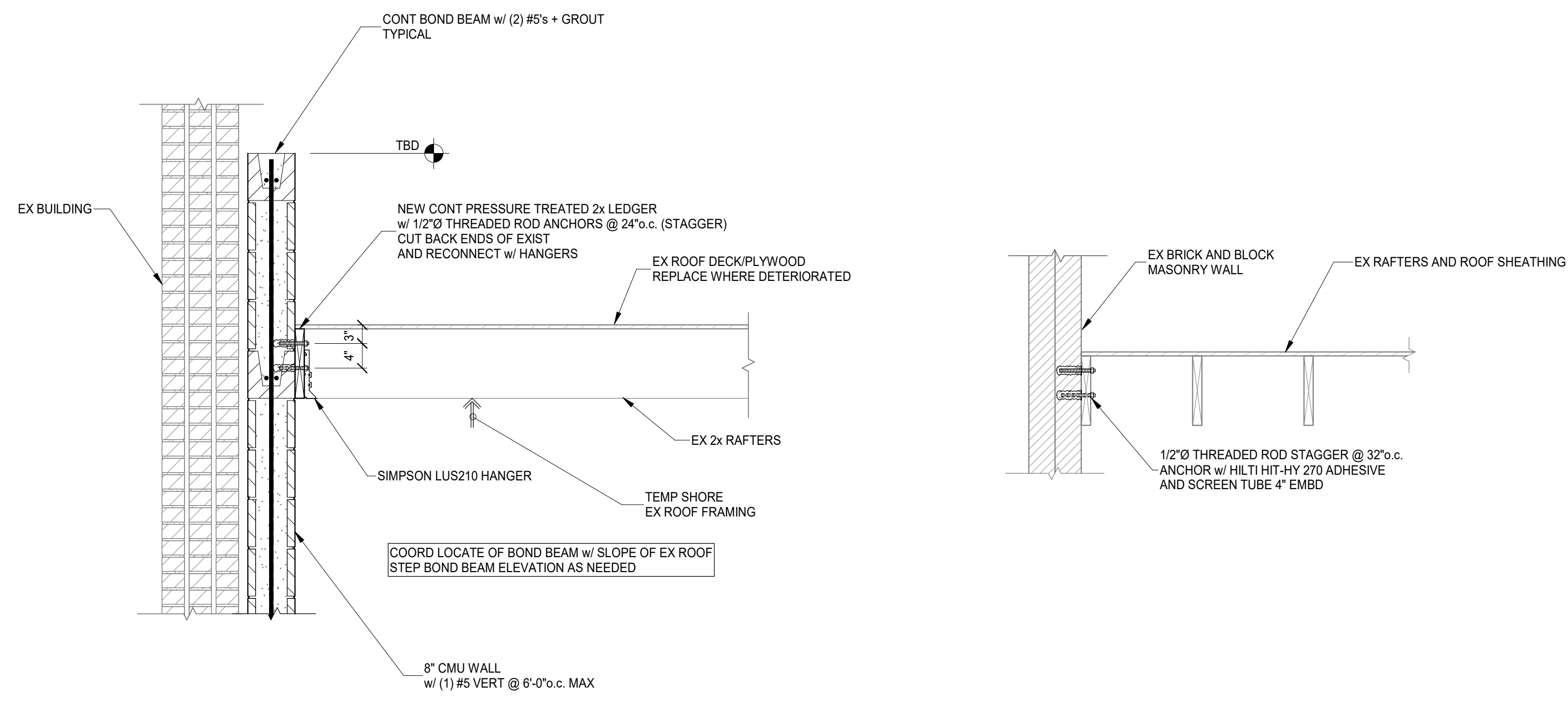


LINTEL SCHEDULE		
MARK	SIZE	REMARKS
L1	(2) L6x4x3/8	8" BRG
L2	(2) L5x3 1/2x1/4	8" BRG

**ROOF FRAMING PLAN**  
SCALE 1/4" = 1'-0"

**PLAN NOTES:**

- COORDINATE LOCATIONS OF ALL NEW OPENINGS WITH ARCHITECT.
- H1-NEW DOUBLE 2x10 HEAD OR WITH (1) STUD CRIPPLE FOR BEARING ADJACENT TO (1) FULL HEIGHT KING STUD.
- WHERE EXISTING WOOD RAFTERS MAY HAVE SUSTAINED ROT OR BEEN COMPROMISED REPLACE IN KIND FULL LENGHT OR SISTER ALONG SIDE FASTENING WITH (2) 16d NAILS @ 16"o.c.
- COORDINATE PLACEMENT OF ALL ROOT SUPPORTED HVAC EQUIPMENT WITH MECHANICAL DRAWINGS. REINFORCE EXISTING RAFTER MEMBERS BY SISTERING FULL LENGHT MATCHING 2x RAFTERS THROUGHOUT ZONE OF SUPPORT. FASTEN WITH (2) 16d NAILS @ 16"o.c. ALONG LENGHT.
- AREAS OF ROOF SHEATHING NOTED HAS SUSTAINED SIGNIFICANT WATER DAMAGE. REPLACE EXISTING SHEATHING WITH NEW APA RATED PLYWOOD (MIN 1/2" THICK) MATCH EXISTING THICKNESS. BUDGET 30% OF ROOF TO BE REPLACED.
- ALONG PERIMETER OF ROOF (FRONT AND REAR) DRILL AND ATTACH EXISTING RIM RAFTER TO EXISTING CMU WALL. FASTEN WITH HALF-INCH DIAMETER ALL THREAD RODS @ 32"o.c. STAGGER ALONG LENGHT OF WALL. EMBED 4" WITH HILTY HIT-HY 270 ADHESIVE PLUS SCREEN TUBE.



**SECTION 1**  
SCALE 3/4" = 1'-0" S120

**SECTION 2**  
SCALE 3/4" = 1'-0" S120

STRUCTURAL INFORMATION NOTED IS BASED ON ASSUMPTIONS OF CONDITION OF EXISTING FRAMING & FRAMING HIDDEN FROM VISUAL OBSERVATION. DETAILS OF PROPOSED FRAMING MODIFICATION/REPAIRS ARE SUBJECT TO CHANGE ONCE DEMOLITION IS UNDERWAY

#	REVISION/SUBMISSION	Date
04/28/2023	PERMIT SUBMITTAL	
02/17/2023	DESIGN DEVELOPMENT	
	REVISION/SUBMISSION	

Design Team: RJB / MC  
Date: 04/26/2023

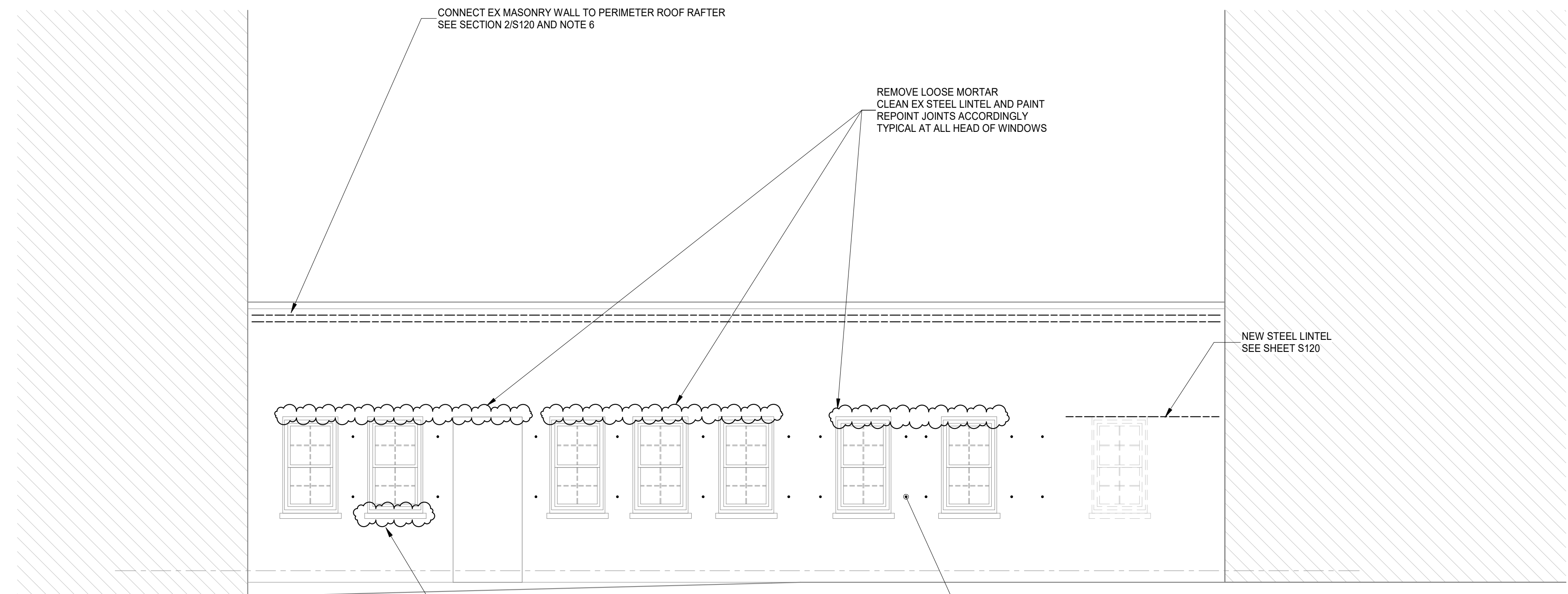
DRAWING TITLE: ROOF FRAMING PLAN  
PROPOSED PROJECT: PREPARED FOR: PLATTE ARCHITECTURE  
FINDLAY FLATS  
**6 W ELDER**  
6 W ELDER  
CINCINNATI, OH 45202

Proj. No.: 22146.27  
Drawing No.

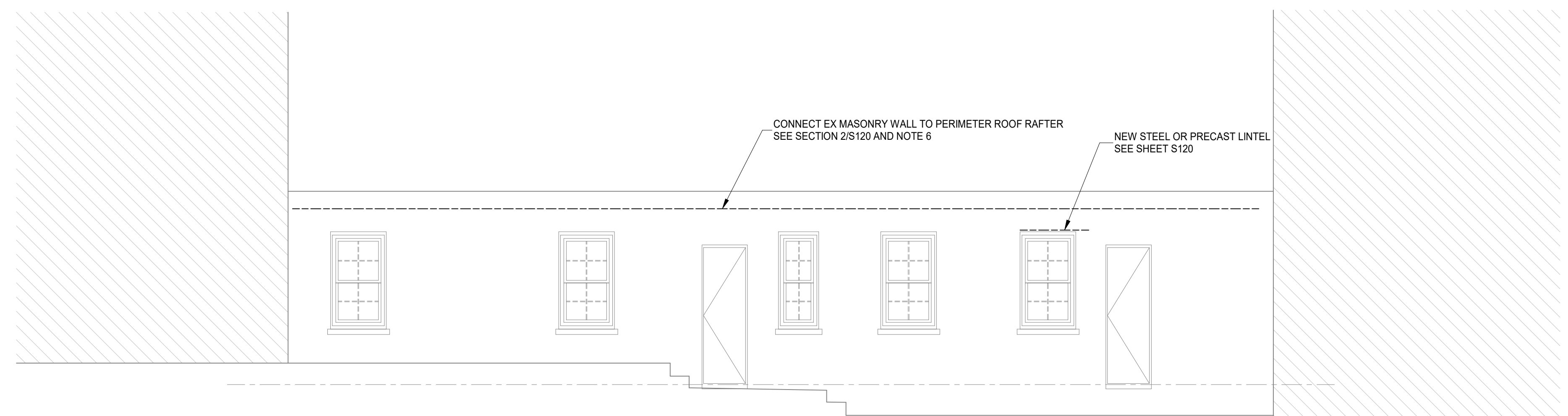
**S120**

6 W ELDER  
CINCINNATI, OH 45202

6 W ELDER



**FRONT WALL ELEVATION**  
SCALE 1/4" = 1'-0"



**REAR WALL ELEVATION**  
SCALE 1/4" = 1'-0"

STRUCTURAL INFORMATION NOTED IS BASED ON ASSUMPTIONS OF CONDITION OF EXISTING FRAMING & FRAMING HIDDEN FROM VISUAL OBSERVATION. DETAILS OF PROPOSED FRAMING MODIFICATION/REPAIRS ARE SUBJECT TO CHANGE ONCE DEMOLITION IS UNDERWAY

#	REVISION/SUBMISSION	Date
PERMIT SUBMITTAL		04/28/2023
DESIGN DEVELOPMENT		02/17/2023

Design Team: RJB / MC  
Date: 04/26/2023

DRAWING TITLE: ELEVATIONS  
PREPARED FOR: PLATTE ARCHITECTURE

PROPOSED PROJECT:  
**FINDLAY FLATS**  
**6 W ELDER**  
6 W ELDER  
CINCINNATI, OH 45202

Proj. No.: 22146.27  
Drawing No.

**S210**





Z:\Project\_Directories\9700-9700\9757 - Findlay Flats - Findlay Flats - Construction Documents - Phase 1 (6 Buildings) 6 W ELDER STREET - RT.dwg - Model - Plot Date/Time: Apr 26, 2023 - 3:24pm - Br. Lmgier  
 THESE DRAWINGS AND SPECIFICATIONS ARE NOT AUTHORIZED TO BE USED AS CONTRACT DOCUMENTS. THESE DRAWINGS HAVE BEEN PREPARED TO DEMONSTRATE COMPLIANCE WITH APPLICABLE CODES, AND ARE INTENDED TO PROVIDE THE AUTHORITIES HAVING JURISDICTION WITH INFORMATION TO DETERMINE CODE COMPLIANCE. THE INSTALLING CONTRACTOR IS RESPONSIBLE TO ENSURE THAT MEANS, METHODS, AND MATERIALS USED IN CONSTRUCTION ARE INSTALLED IN ACCORDANCE WITH ANY CONTRACTUAL AGREEMENT THAT MAY EXIST WITH AN OWNER, CONSTRUCTION MANAGER, GENERAL CONTRACTOR, ETC.

**MECHANICAL SPECIFICATIONS**

1. General
  - a. Refer to architectural drawings, general notes, instructions to bidders, general conditions, supplementary general conditions, base building specifications and drawings, shop drawings and as-built plans, except as noted herein, which apply in all respects to this section. The contractor shall visit the site and familiarize himself with all existing conditions prior to bidding the work.
2. Use of Drawings And Specifications
  - a. EBS drawings and specifications are intended to convey design intent only. All means and methods sequences, techniques, and procedures of construction as well as any associated safety precautions and programs, and all incidental and temporary devices required to construct the project, and to provide a complete and fully operational mechanical system are the responsibility of the mechanical contractor.
3. Standards
  - a. Equipment and materials shall conform with appropriate provisions of AGA, ARI, ASME, ASTM, CISPI, UL, NEMA, ANSI, SMACNA, ASHRAE, NFPA, NEC, as applicable to each individual unit or assembly. All equipment must bear UL Label.
4. License / Experience
  - a. Contractor must be licensed by the state to install HVAC systems/equipment. Contractor must also have a minimum of 5 years of experience and have installed at least (5) successful project installations of similar size and scope. References must be provided upon request.
5. Codes
  - a. All work shall be performed in strict accordance with all applicable state and local codes and ordinances. The mechanical contractor shall satisfy code requirements at a minimum without any extra cost to the owner. In case of conflict between the drawings/specifications and the codes and ordinances, the highest standard shall apply.
6. Permits and Fees
  - a. The mechanical contractor shall procure and pay for all permits, fees, taxes, and inspections necessary to complete the mechanical work. Furnish certificate of approval for work from inspection authority to owner before final acceptance for work. Certificate of final inspection and approval shall be submitted with the contractor's request for payment. No final payment will be approved without this certificate.
7. Site Examination
  - a. The mechanical contractor shall thoroughly examine all areas of work where equipment, ductwork, and piping will be installed and shall report any condition that, in his opinion, prevents the proper installation of the mechanical work prior to bid. Contractor shall also examine the drawings and specifications of other branches of work, making reference to them for details of new or existing building conditions. No extras will be allowed for failure to include all required work in bid.
  - b. All work shall be done at times convenient to the owner and only during normal working hours, unless specified otherwise.
  - c. Mechanical contractor shall take their own measurements and be responsible for them.
  - d. Access panels are not shown on drawings. During site examination, contractor shall identify all areas where access panels are required, and report to general contractor. Designation of who furnishes and who installs access panels must be coordinated with general contractor prior to starting work.
8. Contractor Coordination
  - a. Coordination drawings showing system and component installation layout, routing, details, etc. Shall be produced by the mechanical contractor and under the supervision of the general contractor/construction manager, or appropriate party as applicable.
  - b. All systems installed by each sub-contractor shall be coordinated with one another and approved by general contractor/construction manager, etc. prior to installation and/or fabrication.
  - c. If questions concerning design intent arise during coordination, EBS can assist where appropriate.
  - d. The architectural drawings shall take precedence over all other drawings. Do not scale distances off the mechanical drawings; use actual building dimensions.
9. Shop Drawings / Submittals
  - a. Submit to the architect electronic copies of complete and certified shop drawings, descriptive data, performance data and ratings, diagrams and specifications on all specified equipment, including accessories, and materials for review. The make, model number, type, finish and accessories of all equipment and materials shall be reviewed and approved by the mechanical contractor and general contractor prior to submitting to the architect for their review and approval. Approval of shop drawings does not relieve the mechanical contractor/vendor from compliance with the requirements of the contract drawings, specifications and applicable codes.
  - b. Shop drawings shall be required for the following:
    - HVAC equipment
    - Fans
    - Diffusers, registers, grilles, dampers, louvers, and all sheet metal accessories
    - Temperature controls
    - Sheet metal coordination drawings
    - Duct Sealants
  - c. Products installed by the mechanical contractor and provided by others must be submitted for review prior to purchasing. Products shall not be selected based on permit drawings without express permission - products shall be selected based on construction drawings.
10. Record Drawing
  - a. The mechanical contractor shall be responsible for creating record drawings where required. Drawings shall be produced in Autocad 2004 format or later.
  - b. The mechanical contractor shall be responsible for creating record drawings in a format agreed upon by 3CDC, ZHx, and the contracting parties.
11. Testing
  - a. All mechanical systems shall be tested for proper operation.
12. Fire Stopping
  - a. Provide fire stopping at all penetrations through rated separations per local codes & regulations & per UL recommendations for assemblies encountered in project.
  - b. The fire stopping material shall meet the integrity of the fire rated wall, floor, ceiling & roof being penetrated. Refer to architect's drawings for wall, floor, ceiling & roof fire ratings prior to bidding work.
  - c. Refer to architect's drawings for wall, floor, ceiling, and roof fire ratings prior to bidding work.
13. Access Panels
  - a. Provide ceiling and wall access panel quantities & locations to the general contractor prior to bidding. Access panels are required for all concealed appliances, controls devices, heat exchangers and HVAC system components that utilize energy. Where access panels are used, the access panel should be sized to allow accessibility for inspection, service, repair and replacement without disabling the function of a fire-resistance-rated assembly or removing permanent construction, other appliances, venting systems or any other piping or ducts not connected to the appliance being inspected, serviced, repaired or replaced. There shall be no extras for having to add access panels after bids are awarded.
14. Cutting and Patching
  - a. Neatly do all cutting as required and patch all cut surfaces to match building construction. The contractor shall employ and pay a trade trained and qualified to perform the required patching work. All surfaces disturbed shall be restored with like materials to the satisfaction of the owner. All penetrations through roof shall be made by bonded roofer. Mechanical contractor shall pay all fees required.
15. Flashing & Counterflashing
  - a. Roof flashing shall be furnished and installed by the roofing contractor. Roof counterflashing shall be furnished and installed by the mechanical contractor. Coordinate work with roofing contractor and pay all fees.
  - b. Obtain approval from general contractor, construction manager, owner and/or roofing contractor prior to making any penetrations so that warranties are not compromised or voided.
16. Warranty
  - a. The mechanical contractor shall unconditionally warrant all work to be free of defects in equipment, material and workmanship for a period of one (1) year from the date of final acceptance by owner. The mechanical contractor will repair or replace any defective work promptly and without charge to the owner.
  - b. Restore any other existing work damaged in the course of repairing defective equipment, materials and workmanship.
17. Mechanical Work
  - a. The mechanical contractor shall provide new hvac equipment, fans, ductwork, piping, air devices, controls as indicated on drawings and as specified. Startup and 1st year parts and labor warranty shall be included and manufacturer's extended warranties. Equipment and appliances shall be installed as required by the terms of their approval, in accordance with the conditions of the listing, the manufacturer's installation instructions, and the applicable code.
18. Owner's Instructions
  - a. Provide two sets of complete operating and maintenance instructions with drawings, typewritten instructions and operating sequences and descriptive data sheets. Assemble each set in a hard-bound cover. Provide pdf files of all documentation.
19. Finale
  - a. Put all equipment in service and demonstrate that all conditions of the contract have been fulfilled. Remove all tools, debris, etc. occasioned by work under this contract. Mechanical Contractor to provide a new set of filters in all HVAC units prior to turnover. Submit all warranties, test reports, operating and maintenance manuals for HVAC systems, log sheets and charts, and guarantees as previously specified. Provide all reports, forms, etc. required by inspectors to the satisfaction of the owner. Provide as-built record drawings (in Autocad 2007 or later) showing an accurate account of the final installed systems. Systems including but not limited to all equipment and associated controls, ductwork/piping, air devices, etc.
20. Sheetmetal Ductwork
  - a. All sizes of ducts shown on the drawings are interior duct dimensions. All ductwork shall be rigid sheetmetal constructed from galvanized sheet steel in accordance with SMACNA low velocity duct construction standards. All exposed ductwork shall be round, spiral, or rectangular lock-seam type, as shown on HVAC drawings. Assemble and install ductwork in accordance with recognized industry practice for achieving air tight (5% leakage) and noiseless (no objectionable noise) systems, capable of performing each indicated service. Furnish all required dampers, transitions, offsets, connections to air devices, and other accessories necessary for a complete operating system. Flexible ductwork shall not exceed 8'-0" long.
  - b. All 90-degree duct turns must be 1.5 radius elbows. If a 1.5 radius elbow will not fit, square elbows with turning vanes can be provided in lieu of radius but should be limited to only areas where there are space constraints.
  - c. All takeoff/branch ductwork must utilize boot or conical tee fittings.
21. Adhesives and Sealants
  - a. Seal all longitudinal and transverse duct joints with a UL 181A or 181B non-hardening, non-migrating mastic or liquid elastic sealant of a type recommended by the manufacturer for sealing joints and seams in sheet metal ductwork. Cover

all field joints, joints around spin-in fittings and fastening screws with mastic. All sealants and gaskets shall have surface-burning characteristics with a maximum flame-spread index of 25 and a maximum smoke-developed index of 50 when tested according to UL 723.

b. Exposed Ductwork trim duct sealants flush with metal. Create a smooth and uniform exposed bead. Do not use two-part tape sealing system.

c. (LEED only) For indoor applications, all adhesives, sealants, and sealant primers must meet the requirements of CA Section 01350.

d. LEED only) All duct boots sealed to drywall/finished floor (any interface with another material).

**22. Duct Supports**

a. Furnish and install hot-dipped galvanized steel fasteners, hangers, anchors, rods, straps, trim, and angles for support of ductwork.

**23. Flexible Connections**

a. Furnish and install neoprene flexible duct connections at the inlet and discharge of units and fans.

**24. Duct Manual Volume Dampers**

a. Furnish and install opposed-blade, leak-proof volume control dampers where indicated on drawings and locations in supply, return and exhaust ducts where branches are taken from larger ducts or at each individual duct register in order to achieve system air balance quantities. Balancing devices must be provided in accordance with IMC 603.18. All manual volume dampers must be shown on coordination drawings when submitted for review.

**25. Duct Access Doors**

A. Furnish and install conveniently located duct access doors of ample size and quantity for servicing the dampers.

**26. Diffusers, Grilles and Registers**

A. Diffusers, grilles and registers shall be manufactured by titus, price, or engineered approved equal and shall be furnished and installed by the mechanical contractor. Diffusers shall be installed as indicated on the drawings and schedules. The mechanical contractor shall provide all miscellaneous items necessary for a complete and proper installation in the type of ceiling and walls used in this project.

**27. Exhaust Fan**

A. Fan manufacturer shall be Broan, Cook, Panasonic, Greenheck, or engineered approved equal. Refer to drawings and schedules for unit location, technical data, and any applicable accessories.

**28. Indoor Furnace**

A. Split systems shall consist of high efficient condensing gas furnace and associated condensing unit. Furnace shall be a 4-way multipurpose design and installed per manufacturer's requirements. Refer to drawings and schedules for unit location, technical data, and accessories.

**29. Condensate Drain Piping**

A. The mechanical contractor shall furnish and install condensate drains, p-traps, with removable cleanout caps for air equipment per manufacturer's recommendations. The p-trap depth shall be at least the depth specified for the respective pressure drop of the unit. Condensate drain piping shall be schedule 40 CPVC pipe with solvent weld fittings (insulate condensate walls of pipe with Armaflex AP, flexible closed cell elastomeric foam, self-sealing insulation. Provide 1/2" thick insulation on piping < 1" in diameter and 1" thick insulation on piping between 1" and 1-1/2" in diameter. Pipe insulation shall not exceed 25/50 flame-smoke ratings). All condensate drain lines shall be configured to permit the clearing of blockages and performance of maintenance without requiring the drain line to be cut. For condensate pumps located in uninhabitable spaces (i.e. attics and crawl spaces), provide controls that will shut down the equipment if the condensate pump fails.

B. All cooling equipment shall have a wet switch in the primary drain line, the overflow drain line, or in the equipment-supplied drain pan (located at a point higher than the primary drain line connection and below the overflow rim of the pan) that will shut down the unit when the condensate is clogged.

**30. Piping Supports (Metal Pipe)**

A. Furnish and install hot-dipped galvanized steel fasteners, hangers, anchors, rods, straps, trim and angles for support of piping.

**31. Piping Supports (Plastic Pipe)**

A. Furnish and install hangers for plastic piping per manufacturer's requirements.

**32. Temperature Controls and Control Wiring**

A. The mechanical contractor shall provide all control wiring necessary for the complete and proper operating temperature control system. Programmable thermostats shall be provided with equipment packages unless otherwise noted.

B. Exposed wiring: All wiring exposed to the space shall be run in conduit. Coordinate requirements with architectural drawings.

**33. Commissioning**

a. 3CDC has hired ZHCx to act as their commissioning provider. The commissioning process will be implemented on the HVAC systems.

b. ZHCx will conduct onsite observations throughout construction. ZHCx shall be notified prior to any ductwork being covered.

c. ZHCx shall be notified prior to any equipment start up. ZHCx will witness start up of all split systems. If a start up occurs without notifying ZHCx the responsible contractor is required to perform another start up in the presence of ZHCx.

d. ZHCx will conduct functional performance testing on all HVAC equipment. Any findings will be reported to 3CDC, project architect, mechanical contractor, and the engineer of record. The responsible party is required to document the correction so that ZHCx can verify the correction has been made. ZHCx will perform one back check of the correction to ensure it has been implemented in its entirety.

**34. Sequence of Operation**

- Exhaust Fans
  - E-3: exhaust fan shall run on a wall switch (provided by the electrical contractor).
  - Split Systems
  - GF/ICU-5:
    - Heating mode - indoor furnaces shall be controlled from a thermostat in the space. When the thermostat calls for heating the fan shall run and the gas fired heat exchanger shall fire to maintain temperature setpoint. When the setpoint is reached the unit shall shut off.
    - Cooling mode - when the thermostat calls for cooling the condensing unit shall engage, the furnace fan shall run, and the dx cooling coil shall cool the air to maintain temperature setpoint.

FAN SCHEDULE													
TAG	TYPE	AREA SERVED	MANUFACTURER	MODEL	DRIVE	CFM	ESP	WATTS	RPM	VOLT/PHASE	MOUNTING	WEIGHT	NOTES
E-3	EXHAUST	RESTROOM	PANASONIC	FV-05-11VQ1	DIRECT	83	0.25	10.8	1185	115/60/1	CEILING	12	1

1. INSTALL RADIATION DAMPER PC-RD050C5

MECHANICAL EXHAUST SCHEDULE - 2017 OHIO MECHANICAL CODE										
ROOM NUMBER/UNIT TYPICAL	ROOMNAME	OCCUPANCY CLASSIFICATION	AREA (ft2)	EXHAUST AIRFLOW RATE (CFM)(R2)	FIXTURES			QTY OF FIXTURES	TOTAL EXHAUST AIRFLOW REQ. (CFM)	TOTAL EXHAUST AIRFLOW ACT. (CFM)
					EXHAUST RATE PER FIXTURE (CFM)	LOWER CONTINUOUS RATE?	HIGHER INTERMITTENT RATE?			
	RESTROOM	PUBLIC SPACES - TOILET ROOM	-	-	50/70	NO	YES	1	70	83

\*EXHAUST CALCULATIONS PER OMC 2017 TABLE 403.3.1.1

NATURAL VENTILATION SCHEDULE							
6 W, ELDER.							
UNIT	ROOM NAME	AREA	DOOR OPENABLE AREA [SQ. FT.]	WINDOW OPENABLE AREA [SQ. FT.]	UNOBSTRUCTED OPENING	TOTAL OPENABLE AREA	% OF FLOOR AREA
-	COMMERCIAL	1385	107	55	N/A	162	55

NATURAL VENTILATION CALCULATIONS PER SEC 402.1 OF 2017 OMC

NATURAL VENTILATION OF THE OCCUPIED SPACE SHALL BE THROUGH WINDOWS, DOORS, OR OTHER OPENINGS TO THE SPACE. THE OPERATING MECHANISM FOR SUCH OPENINGS SHALL BE PROVIDED WITH READY ACCESS SO THAT THE OPENINGS ARE READILY CONTROLLABLE BY THE BUILDING OCCUPANTS.

DUCT INSULATION SCHEDULE			
EQUIPMENT	AIR DISTRIBUTION TYPE		
	SA (EXPOSED)	RA	ADDITIONAL NOTES
GF-5	R-3.5	N/A	-

DUCT INSULATION REQUIREMENTS ARE BASED ON TABLE 6.8.2B OF ASHRAE 90.1 2010 ENERGY CODE. PROVIDE DUCTWORK OF SUFFICIENT THICKNESS TO MEET THE INSTALLED R-VALUE REQUIREMENTS LISTED ABOVE.

ITEMS NOT REQUIRED TO BE INSULATED: FIBROUS-GLASS DUCTS; DUCTS WITH LINER THAT MEETS ASHRAE 90.1, FACTORY-INSULATED FLEXIBLE DUCTS, FACTORY-INSULATED PLENUMS AND CASINGS, FLEX CONNECTORS, VIBRATION CONTROL DEVICES, FACTORY-INSULATED ACCESS PANELS AND DOORS.

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Progress Dates  
04/28/2023 Permit

Revisions

Checked By: SSS

Drawn by: RFG

PR-09757

**ENGINEERED BUILDING SYSTEMS INC.**

TEAMWORK • COLLABORATION  
SHARED SUCCESS

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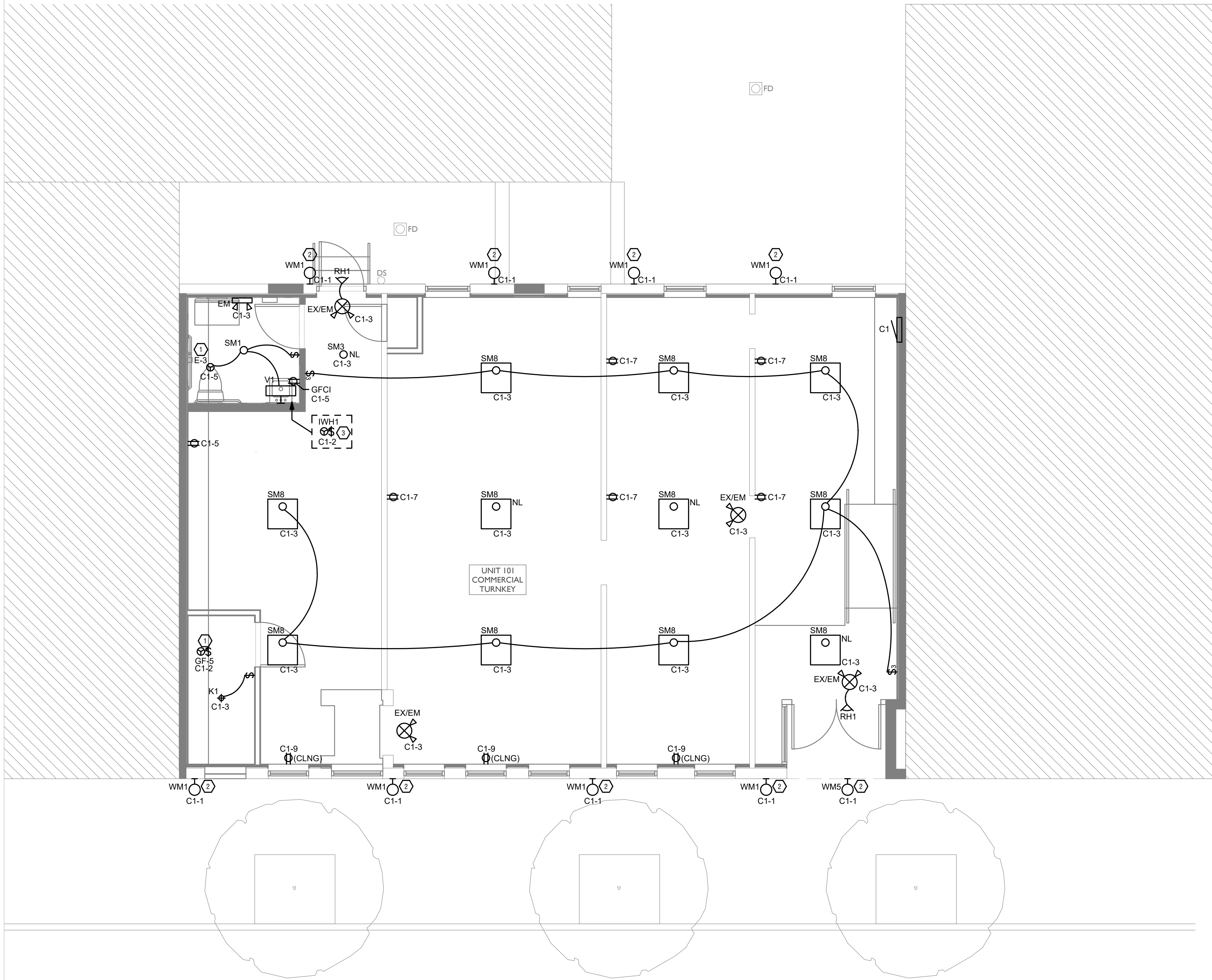
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PROPOSED PROJECT:  
 RENOVATION FOR  
**6 W ELDER ST.**  
 CINCINNATI, OH, 45202  
 FINDLAY FLATS

Job No: 22042 8/10/2022

M2.00

Z:\Project\_Directories\9700-9799\9757 - Findlay Flats - Friday Porchside (Williamsen) 2 Phase 1\Construction Documents\Phase 1 (B Buildings)\6 W Elder\6EF-ART.dwg - Model - Plot Date/Time: Apr 28, 2023 1:20:46pm - By: Denny\jehmkubi  
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**GENERAL NOTES-DWELLING UNITS**

- A. PROVIDE AFCI PROTECTION IN ACCORDANCE WITH NEC 210.12. AFCI PROTECTION MUST BE PROVIDED WHERE EXISTING BRANCH CIRCUIT WIRING IS MODIFIED OR RECEPTACLES ARE REPLACED, IN ACCORDANCE WITH NEC AND LOCAL ELECTRICAL INSPECTION REQUIREMENTS. REFER TO NEC 406.4 (D) AND NEC 210.12 (D).
- B. FURNISH AND INSTALL SMOKE DETECTORS AS REQUIRED BY CODE. SMOKE DETECTORS SHOWN ON EBS DRAWINGS ARE INTENDED TO CONVEY GENERAL COMPLIANCE FOR BUILDING DEPARTMENT SUBMITTALS. PROVIDE INTERWIRING BETWEEN SMOKE DETECTORS LOCATED IN THE SAME UNIT. SMOKE DETECTORS SHALL BE HARD WIRED WITH BATTERY BACK-UP. FIRE ALARM AND/OR SMOKE DETECTOR SYSTEMS ARE FURNISHED ON A DESIGN-BUILD BASIS BY THE ELECTRICIAN.
- C. WHERE CIRCUITING IS SHOWN TYPICAL FOR MULTIPLE UNITS, COORDINATE BREAKER/WIRE SIZES FOR EQUIPMENT FURNISHED BY OTHERS WITH SHOP DRAWINGS PROVIDED BY THE CONTRACTOR SUPPLYING THE EQUIPMENT. VERIFY BREAKER/WIRE SIZES FOR EQUIPMENT OR APPLIANCE FOR EACH UNIT PRIOR TO ROUGH-IN.
- D. SEE ARCHITECTURAL REFLECTED CEILING PLANS FOR DIMENSIONED LOCATIONS OF ALL LIGHT FIXTURES.
- E. PROVIDE CONDUIT AND PULL STRING TO APPROVED LOCATION FOR VOICE, DATA, AND CATV CABLES.
- F. CIRCUITING ON DRAWINGS AND PANEL SCHEDULE IS SHOWN TYPICAL FOR SIMILAR UNITS. REFER TO DWELLING UNIT LOAD SUMMARIES FOR INDIVIDUAL DWELLING UNIT LOAD CALCULATIONS.
- G. COORDINATE RECEPTACLE, PHONE, AND TV DEVICE PLACEMENT WITH FURNITURE LOCATIONS. VERIFY WITH ARCHITECT PRIOR TO ROUGH IN. LOCATIONS SHOWN ON DRAWINGS ARE INTENDED TO CONVEY DESIGN INTENT, AND DEMONSTRATE GENERAL COMPLIANCE WITH CODE. WHERE ACTUAL STUD LOCATIONS REQUIRE DEVICE LOCATIONS TO BE ADJUSTED, ADDED OR MINOR VARIATIONS AMONG UNITS THAT ARE SHOWN AS "TYPICAL", ETC. OCCUR, CONTRACTOR, UNDER HIS BASE BID, TO MAKE NECESSARY ADJUSTMENTS / ADDITIONS IN THE FIELD TO MAINTAIN NEC DWELLING UNIT RECEPTACLE SPACING REQUIREMENTS. WHERE ACTUAL WINDOW CONSTRUCTION PROHIBITS THE INSTALLATION OF A WALL RECEPTACLE, PROVIDE FLOOR RECEPTACLE WITHIN 18 INCHES OF THE BASE OF THE WALL. PROVIDE TAMPER PROOF RECEPTACLES AS REQUIRED BY NEC ART. 406.12

**KEYED SHEET NOTES**

- 1. MECHANICAL EQUIPMENT PROVIDED BY MECHANICAL CONTRACTOR, WIRED BY ELECTRICAL CONTRACTOR. VERIFY ELECTRICAL REQUIREMENTS WITH MECHANICAL REQUIREMENTS PRIOR TO ROUGH-IN.
- 2. EXTERIOR LIGHTING ON PHOTOCELL. CONFIRM LOCATION OF PHOTOCELL DEVICE WITH OWNER AND ARCHITECT PRIOR TO ROUGH-IN.
- 3. PLUMBING EQUIPMENT PROVIDED BY PLUMBING CONTRACTOR, WIRED BY ELECTRICAL CONTRACTOR. VERIFY ELECTRICAL REQUIREMENTS WITH PLUMBING REQUIREMENTS PRIOR TO ROUGH-IN.

**SCOPE OF WORK**

RENOVATION OF EXISTING BUILDING MULTIFAMILY BUILDING WITH COMMERCIAL FIRST FLOOR. PROVIDE NEW ELECTRICAL DISTRIBUTION, POWER AND LIGHTING. SEE SINGLE LINE DIAGRAM FOR MORE DETAILS.

**GENERAL NOTES-OVERALL PROJECT**

- A. EBS DRAWINGS INDICATE DESIGN INTENT AND REQUIRED OUTCOMES. IF CONDITIONS ARISE IN THE FIELD THAT REQUIRE DEVIATIONS FROM THE DRAWINGS IT IS ASSUMED THAT THE CONTRACTOR WILL DETERMINE THE APPROPRIATE DEVIATION WITH APPROVAL FROM THE OWNER. EBS IS AVAILABLE TO ASSIST WHEN REQUIRED IF ISSUES ARISE.

**GENERAL NOTES-LIGHTING**

- A. REFER TO ARCHITECT'S PLANS AND ELEVATIONS FOR DIMENSIONED LOCATIONS OF LIGHT FIXTURES.
- B. PROVIDE HOLD-ON-TYPE BREAKERS FOR EGRESS/EMERGENCY LIGHTING CIRCUITS. WIRE ALL EGRESS/EMERGENCY FIXTURES AHEAD OF ANY LOCAL SWITCHING.
- C. LIGHT FIXTURES CONTROLLED BY SWITCH IN SAME ROOM UNLESS OTHERWISE NOTED.
- D. WHERE DIMMERS AND/OR DIMMING SYSTEMS ARE REQUIRED, CONTRACTOR TO FURNISH DIMMERS THAT ARE COMPATIBLE WITH FIXTURE SOURCE AND RATED FOR THE WATTAGE OF THE DIMMING ZONE. PROVIDE ADDITIONAL DIMMERS AS REQUIRED TO MEET ZONE LOAD REQUIREMENTS.
- E. ELECTRICAL SWITCHES ON OPPOSITE SIDES OF A WALL ARE TO BE SPACED SO THAT THEIR ELECTRICAL BOX ARE A MINIMUM OF ONE STUD BETWEEN BOXES.

**GENERAL NOTES-POWER**

- A. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ALL CONDUIT/CABLE ROUTING. COORDINATE ROUTING WITH ALL OTHER TRADES AND BUILDING CONDITIONS.
- B. SEE SINGLE LINE DIAGRAM FOR FEEDER WIRE AND CONDUIT SIZE. ALL CIRCUITS NOT SIZED ON DRAWING SHALL BE INSTALLED TO MEET MINIMUM SIZE REQUIRED BY NEC.
- C. PROVIDE MOTOR STARTERS FOR EQUIPMENT AS INDICATED ON DRAWINGS. COORDINATE ANY INTERLOCKING WIRING WITH HVAC CONTRACTOR AND PROVIDE WIRING, COILS, AND AUXILIARY CONTACTS AS NECESSARY. SIZE ALL CIRCUITS FOR ACTUAL EQUIPMENT TO BE CONNECTED.
- D. ALL PANELS AND DISCONNECTS LOCATED OUTDOORS SHALL BE LABELED NEMA 3R.
- E. ROOF MOUNTED AND OUTDOOR EQUIPMENT SHALL HAVE 120V RECEPTACLE MOUNTED WITHIN 25' OF EACH PIECE. RECEPTACLES SHALL BE IN WEATHER PROOF BOX AND HAVE GFCI PROTECTION.
- F. FOR ITEMS FURNISHED BY OTHER TRADES, ELECTRICAL CONTRACTOR TO FULLY COORDINATE BREAKER AND WIRE SIZES WITH ACTUAL EQUIPMENT BEING CONNECTED PRIOR TO ROUGH-IN, OR INSTALLATION. THE SIZES ON PANEL SCHEDULES REFER TO BASIS OF DESIGN SELECTIONS, AND ACTUAL ITEMS MAY DEVIATE FROM BASIS OF DESIGN. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO CONFIRM REQUIRED WIRE AND BREAKER SIZES WITH THE CONTRACTOR FURNISHING THE EQUIPMENT.
- G. REFER TO ARCHITECT'S PLANS AND ELEVATIONS FOR ALL DEVICE MOUNTING HEIGHTS.
- H. CONTRACTOR TO PROVIDE GROUNDING AND BONDING AS REQUIRED FOR ELECTRICAL SYSTEMS. GROUNDING AND BONDING IS CONSIDERED MEANS AND METHODS OF CONSTRUCTION, AND SHOULD BE COMPLETED BY THE ELECTRICAL CONTRACTOR IN ACCORDANCE WITH NEC 250. GAS PIPING SYSTEMS MUST BE BONDED PER UTILITY PROVIDER'S INSTALLATION GUIDELINES WHERE REQUIRED.
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Progress Dates  
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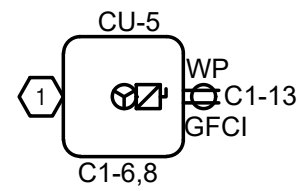
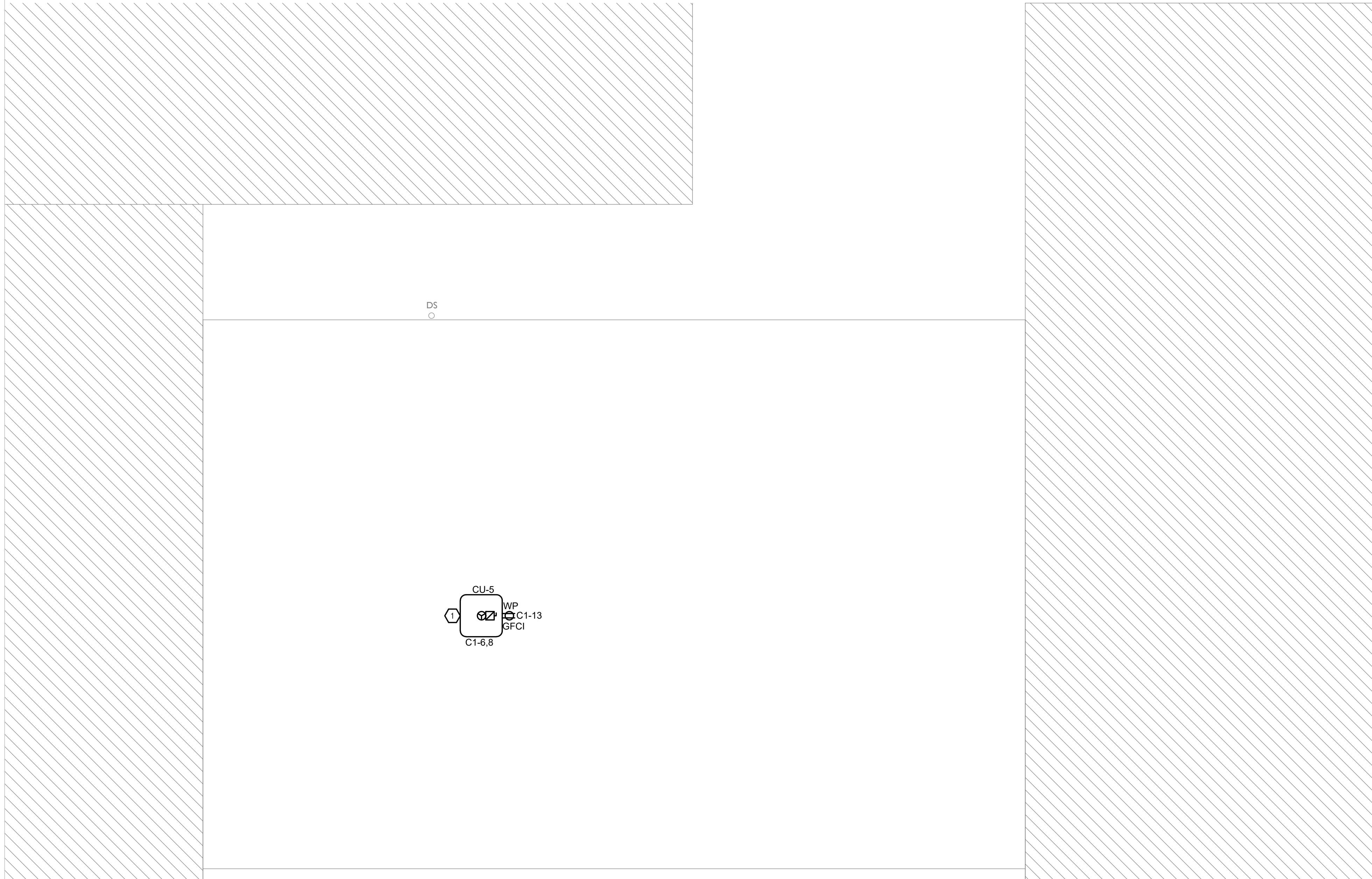
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 CINCINNATI, OH, 45202  
 FINDLAY FLATS

Job No: 22042 8/10/2022

**EI.00**



Z:\Project\_Directories\9700-9799\9757 - Findlay Flats - Findlay Periside (Williamsen - Phase 1) - Construction Documents - Phase 1 (8 Buildings)\6 W ELDER ST-ROOF-POWER-ROOF-PLAN.dwg-EBS, Plot Date/Time: May 05, 2023-8:22am \$\$\$\$  
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SCALE: 1/4" = 1'-0"

ELECTRICAL POWER PLAN - ROOF PLAN



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Job No: 22042 8/10/2022

**EI.01**





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### SCOPE OF WORK

RENOVATION OF EXISTING COMMERCIAL BUILDING. PROVIDE NEW ELECTRICAL DISTRIBUTION, POWER AND LIGHTING. SEE SINGLE LINE DIAGRAM FOR MORE DETAILS.

### GENERAL NOTES-OVERALL PROJECT

A. EBS DRAWINGS INDICATE DESIGN INTENT AND REQUIRED OUTCOMES. IF CONDITIONS ARISE IN THE FIELD THAT REQUIRE DEVIATIONS FROM THE DRAWINGS IT IS ASSUMED THAT THE CONTRACTOR WILL DETERMINE THE APPROPRIATE DEVIATION WITH APPROVAL FROM THE OWNER. EBS IS AVAILABLE TO ASSIST WHEN REQUIRED IF ISSUES ARISE.

### GENERAL NOTES-SINGLE LINE DIAGRAM

A. ALL BREAKERS SHALL BE RATED TO WITHSTAND THE AVAILABLE FAULT CURRENT AT THEIR LOCATION. WHERE SERIES-RATED COMBINATIONS ARE USED IN ACCORDANCE WITH NEC 240.36 (E) AND (C) THE CONTRACTOR AND/OR HIS EQUIPMENT SUPPLIER MUST PROVIDE APPROPRIATE DOCUMENTATION AND LABELING.

B. WHERE BREAKERS WITH ADJUSTABLE SETTINGS ARE FURNISHED TO THE PROJECT, THE MANUFACTURER'S REP SHALL IDENTIFY AND PROVIDE THE APPROPRIATE SETTINGS TO THE ELECTRICAL CONTRACTOR FOR HIS USE IN INSTALLATION.

C. PANEL SCHEDULES INDICATE BREAKER SIZE ONLY. PROVIDE AFCI/GFCI PROTECTION AS REQUIRED BY NEC. COORDINATE FINAL BREAKER SIZES/TYPES FOR ITEMS FURNISHED BY OTHERS WITH SHOP DRAWINGS OR PRODUCT INFORMATION FOR ACTUAL EQUIPMENT BEING CONNECTED.

D. ELECTRICAL CONTRACTOR SHALL NOT ORDER OR PURCHASE ANY MATERIALS OR EQUIPMENT UNTIL PERMIT DRAWINGS HAVE BEEN APPROVED BY AHJ.

E. PROVIDE SELECTIVE COORDINATION FOR EMERGENCY SYSTEM OVERCURRENT PROTECTION DEVICES IN ACCORDANCE WITH NEC 700.27.

F. PROVIDE GROUND-FAULT PROTECTION FOR EQUIPMENT IN ACCORDANCE WITH NEC 240.13 AND NEC 250.35.

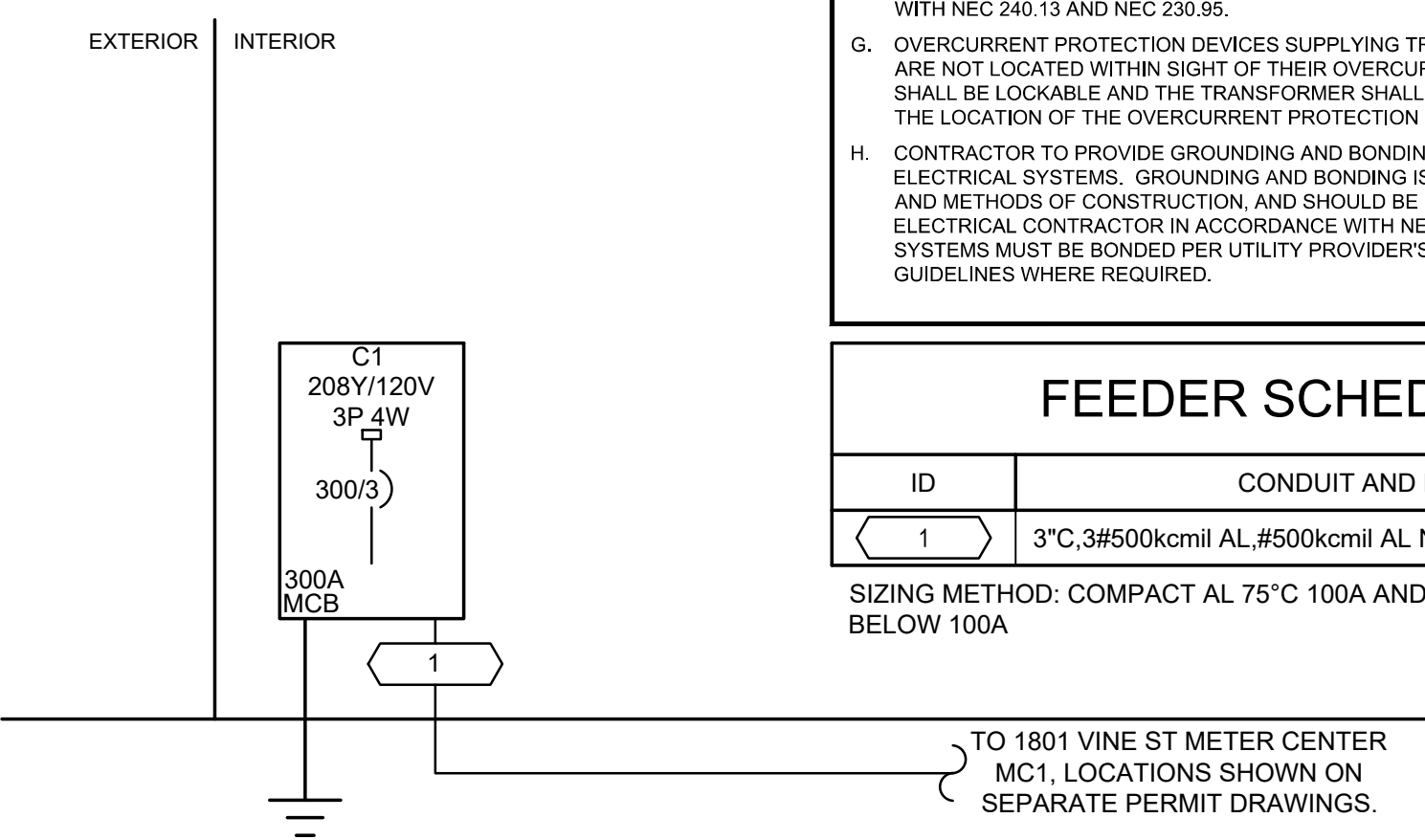
G. OVERCURRENT PROTECTION DEVICES SUPPLYING TRANSFORMERS WHICH ARE NOT LOCATED WITHIN SIGHT OF THEIR OVERCURRENT PROTECTION SHALL BE LOCKABLE AND THE TRANSFORMER SHALL BE FIELD MARKED WITH THE LOCATION OF THE OVERCURRENT PROTECTION DEVICE.

H. CONTRACTOR TO PROVIDE GROUNDING AND BONDING AS REQUIRED FOR ELECTRICAL SYSTEMS. GROUNDING AND BONDING IS CONSIDERED MEANS AND METHODS OF CONSTRUCTION, AND SHOULD BE COMPLETED BY THE ELECTRICAL CONTRACTOR IN ACCORDANCE WITH NEC 250. GAS PIPING SYSTEMS MUST BE BONDED PER UTILITY PROVIDER'S INSTALLATION GUIDELINES WHERE REQUIRED.

### FEEDER SCHEDULE

ID	CONDUIT AND FEEDER
1	3" C, 3#500kcmil AL #500kcmil AL N,#2 AL G

SIZING METHOD: COMPACT AL 75°C 100A AND ABOVE, CU 75°C BELOW 100A



C1		ROOM		VOLTS 208Y/120V 3P 4W		AIC T.B.D.	
MOUNTING FLUSH		BUS AMPS 300		MAIN BKR 300			
FED FROM SD-1		NEUTRAL 100%		LUGS STANDARD			
NOTE							
CKT #	CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION	CKT #	CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION
3	20/1	0.09	EXTERIOR LIGHTING	b 2	20/1	2.08	GF-5
5	20/1	0.52	E-3, LIGHTING, RECEPTACLE	c 6	50/2	6.95	CU-5
7	20/1	0.9	RECEPTACLE	a 8			
9	20/1	0.54	RECEPTACLE	b 10	20/1	0	SPACE
11	20/1	0	SPACE	c 12	20/1	0	SPACE
13	20/1	0.18	RECEPTACLE	a 14	20/1	0	SPACE
15	20/2	0	SPACE	b 16	20/1	0	SPACE
17				c 18	20/1	0	SPACE
19	20/1	0	SPACE	a 20	20/1	0	SPACE
21	20/1	0	SPACE	b 22	20/1	0	SPACE
23	20/1	0	SPACE	c 24	20/1	0	SPACE
25	20/1	0	SPACE	a 26	20/1	0	SPACE
27	20/1	0	SPACE	b 28	20/1	0	SPACE
29	20/1	0	SPACE	c 30	20/1	0	SPACE
31	20/1	0	SPACE	a 32	20/1	0	SPACE
33	20/1	0	SPACE	b 34	20/1	0	SPACE
35	20/1	0	SPACE	c 36	20/1	0	SPACE
37	20/1	0	SPACE	a 38	20/1	0	SPACE
39	20/1	0	SPACE	b 40	20/1	0	SPACE
41	20/1	0	SPACE	c 42	20/1	0	SPACE

	CONN KVA	CALC KVA		CONN KVA	CALC KVA
LIGHTING	1.14	1.42	(125%)	MOTORS	5.8
LARGEST MOTOR	6.95	1.74	(25%)	RECEPTACLES	1.98
				COOLING	6.95
				TOTAL LOAD	17.9
				BALANCED 3-PHASE LOAD	49.6 A
				PHASE A	191%
				PHASE B	28.2%
				PHASE C	81.1%

### FINDLAY PARKSIDE LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	LAMP	DESCRIPTION	MODEL	INPUT VA	NOTES	LOCATIONS
EM	⏏	(2) 1W LED	EMERGENCY WALL PACK HIGH CAPACITY	SURE LITES - SEL50	1		
EMW	⊖	(1) 15W LED	EMERGENCY WALL PACK	MEZZO - MEZ LED ACEM DB 120/277 CL	15		
EX	⊕	(1) 1.31W LED	EXIT FIXTURE	SURE-LITES - APX7R	1.31		
EX/EM	⊕	(1) 1.31W LED	COMBINATION EXIT/EMERGENCY FIXTURE	SURE-LITES - APCH7R	1.31		
F1	⊗	(1) 38W LED/FAN	36" CEILING FAN	HUNTER - 59301	38	FRESH WHITE	LIVING ROOM AND BEDROOM
F2	⊗	(1) 54W LED	52" CEILING FAN	HUNTER - 51433	54	FRESH WHITE	LIVING ROOM AND BEDROOM
K1	•	(1) 10W LED	KEYLESS FIXTURE	LEVITON - 8829-CW1 (OR EQUAL)	10	USE WITH LED LAMP	
RH1	◁	(1) 0.78W LED	SINGLE REMOTE HEAD	SURE-LITES - APWR1	0.78		
SM1	○	(1) 9.7W LED	4" ROUND SURFACE MOUNT DOWNLIGHT	HALO - SMD4	9.7	WHITE FINISH	GENERAL DOWNLIGHT THROUGHOUT, U.N.O.
SM2	○	(1) 9.7W LED	4" ROUND SURFACE MOUNT DOWNLIGHT - DAMP RATED	HALO - SMD4	9.7	WHITE FINISH	CEILING DOWNLIGHTS IN SHOWERS
SM3	○	(1) 9.7W LED	4" ROUND SURFACE MOUNT DOWNLIGHT - ALWAYS ON	HALO - SMD4	9.7	WHITE FINISH	CEILING DOWNLIGHTS IN CORRIDORS
SM8	◻	(1) 31.4W LED	2X2 LED PANEL LIGHT FIXTURE	METALUX - CGT LED PANEL SERIES	31.4		COMMERCIAL FIRST FLOOR ONLY
SM13	○	(1) 9W LED	SURFACE MOUNT ENTRY VESTIBULE LIGHT	EFFICIENT LIGHTING - EL-831-109E26LED-BN	9	POWDER COAT BLACK	STAIR HALL ENTRY VESTIBULE LIGHT - 1ST FLOOR ONLY
ST1	— —	(1) 18W LED	4' LED STRIP LIGHT	METALUX - 4SNLED-LD5-28SL-UNV-L835-CD1-U	18		BASEMENT AND ATTIC ONLY
TL1	•	(4) 10.5W LED	TRACK LIGHT - HEAD	HALO - L81208FL9027P L651P	42		COMMERCIAL 1ST FLOOR ONLY
V1	⏏	(1) 25W LED	LED VANITY LIGHT	EFFICIENT - EL222L-24	25	BLACK	RESIDENTIAL AND COMMERCIAL BATHROOMS
WM1	⊖	(1) 15W LED	EXTERIOR LED LIGHT FIXTURE	LIGMAN LIGHTING USA - UJE-30351 - XX - X - W30 - 01	15	COLOR 01-BLACK RAL 9011	EXTERIOR - DARK SKY COMPLIANT
WM5	⊖	(1) 15W LED	EXTERIOR LED LIGHT FIXTURE	STEEL LIGHTING CO - VENICE WALL MOUNT - A09-01- ST11-01-XX-01 (3000K LED LAMP)	15	11" STRAIGHT ARM (VERIFY MOUNTING WITH ARCHITECT)	EXTERIOR - DARK SKY COMPLIANT

# PLATTE

architecture + design

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Progress Dates  
 05/05/2023 BID P/E/P/P

Revisions  
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Checked By: PRS  
 Drawn by: AJW

PR-09757  
**ENGINEERED BUILDING SYSTEMS INC.**  
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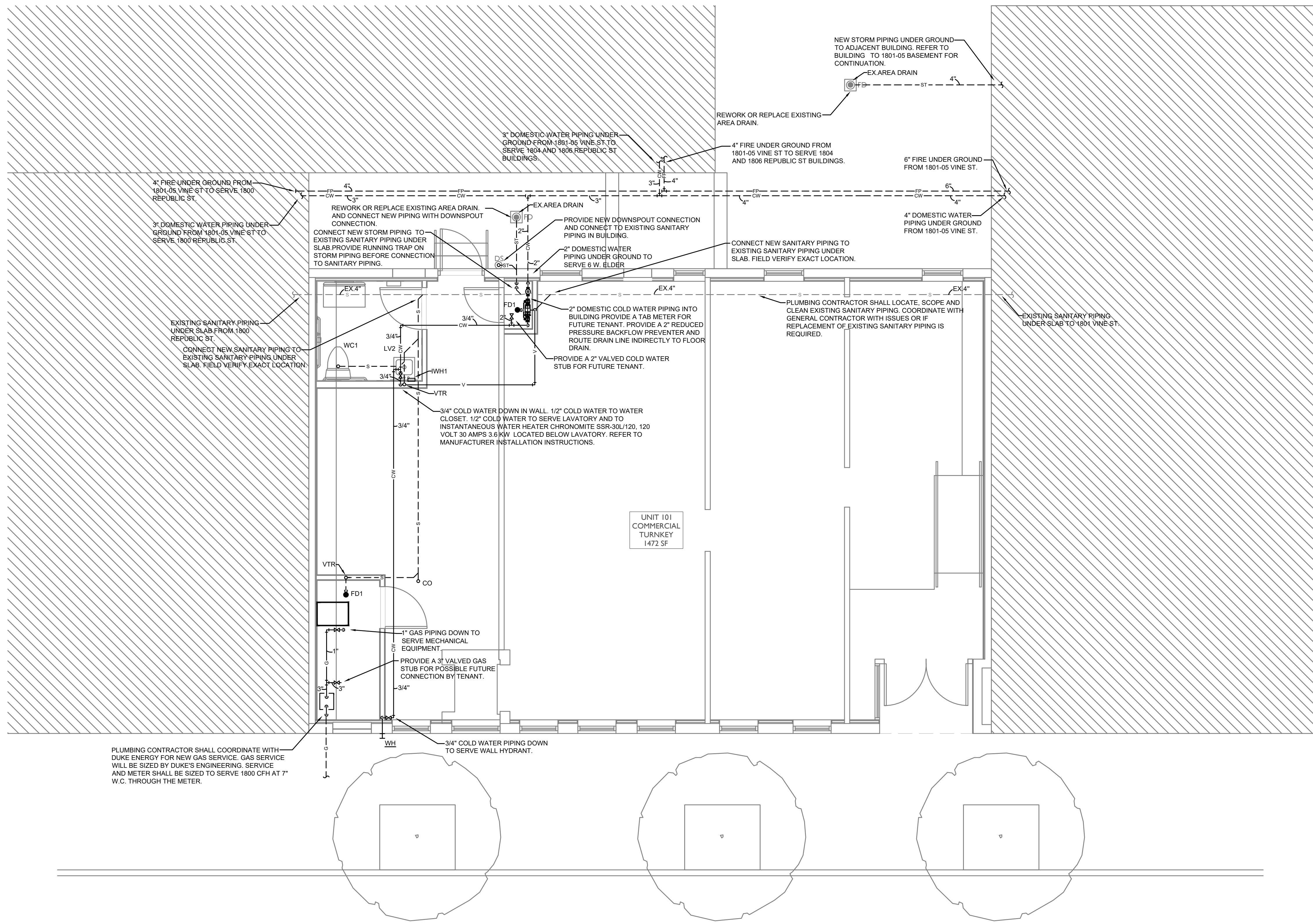
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PROPOSED PROJECT:  
 RENOVATION FOR  
**6 W ELDER ST.**  
 CINCINNATI, OH, 45202  
 FINDLAY FLATS

Job No: 22042 8/10/2022

# E2.01

Z:\Project\_Directories\9700-9789\9757 - Findlay Flats - Findlay Periside (Williamson) 2 Phase II\Construction Documents\Phase 1 (8 Buildings)\6 W Elder\9757-P1-00-PLUMBING-FIRST FLOOR-PLAN.dwg - PLS. Plot Date/Time: May 05, 2023-12:37pm \$\$\$\$  
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PLUMBING LEGEND	
SYMBOL	DESCRIPTION
--- S ---	SANITARY/WASTE PIPING BELOW FLOOR
--- V ---	VENT PIPING
--- CW ---	COLD WATER PIPING
--- G ---	NATURAL GAS PIPING
--- ST ---	STORM PIPING
FD ●	FLOOR DRAIN
⊕	BALL VALVE
CO ○	CLEANOUT
WH H	FROST PROOF WALL HYDRANT
⊕	VENT THROUGH ROOF RISER INDICATOR

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PROPOSED PROJECT:  
 RENOVATION FOR  
**6 W ELDER ST.**  
 CINCINNATI, OH, 45202  
 FINDLAY FLATS

Job No: 22042 8/10/2022

**PI.00**

SCALE: 1/4" = 1'-0"

PLUMBING PLAN - FIRST FLOOR |



Z:\Project\_Directions\9700-9799\9757 - Findlay Flats - Findlay Paradise (Wilkommen ? Phase II) - Construction Documents - Phase 1 (6 Buildings) (6 W Elder VBEF-ART.dwg) - Model - Title - Date/Time: Apr 28, 2023 - 2:04pm - By: DennyJelencak  
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**DIVISION 22 - PLUMBING**

**1. GENERAL PLUMBING REQUIREMENTS**

- a. THE PLUMBING CONTRACTOR MUST REFER TO SITE PLANS, ARCHITECTURAL PLANS AND ELEVATIONS, AND PRICING INSTRUCTIONS FROM THE GENERAL CONTRACTOR TO DEVELOP THEIR PRICE. THE PLUMBING CONTRACTOR'S PRICE (INCLUDING TAXES) SHOULD INCLUDE ALL LABOR AND MATERIAL NECESSARY TO PROVIDE A COMPLETE AND FULLY OPERATIONAL PLUMBING SYSTEM.
- b. THE PLUMBING CONTRACTOR SHALL BE LICENSED BY THE STATE OF OHIO TO INSTALL PLUMBING SYSTEMS.
- c. ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE STATE, LOCAL CODES AND ORDINANCES. THE PLUMBING CONTRACTOR SHALL SATISFY CODE REQUIREMENTS AS A MINIMUM STANDARD.
- d. SUBMIT TO THE ARCHITECT PDF FILE COPIES OF COMPLETE AND CERTIFIED SHOP DRAWINGS, DESCRIPTIVE DATA, PERFORMANCE DATA AND RATINGS, DIAGRAMS AND SPECIFICATIONS ON ALL SPECIFIED EQUIPMENT INCLUDING ACCESSORIES, AND MATERIALS FOR REVIEW.
- e. REFER TO ARCHITECTURAL DRAWINGS, GENERAL NOTES, INSTRUCTIONS TO BIDDERS, GENERAL CONDITIONS, SUPPLEMENTARY GENERAL CONDITIONS, SPECIFICATIONS, AND DRAWINGS EXCEPT AS NOTED HEREIN WHICH APPLY IN ALL RESPECTS TO THIS SECTION.
- f. COORDINATE PIPING CHANGES, SHAFTS, ABOVE CEILING WORK, ETC. WITH ARCHITECT. ALL DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO WORK.
- g. THE PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING ALL NECESSARY PLUMBING PIPING PENETRATIONS. THIS INCLUDES CORING HOLES IN SLABS, ETC.
- h. EQUIPMENT AND MATERIALS SHALL CONFORM WITH APPROPRIATE PROVISIONS OF AGA, ARI, ASME, ASTM, CISPI, UL, NEMA, ANSI, SMACNA, ASHRAE, NFPA, NEC, AS APPLICABLE TO EACH INDIVIDUAL UNIT OR ASSEMBLY. ALL EQUIPMENT MUST BEAR UL LABEL.
- i. INSTALL EQUIPMENT PER MANUFACTURER'S REQUIREMENTS. MAINTAIN ALL CODE RECOMMENDED CLEARANCES.
- j. WHERE NOT PROVIDED BY OTHERS, PROCURE AND PAY FOR ALL PERMITS, FEES, TAXES AND INSPECTIONS NECESSARY TO COMPLETE THE PLUMBING WORK. FURNISH CERTIFICATE OF APPROVAL FOR WORK FROM INSPECTION AUTHORITY TO OWNER BEFORE FINAL ACCEPTANCE FOR WORK. CERTIFICATE OF FINAL INSPECTION AND APPROVAL SHALL BE SUBMITTED WITH THE CONTRACTOR'S REQUEST FOR PAYMENT. NO FINAL PAYMENT WILL BE APPROVED WITHOUT THIS CERTIFICATE.
- k. ALL WORK SHALL BE ACCURATELY LAID-OUT WITH OTHER TRADES PRIOR TO INSTALLATION & FABRICATION, TO AVOID ALL CONFLICTS AND OBTAIN A NEAT AND WORKMANLIKE INSTALLATION WHICH WILL AFFORD MAXIMUM ACCESSIBILITY FOR EQUIPMENT OPERATION, MAINTENANCE CLEARANCES AND HEADROOM.

**2. USE OF INFORMATION PROVIDED BY EBS**

- a. THE INFORMATION PROVIDED IS INTENDED TO CONVEY DESIGN INTENT ONLY. ALL MEANS AND METHODS, SEQUENCES, TECHNIQUES, AND PROCEDURES OF CONSTRUCTION AS WELL AS ANY ASSOCIATED SAFETY PRECAUTIONS AND PROGRAMS, AND ALL INCIDENTAL AND TEMPORARY DEVICES REQUIRED TO CONSTRUCT THE PROJECT, AND TO PROVIDE A COMPLETE AND FULLY OPERATIONAL PLUMBING SYSTEM ARE THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR.

**3. CONTRACTOR COORDINATION**

- a. COORDINATION DRAWINGS SHOWING SYSTEM AND COMPONENT INSTALLATION LAYOUT, ROUTING, DETAILS, ETC. SHALL BE PRODUCED BY THE PLUMBING CONTRACTOR AND UNDER THE SUPERVISION OF THE GENERAL CONTRACTOR/CONSTRUCTION MANAGER, OR APPROPRIATE PARTY AS APPLICABLE. ALL SYSTEMS INSTALLED BY EACH SUB-CONTRACTOR SHALL BE COORDINATED WITH ONE ANOTHER AND APPROVED BY GENERAL CONTRACTOR/CONSTRUCTION MANAGER, ETC. PRIOR TO INSTALLATION AND/OR FABRICATION. IF QUESTIONS CONCERNING DESIGN INTENT ARISE DURING COORDINATION, EBS CAN ASSIST WHERE APPROPRIATE.

**4. PLUMBING FIXTURES**

- a. SHUT-OFF VALVES/STOPS SHALL BE PROVIDED AT ALL LAVATORIES, SINKS AND WATER CLOSETS.
- b. ALL WALL-HUNG PLUMBING FIXTURES, INCLUDING, BUT NOT LIMITED TO WATER CLOSETS, URINALS, LAVATORIES, AND SINKS SHALL BE ANCHORED TO THE FLOOR WITH CONCEALED IN-WALL CARRIERS. WALL-HUNG FIXTURES SHALL NOT BE SIMPLY BOLTED TO THE WALL OR ANCHORED TO WOOD BLOCKING.
- c. COORDINATE COLOR OF FIXTURES WITH ARCHITECT. FIXTURES SHALL BE WHITE UNLESS OTHERWISE NOTED.
- d. PROVIDE ADA COMPLIANT FIXTURES WHERE INDICATED ON THE ARCHITECTURAL PLANS. PROVIDE OFFSET FIXTURE TAILPIECES AND TRAPS WHERE REQUIRED TO MEET ADA LEG CLEARANCES.
- e. FIXTURES SHALL BE SECURELY FASTENED TO PREVENT ANY MOVEMENT OF FIXTURE DURING NORMAL USE. SEAL TO WALL, FLOOR OR COUNTERTOP WITH SILICONIZED ACRYLIC-LATEX CAULK.

**5. DRAIN PANS**

- a. PROVIDE DRAIN PAN UNDER WATER HEATERS. PIPE WATER HEATER DRAIN AND PRESSURE RELIEF VALVE SEPARATELY AND INDIRECTLY TO FLOOR DRAIN (NOT TO DRAIN PAN).
- b. DRAIN PANS SHALL BE PROVIDED UNDER WASHERS AND SHALL BE SIZED TO ACCOMMODATE A STANDARD WASHER OR STACKABLE WASHER/DRYER AS APPLICABLE. BASIS OF DESIGN SHALL BE DRIPTRITE 30-5/8" WIDE X 34-5/8" DEEP TRANSLUCENT PAN. DRILL 1/2" OUTLET IN VERTICAL SIDEWALL FOR SIDE-OUTLET OR IN BOTTOM OF PAN DIRECTLY OVER DRAIN IF DRAIN IS UNDER THE PAN. DRAIN CONNECTION SHALL BE MADE WITH MANUFACTURER PROVIDED DRAIN OUTLET CONNECTION. PANS ARE AVAILABLE IN CUSTOM SIZES IF NECESSARY (COORDINATE SIZES AND LOCATIONS OF THE PAN WITH ROOM DIMENSIONS AND EQUIPMENT SIZES AS PROVIDED BY THE ARCHITECT/OWNER).

**6. DOMESTIC WATER SYSTEMS**

- a. PROVIDE A NEW DOMESTIC WATER SERVICE TO THE BUILDING
- b. PROVIDE SEPARATE VALVE AND TAP METER FOR EACH APARTMENT AND TENANT SPACE.
- c. INTERIOR DOMESTIC WATER PIPING:
  - i. WHERE ALLOWED BY CODE, CPVC PIPING CAN BE USED.
  - ii. CPVC PIPING 2" AND SMALLER SHALL BE EQUAL TO FLOW GRADE GOLD - THIS SPECIFICATION COVERS COPPER TUBE SIZE (CTS) CPVC MANUFACTURED TO STANDARD DIMENSIONAL RATIO (SDR) 11 FOR HOT AND COLD DOMESTIC WATER DISTRIBUTION. THIS SYSTEM IS INTENDED FOR PRESSURE APPLICATIONS WHERE THE OPERATING TEMPERATURE WILL NOT EXCEED 180°F AT 100 PSI. PIPE AND FITTINGS SHALL BE MANUFACTURED FROM VIRGIN RIGID CPVC (CHLORINATED POLYVINYL CHLORIDE) VINYL COMPOUNDS WITH A CELL CLASS OF 24448 AS IDENTIFIED IN ASTM D 1784. CTS CPVC PIPE AND FITTINGS SHALL CONFORM TO ASTM D 2845. PIPE AND FITTINGS SHALL BE MANUFACTURED AS A SYSTEM AND BE THE PRODUCT OF ONE MANUFACTURER. ALL PIPE AND FITTINGS SHALL BE MANUFACTURED IN THE UNITED STATES. PIPE AND FITTINGS SHALL CONFORM TO NATIONAL SANITATION FOUNDATION (NSF) STANDARDS 14 AND 61. INSTALLATION SHALL COMPLY WITH LATEST INSTALLATION PROVIDED BY THE MANUFACTURER AND SHALL CONFORM TO ALL LOCAL PLUMBING, BUILDING AND FIRE CODE REQUIREMENTS. BURIED PIPE SHALL BE INSTALLED IN ACCORDANCE WITH ASTM F 1668. SOLVENT WELD JOINTS SHALL BE MADE USING CPVC CEMENT CONFORMING TO ASTM F 493. YELLOW ONE-STEP CEMENT MAY BE USED WITHOUT PRIMER. IF A PRIMER IS REQUIRED BY LOCAL PLUMBING OR BUILDING CODES, THEN A PRIMER CONFORMING TO ASTM F 656 SHOULD BE USED. THE SYSTEM SHALL BE PROTECTED FROM CHEMICAL AGENTS, FIRE STOPPING MATERIALS, THREAD SEALANT, PLASTICIZED VINYL PRODUCTS OR OTHER AGGRESSIVE CHEMICAL AGENTS NOT COMPATIBLE WITH CPVC COMPOUNDS. SYSTEMS SHALL BE HYDROSTATICALLY TESTED AFTER INSTALLATION. NEVER TEST WITH OIL TRANSPORT/STORE COMPRESSED AIR OR GAS IN CPVC PIPE OR FITTINGS.

- b. CPVC PIPING LARGER THAN 2" SHALL BE EQUAL TO CORZAN - THIS SPECIFICATION COVERS THE MANUFACTURING REQUIREMENTS FOR CPVC SCHEDULE 80 RIGID PIPE SIZE AND FITTINGS. BOTH THE PIPE AND FITTINGS ARE MANUFACTURED IN NORTH AMERICA AND MEET OR EXCEED THE REQUIREMENTS SET FORTH BY THE AMERICAN SOCIETY FOR TESTING MATERIALS (ASTM) AND NSF STANDARDS 14 AND 61. CPVC PIPE AND FITTINGS ARE EXTRUDED/MOLDED FROM CPVC COMPOUNDS. THE PIPE COMPOUND MEETS CELL CLASS 24448 AND THE FITTING COMPOUND MEETS CELL CLASS 23447 AS DEFINED BY ASTM D1784. BOTH THE PIPE AND THE FITTING COMPOUNDS ARE CERTIFIED BY NSF INTERNATIONAL. FOR USE WITH POTABLE WATER. DIMENSIONS, TOLERANCES AND PHYSICAL PROPERTIES MEET OR EXCEED THE REQUIREMENTS OF ASTM STANDARDS F441 FOR PIPE, F439 FOR SOCKET FITTINGS AND ASTM F437 OR F439 FOR THREADED FITTINGS. THREADED FITTINGS HAVE TAPER PIPE THREADS IN ACCORDANCE WITH ASTM F198. UNIONS AND FLANGES MEET OR EXCEED THE REQUIREMENTS OF ASTM F1970. ALL SOCKET TYPE JOINTS SHALL BE ASSEMBLED EMPLOYING SOLVENT CEMENTS THAT MEET OR EXCEED THE REQUIREMENTS OF ASTM F493. THE STANDARD PRACTICE FOR SAFE HANDLING OF SOLVENT CEMENTS SHALL BE IN ACCORDANCE WITH ASTM F402. SOLVENT CEMENT SHALL BE LISTED BY NSF INTERNATIONAL FOR USE WITH POTABLE WATER, AND APPROVED BY THE FITTINGS MANUFACTURERS. WATER FILLED PIPE AND FITTINGS (1/2" THROUGH 6") TESTED IN GENERAL ACCORDANCE WITH UL 2231 ASTM E 84 (EXPANSION FITTING) MUST BE TESTED TO 25/50 FLAME AND SMOKE REQUIREMENT AND SHALL BE PERMITTED TO BE INSTALLED IN RETURN AIR PLENUMS. TEST REPORTS FROM A THIRD PARTY TESTING LABORATORY SHALL BE OBTAINED AND MADE AVAILABLE UPON REQUEST. THE MARKING ON THE CPVC PIPE MUST BE THE REQUIREMENTS OF ASTM F441 AND THE MARKING ON THE FITTINGS MEETS THE REQUIREMENTS OF ASTM STANDARDS F437, F438 OR F1970. THE PIPE AND FITTINGS MARKINGS STATE THE PIPE/FITTINGS MANUFACTURER'S NAME OR TRADEMARK, THE MATERIAL DESIGNATION, THE SIZE, THE NSF MARK FOR POTABLE WATER AND THE ASTM DESIGNATION.
- ii. WHERE ALLOWED BY CODE, PEX TUBE AND FITTINGS CAN BE USED. TUBING SHALL BE PEX-A TYPE AND FITTINGS SHALL BE EQUAL TO UPONOR AQUAPEX. TUBING AND FITTINGS MUST CONFORM TO ASTM STANDARD SPECIFICATIONS FOR POLYETHYLENE, ASTM F877 - STANDARD FOR CROSSLINKED POLYETHYLENE PLASTIC HOT AND COLD WATER DISTRIBUTION SYSTEMS; PROVIDE ENGINEERED PLASTIC FITTINGS WITH PLASTIC COLLARS WHICH CONFORM TO ASTM F1960. STANDARD SPECIFICATIONS FOR EXPANSION FITTINGS WITH PEX REINFORCING RINGS FOR USE WITH CROSSLINKED POLYETHYLENE PIPING. PEX TUBING AND CONNECTIONS SHALL BE WARRANTED FOR A PERIOD OF 25 YEARS. DO NOT WELD, GLUE, TAPE OR ALLOW OTHER SOLVENT BASED ADHESIVES OR PAINTS TO COME INTO CONTACT WITH TUBING. DO NOT ALLOW TUBING TO COME IN CONTACT WITH PIPE THREAD COMPOUNDS, FIREWALL PENETRATION SEALING COMPOUNDS, AND PETROLEUM BASED SEALANTS. DO NOT ALLOW TUBING TO COME WITHIN 6" OF GAS APPLIANCES OR 12" OF RECESSED LIGHT FIXTURES. DO NOT EXPOSE TUBING TO OPEN FLAME. DO NOT SOLDER WITHIN 18" OF TUBING. DO NOT INSTALL TUBING BETWEEN TUB SPOUT AND SHOWER VALVE. RADIUS OF BENDS MUST NOT EXCEED SIX TIMES OUTSIDE TUBE DIAMETER. REPAIR KINKS IN TUBING USING HEAT AS RECOMMENDED BY MANUFACTURER. TUBING SHALL BE INSTALLED IN MAXIMUM PRACTICAL LENGTHS, AS DIRECTLY AS POSSIBLE TO REMOTE MANIFOLD WITH MINIMUM FITTINGS. TUBING SHALL BE SUPPORTED IN A MANNER THAT DOES NOT DAMAGE TUBING AND ALLOWS FOR THERMAL EXPANSION. SUPPORTS SHALL BE SPACED AT 32" MINIMUM HORIZONTALLY AND 60" VERTICALLY AND WITHIN 6" OF FITTINGS OR BENDS. USE BEND SUPPORTS AT 90 DEGREE BENDS. PROTECT INSTALLED TUBING FROM DAMAGE. INSTALL METAL PLATES WHERE TUBING PENETRATES STUDS AT FACE OF STUDS. REMOTE MANIFOLD TYPE FITTINGS SHALL BE UTILIZED AT BRANCHES IN ROOMS WHERE TUBING IS TERMINATED (MODIFIED HOME-RUN INSTALLATION TYPE). UTILIZE EXPANDER TOOLS RECOMMENDED BY MANUFACTURER FOR CONNECTION OF TUBING TO FITTINGS. DO NOT OVER EXPAND TUBING. PIPE SHALL BE SUPPORTED AT FITTINGS AND FIXTURES AS RECOMMENDED BY MANUFACTURER. PIPING SHALL BE INSTALLED WITH MINIMUM AMOUNT OF FITTINGS. USE MANUFACTURER APPROVED VALVES, FITTINGS, HOSE BIBBS AND BOXES AT FIXTURES.
- d. CONTROL VALVES SHALL BE MANUFACTURED BY OR APPROVED BY PIPING MANUFACTURER.
- e. ADJUST ALL STOPS AND VALVES PROPERLY PRIOR TO PROJECT COMPLETION.
- f. PROVIDE HOT WATER RETURN PUMP EQUAL TO BELL AND GOSSETT SERIES 100 OR EQUAL PUMP MANUFACTURED BY ARMSTRONG, GRUNDFOS, OR TACO.
- g. PROVIDE AUTOMATIC TIMER KIT EQUAL TO BELL AND GOSSETT MODEL TC-1, AND PROGRAM PUMP TO OPERATE TO ACCOMMODATE THE OWNER'S HOURS OF OPERATION.

**7. TAB METERS FOR DOMESTIC WATER**

- a. PROVIDE VALVE AND TAB METERS TO ISOLATE WATER USAGE FOR EACH DWELLING UNIT AND TENANT SPACE. PROVIDE SHUT-OFF VALVE UPSTREAM OF METER AND LOCATE IN AN ACCESSIBLE LOCATION.

**8. BACKFLOW PREVENTION**

- a. PROVIDE REDUCED PRESSURE BACKFLOW PREVENTER ON WATER SERVICE ENTRANCE.
- b. BACKFLOW PREVENTERS FOR 2" AND SMALLER WATER SERVICES - PROVIDE REDUCED PRESSURE BACKFLOW PREVENTER ON THE WATER SERVICE MAIN WHERE THE WATER SERVICE ENTERS THE BUILDING. REDUCED PRESSURE BACKFLOW PREVENTER TO BE EQUAL TO WATTS' SERIES LF1910T, APPROVED MANUFACTURERS OF EQUAL PRODUCTS SHALL BE CONBRACO AND WILKINS.

**9. HOSE BIBBS AND HYDRANTS**

- a. PROVIDE FROST-PROOF EXTERIOR WALL HYDRANTS ON EACH ELEVATION OF THE BUILDING.
- b. WALL HYDRANTS TO BE EQUAL TO 3" WOODFORD MODEL B-67, WITH CHROME FINISH ON BRASS CASTING, WITH BOX AND HINGED DOOR, AND LOOSE-TEE KEY. CONCEAL WITHIN INTERIOR PARTITIONS AND/OR INSTALL IN A MANNER THAT PREVENTS FREEZING. FURNISH TO OWNER, ONE VALVE KEY FOR EACH KEY OPERATED WALL HYDRANT INSTALLED. APPROVED MANUFACTURERS OF EQUAL PRODUCTS SHALL BE ZURN, WADE, JOSAM, SMITH, OR WATTS.

**10. SANITARY AND VENT SYSTEMS**

- a. CONNECT NEW SANITARY PIPING TO THE EXISTING SANITARY STACKS AND/OR UNDERGROUND SANITARY BUILDING SEWER. CONTRACTOR SHALL CLEAN AND INSPECT EXISTING UNDERGROUND BUILDING SEWER, SEWER LATERAL, AND ALL PIPING DESIGNATED TO BE REUSED TO DETERMINED CONDITION FOR REUSE. PROVIDE INSPECTION REPORT AND RECOMMENDATION TO OWNER.
- b. CUT AND PATCH BASEMENT SLAB AS REQUIRED TO INSTALL NEW SANITARY PIPING.
- c. INTERIOR SANITARY, WASTE, AND VENT PIPING:
  - i. WHERE NOT INSTALLED IN A PLENUM, SANITARY, WASTE, AND VENT PIPING WITHIN BUILDING TO BE SCHEDULE 40 PVC PIPING AND FITTINGS CONFORMING TO ASTM D 2665. SOLID-WALL DRAIN PIPING WITH PVC SOCKET SOLVENT WELD FITTINGS CONFORMING TO ASTM D2665, MADE TO ASTM D3311, DRAIN, WASTE, AND VENT PATTERNS.
  - ii. WHERE PIPING SHALL BE INSTALLED IN A PLENUM, SANITARY, WASTE, AND VENT PIPING SHALL BE SCHEDULE 40 PVC PIPING AND FITTINGS CONFORMING TO ASTM D 2665. SOLID-WALL DRAIN PIPING WITH PVC SOCKET SOLVENT WELD FITTINGS CONFORMING TO ASTM D2665, MADE TO ASTM D3311, DRAIN, WASTE, AND VENT PATTERNS.
  - iii. WHERE PIPING SHALL BE INSTALLED IN A PLENUM, SANITARY, WASTE, AND VENT PIPING SHALL BE SCHEDULE 40 PVC PIPING AND FITTINGS CONFORMING TO ASTM D 2665. SOLID-WALL DRAIN PIPING WITH PVC SOCKET SOLVENT WELD FITTINGS CONFORMING TO ASTM D2665, MADE TO ASTM D3311, DRAIN, WASTE, AND VENT PATTERNS.
  - iv. WHERE PIPING SHALL BE INSTALLED IN A PLENUM, SANITARY, WASTE, AND VENT PIPING SHALL BE SCHEDULE 40 PVC PIPING AND FITTINGS CONFORMING TO ASTM D 2665. SOLID-WALL DRAIN PIPING WITH PVC SOCKET SOLVENT WELD FITTINGS CONFORMING TO ASTM D2665, MADE TO ASTM D3311, DRAIN, WASTE, AND VENT PATTERNS.
- d. COORDINATE WITH LOCAL AUTHORITIES FOR DRAINAGE REQUIREMENTS FOR EQUIPMENT DESIGNATED WITH INDIRECT REUSE TO FLOOR DRAINS. PROVIDE PIPED DRAIN TO SANITARY IF REQUIRED BY LOCAL JURISDICTION.

**11. FLOOR DRAINS**

- a. PROVIDE FLOOR DRAINS IN ALL TOILET ROOMS THAT HAVE MORE THAN ONE WATER CLOSET OR URINAL.
- b. PROVIDE FLOOR DRAINS FOR ALL EQUIPMENT PRODUCING CONDENSATE AND THAT HAVE DRAIN CONNECTIONS.
- c. FLOOR DRAINS IN FINISHED AREAS TO BE PVC BODY, DOUBLE DRAINAGE FLANGE, WEEP HOLES, WITH 6" DIAMETER NICKEL BRONZE STRAINER.
- d. FLOOR DRAINS IN MECHANICAL SPACE TO BE PVC BODY, DOUBLE DRAINAGE FLANGE, WEEP HOLES, WITH 9" DIAMETER HEAVY-DUTY DUCTILE IRON STRAINER.
- e. PROVIDE CAST IRON BODIED FLOOR DRAINS WHERE DRAINS ARE INSTALLED IN A PLENUM (MECHANICAL ROOMS THAT ARE USED AS PLENUMS).

**12. TRAP SEAL PROTECTION**

- a. TRAP SEALS SUBJECT TO EVAPORATION SHALL BE PROTECTED BY ONE OF THE METHODS BELOW, AS APPROVED BY THE LOCAL PLUMBING AUTHORITY HAVING JURISDICTION:
  - i. BARRIER-TYPE TRAP SEAL PROTECTION DEVICE - A BARRIER-TYPE TRAP SEAL PROTECTION DEVICE MUST PROTECT THE TRAP SEAL FROM EVAPORATION. BARRIER-TYPE TRAP SEAL PROTECTION DEVICES MUST CONFORM TO ASSE 1072. THE DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

**13. STORM PIPING**

- a. CONNECT NEW STORM PIPING TO EXISTING SEWER LATERAL.
- b. CUT AND PATCH BASEMENT SLAB AS REQUIRED TO INSTALL NEW STORM PIPING.
- c. PROVIDE NEW PRIMARY AND SECONDARY ROOF DRAINS AND ASSOCIATED PRIMARY AND SECONDARY STORM PIPING SYSTEMS WHERE INTERIOR DRAINS ARE SHOWN ON ARCHITECTURAL ROOF PLAN. SECONDARY ROOF DRAINS SHALL BE PIPED INDEPENDENTLY FROM THE PRIMARY SYSTEM AND MUST DISCHARGE THROUGH DOWNSPOUT NOZZLES LOCATED IN THE EXTERIOR WALL AT GRADE.
- d. INTERIOR STORM PIPING:
  - i. WHERE NOT INSTALLED IN A PLENUM, ABOVEGROUND STORM PIPING WITHIN BUILDING SHALL BE SCHEDULE 40 PVC PIPING AND FITTINGS CONFORMING TO ASTM D 2665. SOLID-WALL DRAIN PIPING WITH PVC SOCKET SOLVENT WELD FITTINGS CONFORMING TO ASTM D2665, MADE TO ASTM D3311, DRAIN, WASTE, AND VENT PATTERNS.

**14. STORM PIPING SPECIALTIES**

- a. PRIMARY ROOF DRAINS MUST HAVE PVC BODY AND POLYETHYLENE DOME.
- b. SECONDARY ROOF DRAINS MUST HAVE PVC BODY, POLYETHYLENE DOME, AND INTERNAL WATER DAMPENSION COLLAR.
- c. DOWNSPOUT NOZZLES FOR SECONDARY DRAINAGE DISCHARGING TO GRADE MUST HAVE NICKEL-BRONZE BODY AND REMOVABLE STAINLESS-STEEL SCREEN EQUAL TO ZURN Z199-SS.

**15. CLEANOUTS**

- a. PROVIDE FLOOR AND WALL CLEANOUTS WHERE REQUIRED IN ALL SOIL, WASTE, DRAIN AND STORM PIPING IN AREAS WITH CERAMIC TILE OR CARPETED FLOORING. PROVIDE CLEANOUTS WITH SQUARE, ADJUSTABLE, NICKEL BRONZE TOP. IN AREAS WITH RESILIENT FLOORING, PROVIDE CLEANOUTS WITH SQUARE, ADJUSTABLE, NICKEL BRONZE TOP WITH TILE RECESS. CLEANOUTS SHALL BE SAME SIZE AS PIPE EXCEPT THAT CLEANOUTS LARGER THAN 4" WILL NOT BE REQUIRED, WHERE CLEANOUTS OCCUR IN WALLS OF FINISHED AREAS, THEY SHALL BE CONCEALED BEHIND CHROME PLATED ACCESS COVERS.

**16. VALVES - GENERAL**

- a. PLUMBING CONTRACTOR MUST PROVIDE VALVES AS NECESSARY FOR PROPER SYSTEM OPERATION AND COMPONENT ISOLATION. INSTALL VALVES FOR EACH ISOLATED FIXTURE OR GROUP OF FIXTURES, AND EACH CONNECTION TO EQUIPMENT.
- b. LOCATE SHUT-OFF VALVES ADJACENT TO EQUIPMENT FOR EASY ACCESS SUCH THAT VALVES CAN BE REACHED WITHOUT MOVING EQUIPMENT.

**17. VALVES FOR DOMESTIC WATER**

- a. VALVES FOR DOMESTIC WATER MUST MEET THE REQUIREMENTS OF THE LEAD-FREE LAW S 3874. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE LEAD-FREE VALVES AS MANDATED BY THE LAW AND AS REQUIRED/INTERPRETED BY THE AUTHORITY HAVING JURISDICTION.
- b. PROVIDE VALVES FOR WORKING PRESSURE IN WATER PIPING OF 125 PSI OR GREATER.
- c. GENERAL DUTY SHUT-OFF BALL VALVES
- i. PROVIDE TWO-PIECE, FULL PORT, SILICON BRONZE BALL VALVES WITH THE CAPABILITY OF ACCEPTING EXTENDED OPERATING HANDLES (FOR INSULATED PIPING). VALVES SHALL BE NIBCO MODEL TSP-PC-96-LF (NS) OR EQUIVAL PRODUCT MANUFACTURED BY AMERICAN VALVE CO, CRANE, HEMMOND, MILLWAUKEE, RED-WHITE VALVE CORPORATION, OR WATTS.
- d. BALANCING VALVES
- i. BALANCING VALVES SHALL BE EQUAL TO CIRCUITSOLVER, THERMOSTATIC SELF-ACTUATING BALANCING VALVES WITH UNIONS, THERMOMETER AND TWO INTEGRATED BALL VALVES.
- e. THERMOSTATIC MIXING VALVES
- i. TEMPERED WATER SHALL BE DELIVERED FROM PUBLIC HAND-WASHING FACILITIES (LAVATORIES AND SINKS) THROUGH AN APPROVED WATER-TEMPERATURE LIMITING DEVICE THAT CONFORMS TO ASSE 1070. SET OUTLET TEMPERATURE OF THERMOSTATIC MIXING VALVE TO 110 DEGREES F. POINT-OF-USE THERMOSTATIC MIXING VALVES SHALL BE EQUAL TO WATTS SERIES USG-B. ROUTE TEMPERED WATER TO HOT WATER SIDE OF SINK/LAVATORY. ACCEPTABLE MANUFACTURERS INCLUDE SYMMONS, LAWLER, LEONARD, POWERS, BRADLEY, AND WATTS.

**18. EXPANSION COMPENSATION**

- a. PROVIDE EXPANSION COMPENSATION ON ALL PIPING PER PIPING MANUFACTURER'S RECOMMENDATIONS. ACCOUNT FOR PIPE MATERIAL, PIPE SIZE, PIPE LENGTHS, TEMPERATURE OF FLUIDS, AND ALL OTHER VARIABLES PERTAINING TO THE INSTALLATION.
- b. INSTALL PIPING TO PREVENT STAINS AND STRESSES THAT EXCEED THE STRUCTURAL STRENGTH OF THE PIPE. WHERE NECESSARY, PROVISIONS SHALL BE MADE TO PROTECT PIPING FROM DAMAGE RESULTING FROM EXPANSION, CONTRACTION, AND STRUCTURAL SETTLEMENT.
- c. EXPANSION JOINT FITTINGS SHALL BE USED ONLY WHERE NECESSARY TO PROVIDE EXPANSION AND CONTRACTION OF THE PIPES. EXPANSION JOINT FITTINGS SHALL BE OF THE TYPICAL MATERIAL SUITABLE FOR USE WITH THE TYPE OF PIPING IN WHICH SUCH FITTINGS ARE INSTALLED.
- d. IN LIEU OF PROVIDING EXPANSION JOINTS, PIPING OFFSETS SHALL BE PERMITTED WHEN INSTALLED PER THE PIPING MANUFACTURER'S RECOMMENDATIONS.

**19. HANGERS & SUPPORTS**

- a. THE PLUMBING CONTRACTOR MUST FURNISH ALL PIPE SUPPORTS REQUIRED FOR THEIR WORK. ALL PIPING SHALL BE SUPPORTED PER CODE. ADDITIONAL SUPPORTS SHALL BE PROVIDED WHERE REQUIRED TO PREVENT SAGGING. WHERE ALTERNATIVE PIPING MATERIALS ARE USED, HANGER SPACING CAN BE REDUCED AS RECOMMENDED BY THE MANUFACTURER AND WHERE ALLOWED BY CODE.

**20. INSULATION**

- a. PROVIDE THERMAL INSULATION ON ALL METALLIC DOMESTIC COLD WATER, DOMESTIC HOT WATER, DOMESTIC HOT WATER RETURN PIPING WITH SELF-SEALING CLOSED CELL ELASTOMERIC FOAM. PROVIDE A CONTINUOUS VAPOR TIGHT SEAL. INSULATION SHALL BE CONTINUOUS THRU ALL WALLS AND FLOORS. NFPA FIRE HAZARD RATING FOR INSULATION, ADHESIVES, SEALERS, AND COATINGS MUST NOT EXCEED 25 FOR FLAME SPREAD AND 50 FOR SMOKE DEVELOPED, UNLESS OTHERWISE REQUIRED BY THE LOCAL AUTHORITY OR ENERGY CODES. THE MINIMUM INSULATION LEVELS SHALL BE AS FOLLOWS:
  - i. PROVIDE 1" THICK ELASTOMERIC INSULATION ON HOT AND HOT WATER RETURN PIPING.
  - ii. PROVIDE INSULATION ON ALL PEX PIPING WHEN USED IN PLENUMS AND WHERE REQUIRED TO MAINTAIN THE REQUIRED FLAME AND SMOKE RATINGS. MOST PEX PIPING 1/2" AND SMALLER SHALL BE INSULATED TO MAINTAIN ITS PLENUM RATED PROPERTY IF 18" SEPARATION BETWEEN THE PIPING CANNOT BE PROVIDED.

**21. INSULATION FOR HANDICAP ACCESSIBLE FIXTURES (WHERE NOT PROTECTED WITH A SHROUD)**

- a. ALL HANDICAP LAVATORY P-TRAP AND ANGLE STOP ASSEMBLIES SHALL BE INSULATED WITH TRAP WRAP PROTECTIVE KIT MANUFACTURED BY PROFLO MODEL PF200 SERIES OR EQUAL. PROVIDE OFFSET TRAPS FOR HANDICAP ACCESSIBLE FIXTURES WHERE REQUIRED. ABRASION RESISTANT, ANTI-MICROBIAL VINYL EXTERIOR COVER SHALL BE SMOOTH. FOR TRAPS, THE INSULATION MUST HAVE A CLEANOUT NUT CAP TO ALLOW SERVICE TO THE TRAP WITHOUT DISASSEMBLY. FOR STOPS, THE INSULATION MUST HAVE A LOCK LID THAT PREVENTS TAMPERING BUT ALLOWS ACCESS WITHOUT REMOVAL OF THE INSULATION. FASTENERS MUST REMAIN SUBSTANTIALLY OUT OF SIGHT. ACCEPTABLE MANUFACTURERS INCLUDE PROFLO, TRUEBRO, PLUMBERX, AND DEARBORN.

**22. CONCRETE HOUSEKEEPING PADS**

- a. ALL FLOOR-MOUNTED EQUIPMENT SHALL BE INSTALLED LEVEL AND PLUMB ON 4" THICK CONCRETE HOUSEKEEPING PAD.

**23. ESCUTOHEON PLATES**

- a. INSTALL ONE-PIECE CHROME PLATED BRASS WALL PLATE EQUIPPED WITH SET SCREW AROUND ALL EXPOSED PIPE PASSING THROUGH WALLS IN FINISHED AREAS.

**24. ACCESS PANELS**

- a. LOCATE VALVES IN READILY ACCESSIBLE LOCATIONS. WHERE VALVES SHALL BE INSTALLED ABOVE NON-ACCESSIBLE CEILINGS, PROVIDE ACCESS PANELS. ACCESS PANELS SHALL BE PAINTABLE METAL. COORDINATE ACCESS PANEL SIZES AND LOCATIONS WITH THE ARCHITECT.

**25. FIRE STOPPING**

- a. PROVIDE FIRE STOPPING AT ALL PENETRATIONS THROUGH RATED SEPARATIONS PER LOCAL CODES & REGULATIONS & PER UL RECOMMENDATIONS FOR ASSEMBLIES ENCOUNTERED IN PROJECT.
- b. THE FIRE STOPPING MATERIAL MUST MEET THE INTEGRITY OF THE FIRE RATED WALL, FLOOR, CEILING & ROOF BEING PENETRATED. REFER TO ARCHITECT'S DRAWINGS FOR WALL, FLOOR, CEILING & ROOF FIRE RATINGS PRIOR TO BIDDING WORK.

**26. FLASHING & COUNTERFLASHING**

- a. PROVIDE ROOF FLASHING AND COUNTERFLASHING FOR ALL ROOF PENETRATIONS.

**27. CATHODIC PROTECTION**

- a. PROVIDE DIELECTRIC INSULATION AT POINTS WHERE COPPER OR BRASS PIPE COMES IN CONTACT WITH FERROUS PIPING, REINFORCING STEEL OR OTHER DISSIMILAR METAL IN STRUCTURE.

**28. EXCAVATION, TRENCHING & BACKFILL**

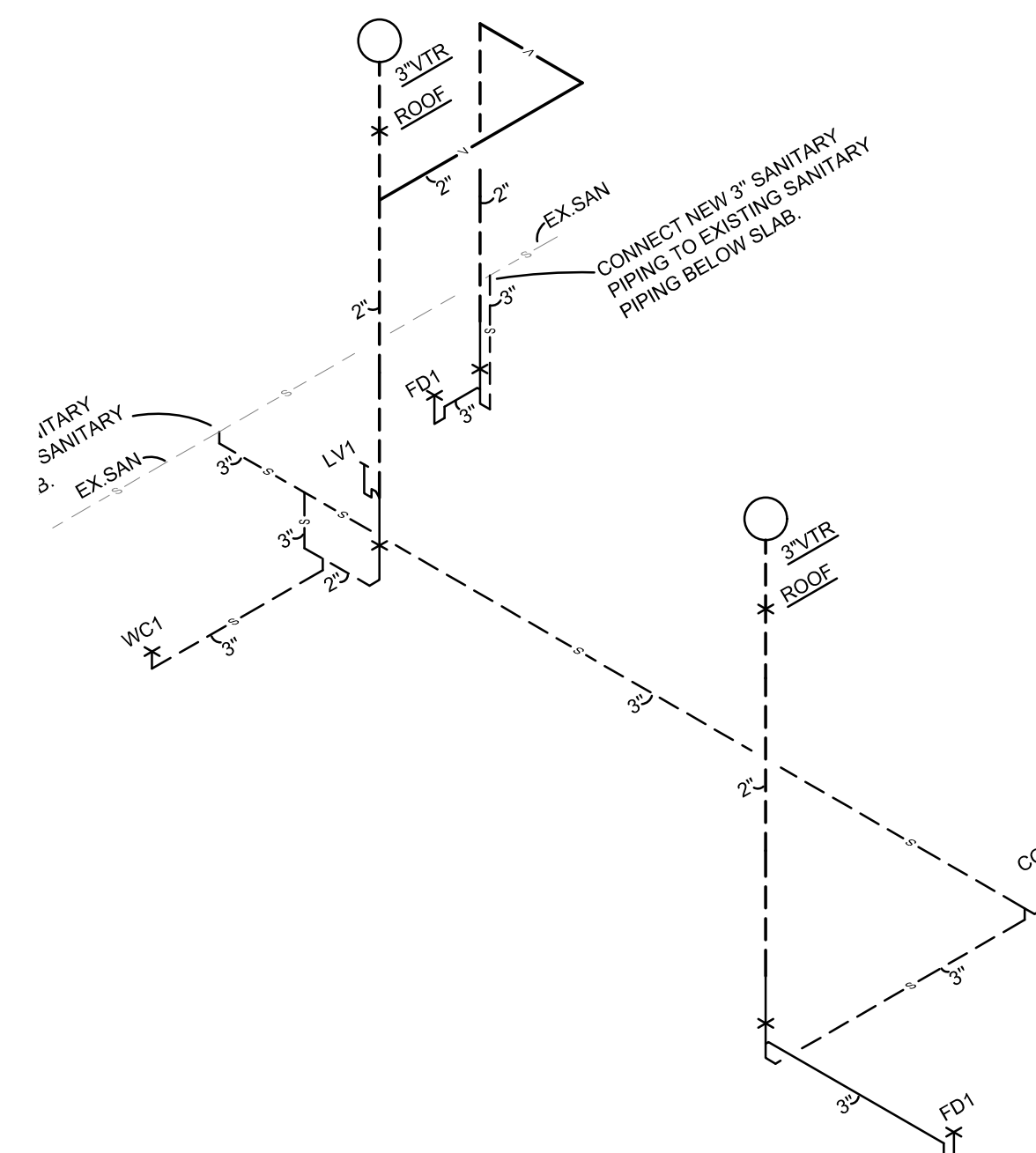
- a. DO ALL EXCAVATION, TRENCHING & BACKFILL REQUIRED FOR THE INSTALLATION OF PLUMBING WORK.
- b. ALL BACKFILL SHALL BE COMPACTED & BROUGHT TO FINISHED GRADE AND MUST MATCH SURROUNDING CONDITIONS.
- c. RESTORE ALL DISTURBED FLOORING TO ORIGINAL CONDITION.
- d. ALL PIPING SHALL BE LAID ON A BED OF SAND, 6" THICK MINIMUM. BACKFILL UNDER BUILDING AND ALL DRIVES, ROADS AND WALKS WITH BANK-RUN GRAVEL.

**29. CUTTING AND PATCHING**

- a. CUT AND PATCH WALLS AND FLOORS TO MATCH BUILDING CONSTRUCTION WHERE REQUIRED TO INSTALL ALL PLUMBING.

**30. CONNECTIONS**

- a. INSTALL UNIONS AT FINAL CONNECTION TO EACH PIECE OF EQUIPMENT. INSTALL DIELECTRIC COUPLINGS TO CONNECT PIPING MATERIALS OF DISSIMILAR METALS.



GAS INPUT SCHEDULE FOR 6 WEST ELDER ST.	
SERVICE ADDRESS:	6 WEST ELDER CINCINNATI, OH
TOTAL EQUIVALENT LENGTH OF PIPE:	150'
REQUIRED DELIVERY PRESSURE:	7" W.C.
EQUIPMENT	LOAD (CFH)
FURNACE	80
FUTURE GAS LOAD	1720
BUILDING TOTAL	1800

DRAIN SCHEDULE										ADDITIONAL FEATURES				ACCEPTABLE MANUFACTURERS			
MARK	DESCRIPTION	BASE MANUFACTURER	MODEL #	FINISH							TRAP PRIMER, SQUARE STRAINER IF INSTALLED IN TILE FLOOR		SIOUX CHIEF, OATEY, NSF, JUMBO				
FD1	ON-GRADE FLOOR DRAIN (UNFINISHED AREAS)	OATEY	TRUE SET ON-GRADE TP SERIES	PVC BODY, 5" NICKEL-BRONZE STRAINER WITH RING													

MARK	LAVATORY DESCRIPTION	FIXTURE MANUFACTURER	FIXTURE MODEL	FAUCET MANUFACTURER	FAUCET MODEL	MATERIAL	USE	MOUNTING	STYLE	CONTROL	FLOW RATE	DRAIN	APPROVED FIXTURE MANUFACTURERS	APPROVED FAUCET MANUFACTURERS	ADDITIONAL INFORMATION
LV2	UNDERMOUNT	DURAVIT	316530017	DELTA	MODERN BLACK FINISH	CHINA	GENERAL	UNDERMOUNT	UNDERMOUNT	MANUAL	1	POP-UP	AMERICAN STANDARD, KOHLER, ZURN	AMERICAN STANDARD, KOHLER, ZURN, BRADLEY, CHICAGO FAUCET, SPEAKMAN, T&S, SYMMONS, POWERS, MOEN, DELTA	INSULATE SUPPLIES & DRAIN WHERE NOT PROTECTED WITH SHROUD

WATER CLOSET SCHEDULE																
MARK	WATER CLOSET DESCRIPTION	FIXTURE MANUFACTURER	FIXTURE MODEL #	FLUSH VALVE MANUFACTURER	FLUSH VALVE MODEL NUMBER	MATERIAL	USE	MOUNTING	STYLE	FLUSH VALVE TYPE	CONTROL	FLOW RATE	SEAT-TYPE	ACCEPTABLE MANUFACTURERS	APPROVED FLUSH VALVE MANUFACTURERS	ADDITIONAL INFORMATION
WC1	FLOOR-SET TANK	AMERICAN STANDARD	CADET 3 WITH CONCEALED TRAPWAY	NOT APPLICABLE	NOT APPLICABLE	CHINA	GENERAL/ADA	FLOOR	ELONGATED	NOT APPLICABLE	MANUAL	1.28	COMFORT SEAT #C1011	AMERICAN STANDARD, KOHLER, ZURN	NOT APPLICABLE	WHITE FINISH

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Revisions

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