# 1804 REPUBLIC STREET CINCINNATI, OH 45202

PROJECT DESCRIPTION

PROJECT LOCATION -

FINDLAY FLATS **RENOVATION** 

STRUCTURAL ENGINEER

**MEP ENGINEER** 

ENGINEERED BUILDING SYSTEMS, INC. 515 MONMOUTH STREET, SUITE 201 NEWPORT, KY 41071

(859) 261-0585

**CIVIL ENGINEER** 

SHEET # | SHEET TITLE

**STRUCTURAL DRAWINGS** 

FRAMING PLANS

FRAMING PLANS FRAMING PLANS

**GENERAL STRUCTURAL NOTES** 

STRUCTURAL ELEVATIONS

STRUCTURAL ELEVATIONS FOUNDATION SECTIONS

MECHANICAL PLAN - ATTIC

MECHANICAL PLAN - ROOF

ELECTRICAL PLAN - BASEMENT

ELECTRICAL PLAN - ATTIC

ELECTRICAL PLAN - ROOF

ELECTRICAL DETAILS ELECTRICAL DETAILS

ELECTRICAL DETAILS

ELECTRICAL DETAILS

PLUMBING PLAN - BASEMENT PLUMBING PLAN - FIRST FLOOR

PLUMBING PLAN - FOURTH FLOOR

PLUMBING PLAN - ATTIC

PLUMBING DETAILS

PLUMBING DETAILS

MECHANICAL DETAILS MECHANICAL DETAILS

FRAMING SECTIONS

**ARCHITECT** 

CLIENT/DEVELOPER

PLATTE ARCHITECTURE + DESIGN, LLC **BAYER BECKER** 1404 RACE STREET, SUITE 204 1810 CAMPBELL ALLEY, STE 300 CINCINNATI, OH 45202 CINCINNATI, OH 45202 (513) 336-6600 (513) 871-1850

3CDC 1203 WALNUT STREET CINCINNATI, OH 45202 (513) 621-4400

**ADVANTAGE GROUP** 1527 MADISON ROAD, FL 2

(513) 396-8900

SHEET # | SHEET TITLE

**GENERAL DRAWINGS** 

EGRESS DIAGRAMS

CIVIL/LANDSCAPE DRAWINGS

ARCHITECTURAL DRAWINGS

PROJECT UNIT SUMMARY

PROPOSED SITE PLAN

ADI.00 BASEMENT DEMOLITION PLAN

PROPOSED GRADING PLAN

AD1.02 | SECOND FLOOR DEMOLITION PLAN

ADI.03 THIRD FLOOR DEMOLITION PLAN

ADI.04 | FOURTH FLOOR DEMOLITION PLAN

AD1.06 ROOF DEMOLITION PLAN

GENERAL NOTES

SITE SURVEY & EXG CONDITIONS

FIRST FLOOR DEMOLITION PLAN

ATTIC FLOOR DEMOLITION PLAN

WEST DEMOLITION ELEVATION

EAST DEMOLITION ELEVATION

PROPOSED BASEMENT PLAN

PROPOSED FIRST FLOOR PLAN

PROPOSED SECOND FLOOR PLAN PROPOSED THIRD FLOOR PLAN

PROPOSED FOURTH FLOOR PLAN

PROPOSED ATTIC FLOOR PLAN

PROPOSED ROOF PLAN

BASEMENT RCP

FIRST FLOOR RCP

SECOND FLOOR RCP

THIRD FLOOR RCP

FOURTH FLOOR RCP

PROPOSED WEST ELEVATION

PROPOSED NORTH ELEVATION

PROPOSED EAST ELEVATION

PROPOSED SOUTH ELEVATION

FINISH SCHEDULE & PLANS

ATTIC RCP

INT ELEV

DETAILS

ASSEMBLIES

ASSEMBLIES

LEED SPECS

LEED SPECS

LEED SPECS

LEED SPECS

DOOR SCHEDULE

DOOR TYPES & DETAILS

COLORED ELEVATION

COLORED ELEVATION

WINDOW TYPES & DETAILS

NORTH DEMOLITION ELEVATION

SOUTH DEMOLITION ELEVATION

A0.00

AD2.00

AD2.01

AD2.02

AD2.03

A1.00

A1.15

A1.16

A1.20

A1.23

A1.24

A1.25

A2.10

A2.11

A2.12

A4.10

A4.20

A5.00

A6.01

A6.10

A8.00

A8.01

A9.01

A9.02

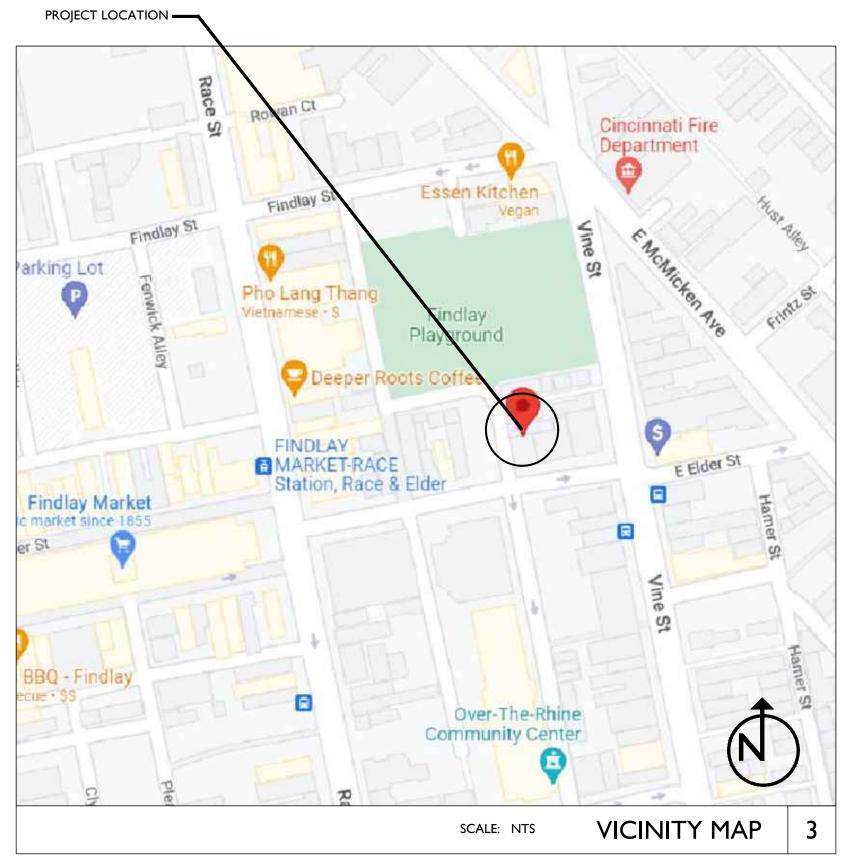
A9.03

A9.04

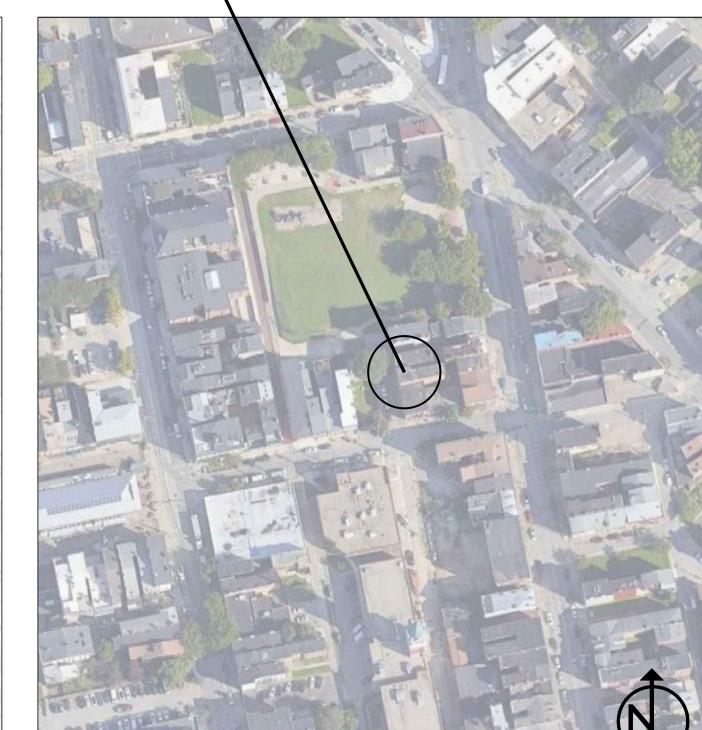
CINCINNATI, OH 45206

DRAWING INDEX

**DRAWING INDEX** FOUNDATION PLAN & FIRST FLOOR FRAMING PLAN MECHANICAL PLAN - BASEMENT MECHANICAL PLAN - FIRST FLOOR MECHANICAL PLAN - SECOND FLOOR MECHANICAL PLAN - THIRD FLOOR MECHANICAL PLAN - FOURTH FLOOR ELECTRICAL PLAN - FIRST FLOOR ELECTRICAL PLAN - SECOND FLOOR ELECTRICAL PLAN - THIRD FLOOR ELECTRICAL PLAN - FOURTH FLOOR PLUMBING PLAN - SECOND FLOOR PLUMBING PLAN - THIRD FLOOR



TYPICAL ABBREVIATIONS								TYPICAL SYMBOLS		
Ī	ADJ A.F.F.	ADJACENT ABOVE FINISH	EXG EXT	EXISTING EXTERIOR	N.I.C. N.I.S.	NOT IN CONTRACT NOT IN SCOPE	<b>(</b>	NORTH ARROW		
	ALT	FLOOR ALTERNATE	FDC	FIRE DEPARTMENT CONNECTION	N.T.S. OBC	NOT TO SCALE OHIO BUILDING	_	EGRESS WINDOW		
	ALUM APPROX	ALUMINUM APPROXIMATELY	FDN F.E.	FOUNDATION FIRE EXTINGUISHER	O.C.	CODE ON CENTER	01	KEYNOTE		
	APT BD	APARTMENT BOARD	F.F.E.	FINISH FLOOR ELEVATION	OPNG OPP	OPENING OPPOSITE	ــــــ ـــــــــــــــــــــــــــــــ	CENTERLINE TAG		
	BLDG C.L. C.J.	BUILDING CENTER LINE CONTROL JOINT	FLR FTG G.C.	FLOOR FOOTING GENERAL	O/ PLWD PLUMB	OVER PLYWOOD PLUMBING	X'-X"	FLOOR ELEVATION TAG		
	CLG CLR	CEILING CLEAR DIMENSION CONCRETE	GYP	CONTRACTOR GYPSUM HOLLOW METAL	PT. RCP	PRESSURE TREATED REFLECTED CEILING		REVISION CLOUD TAG		
	C.M.U.	MASONRY UNIT	H.M. HR	HOUR	REQ	PLAN REQUIRED	— dwg #			
	COL. CONC CONT	COLUMN CONCRETE CONTINUOUS/ CONTINUED	HORIZ HVAC	HORIZONTAL HEATING, VENTILATION, & AIR CONDITIONING	REV R.O. R.O.W.	REVISED/REVISION ROUGH OPENING RIGHT OF WAY SECTION	A2.00	neet # ELEVATION TAG		
	CONTR DIAG	CONTRACTOR DIAGONAL	INCL	INCLUDED/ INCLUDING	SIM SF	SIMILAR SQUARE FEET		lwg # heet #		
	DIM(S) D.O.T.E.	DIAMETER DIMENSION(S) DEPARTMENT OF	INFO INSUL	INFORMATION INSULATED/ INSULATING	SPEC STRUCT T.O. or T/		X (A4.01) X	INTERIOR ELEVATION TAG		
	D.L.	TRANSPORTATION & ENGINEERING DEAD LOAD	INT L.L. MATL	INTERIOR LIVE LOAD MATERIAL	T&G TYP	TONGUE & GROOVE TYPICAL		lwg # :heet #		
	D.S. DTL(S)	DOWNSPOUT DETAIL(S)	MECH MEP	MECHANICAL MECHANICAL,	U.N.O.	UNLESS NOTED OTHERWISE	A3.01	SECTION CUT TAC		
	DWG(S) EA ELEC	DRAWING(S) EACH ELECTRICAL	MIN	ELECTRICAL & PLUMBING MINIMUM	V.B. VERT V.I.F. or ±	VAPOR BARRIER VERTICAL VERIFY IN FIELD		heet # DETAIL CALLOUT		
	ELEV(S)	ELEVATION(S) EXPANSION JOINT	MAX MANUF	MAXIMUM MANUFACTURER	W/O	WITH WITHOUT	A4.01	- CALLOOT		
	E.J. EQ	EQUAL	N/A	NOT APPLICABLE	WD	WOOD		,		



WILL REMAIN UNOCCUPIED. THE EXISTING BUILDING IS R-2. THE FRONT OF THE 1ST FLOOR WILL BECOME

USE "B" AND THE REST OF THE BUILDING WILL REMAIN R-2. THE BUILDING WILL BE SPRINKLERED.

**AERIAL IMAGE** SCALE: NTS



Progress Dates 2023.04.28 - BID/PERMIT 2024.08.30 - BID SET 2

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB Drawn by: TB, AM

UB

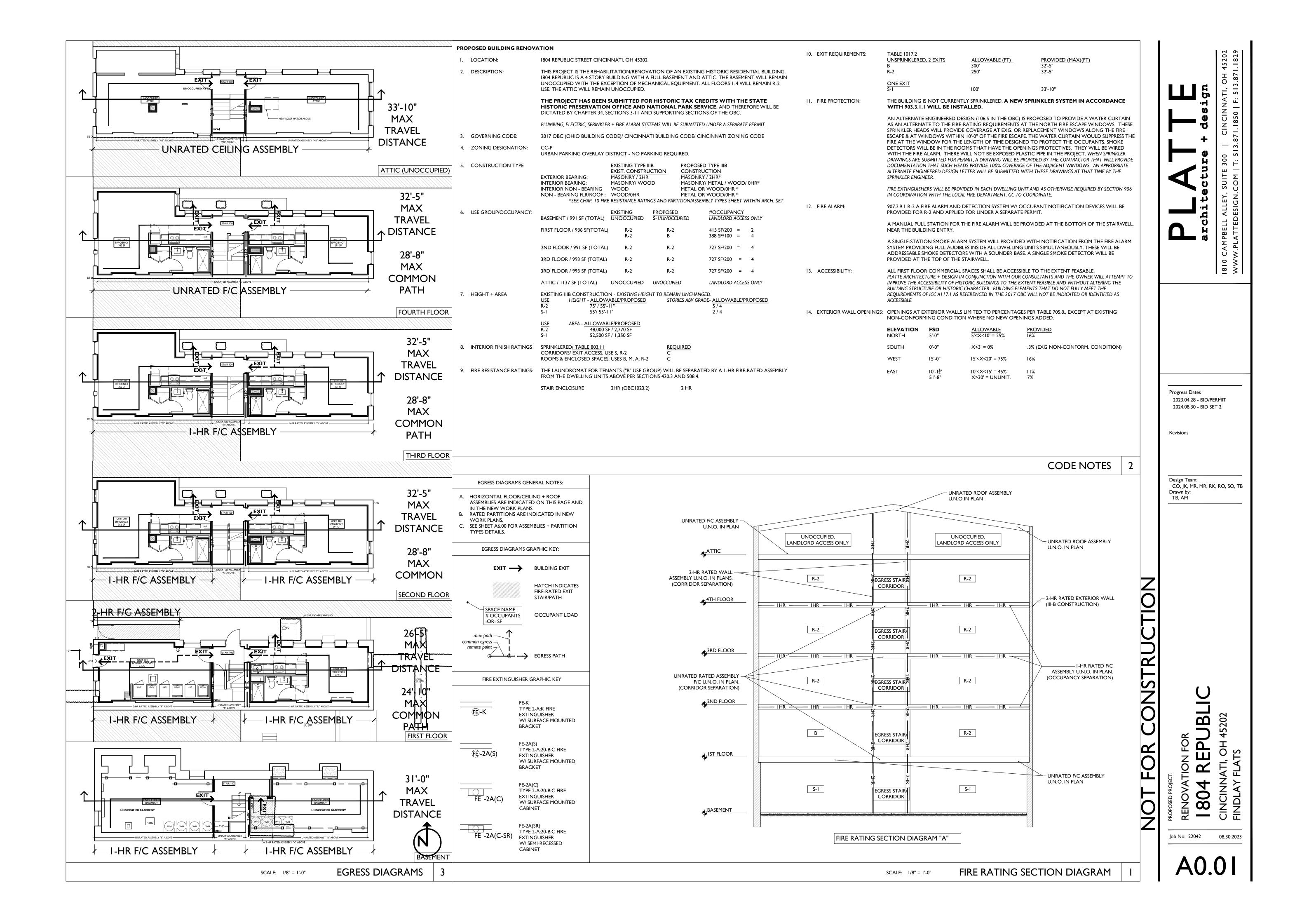
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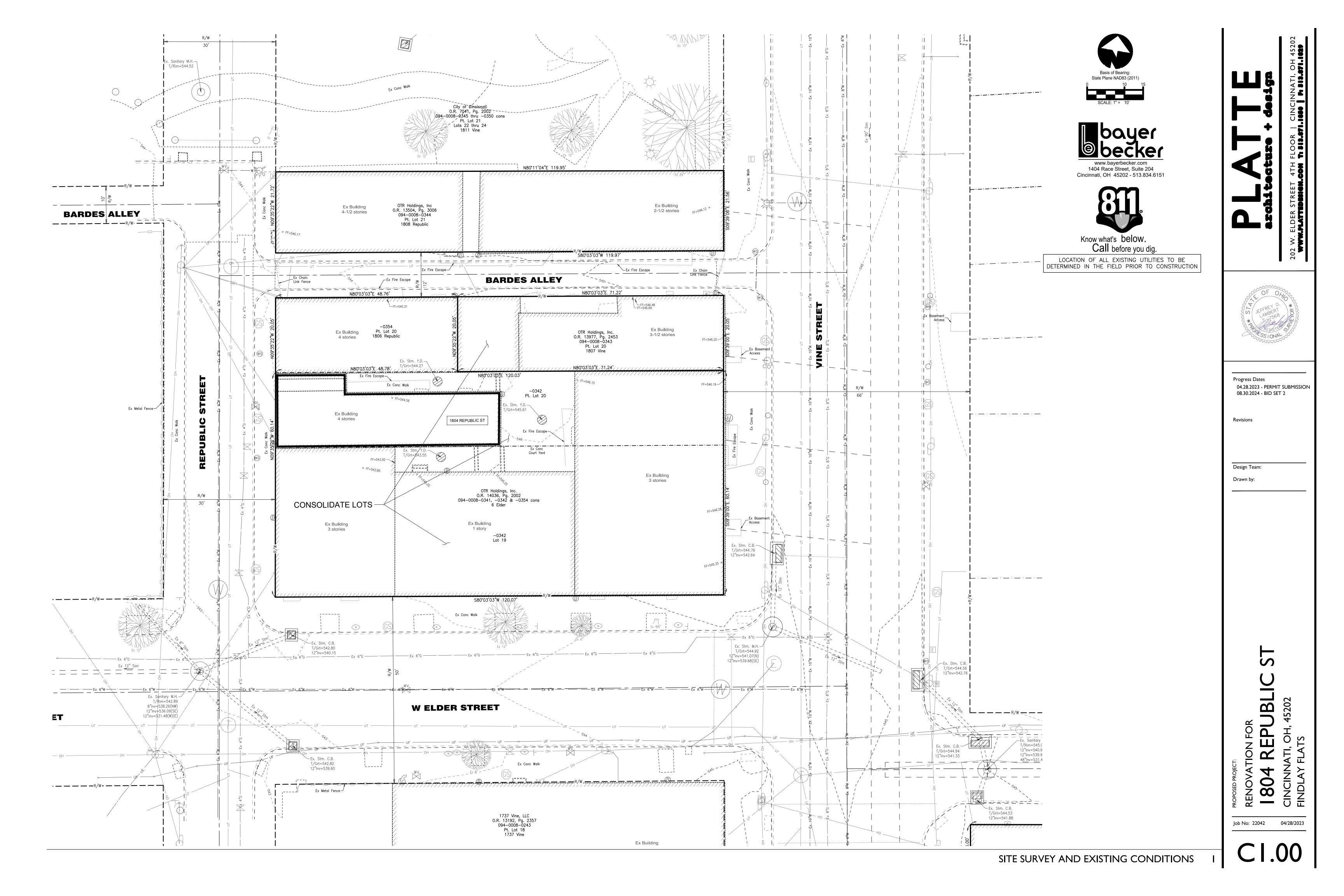
Job No: 22042 08.30.2023

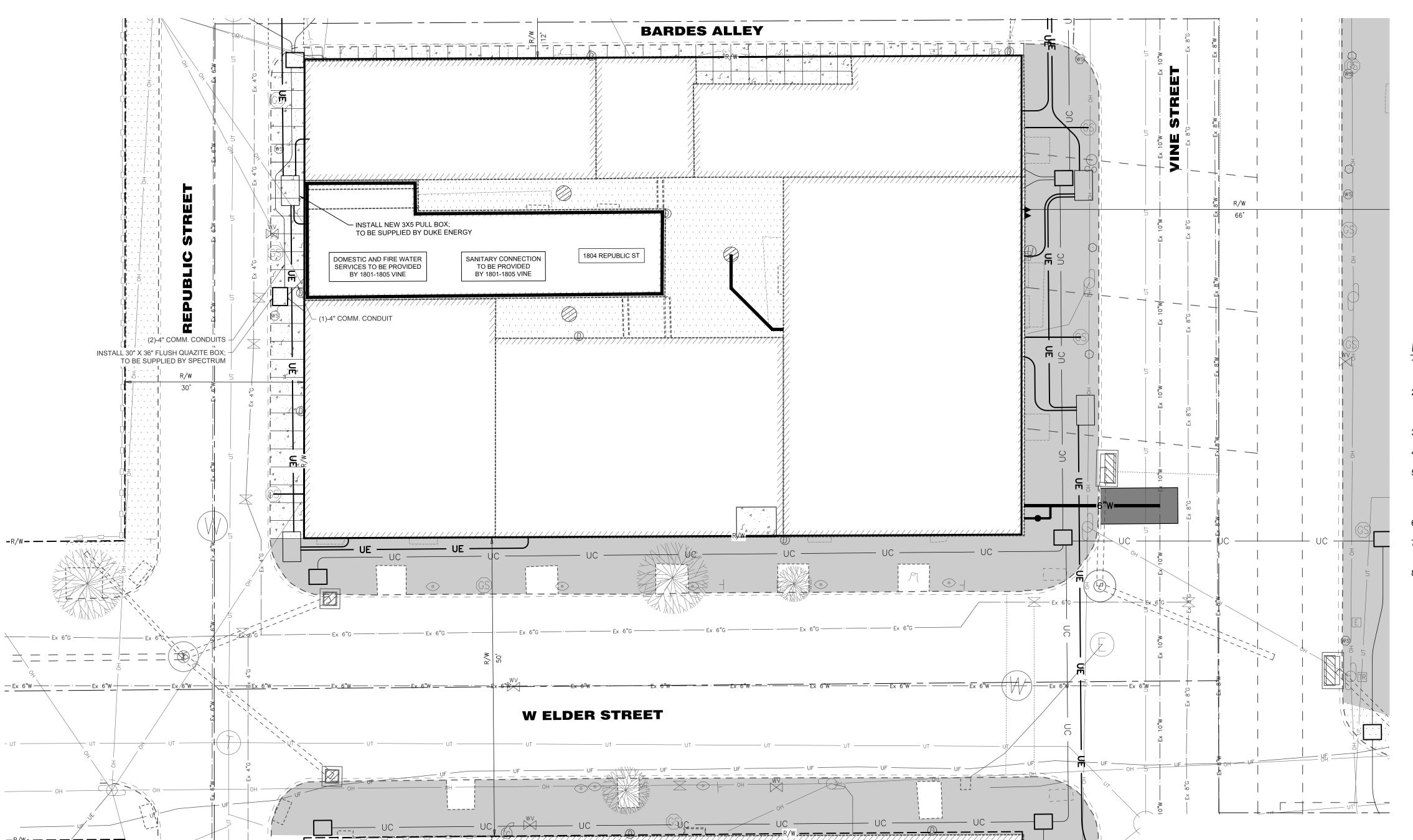
SCALE: NTS

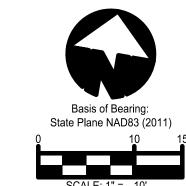
STREET VIEW

S320 **MECHANICAL DRAWINGS** M1.02 MI.04 **ELECTRICAL DRAWINGS** PLUMBING DRAWINGS













Know what's below. Call before you dig.

LOCATION OF ALL EXISTING UTILITIES TO BE DETERMINED IN THE FIELD PRIOR TO CONSTRUCTION

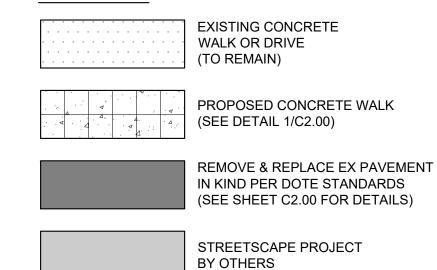
# MAINTENANCE OF TRAFFIC NOTES

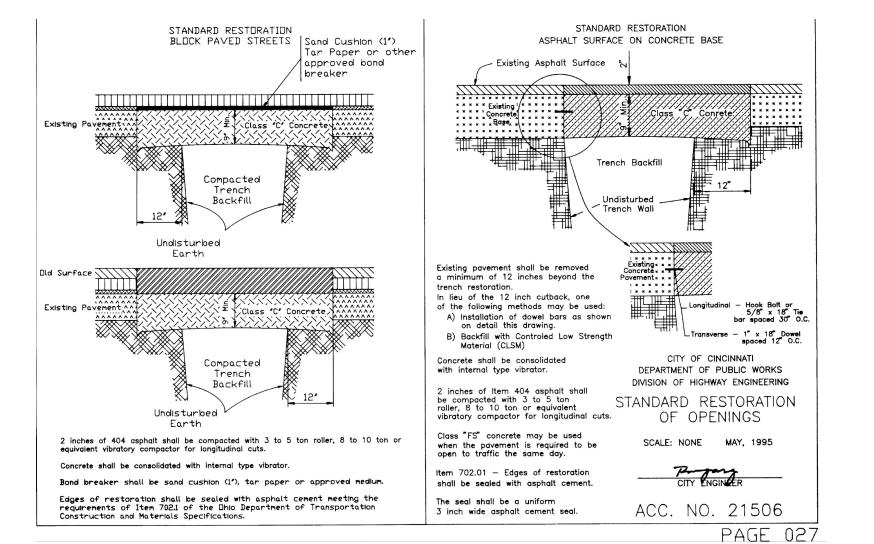
- 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT STATE OF OHIO DEPARTMENT OF TRANSPORTATION, CONSTRUCTION AND MATERIAL SPECIFICATIONS, AND CURRENT STANDARD DRAWINGS, UNLESS OTHERWISE NOTED.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ITEM 614 AND OTHER APPLICABLE PORTIONS OF THE C&M SPECIFICATIONS AS WELL AS IN ACCORDANCE WITH PART 7 OF OMUTCD. LANE CLOSURES SHALL BE IN ACCORDANCE WITH STANDARD CONSTRUCTION DRAWINGS MT-97.10.
- LOCAL TRAFFIC SHALL BE MAINTAINED AT ALL TIMES THROUGH THE USE OF FLAGGERS AND SAFETY CONES, AS DIRECTED BY THE CITY ENGINEER.
- THE CONTRACTOR MUST COORDINATE THE WORK SO AS TO NOT INTERRUPT INGRESS AND EGRESS FROM AFFECTED PROPERTIES.
- IF THE CONTRACTOR SO ELECTS, HE MAY SUBMIT ALTERNATE METHODS FOR THE MAINTENANCE OF TRAFFIC, PROVIDED THAT THE INTENT OF THE ABOVE PROVISIONS IS FOLLOWED AND NO ADDITIONAL INCONVENIENCE TO THE TRAVELING PUBLIC RESULTS THEREFROM. NO ALTERNATE PLAN WILL BE PUT INTO EFFECT UNTIL THE APPROVAL HAS BEEN GRANTED, IN WRITING, BY THE CITY OF CINCINNATI DOTE.
- THE OPEN TRENCH SHALL BE ADEQUATELY MAINTAINED AND PROTECTED WITH DRUMS OR BARRICADES AT ALL TIMES.
- NO TRENCH SHALL BE LEFT OPEN OVERNIGHT. IN CASE WORK MUST BE SUSPENDED BECAUSE OF INCLEMENT WEATHER OR OTHER REASONS, THE TRENCH FOR THE UNCOMPLETED WORK SHALL BE PLATED OR BACKFILLED AT THE DIRECTION OF THE COUNTY ENGINEER.
- THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES LOCATED PRIOR TO BEGINNING CONSTRUCTION.

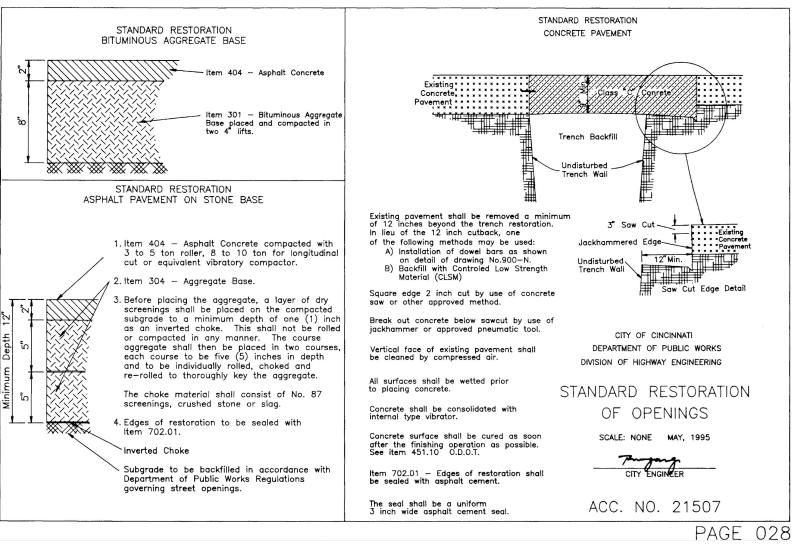
# SITE PERMITS NOTES

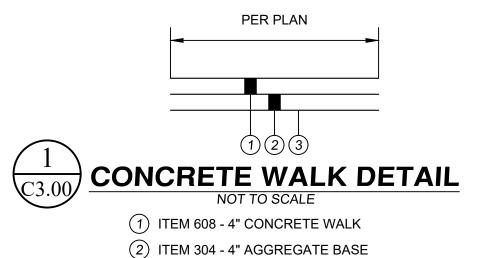
CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL CITY OF CINCINNATI PERMITS FOR PROPOSED SITE WORK, INCLUDING (BUT NOT LIMITED TO): GCWW BRANCH APPLICATION, MSD TAP PERMIT, DOTE RIGHT-OF-WAY PERMIT (FOR UTILITY CONNECTIONS, STREET/WALK CLOSURE, AND PAVEMENT INSTALLATION), DOTE BARRICADE PERMIT, DOTE REVOCABLE STREET PERMIT (IF APPLICABLE).

# LEGEND









(3) ITEM 203 - SUBGRADE COMPACTION



Progress Dates 04.28.2023 - PERMIT SUBMISSION 08.30.2024 - BID SET 2

Drawn by:

EFS

UBL 8

Job No: 22042 04/28/2023

2. EXG CONDITIONS

I. GENERAL

2.I REMOVE GATE AND/OR FENCE.

2.2 REMOVE BEAM PER STRUCTURAL. PROVIDE SHORING AS REQ. 2.3 EXG. WINDOW WELL. REMOVE METAL GRATE & TRASH / DEBRIS. PREPARE OPENING FOR LEAN CONCRETE INFILL. SEE NEW WORK PLANS AND STRUCT.

2.4 REMOVE FRAMING & SHEATHING/DECKING IN THIS AREA. SEE STRUCTURAL DWGS & NEW WORK PLANS.

3. CONCRETE

3.1 CONCRETE OR STONE STEPS TO REMAIN 3.2 CONCRETE SLAB TO REMAIN.

4. MASONRY

4.1 REMOVE NON-HISTORIC MASONRY INFILL AT HISTORIC

DOOR/WINDOW OPENING.. 4.2 CHIMNEY TO REMAIN

4.3 REMOVE FAUX STONE CLADDING.4.4 REMOVE PORTION OF NON-HISTORIC MASONRY WALL BACK TO ORIGINAL MASONRY CHIMNEY.

5. METALS

5.1 REMOVE GUARDRAIL/HANDRAIL. 5.2 FIRE ESCAPE TO REMAIN.

6. WOOD, PLASTICS, AND COMPOSITES

6.1 WOOD STAIR TO REMAIN IN PLACE. REMOVE NON-HISTORIC BANISTER/GAURDRAIL. REMOVE NON-HISTORIC FINISH ON TREADS. 6.2 REMOVE NON-HISTORIC STAIR & GUARD/HANDRAILS ENTIRELY.

PROVIDE SHORING AS REQ'D. SEE STRUCT DWGS.

7. THERMAL AND MOISTURE PROTECTION

7.I BOX GUTTER TO REMAIN. 7.2 REMOVE ROOF ACCESS HATCH.

7.3 REMOVE EXG MEMBRANE ROOF. CONTRACTOR TO INSPECT EXG ROOF DECKING AND REPAIR AS NEEDED

8.1 REMOVE PORTION OF EXG WALL FOR NEW WINDOW/DOOR. SEE PROPOSED DWGS.

8.2 EXG BASEMENT WINDOW OPENING. REMOVE PLEXIGLASS GLAZING AND PREPARE OPENING FOR CMU INFILL. SEE NEW WORK PLANS

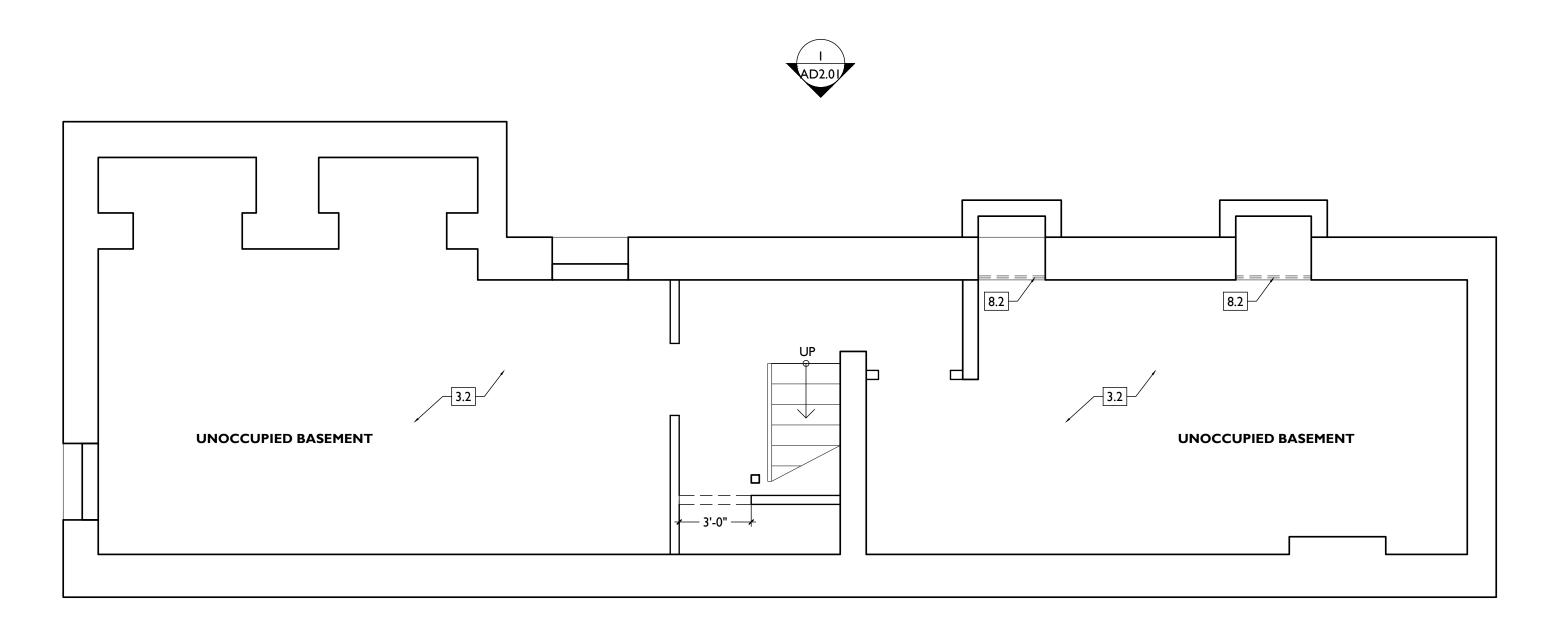
8.3 REMOVE NON-HISTORIC WINDOW, RETAIN & DO NOT DAMAGE EXG HISTORIC FRAME/ BRICK MOULD. ALL WINDOWS, THIS ELEVATION, U.N.O.

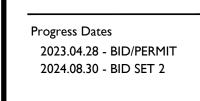
8.4 HISTORIC CORNICE WINDOWS TO REMAIN.

EXG EXTERIOR WALL \_\_\_\_\_ TO REMAIN EXG INTERIOR WALL TO REMAIN \_\_ \_ \_ \_ EXG WALL/ELEMENT
\_ \_ \_ TO BE REMOVED **EXG DOOR & FRAME** TO BE REMOVED EXG WINDOW TO BE REMOVED EXG FLOOR OR WALL

TO BE REMOVED

CONSTRUCTION





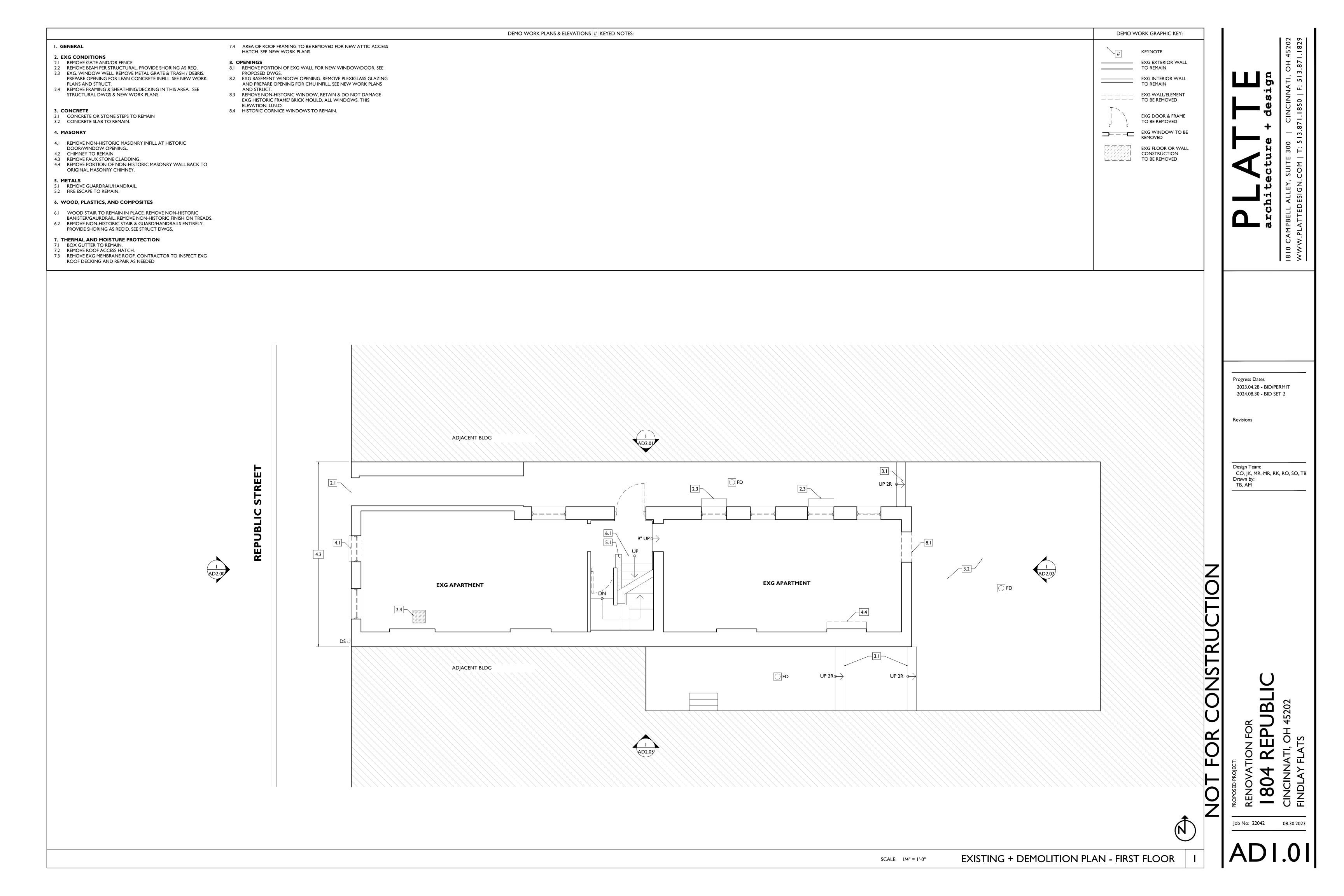
Revisions

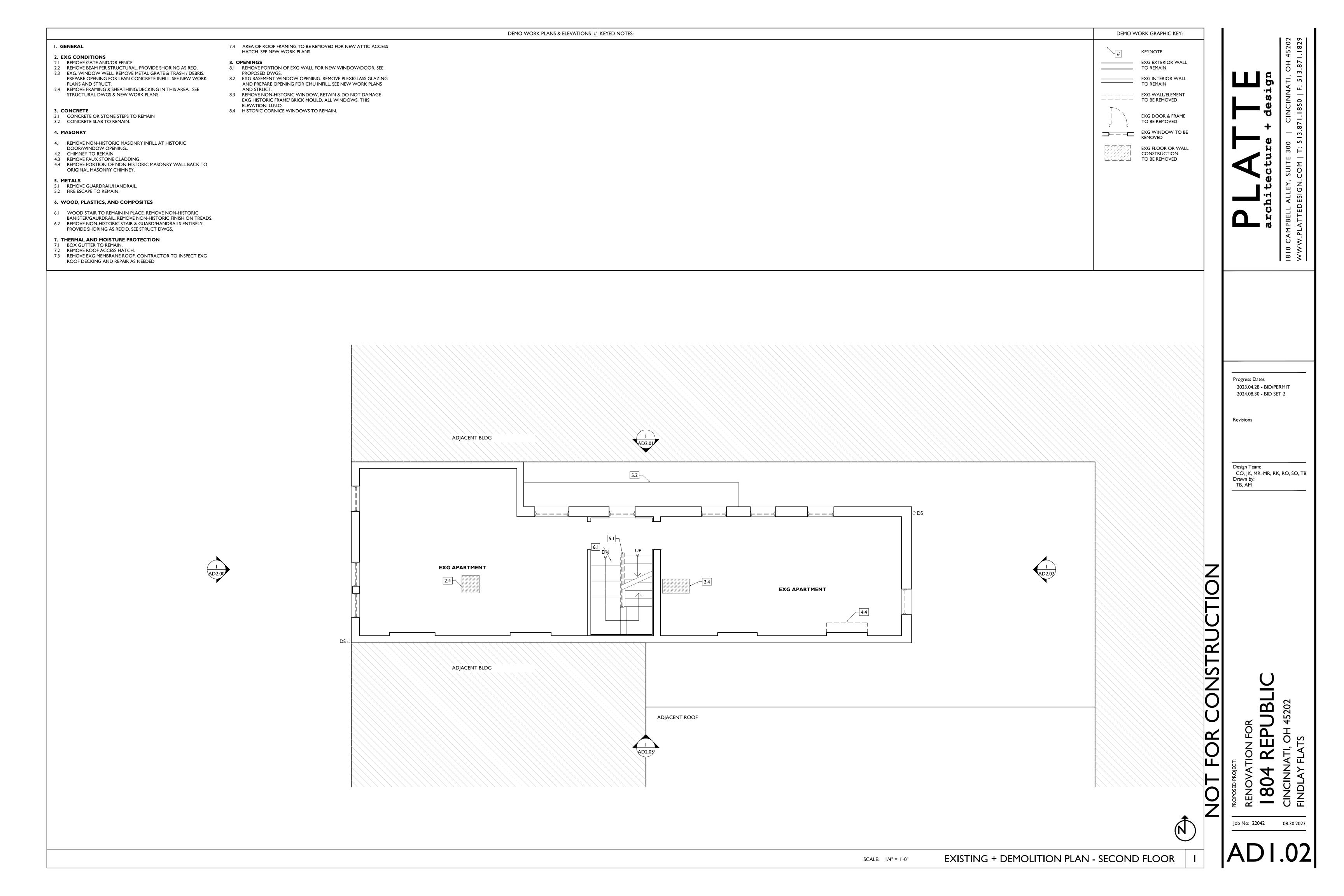
Design Team: CO, JK, MR, MR, RK, RO, SO, TB Drawn by: TB, AM

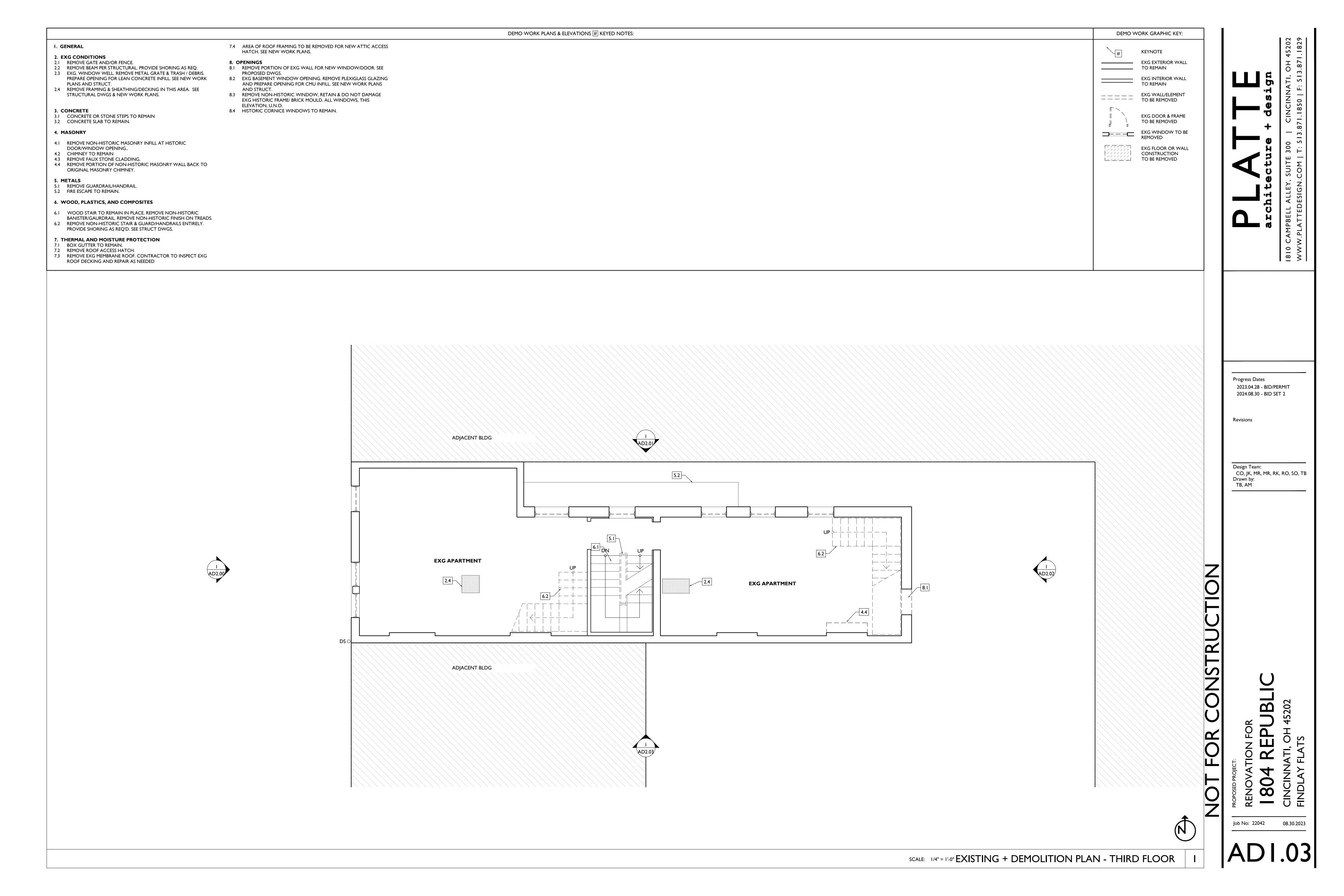
CONSTRUCTION

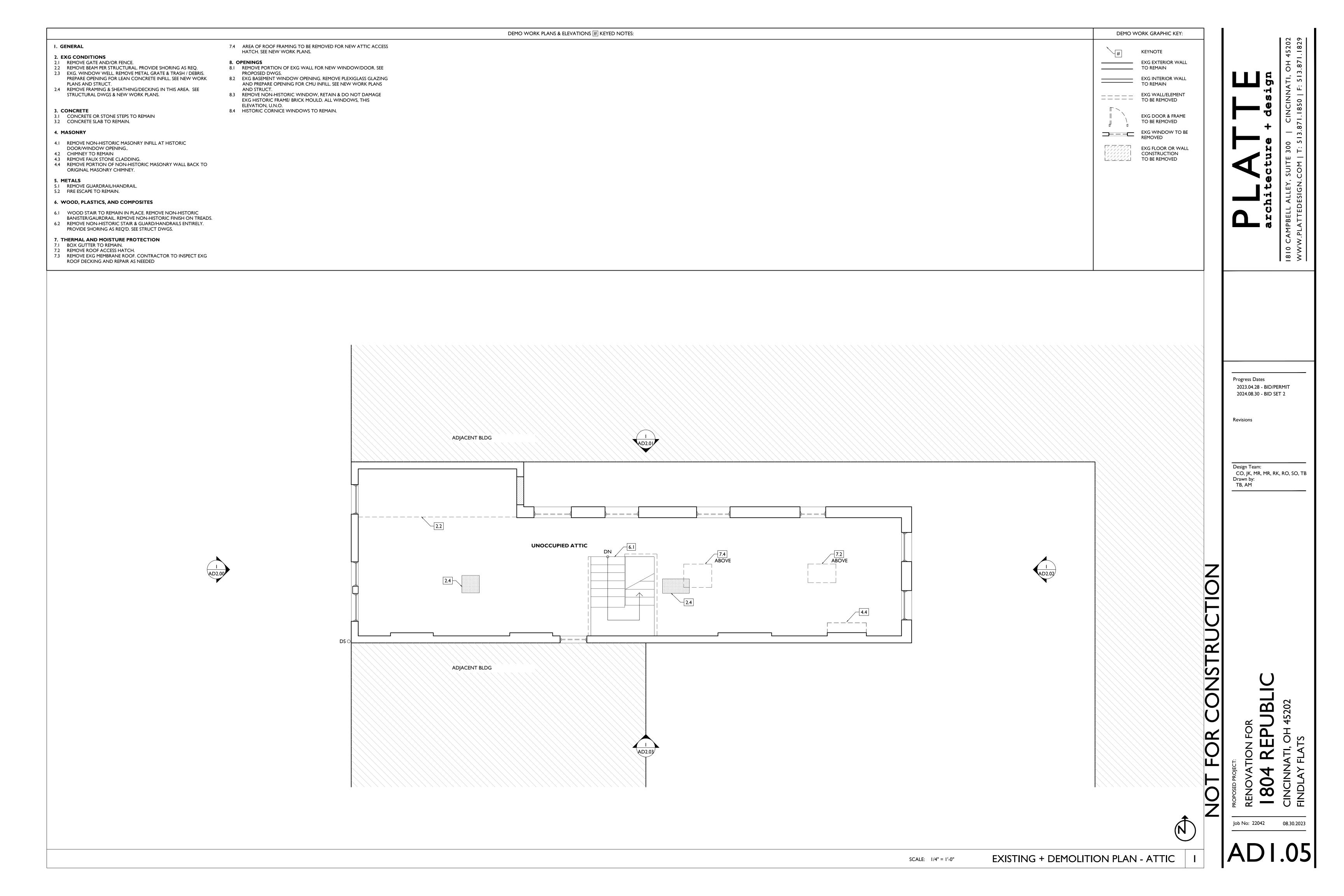
**PUBLIC** 

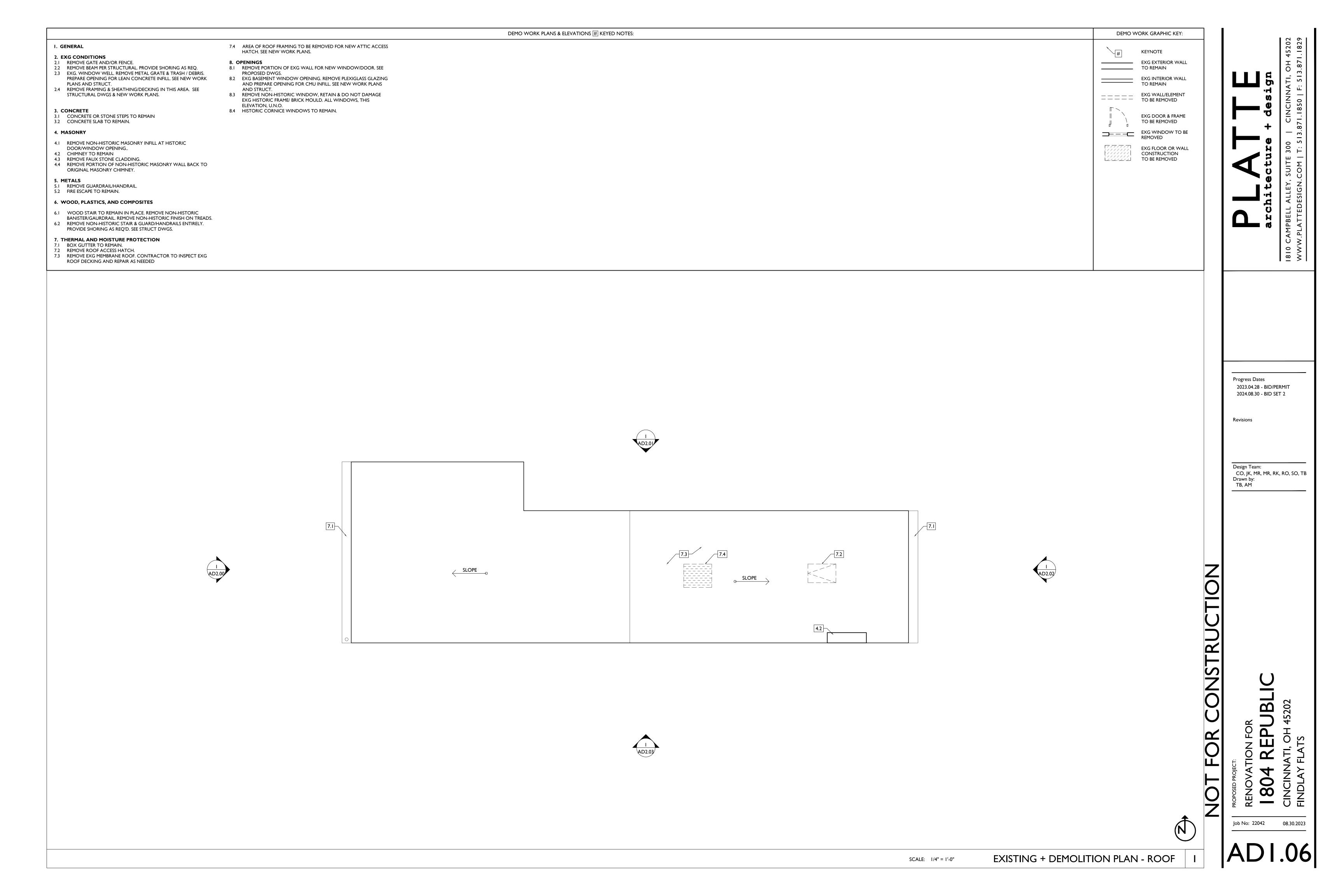












4.1

4.3

2.1

THIRD FLOOR ELEV: 122'-11"

SECOND FLOOR ELEV: 111'-8"

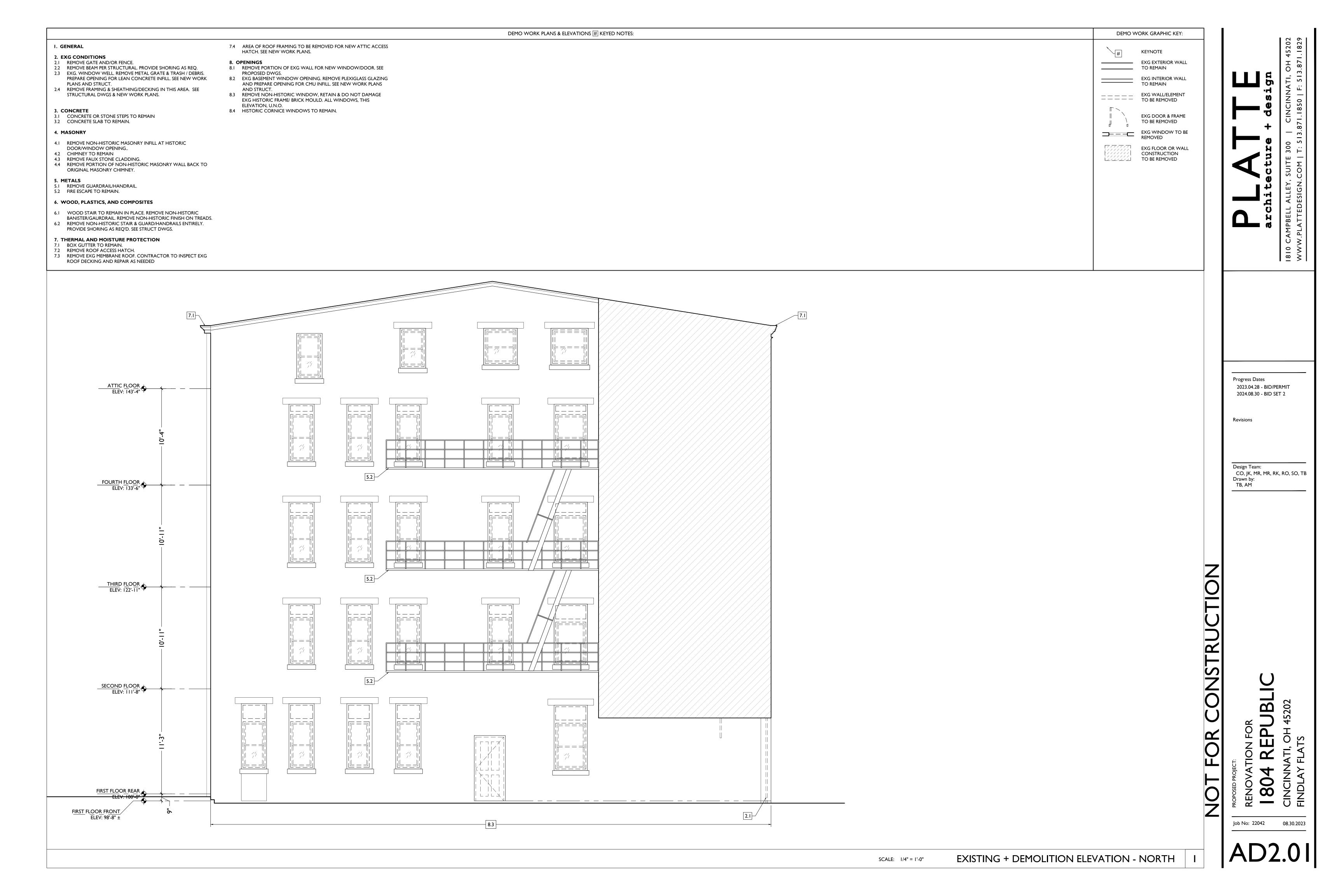
FIRST FLOOR REAR ELEV: 100'-0"

FIRST FLOOR FRONT ELEV: 98'-8" ±

IOT FOR CONSTRUCTION
RENOVATION FOR
1804 REPUBLIC

AD2.00

08.30.2023

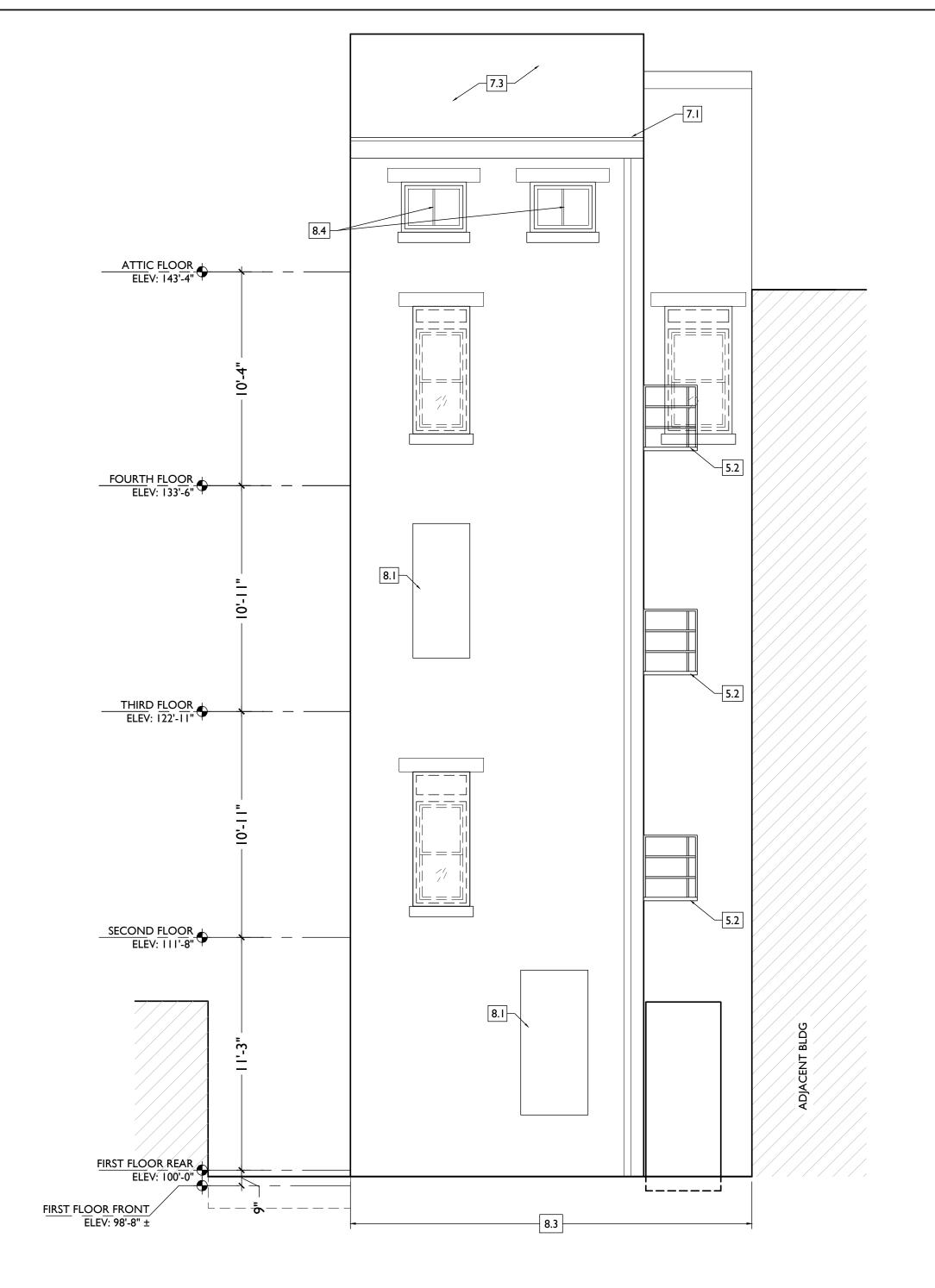


7. THERMAL AND MOISTURE PROTECTION

ROOF DECKING AND REPAIR AS NEEDED

7.3 REMOVE EXG MEMBRANE ROOF. CONTRACTOR TO INSPECT EXG

7.1 BOX GUTTER TO REMAIN.7.2 REMOVE ROOF ACCESS HATCH.



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(ATION FOR ATION FOR INNATI, OH 45202

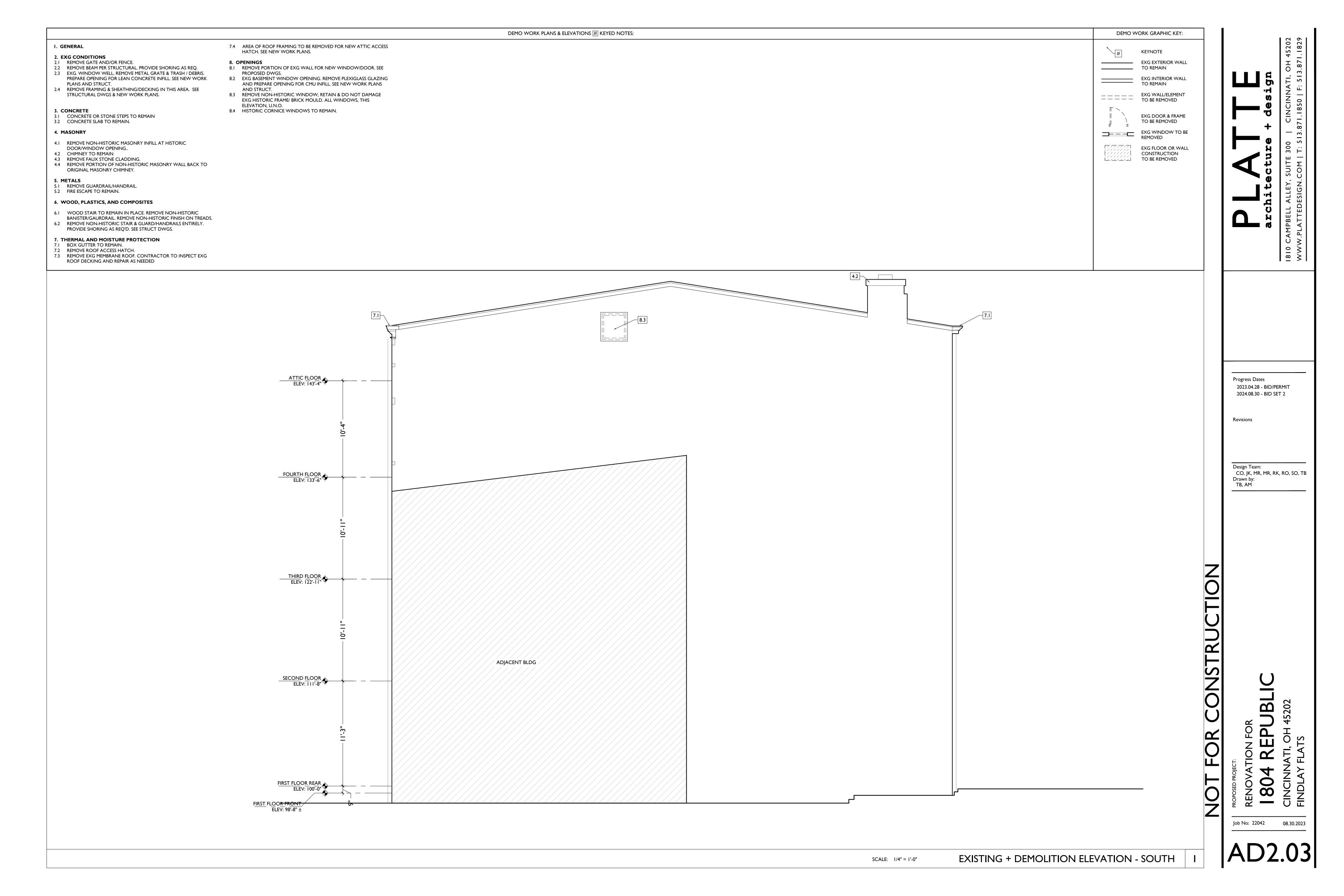
NY FLATS

Progress Dates

Revisions

2023.04.28 - BID/PERMIT 2024.08.30 - BID SET 2

AD2.02



## **GENERAL NOTES:**

I. CONTRACTOR TO VERIFY ALL DIMENSIONS AND INFORMATION IN THESE DRAWINGS.

2. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, INCLUDING SITE CONDITIONS. ALL ERRORS, OMISSIONS, AND INCONSISTENCIES ARE TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. FAILURE TO DO SO WILL RELEASE THE ARCHITECT OF ALL RESPONSIBILITY. ANY CHANGES FROM THESE DOCUMENTS ARE THE RESPONSIBILITY OF THE CONTRACTOR. THESE DRAWINGS ARE NOT TO BE SCALED. IF INSUFFICIENT INFORMATION EXISTS, CONTACT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK. EACH CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS AS MAY EFFECT HIS OWN WORK, DESIGN/BUILD OR OTHERWISE.

3. BEST MANAGEMENT PRACTICES SHALL BE USED BY THE CONTRACTOR DURING DEMOLITION TO PREVENT RELEASE OF LEAD-CONTAMINATED DUST FROM DEMOLITION ACTIVITIES. ALL PAINT CHIPS AND OTHER DEBRIS OR RESIDUE SHALL BE REMOVED FROM THE PROJECT SITE AT THE COMPLETION OF DEMOLITION. STORAGE AND TRANSPORT OF MATERIALS KNOWN OR ASSUMED TO CONTAIN LEAD BASED PAINT SHALL BE COVERED TO PREVENT ACCESS TO OR RELEASE OF LEAD-CONTAMINATED DUST OR DEBRIS.

4. IT SHALL BE THE RESPONSIBILITY OF THE BUILDING OWNER TO SUPERVISE CONSTRUCTION AND INSURE THAT THESE DRAWINGS ARE COMPLIED IN THE EVENT THAT THIS ARCHITECT IS NOT RETAINED FOR SUCH SERVICES.

5. ALL WORK SHALL COMPLY WITH STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS, INCLUDING THE AMERICANS WITH DISABILITIES ACT, HAVING AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK, AND SHALL BE DONE TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY EACH RESPECTIVE TRADE.

6. GUARANTEES SHALL BE REQUIRED OF ALL BRANCHES OF THE WORK. CONTRACTORS TO REMEDY ANY DEFECTS IN THEIR WORK AND PAY FOR ANY RESULTANT DAMAGES TO OTHER WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.

7. CONTRACTOR SHALL SUPERVISE THE WORK DURING PROGRESS AND SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION SAFETY; COMPLIANCE TO BE IN ACCORDANCE WITH ALL STATE, FEDERAL AND O.S.H.A. REGULATIONS.

8. CONTRACTOR AND ALL SUB-CONTRACTORS SHALL MAINTAIN THE JOB CLEAR OF TRASH AND DEBRIS. ALL WASTE MATERIAL, TOOLS,
CONSTRUCTION EQUIPMENT AND SURPLUS MATERIAL SHALL BE REMOVED FROM THE SITE PRIOR TO

SUBSTANTIAL COMPLETION AND FINAL ACCEPTANCE.

9. CONTRACTOR SHALL PRESENT THE PROJECT TO THE OWNER FOR ACCEPTANCE, CLEAN AND READY FOR USE. ALL GLASS TO BE CLEANED, FLOORS SWEPT BROOM CLEAN, FIXTURES WASHED AND LABELS REMOVED FROM

IO. ANY CONTRACTOR OF SUBCONTRACTOR WHO PERFORMS ANY WORK KNOWING IT TO BE CONTRARY TO APPLICABLE LAWS, ORDINANCES OR REGULATION, AND WITHOUT WRITTEN NOTICE TO THE ARCHITECT SHALL ASSUME FULL RESPONSIBILITY AND SHALL BEAR ALL ATTRIBUTABLE COSTS.

II. IN THE EVENT OF ANY CONFLICT BETWEEN ARCHITECTURAL DRAWINGS OR SPECIFICATIONS AND STRUCTURAL DRAWINGS OR SPECIFICATIONS, STRUCTURAL SHALL GOVERN.

12. PROJECT IS TO RECEIVE HISTORIC TAX CREDITS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE WELL VERSED IN THE APPROVED PART 2 AND SUBSEQUENT AMENDMENTS, AND TO INFORM SUBCONTRACTORS OF ANY CHANGES /APPROVALS DURING THE BIDDING AND THE CONSTRUCTION PHASES.

# GENERAL NOTES: ALL TRADES

ALL ITEMS.

I. FURNISH ALL LABOR, MATERIAL AND APPURTENANCES NECESSARY FOR A COMPLETE AND OPERATIONAL SYSTEM AS SHOWN OR REQUIRED.

2. ALL WORK SHALL CONFORM TO APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. EACH CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, TESTS AND INSPECTIONS FOR HIS OWN WORK AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.

3. PERFORM ALL TESTS, ADJUSTMENTS, ETC. AS REQUIRED BY EQUIPMENT MANUFACTURER OR AUTHORITIES HAVING JURISDICTION.

4. CONTRACTORS SHALL VISIT SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS AS MAY EFFECT HIS OWN WORK. EACH CONTRACTOR SHALL COORDINATE HIS OWN WORK WITH THAT OF OTHER TRADES.
5. EACH CONTRACTOR SHALL FURNISH ALL CUTTING AND PATCHING REQUIRED FOR HIS OWN WORK. NO CUTTING SHALL BE PERFORMED WITHOUT PRIOR APPROVAL OF GENERAL CONTRACTOR.

6. WORKMANSHIP SHALL REPRESENT THE HIGHEST STANDARD OF THE INDUSTRY. GUARANTEE ALL MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE.

# GENERAL CONDITIONS

CONTRACT DOCUMENTS: INCLUDE THESE GENERAL CONDITIONS FOR CONSTRUCTION, DRAWINGS, SCHEDULES, AND SPECIFICATIONS PREPARED BY THE ARCHITECT AND CONTAINED HEREIN, AND ALL WRITTEN ADDENDA OR OTHER MODIFICATIONS ISSUED SUBSEQUENTLY BY THE ARCHITECT. THE CONTRACT DOCUMENTS SHALL NOT BE CONSTRUED TO CREATE ANY CONTRACTUAL RELATIONSHIP OF ANY KIND BETWEEN THE ARCHITECT AND THE CONTRACTOR.

# NOTES: CONTRACT MODIFICATIONS: THESE CONTRACT

DOCUMENTS SHALL NOT BE FURTHER MODIFIED BY ANY TERMS OR CONDITIONS OTHER THAN THOSE LISTED HEREIN OR IN THE SPECIFICATIONS, OR IN ANY WRITTEN AGREEMENTS EXECUTED BY THE OWNER, CONTRACTOR AND SUBCONTRACTORS.

NOTES WRITTEN IN THE IMPERATIVE MOOD REFER TO ACTION TO BE PERFORMED BY THE CONTRACTOR. THE WORDS "THE CONTRACTOR SHALL" ARE ALWAYS IMPLIED, IF NOT STATED, UNLESS OTHERWISE NOTED. THE TERM "CONTRACTOR" SHALL ALSO APPLY TO ALL SUBCONTRACTORS OF THE CONTRACTOR.

THE CURRENT EDITION OF AIA DOCUMENT A101 SHALL BE THE FORM OF AGREEMENT TO BE SIGNED BY THE OWNER AND GENERAL CONTRACTOR, UNLESS THE OWNER AND CONTRACTOR MUTUALLY AGREE OTHERWISE. GENERAL CONDITIONS CONTAINED IN AIA DOCUMENT A201 SHALL

BEST MANAGEMENT PRACTICES SHALL BE EMPLOYED TO CONTROL EROSION DURING CONSTRUCTION AND UNTIL FINAL COVER IS ESTABLISHED.

THE CONTRACTOR SHALL BE NOTIFIED, BOTH VERBALLY AND THROUGH NOTATIONS ON THE FINAL CONST. DWG, THAT WORK SHALL BE HALTED AT A LOT IF INDICATORS OF CONTAMINATION (FILL OTHER THAN "CLEAN FILL", DISCOLORED SOILS OR CHEMICAL/ PETROLEUM ODORS) ARE IDENTIFIED DURING CONST. TO ALLOW FOR A QUALIFIED ENVIRONMENTAL PROFESSIONAL TO INSPECT THE LOT AND MAKE RECOMMENDATIONS REGARDING APPROPRIATE ACTIONS.

ANY WATER WELLS OR SEPTIC SYSTEMS IDENTIFIED DURING SITE DEVELOPMENT SHALL BE ABANDONED AS REQUIRED BY OAC 3745-9-10 OR 3701-29-21, AS APPLICABLE, AND AFTER CONSULTATION W/ THE LOCAL HEALTH DEPARTMENT.

### **DEFINITIONS**:

"CONTRACTOR": THE PERSON OR ENTITY CONSTRUCTING THE DESIGNATED WORK.

"OWNER": THE PERSON OR ENTITY THAT OWNS THE BUILDING BEING RENOVATED. THE TERM "OWNER" INCLUDES HIS DESIGNATED AND AUTHORIZED AGENTS AND REPRESENTATIVES.

"WORK": THE TERM "WORK" MEANS OBLIGATIONS UNDERTAKEN BY THE CONTRACTOR PURSUANT TO THE CONTRACT DOCUMENTS. WORK INCLUDES THE FURNISHING OF ALL MATERIAL, LABOR, EQUIPMENT, SUPPLIES, TOOLS, SCAFFOLDING, SUPERVISION, TRANSPORTATION, INSURANCE, TAXES AND ALL OTHER SERVICES, INCIDENTALS AND EXPENSES NECESSARY FOR THE FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

"PROJECT": THE PROJECT IS THE TOTAL CONSTRUCTION OF WHICH THE WORK PERFORMED UNDER THE CONTRACT DOCUMENTS MAY BE THE WHOLE OR A PART.

"CONTRACT DOCUMENTS": THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS REQUIRED FOR COMPLETION OF THE WORK, INCLUDING DRAWINGS AND SPECIFICATIONS. ALTHOUGH THE CONTRACT DOCUMENTS HAVE BEEN PREPARED WITH DUE CARE AND DILIGENCE, PERFECTION CANNOT BE GUARANTEED. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF THE VARIOUS PARTS OF THE WORK SO THAT NO PART SHALL BE IN AN UNFINISHED OR INCOMPLETE CONDITION.

# DRAWINGS PREPARED BY OTHERS:

ARCHITECTURAL, CIVIL, STRUCTURAL, MECHANICAL AND ELECTRICAL DWGS SHALL BE WORKED TOGETHER, INCLUDING THE LOCATION OF DEPRESSED SLABS, SLOPES, DRAINS, REGLETS, BOLT SETTINGS, ETC. ANY DISCREPANCY SHALL BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

SHOP DWGS PREPARED BY OTHER CONTRACTORS MAY BE REQUIRED TO SUPPLEMENT THE CONTRACT DOCUMENTS. SUCH DWGS ARE FURNISHED FOR THE CONTRACTOR'S INFORMATION AND COORDINATION ONLY.

## **GENERAL NOTES: PROPOSED WORK**

- A. THIS IS A HISTORIC TAX CREDIT PROJECT. WORK MUST COMPLY W/ APPROVED PART 2, INCLUDING AMENDMENTS.
- B. NO HISTORIC ELEMENTS SHALL BE REMOVED/MODIFIED UNLESS SPECIFICALLY INDICATED IN ARCH PLANS.
- C. REPAIR OR REPLACE EXG DAMAGED OR DETERIORATED FLOOR FRAMING &/OR WOOD SUBFLOOR PER STRUCT DWGS.
- D. HISTORIC TRIM TO BE RETAINED, U.N.O. SEE DEMO & PROPOSED PLANS.

  E. RETAIN ANY REMAINING HISTORIC WOOD WINDOW SASH, FRAMES, BRICKMOLD &
- SHUTTER HARDWARE, U.N.O. SEE DEMO & EXTERIOR ELEVATIONS.

  F. REPAIR MATERIALS THAT ARE DETERIORATED OR HAVE MOISTURE/FIRE DAMAGE AS REQ. IF
- DAMAGE IS SEVERE AND HISTORIC ELEMENTS ARE NON-SALVAGEABLE, COORDINATE REPLACEMENT ELEMENTS WITH ARCHITECT.
- G. SEE CODE SHEETS FOR ROOF/FLOOR/CEILING ASSEMBLY LOCATIONS & PARTITION SCHEDULE FOR TYPES.

  H. DENISTRATIONS OF PATED ASSEMBLIES TO BE PROTECTED BED SECTION 713.3 & 713.4 C
- H. PENETRATIONS OF RATED ASSEMBLIES TO BE PROTECTED PER SECTION 713.3 & 713.4 OBC. COORD W/ MEP DWGS.
- COORD W/ MEP DWGS.

  I. PROVIDE FIRE BLOCKING PER 717.2 OBC.
- J. PROVIDE DRAFTSTOPPING IN FLOORS, CLGS/ROOFS & ATTICS PER OBC.
   K. PROVIDE BLOCKING FOR SHELVING, CABINETS AND BATHROOM ACCESSORIES AND GRAB BARS. SEE PLANS AND INTERIOR ELEVATIONS.
- USE PRESSURE TREATED WOOD IN THE FOLLOWING LOCATIONS:
   EXTERIOR APPLICATIONS.
   IN BASEMENTS.
- WOOD IN CONTACT WITH MASONRY, STONE, OR CONCRETE.
   AT ANY NEW FRAMING IN CONTACT W/ MASONRY OR FOUNDATION WALL, PROVIDE SEPARATION/ JOIST & BEAM END WRAPS.
- M. EXTERIOR TRIM, SOFFITS, CORNICE AND STOREFRONT ELEMENTS TO BE
  REPAIRED/RETAINED/REPLACED AND PAINTED AS NOTED IN DRAWINGS. EXG.
  UN-PAINTED BRICK AND STONE TO REMAIN UNPAINTED. SEE EXTERIOR ELEVATIONS FOR
- SCOPE OF WORK. COORD COLORS DIRECTLY W/ ARCHITECT.

  N. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR LOCATION AND CONNECTIONS OF ALL MEP EQUIPMENT.
- O. PROVIDE SLEEVES THROUGH EXG. BRICK WALL IN ATTIC AS REQUIRED FOR HVAC LINE-SET INSTALLATION.
- P. ADDITIONAL OPENINGS IN EXTERIOR WALLS WILL BE REQUIRED FOR VARIOUS MEP DUCTS/PIPES/ETC, AND ARE NOT SHOWN ON ARCH & STRUCT PLANS. COORD W/ MEP PLANS. CONTACT ARCHITECT FOR PLACEMENT.
- Q. PROVIDE FIRE EXTINGUISHERS PER CODE SUMMARY & NFPA REQS. COORD W/ FIRE MARSHALL.
- R. FASTENERS INTO EXISTING HISTORIC MASONRY WALLS ARE TO BE FASTENED INTO MORTAR JOINTS.
- S. EXTERIOR STEEL TO BE DUPLEX-FINISH (GALVANIZED, WITH HIGH-PERFORMANCE COMPATIBLE EPOXY PAINT).
- T. REPAIR & RESEAL AROUND EXG. CHIMNEYS, TYP. AS REQ. PROVIDE NEW ALUM CAP, TYP. U. EXTERIOR WOOD TO BE PRESSURE TREATED.
- V. WHERE INFILLING EXISTING OPENINGS IN, OR EXTENDING THE LENGTH OF AN EXISTING WOOD FRAMED PARTITION, FINISH FACES OF THE NEW CONSTRUCTION ARE TO ALIGN WITH ADJACENT EXISTING FINISH FACES ON BOTH SIDES.
- W. SHEET METAL WORK TO COMPLY WITH SMACNA ARCHITECTURAL SHEET METAL MANUAL.

  X. FLASH AND SEAL NEW ROOF PENETRATIONS THROUGH EXISTING ROOF. EMPLOY
  INSTALLERS ACCEPTABLE TO EXISTING ROOF MANUFACTURER AND COMPLY WITH
  EXISTING ROOF MANUFACTURER REQUIREMENTS TO MAINTAIN EXISTING ROOF
- Y. BASEMENTS TO BE TESTED FOR RADON EXPOSURE. PROVIDE VAPOR MITIGATION SYSTEM BELOW BASEMENT SLAB AS REQUIRED. CONNECT TO VERTICAL VENTS INDICATED IN FLOOR PLANS.

WARRANTY

- Z. MASONRY WORK: REFER TO PART 2 SHPO NARRATIVES AND STRUCTURAL DRAWINGS FOR FULL EXTENT AND SCOPE FOR MASONRY CLEANING, TUCK-POINTING, REPAIR, REPLACEMENT, AND PAINTING.
- AA. MASONRY CLEANING: CONTRACTOR SHALL PERFORM MASONRY CLEANING WORK IN ACCORDANCE WITH PRESERVATION BRIEF 6 - "DANGERS OF ABRASIVE CLEANING TO HISTORIC BUILDINGS." CONTRACTOR SHALL CLEAN EXISTING MASONRY THROUGHOUT USING THE GENTLEST MEANS POSSIBLE AND SHALL START EACH NEW METHOD OF CLEANING (E.G. BY BRUSH, WITH DETERGENT, WITH WATER PRESSURE, ETC.) IN DISCRETE AREA OF EACH WALL. CONTRACTOR SHALL BEGIN BY CLEANING WITH WATER AND NATURAL BRISTLE BRUSHES. CONTRACTOR SHALL THEN CLEAN ANY AREAS THAT REQUIRE FURTHER CLEANING USING NON-ABRASIVE, NON-ACIDIC DETERGENTS WITH NATURAL BRISTLE BRUSHES. CONTRACTOR SHALL THEN CLEAN ANY AREAS THAT REQUIRE FURTHER CLEANING USING NON-ABRASIVE. NON-ACIDIC DETERMENTS WITH LOW PRESSURE WATER (STARTING AT 20 PSI AT TIP). UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE PRESSURE WASHING WITH GREATER THAN 40 PSI AT TIP. CLEANING SHALL BE PERFORMED EVENLY THROUGHOUT THE ENTIRETY OF EACH WALL. WALLS WHERE STUCCO / PARGING IS TO REMAIN SHALL NOT BE CLEANED WITH PRESSURE WASHING. REMOVE EXISTING LOOSE STUCCO / PARGING BY HAND WITH BRUSHES. PRESERVATION BRIEF 6 - "DANGERS OF ABRASIVE CLEANING TO HISTORIC BUILDINGS: HTTPS://WWW.NPS.GOV/TPS/HOW-TO-PRESERVE/BRIEFS/6-DANGERS-ABRASIVE-CLEANING.HTM
- AB. PARGING: CONTRACTOR TO TEST AND ASSESS THE INTEGRITY OF EXISTING STUCCO / PARGING ON EXISTING MASONRY WALLS. ANY STUCCO / PARGING TO REMAIN MUST BE SECURELY HELD TO EXISTING MASONRY WALL. ANY STUCCO / PARGING THAT IS NOT SECURELY HELD TO MASONRY WALL SHALL BE REMOVED THROUGH GENTLEST MEANS POSSIBLE (SEE MASONRY CLEANING ABOVE). NEW STUCCO / PARGING SHALL BE INSTALLED WHERE EXISTING STUCCO / PARGING HAS BEEN REMOVED, AND AS INDICATED ON THE DRAWINGS, INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S HIGHEST RECOMMENDATIONS USING ALL ASSOCIATED COMPONENTS FOR FLASHING, PENETRATIONS, ETC. STUCCO / PARGING SHALL BE INSTALLED ON MASONRY JAMB SURFACES OF NEW DOOR AND WINDOWS OPENINGS UP TO THE WINDOW / DOOR UNIT. NEW STUCCO / PARGING SHALL MATCH EXISTING IN TEXTURE AND COLOR. NEW STUCCO / PARGING SHALL BE A THREE-COAT SYSTEM (SCRATCH COAT, BROWN COAT AND FINISH COAT) WITH A GLASS FIBER REINFORCED LATH. BASIS-OF-DESIGN IS "SENERGY" BRAND, "SENERGY SENTRY STUCCO WALL SYSTEM PERMALATH 1000" WITH PRE-MIXED "SENTRY STUCCO BASE" AND "SENERLASTIC" FINISH COAT WITH TEXTURE TO MATCH EXISTING. CONTROL IOINTS TO BE ALIGNED WITH OPENINGS.
- MATCH EXISTING. CONTROL JOINTS TO BE ALIGNED WITH OPENINGS.

  AC. GYPSUM BOARD: SEE PARTITION SCHEDULE. MOLD & MOISTURE RESISTANT GYPSUM
- BOARD IN ALL WET AREAS RESTROOMS, KITCHENS, LAUNDRY, BASEMENTS.

  AD. STORM WINDOWS: FRAME WIDTH CANNOT REDUCE THE DAYLIGHT OPENING OF THE WINDOW & THE CENTER CHECK RAIL MUST ALIGN WITH THE WINDOW CENTER CHECK RAIL. NO SCREENS.
- AE. PROVIDE UNIT ENTRY SIGNAGE PER FINISH SCHEDULE AT EACH RESIDENTIAL UNIT ENTRY.
  FINAL LOCATION TO BE DETERMINED BY OWNER. IF MOUNTING ON DOOR, ENSURE
  INSTALLATION DOES NOT VOID RATING OF DOOR ASSEMBLY.
- AF. PROVIDE BLINDS AT RESIDENTIAL UNITS PER FINISH SCHEDULE. QUANTITY AND LOCATIONS BY OWNER.
- AG. SUBCONTRACTOR TO PROVIDE RECOMMENDED ALLOWANCE FOR PLASTER REPAIR.

  AH. ALL NEW WORK DIMENSIONS ARE TAKEN FROM FACE OF STUD, U.N.O. DIMENSIONS FROM EXG WALLS TO REMAIN ARE TAKEN FROM FINISH FACE OF PLASTER, U.N.O.

architecture + designment

Progress Dates 2023.04.28 - BID/PERMIT 2024.08.30 - BID SET 2

Revisions

TB, AM

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:

T FOR CONSTRUCTION

NOVATION FOR 804 REPUBLIC

Job No: 22042

A1.00

08.30.2023

KEYED NOTES ARE CATEGORIZED FOR ORGANIZATIONAL PURPOSES ONLY. NOTES MAY REQUIRE MATERIALS OR WORK IN CATEGORIES OTHER THAN WHERE THEY OCCUR. THE CONTRACTOR IS RESPONSIBLE FOR THE WORK DESCRIBED IN ALL APPLICABLE NOTES REGARDLESS OF THE CATEGORY IN WHICH THEY OCCUR.

ALL KEYED NOTES LISTED MAY NOT APPLY TO THIS SHEET.

# 3. CONCRETE

3.1 SLAB TO REMAIN. SCOPE & VERIFY FLOOR DRAINS CONNECT TO SEWER. REPAIR AS REQUIRED. 3.2 EXG OPENING TO BASEMENT TO BE CAPPED WITH CONCRETE 8.1 NOT USED AT GRADE. WALL TO BE INFILLED W/ CMU. SEE STRUCTURAL FOR 8.2 NOT USED

INFILL AND CIVIL FOR CONCRETE FLATWORK ABOVE OPENING.

## 4. MASONRY

4.1 NEW OR EXPANDED OPENING IN EXG MASONRY WALL.

## 5.1 NEW CONTINUOUS STEEL PIPE HANDRAIL. SEE DETAILS.

5.2 NEW STEEL GUARDRAIL. SEE DETAILS. 5.3 NEW ALUM. BREEZEWAY GATE. SEE DOOR SCHEDULE. 5.4 EXG. FIRE ESCAPE TO REMAIN.

# 6. WOOD, PLASTICS, AND COMPOSITES

6.1 REPAIR DAMAGED TREADS &/OR RISERS OF WOOD STAIRS.

# 6.2 NEW FLOOR FRAMING (SEE STRUCT DWGS).

AND REPAINTED.

6.4 NEW RAKE TRIM & GUTTERBOARD TO MATCH EXISTING - SEE

6.6 EXG HISTORIC CORBEL AND TRIM TO BE CLEANED, PRIMED,

ELEVATIONS. 6.5 NEW WOOD FRAME BEARING WALL. SEE STRUCTURAL DRAWINGS.

# THERMAL AND MOISTURE PROTECTION

- I REPAIR AND RELINE EXG BOX GUTTER; NEW PRE-FINISHED 10.6 RECESSED MEDICINE CABINET. SEE INT. ELEVS. ALUMINUM DOWNSPOUT. TIE INTO EXIST. STORM SYSTEM. NEW 10.7 PROVIDE DRAIN PAN BENEATH WASHING MACHINE/ WATER PVC AT LOWER 6' OF DOWNSPOUT. PAINT TO MATCH ADJACENT WALL.
- NEW FULLY ADHERED MEMBRANE ROOF W/ CRICKETS WHERE 10.9 SHOWER NICHE. SEE ENLARGED PLANS, INTERIOR ELEVATIONS 26.3 LOCATION OF ELEC. EQUIPMENT. SEE ELEC. REQUIRED FOR POSITIVE DRAINAGE AND W/TERMINATION BARS AND DETAIL I/A5.00 & METAL COUNTERFLASHING - SEE ROOF DETAILS. INSULATION 10.10 RECESSED KEY LOCK BOX - BASIS OF DESIGN KNOXBOX 3200. PER SCHEDULE. B.O.D - 60 MIL WHITE TPO. FULLY ADHERED
- CARLISLE, PA. OR EOUIVALENT. NEW ROOF ACCESS HATCH. INSTALL PER MANUF'S INSTRUCTS. BASIS OF DESIGN = BILCO E50TB, 36"X36".

ROOF SYSTEM, 20 YEAR WARRANTY, BY CARLISLE SYNTEC,

8.3 NEW EXTERIOR BUILDING ENTRY DOOR AND FRAME - SEE DOOR SCHEDULE.

# 9. FINISHES

- PROVIDE NEW CAST STONE LINTEL AND SILL. SEE STRUCTURAL 9.1 FIRE-RATING TO BE CONTINUOUS BEHIND PLUMBING/CHASE/ 22.1 PROVIDE RADON RISER, AS REQ'D BY OWNER'S CONSULTANT. FURRING WALL. FIRE RATING TO BE CONTINUOUS AT
  - INTERSECTION W/ NON-RATED WALL. 9.2 SUPPORTING CONSTRUCTION TO BE RATED. SEE DETAILS 4 & 5

- 10. SPECIALTIES 10.1 LOCKABLE & RECESSED MAILBOXES. BOXES TO MEET USPS-4C
- FIRE-RATING BEHIND MAILBOXES, WHEN REQ. 10.2 ENTRY SYSTEM CALLBOX B.O.D. = "2N ACCESS CONTROL" 10.3 CLOSETS W/ BLOCKING AT RODS & BRACKETS. PROVIDE 12"
- MELAMINE SHELF & CLOTHES ROD @ 66" A.F.F.; TYP U.N.O.: A. TYP. REACH-IN CLOSET B. WALK-IN CLOSET.
- C. ABOVE W/D. 10.4 PROVIDE "NO SMOKING" SIGN AT EXTERIOR WALL 10.5 FIRE EXTINGUISHER. COORDINATE FINAL LOCATION WITH LOCAL FIRE MARSHAL.

A. SURFACE MOUNTED. 26. ELECTRICAL

NEW WORK PLANS & ELEVATIONS # KEYED NOTES:

OF BUILDING.

- B. IN SINK CABINET IN RESIDENTIAL UNIT, TYPICAL.
- HEATER. SEE PLUMBING DWGS. 10.8 NOT USED.
- INSTALL PER MANUF'S INSTRUCTS. COORDINATE WITH FIRE
- 10.11 FIRE ESCAPE ACCESS WINDOW.

## 21. FIRE SUPPRESSION

### 7.4 NEW DARK BRONZE METAL CAP @ CHIMNEY. TYP @ CHIMNEYS. 21.1 APPROX LOCATION OF FDC CONNECTION - COORDINATE W/ FIRE DEPT.

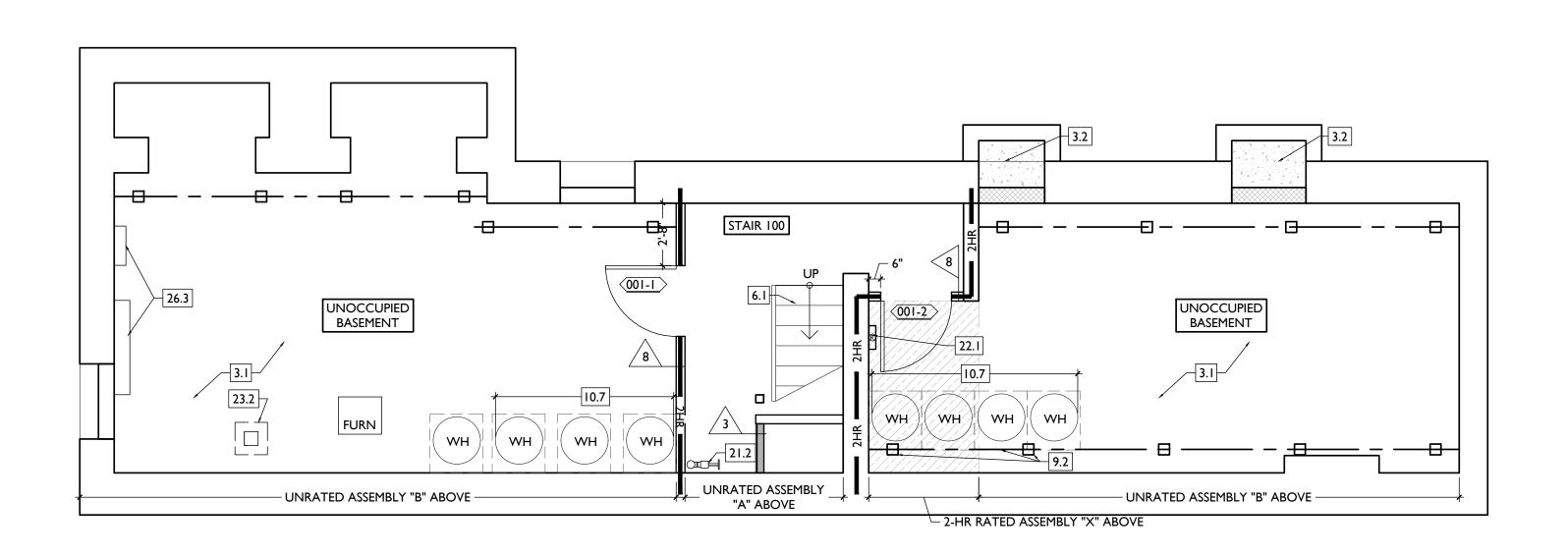
- 21.2 PROPOSED SPRINKLER RISER LOCATION. COORDINATE WITH FIRE SUPPRESSION CONTRACTOR.
- 21.3 EXTERIOR TAMPER/FLOW NOTIFICATION DEVICE -COORDINATE WITH ELECTRICAL AND FIRE PROTECTION SYSTEMS

- 22. PLUMBING RISER TO EXTEND FROM BASEMENT TO ATTIC. SEE CONSULTANT DESIGN FOR LOCATIONS OF RISERS.
- COORDINATE WITH PLUMBING. 22.2 PLUMBING CHASE (OR WALL) - VERIFY LOCATIONS IN FIELD TO
- ALIGN CONCEALMENT BETWEEN FLOORS. 22.3 HOSEBIB LOCATION. SEE PLUMBING.
- STANDARDS & ACCESSIBILITY REQUIREMENTS. PROVIDE CONT 23. HEATING, VENTILATING, AND AIR CONDITIONING 23.1 MECHANICAL UNIT(S) - HATCHED AREA SHOWS APPROXIMATE LOCATION OF NEW FIXED ROOF WALKWAY PADS. GUARDRAIL REQUIRED IF EQUIPMENT < 10' FROM ROOF EDGE. PROVIDE
  - STRUCTURAL DWGS. 23.2 NEW FIRE-RATED SHAFT FOR LINESETS, ABOVE. SEE 10-11/A6.02

OVER-FRAMED PLATFORM PER 11/A5.00. SEE HVAC &

AS REQ'D. 23.3 NEW EXHAUST / INTAKE VENT COVER. PAINT TO MATCH ADJACENT WALL SURFACE.

PARTITION TYPE - SEE A6.00. 26.1 ELECTRIC PANEL RECESSED IN WALL W/ 30"W X 36"D CLEAR IN FRONT. PAINT TO MATCH ADJACENT WALL W APPROPRIATE 4 KEYNOTE. PAINT TYPE FOR PANEL 26.2 NEW EXTERIOR LIGHTING. NO EXPOSED CONDUIT ON FACE EXISTING WALL. NEW PARTITION WALL. NEW MASONRY WALL. OBJECT OVERHEAD. — IHR — I-HR FIRE RATING. — 2HR — 2-HR FIRE RATING. NEW FLOOR & FRAMING TO MATCH ADJ - SEE STRUCT DWGS. NEW GYP BD SOFFIT/ BULKHEAD/ DROPPED CLG - SEE RCPS. AREA OF ATYPICAL FIRE-RATED ASSEMBLY ABOVE. SEE A0.01 & A6.01. AREA OF TUCKPOINTING - SEE ELEVS & STRUCT DWGS. OOR TAG. SEE SCHEDULE / A6.10-13. WINDOW DESIGNATION. SEE A6.20-25. <\$FA> STOREFRONT DESIGNATION. SEE A6.13. EMERGENCY EGRESS EXIT. OPG CONTAINS SAFETY GLAZING. SINGLE HUNG OPG - UPPER SASH TO BE FIXED WITHIN 3'-0" OF EXHAUST. ELEVATION TAG.



ONSTRUC

NEW WORK GRAPHIC KEY:

Progress Dates 2023.04.28 - BID/PERMIT 2024.08.30 - BID SET 2

Revisions

Design Team: CO, JK, MR, MR, RK, RO, SO, TB Drawn by: TB, AM

JBL

Job No: 22042 08.30.2023 6.5 NEW WOOD FRAME BEARING WALL. SEE STRUCTURAL

6.6 EXG HISTORIC CORBEL AND TRIM TO BE CLEANED, PRIMED,

DRAWINGS.

AND REPAINTED.

C. ABOVE W/D.

LOCAL FIRE MARSHAL

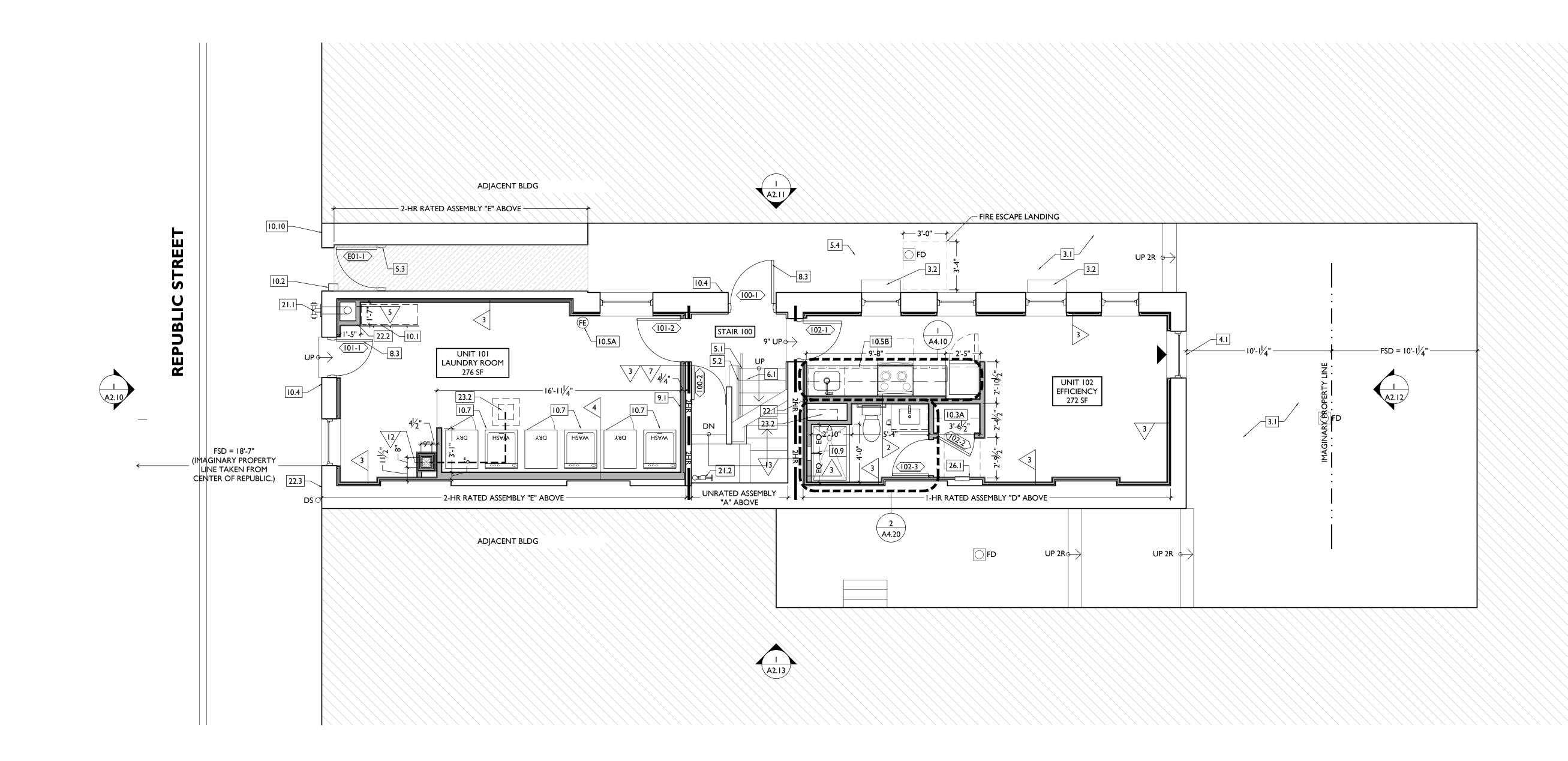
10.4 PROVIDE "NO SMOKING" SIGN AT EXTERIOR WALL

10.5 FIRE EXTINGUISHER. COORDINATE FINAL LOCATION WITH

AS REQ'D.

ADJACENT WALL SURFACE.

23.3 NEW EXHAUST / INTAKE VENT COVER. PAINT TO MATCH



ONSTRUCTION

SINGLE HUNG OPG - UPPER SASH TO BE

FIXED WITHIN 3'-0" OF EXHAUST.

ELEVATION TAG.

JBL

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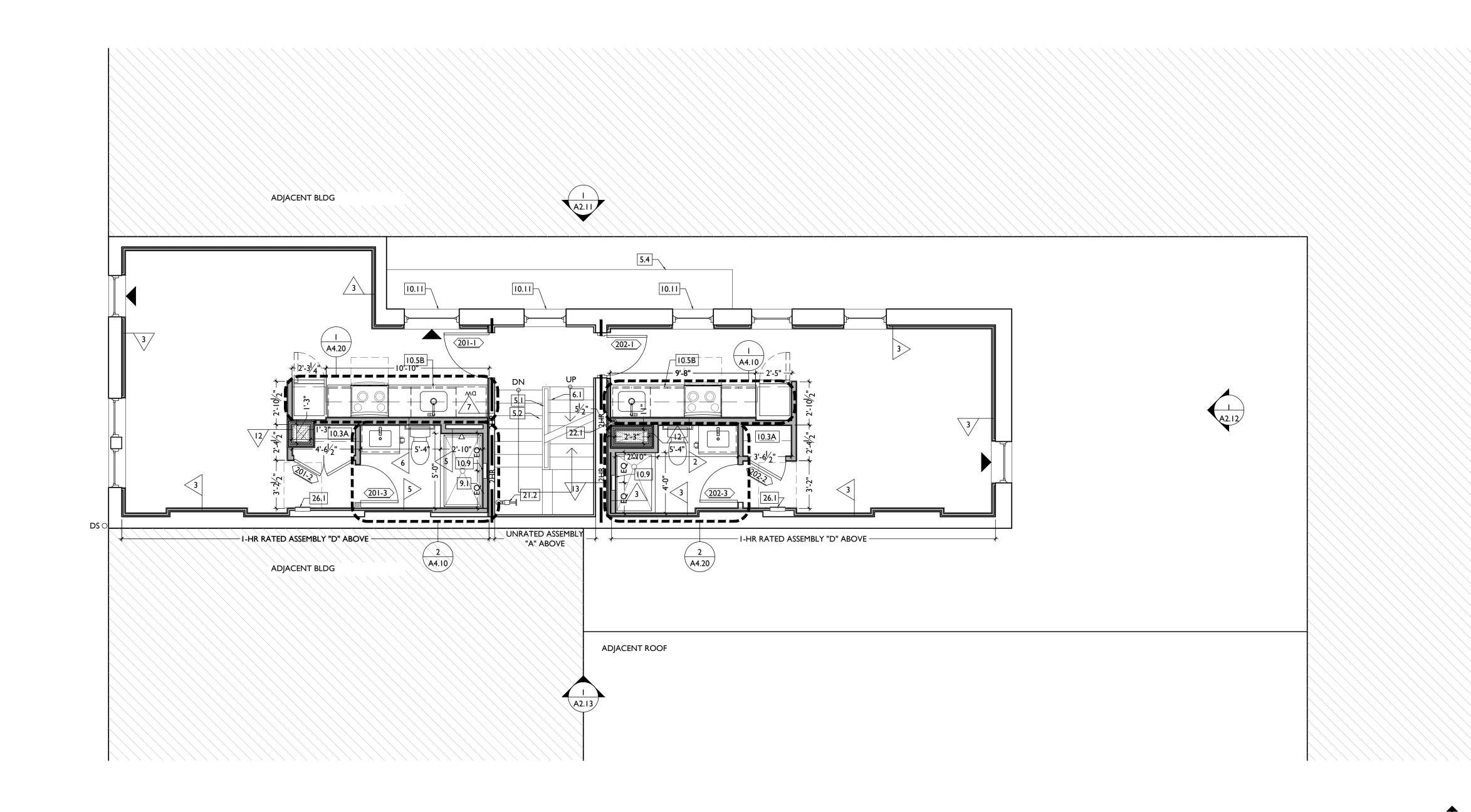
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Drawn by:
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08.30.2023

AND REPAINTED.

LOCAL FIRE MARSHAL.



NEW WORK GRAPHIC KEY:

EXISTING WALL.

NEW MASONRY WALL.

ADJ - SEE STRUCT DWGS.

DROPPED CLG - SEE RCPS.

OOR TAG. SEE SCHEDULE / A6.10-13.

EMERGENCY EGRESS EXIT.

OPG CONTAINS SAFETY GLAZING.

FIXED WITHIN 3'-0" OF EXHAUST.

STRUCT DWGS.

ELEVATION TAG.

NEW FLOOR & FRAMING TO MATCH

NEW GYP BD SOFFIT/ BULKHEAD/

AREA OF ATYPICAL FIRE-RATED

ASSEMBLY ABOVE. SEE A0.01 & A6.01.

AREA OF TUCKPOINTING - SEE ELEVS &

WINDOW DESIGNATION. SEE A6.20-25.

STOREFRONT DESIGNATION. SEE A6.13.

SINGLE HUNG OPG - UPPER SASH TO BE

NEW PARTITION WALL.

OBJECT OVERHEAD.

— IHR — I-HR FIRE RATING.

— 2HR — 2-HR FIRE RATING.

<\$FA>

4 KEYNOTE.

PARTITION TYPE - SEE A6.00.

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TB, AM

JBL

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STRUCTURAL DWGS.

ADJACENT WALL SURFACE.

AS REQ'D.

23.2 NEW FIRE-RATED SHAFT FOR LINESETS, ABOVE. SEE 10-11/A6.02

23.3 NEW EXHAUST / INTAKE VENT COVER. PAINT TO MATCH

6.4 NEW RAKE TRIM & GUTTERBOARD TO MATCH EXISTING - SEE

6.6 EXG HISTORIC CORBEL AND TRIM TO BE CLEANED, PRIMED,

6.5 NEW WOOD FRAME BEARING WALL. SEE STRUCTURAL

ELEVATIONS.

DRAWINGS.

AND REPAINTED.

A. TYP. REACH-IN CLOSET

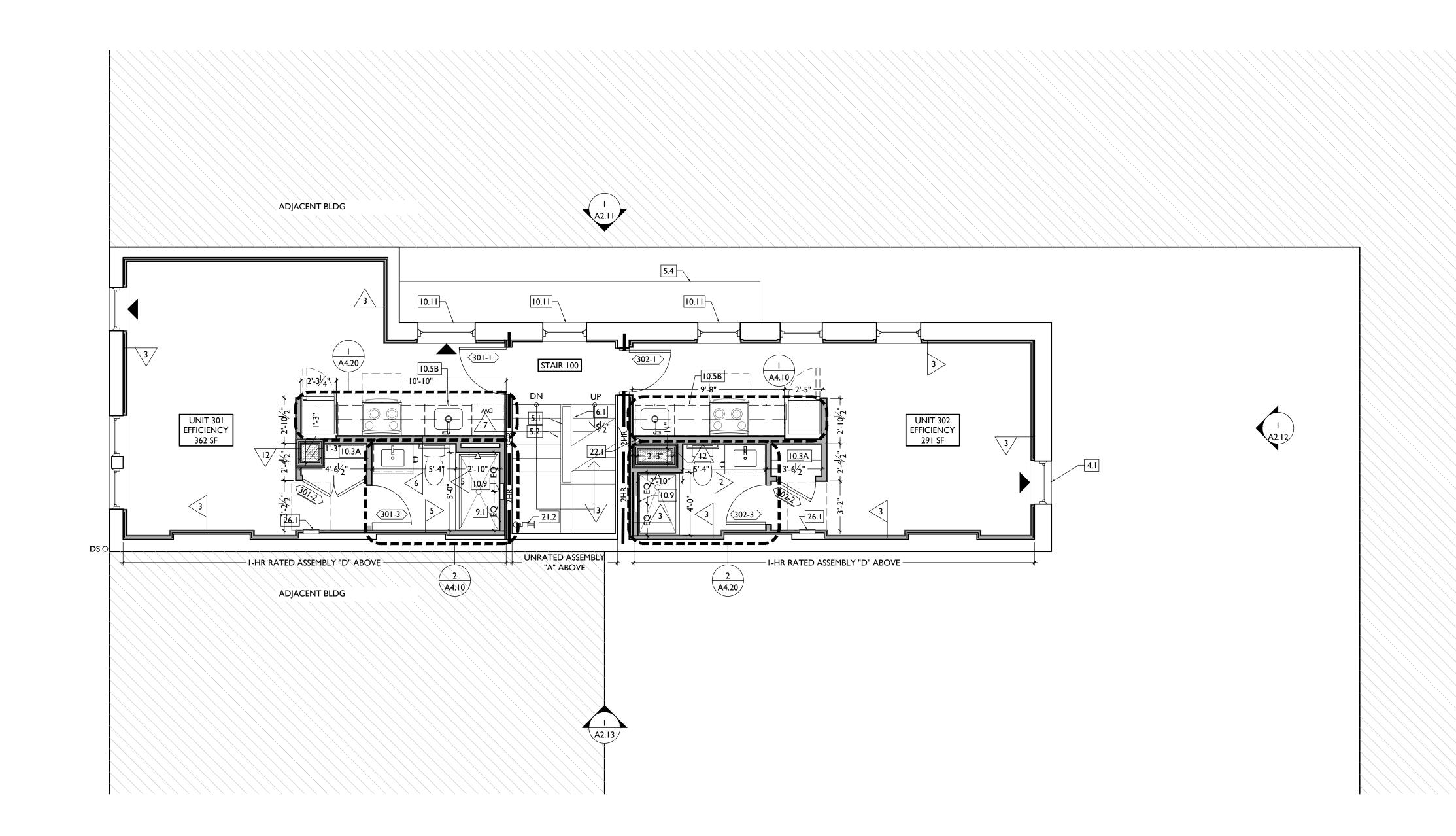
10.4 PROVIDE "NO SMOKING" SIGN AT EXTERIOR WALL

10.5 FIRE EXTINGUISHER. COORDINATE FINAL LOCATION WITH

B. WALK-IN CLOSET.

C. ABOVE W/D.

LOCAL FIRE MARSHAL.



NEW WORK GRAPHIC KEY:

EXISTING WALL.

NEW MASONRY WALL.

ADJ - SEE STRUCT DWGS.

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ASSEMBLY ABOVE. SEE A0.01 & A6.01.

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OBJECT OVERHEAD.

— IHR — I-HR FIRE RATING.

— 2HR — 2-HR FIRE RATING.

**⟨\$FA⟩** 

4 KEYNOTE.

PARTITION TYPE - SEE A6.00.

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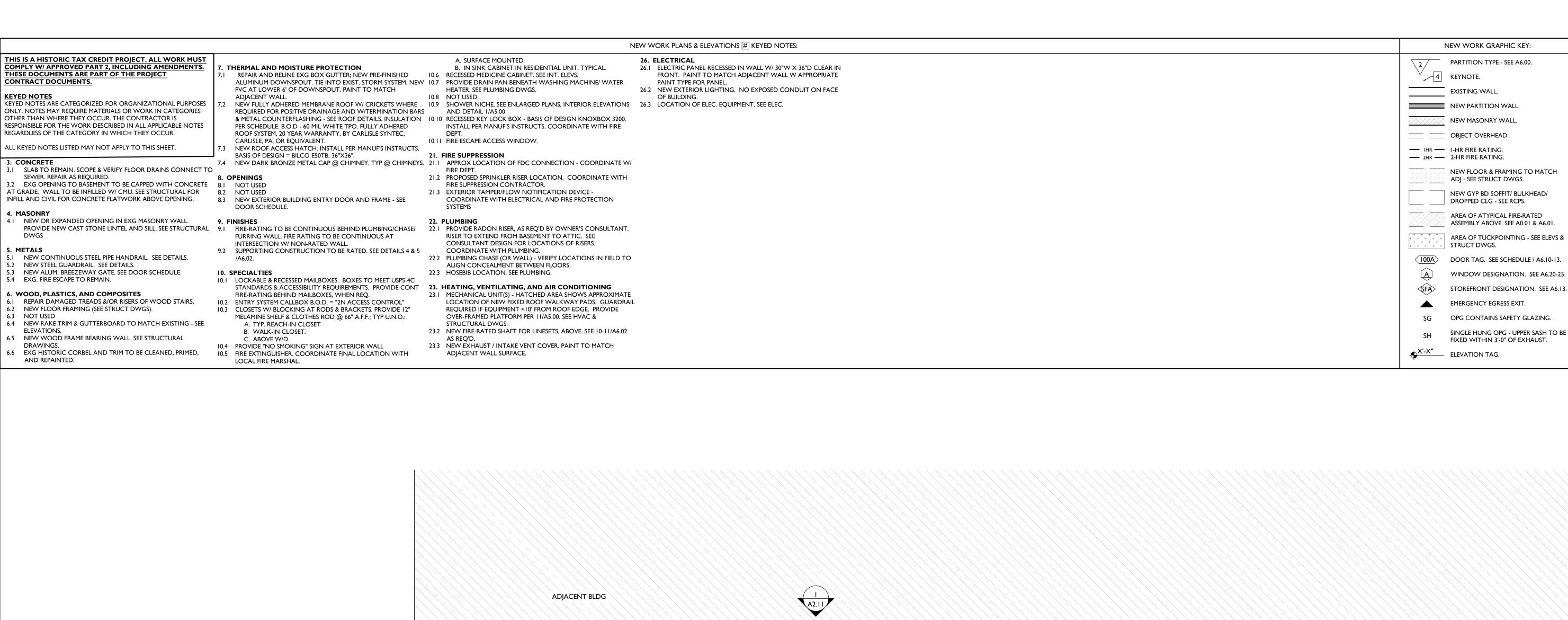
Revisions

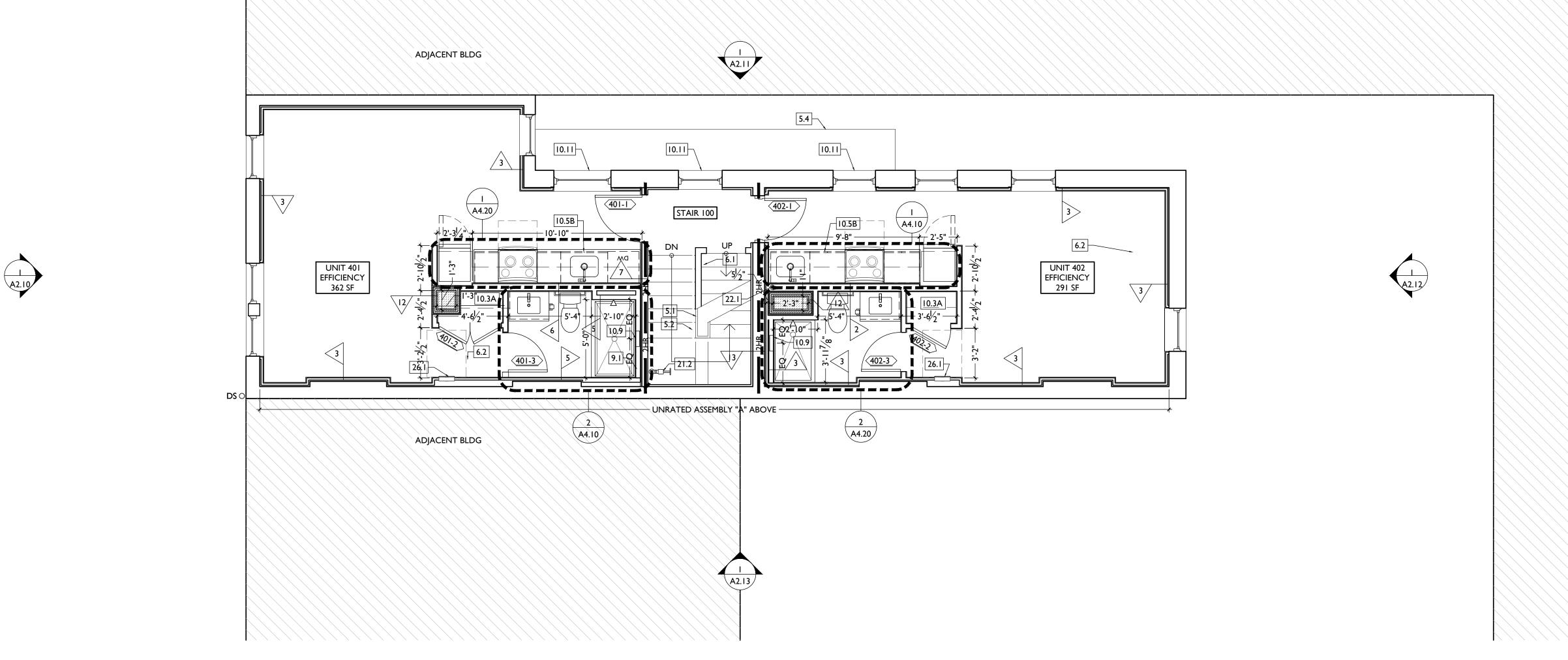
Design Team:
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Drawn by:
TB, AM

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Job No: 22042 08.30.2023





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Progress Dates

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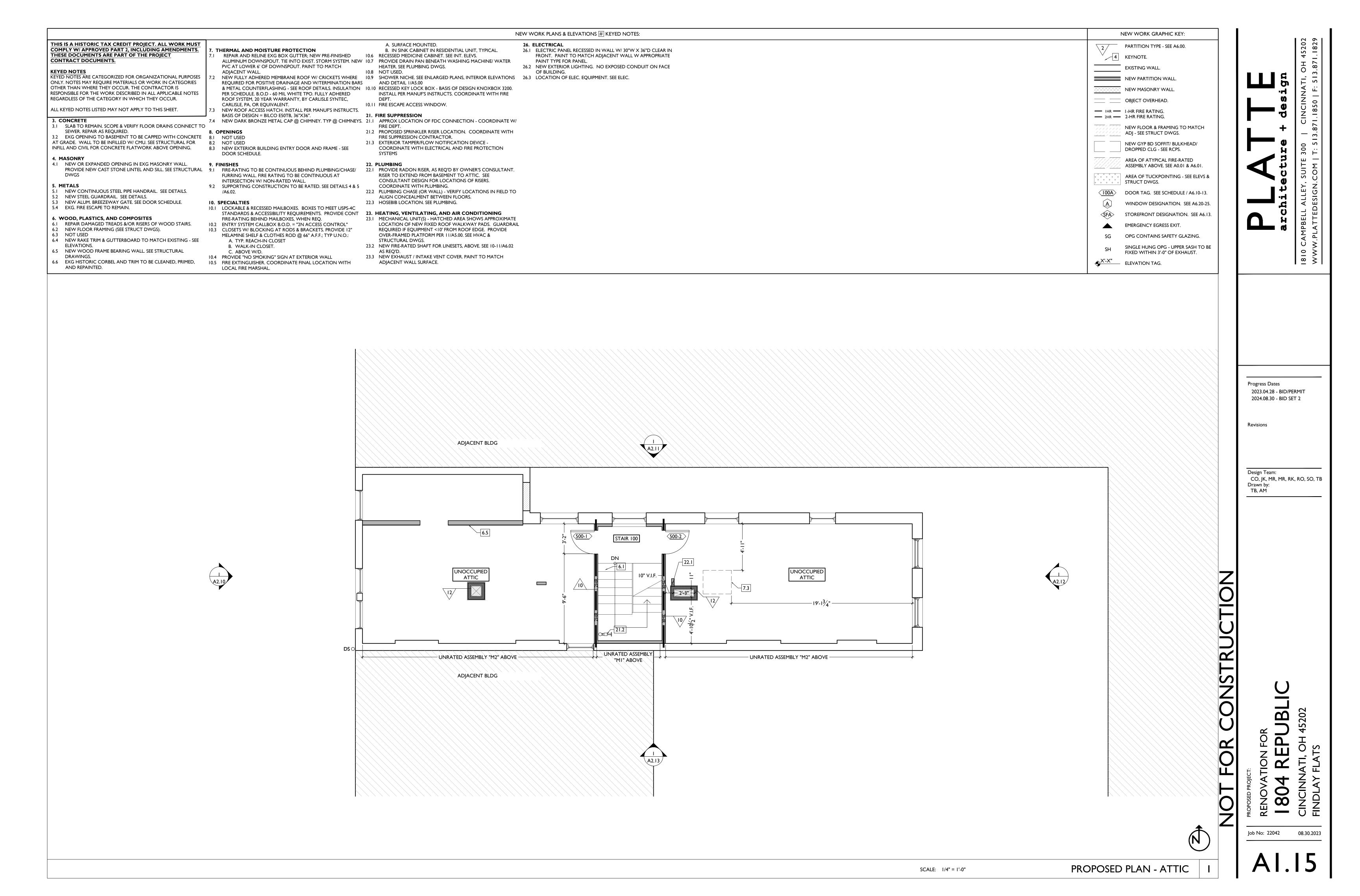
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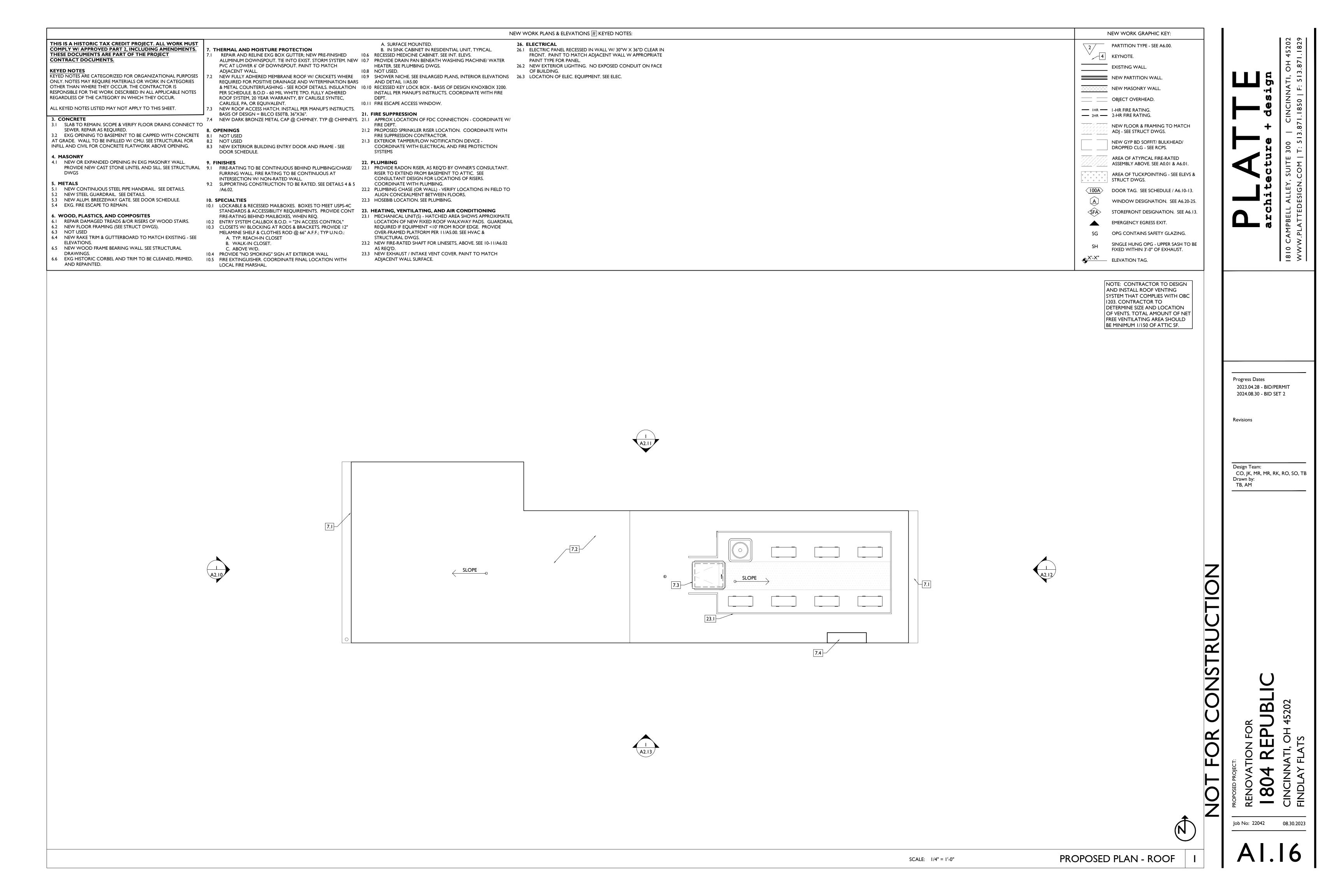
Job No: 22042

PROPOSED PLAN - FOURTH FLOOR

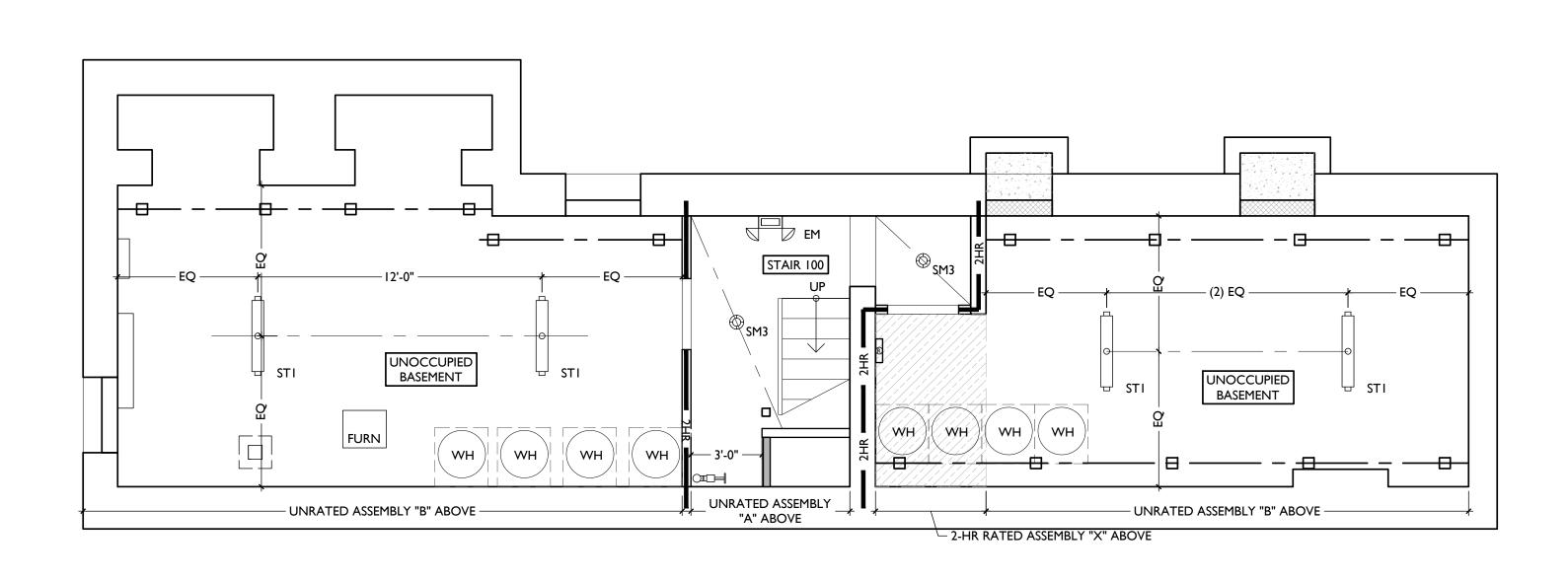
SCALE: 1/4" = 1'-0"

JBL





REFLECTED CEILING PLAN FIXTURE LEGEND:								REFLECTED CEILING PLAN GENERAL NOTES:	REFLECTED CEILING PLAN GRAPHIC KEY:	
SYMBOL	FIXTURE TYPE REMARKS	SYMBOL	FIXTURE TYPE	REMARKS	SYMBOL	FIXTURE TYPE	REMARKS			
⊕ SMI ⊕ SM2	SMI - GENERAL LIGHTS. PROVIDE DIMMERS IN RESIDENTIAL UNITS.  SURFACE MOUNT LED CAN LIGHT SM2 - DAMP RATED, TYPICAL IN SHOWERS.		CEILING FAN WITH LIGHT	SMALL FAN, TYPICAL IN BEDROOMS AND LIVING ROOMS	RHI	EMERGENCY EGRESS LIGHT	LED REMOTE HEAD EMERGENCY EGRESS LIGHT	A. NOTE: THIS IS A HISTORIC TAX CREDIT PROJECT. ALL WORK MUST COMPLY W/ APPROVED. PART 2, INCLUDING AMENDMENTS. NO HISTORIC ELEMENTS SHALL BE REMOVED/MODIFIED UNLESS SPECIFICALLY INDICATED IN ARCH DWGS.  B. IF A FIXTURE APPEARS TO BE CENTERED IN A SPACE, THEN CENTER IT. C. LOWERED CEILINGS AND SOFFITS SHALL BE 8'-0" HIGH A.F.F., U.N.O. D. CLG HTS AT EXG FLOORS ARE TO BE VI.F. E. ALL CEILING FINISHES IN OCCUPIED SPACES TO BE SMOOTH PAINTED DRYWALL U.N.O. SEE FINISH SCHEDULE FOR PAINT COLORS. F. BASEMENTS & UNOCCUPIED ATTICS TO HAVE EXPOSED JOISTS - NO FINISH CLGS U.N.O. G. ALL SOFFITS OVER KITCHEN CABINETS TO BE 8'-0" AFF AND 2'-1 1/2" WIDE MINIMUM. H. PROVIDE UNDER-CABINET LIGHTING BENEATH ALL UPPER KITCHEN CABINETS IN RESIDENTAL UNITS. SEE ELEC DWGS. I. SEE EXTERIOR ELEVATIONS FOR MOUNTING HEIGHTS OF EXTERIOR LIGHTS. J. SEE ELECTRICAL DRAWINGS FOR FIXTURE SPECIFICATIONS.	CH: 8'-0"	CEILING HEIGHT TAG (TYP 8'-0" U.N.O.)  SOFFIT/LOWERED GYP BD CEILING
⊕ <sub>SM3</sub>	SM3 - ALWAYS ON , TYPICAL IN COMMON STAIRHALLS	FI			EM	EMERGENCY EGRESS LIGHT	EMERGENCY EGRESS LIGHT WALL PACK			AREA OF ATYPICAL FIRE-RATING. SEE PLANS & SHEET A0.01
SM13	SURFACE MOUNT ENTRY LIGHT STAIR HALL ENTRY VESTIBULE, IST FLOOR ONLY		CEILING FAN WITH LIGHT	LARGE FAN, TYPICAL IN BEDROOM AND LIVING ROOM		FIRE ALARM PULL STATION	MANUAL PULL STATION FOR FIRE ALARM		wc <b>o</b>	WATER CURTAIN HEAD TO PROVIDE 100% COVERAGE OF WINDOW- COORD W/ F.P PLANS
SM8	SURFACE MOUNT LINEAR LED TYPICAL IN COMMERCIAL TURNKEY SPACES	F2					1		(NL) (OS)	DENOTES NIGHT LIGHT FIXTURE DENOTES OCCUPANCY SENSOR
o jı STI	SURFACE MOUNT UTILITY FIXTURE TYPICAL IN ATTICS AND IN BASEMENTS	WMI Q	WALL MOUNT EXTERIOR LIGHT	EXTERIOR ARCHITECTURAL UP-DOWN LIGHT				K. ANY FIXTURES LOCATED IN AREAS WITH REMAINING HISTORIC TIN CEILINGS SHOULD BE CENTERED ON THE CEILING TILES, RATHER THAN PERFECTLY CENTERED IN THE SPACE. ADJUST THE GRID PLACEMENT/DIMENSIONS BY A FEW INCHES AS REQUIRED TO		COMBO SMOKE/CARBON MONOXIDE DETECTOR: IONIZATION (TYP BEDROOMS) PHOTOELECTRIC
V2	WALL MOUNT VI - TYPICAL OVER BATHROOM VANITIES IN TYPICAL RESIDENTIAL UNITS.  WALL MOUNT V2 - TYPICAL ON SIDES OF BATHROOM VANITIES IN TYPICAL		EXTERIOR LIGHT	EXTERIOR ARCHITECTURAL GOOSENECK LIGHT			ACCOMMODATE THIS.	— <del>—</del> – —	CENTER ON ARCHITECTURAL FEATURE  STRUCTURAL MEMBER - SEE STRUCTURAL DWGS	
TLI	VANITY LIGHT RESIDENTIAL UNITS.  SURFACE MOUNT DIMMABLE, TYPICAL IN COMMERCIAL TURNKEY SPACES AND IN LOBBIES	IN ES	EMERGENCY EGRESS LIGHT	EMERGENCY EGRESS EXIT SIGN						
	SURFACE MOUNT PENDANT TYPICAL OVER KITCHEN ISLANDS	ESL	EMERGENCY EGRESS LIGHT	EMERGENCY EGRESS EXIT SIGN W/ LIGHTS						
		S <sub>EFI</sub>	BATHROOM VENT	TYPICAL BATHROOM EXHAUST FAN/VENT					1	



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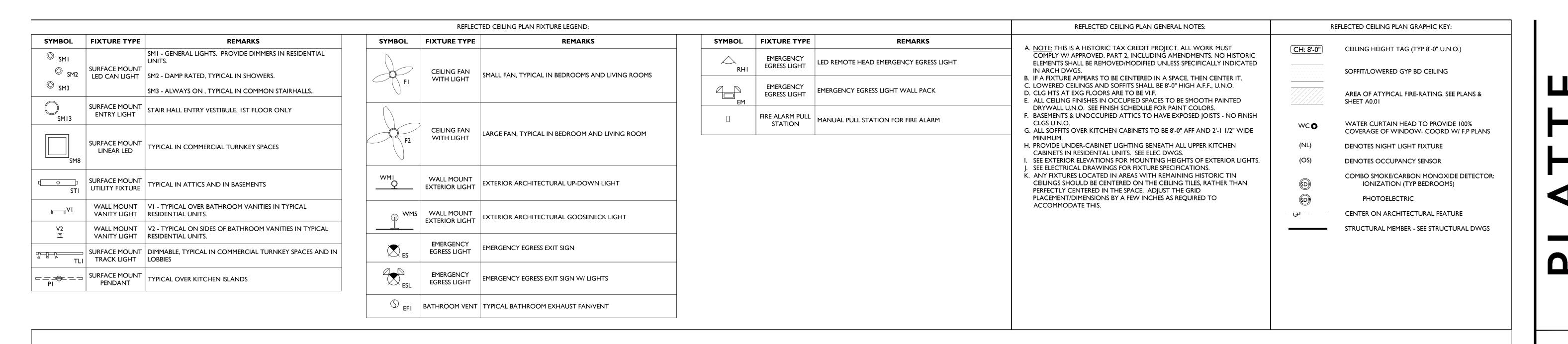
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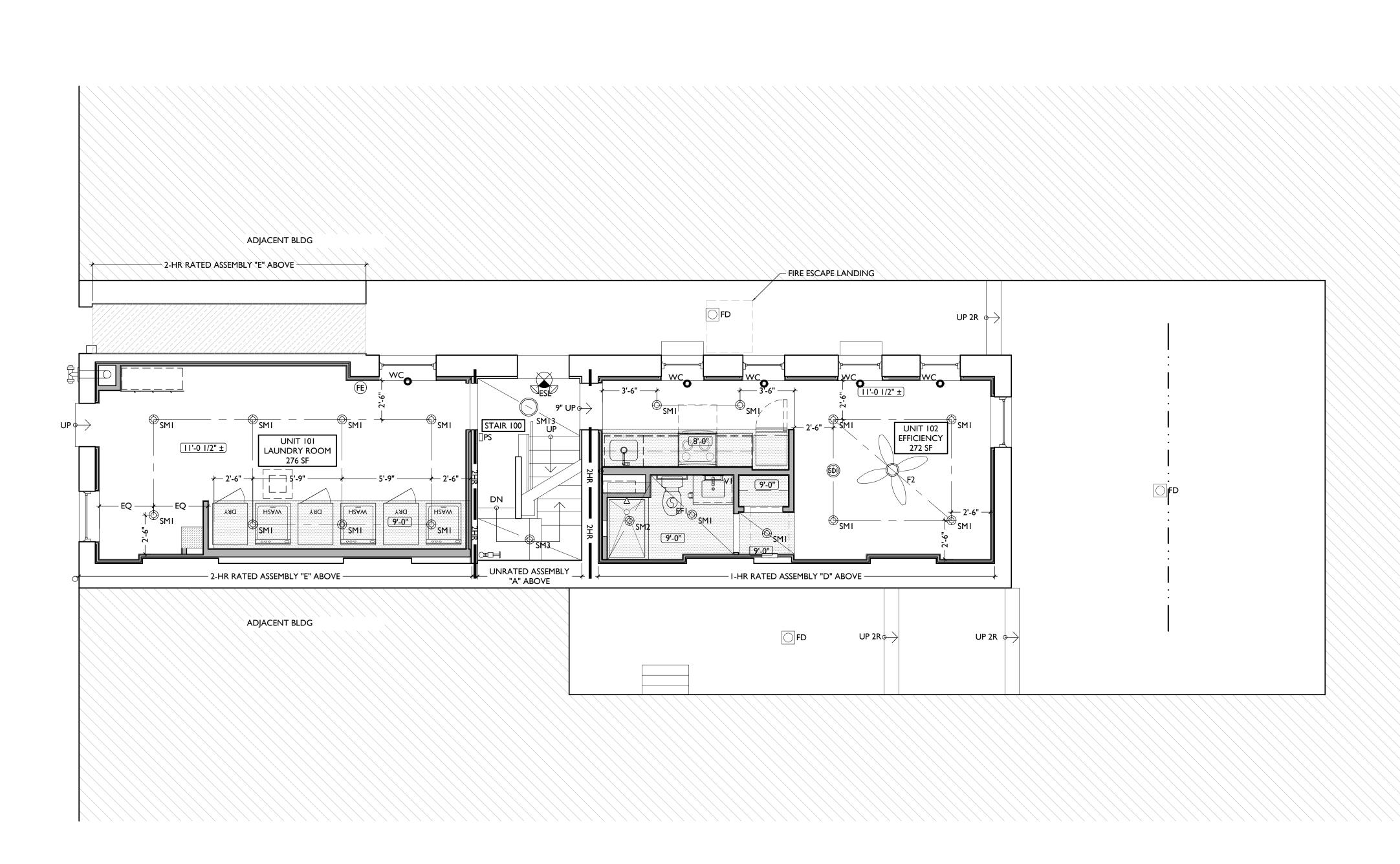
Design Team:
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Drawn by:
TB, AM

FOR PUBLIC

RENOVATION FOR 1804 REPUBLIC

Job No: 22042 08.30.2023



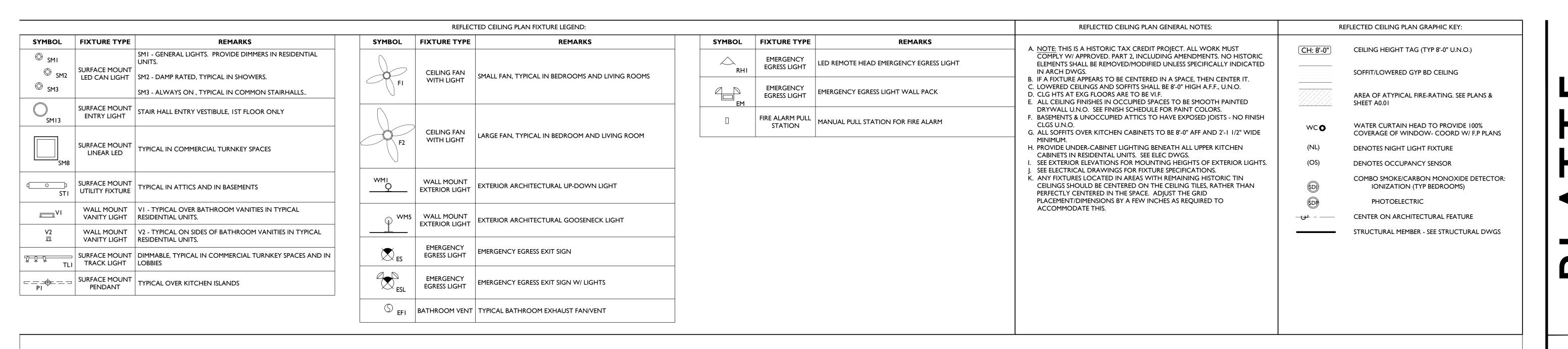


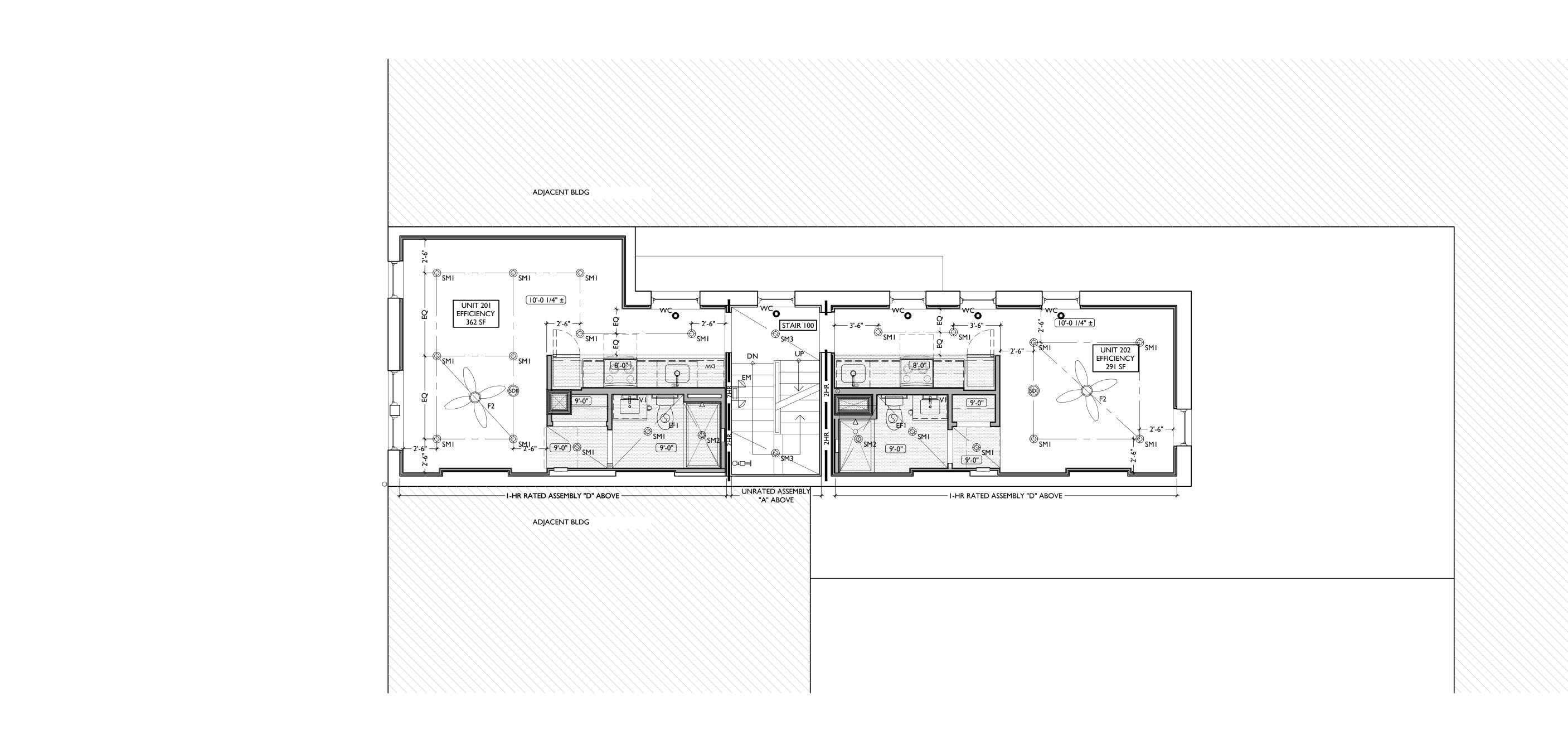
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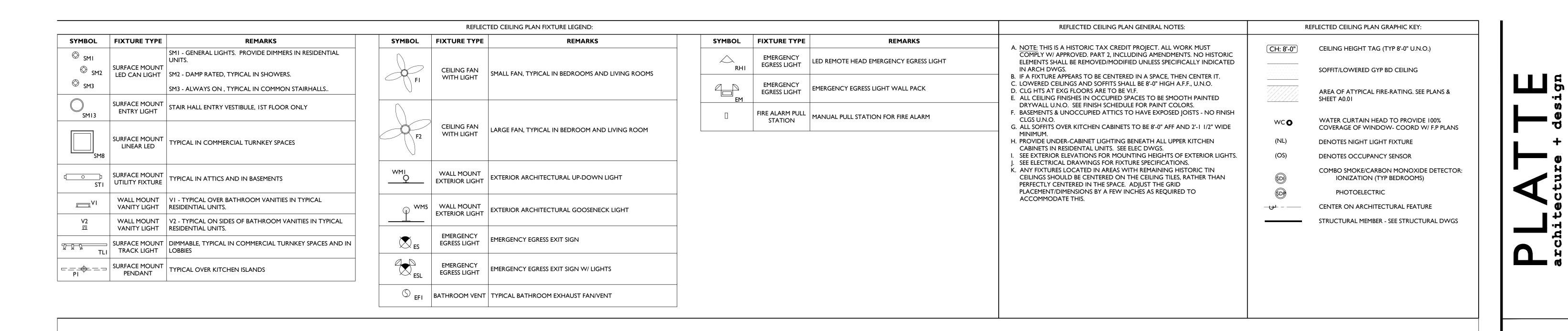


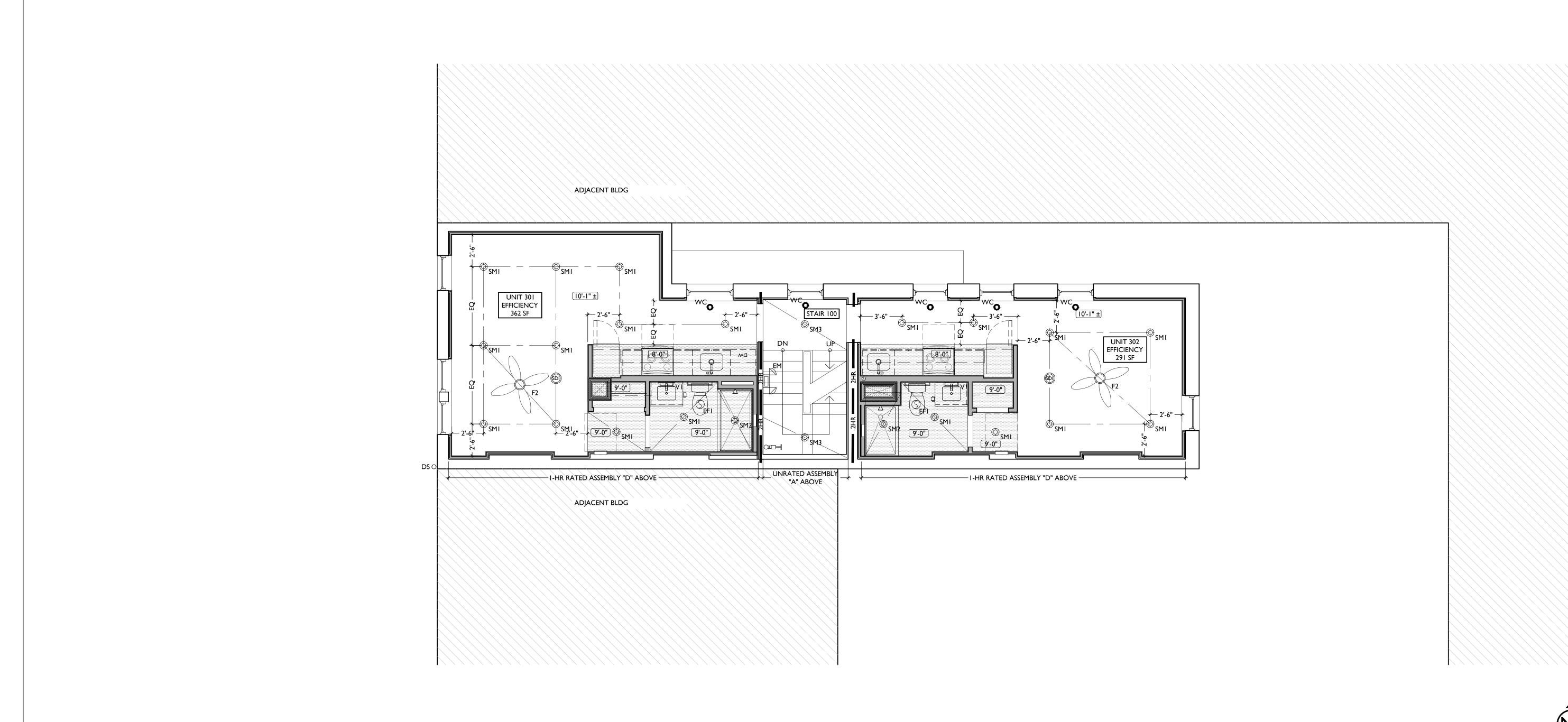
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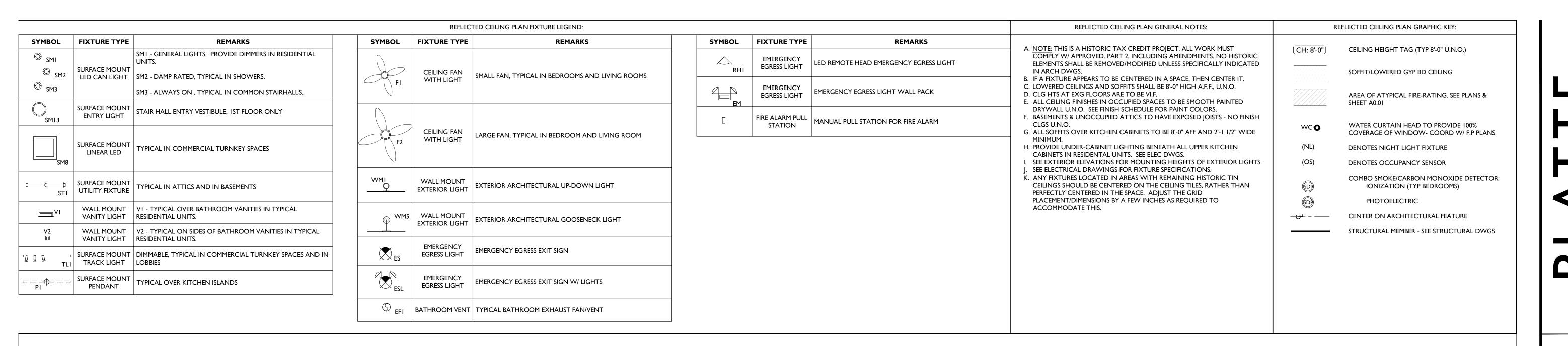


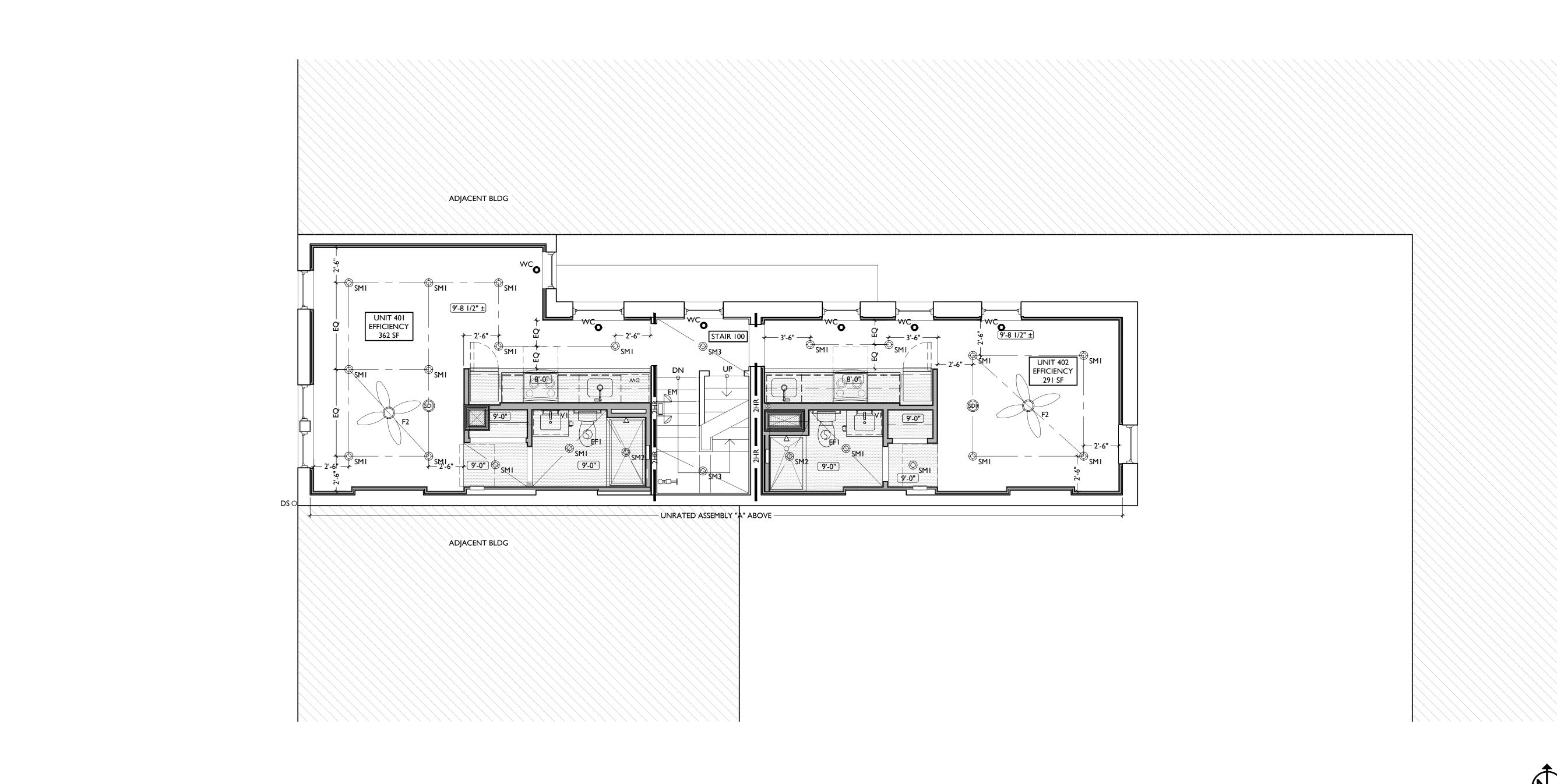
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architecture + design
1810 CAMPBELL ALLEY, SUITE 300 | CINCINNATI, 0

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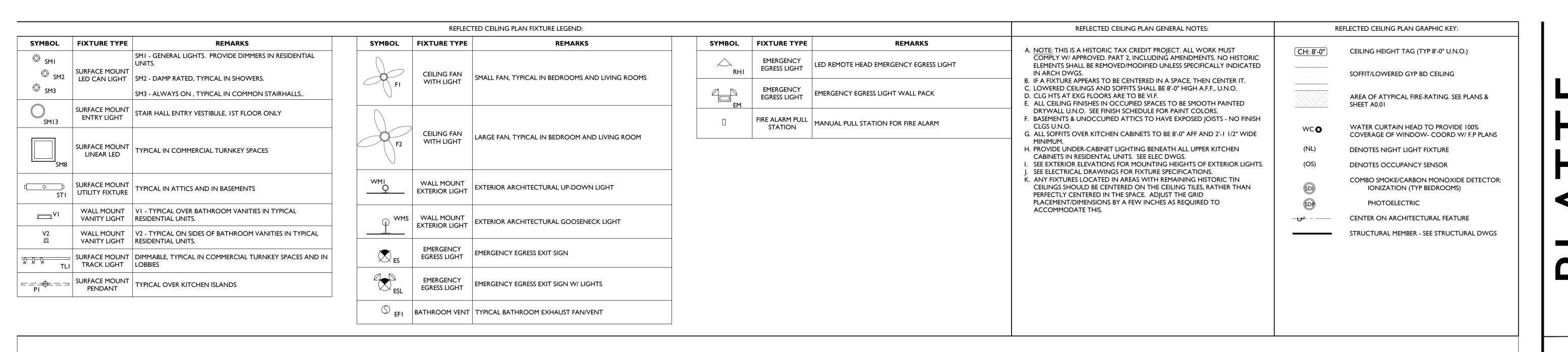
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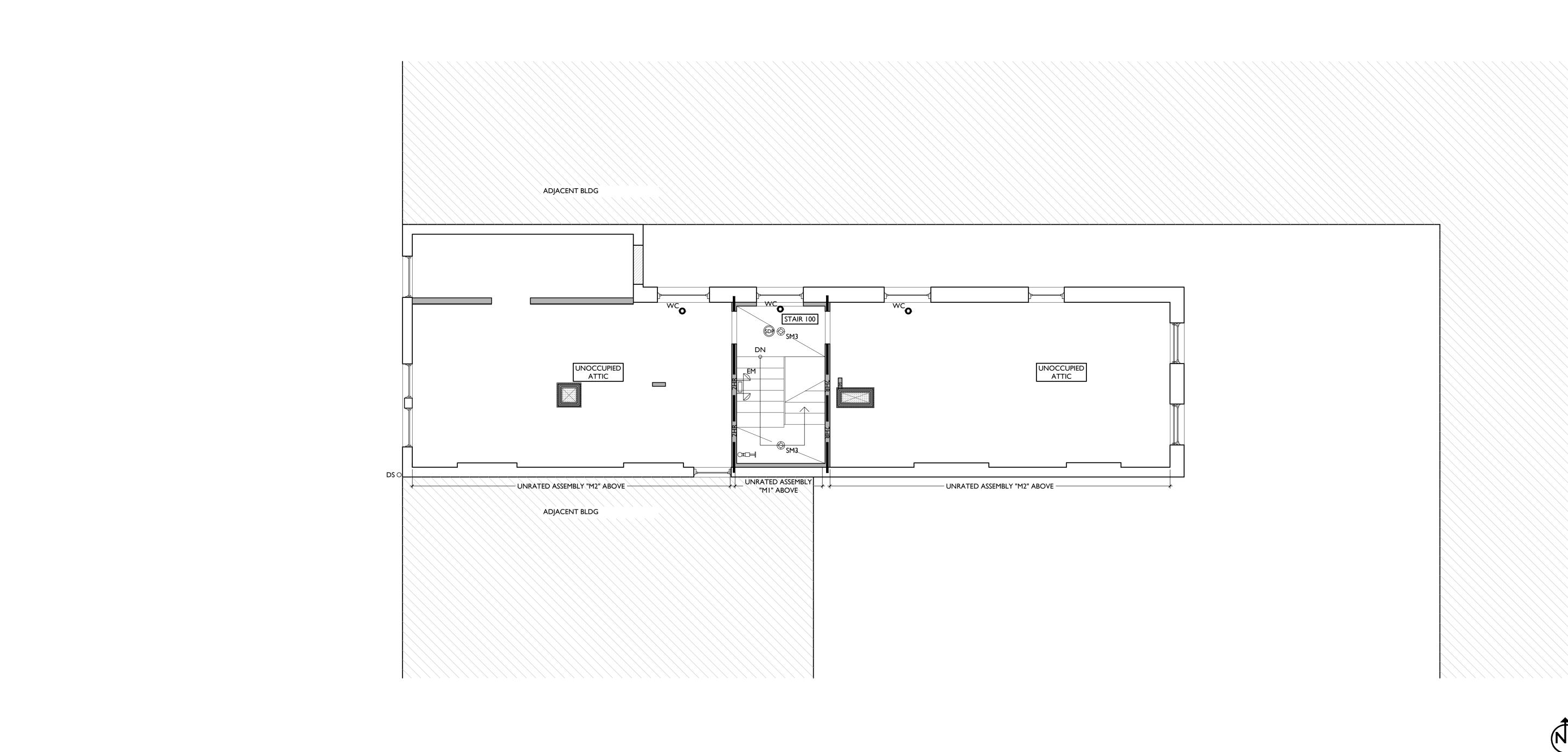
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ONSTRUC

3.1 SLAB TO REMAIN. SCOPE & VERIFY FLOOR DRAINS CONNECT TO SEWER. REPAIR AS REQUIRED. 3.2 EXG OPENING TO BASEMENT TO BE CAPPED WITH CONCRETE 8.1 NOT USED AT GRADE. WALL TO BE INFILLED W/ CMU. SEE STRUCTURAL FOR 8.2 NOT USED

INFILL AND CIVIL FOR CONCRETE FLATWORK ABOVE OPENING. 4. MASONRY

4.1 NEW OR EXPANDED OPENING IN EXG MASONRY WALL.

5.1 NEW CONTINUOUS STEEL PIPE HANDRAIL. SEE DETAILS.

AND REPAINTED.

5.2 NEW STEEL GUARDRAIL. SEE DETAILS. 5.3 NEW ALUM. BREEZEWAY GATE. SEE DOOR SCHEDULE. 5.4 EXG. FIRE ESCAPE TO REMAIN.

6. WOOD, PLASTICS, AND COMPOSITES 6.1 REPAIR DAMAGED TREADS &/OR RISERS OF WOOD STAIRS.

6.2 NEW FLOOR FRAMING (SEE STRUCT DWGS). 6.4 NEW RAKE TRIM & GUTTERBOARD TO MATCH EXISTING - SEE

ELEVATIONS. 6.5 NEW WOOD FRAME BEARING WALL. SEE STRUCTURAL DRAWINGS. 6.6 EXG HISTORIC CORBEL AND TRIM TO BE CLEANED, PRIMED,

THERMAL AND MOISTURE PROTECTION I REPAIR AND RELINE EXG BOX GUTTER; NEW PRE-FINISHED 10.6 RECESSED MEDICINE CABINET, SEE INT. ELEVS. PVC AT LOWER 6' OF DOWNSPOUT. PAINT TO MATCH

HEATER. SEE PLUMBING DWGS. ADJACENT WALL. 10.8 NOT USED. NEW FULLY ADHERED MEMBRANE ROOF W/ CRICKETS WHERE 10.9 SHOWER NICHE. SEE ENLARGED PLANS, INTERIOR ELEVATIONS 26.3 LOCATION OF ELEC. EQUIPMENT. SEE ELEC. REQUIRED FOR POSITIVE DRAINAGE AND W/TERMINATION BARS AND DETAIL I/A5.00 & METAL COUNTERFLASHING - SEE ROOF DETAILS. INSULATION 10.10 RECESSED KEY LOCK BOX - BASIS OF DESIGN KNOXBOX 3200. PER SCHEDULE. B.O.D - 60 MIL WHITE TPO. FULLY ADHERED

ROOF SYSTEM, 20 YEAR WARRANTY, BY CARLISLE SYNTEC, CARLISLE, PA, OR EQUIVALENT. 10.11 FIRE ESCAPE ACCESS WINDOW. NEW ROOF ACCESS HATCH. INSTALL PER MANUF'S INSTRUCTS. BASIS OF DESIGN = BILCO E50TB, 36"X36". 21. FIRE SUPPRESSION

8.3 NEW EXTERIOR BUILDING ENTRY DOOR AND FRAME - SEE

9. FINISHES FURRING WALL. FIRE RATING TO BE CONTINUOUS AT

INTERSECTION W/ NON-RATED WALL

9.2 SUPPORTING CONSTRUCTION TO BE RATED. SEE DETAILS 4 & 5

DOOR SCHEDULE.

LOCAL FIRE MARSHAL

10. SPECIALTIES 10.1 LOCKABLE & RECESSED MAILBOXES. BOXES TO MEET USPS-4C

FIRE-RATING BEHIND MAILBOXES, WHEN REQ. 10.2 ENTRY SYSTEM CALLBOX B.O.D. = "2N ACCESS CONTROL" 10.3 CLOSETS W/ BLOCKING AT RODS & BRACKETS. PROVIDE 12" MELAMINE SHELF & CLOTHES ROD @ 66" A.F.F.; TYP U.N.O.: A. TYP. REACH-IN CLOSET

B. WALK-IN CLOSET. C. ABOVE W/D. 10.4 PROVIDE "NO SMOKING" SIGN AT EXTERIOR WALL

10.5 FIRE EXTINGUISHER. COORDINATE FINAL LOCATION WITH

A. SURFACE MOUNTED. B. IN SINK CABINET IN RESIDENTIAL UNIT, TYPICAL.

ALUMINUM DOWNSPOUT. TIE INTO EXIST. STORM SYSTEM. NEW 10.7 PROVIDE DRAIN PAN BENEATH WASHING MACHINE/ WATER

NEW WORK PLANS & ELEVATIONS # KEYED NOTES:

26.1 ELECTRIC PANEL RECESSED IN WALL W/ 30"W X 36"D CLEAR IN

26.2 NEW EXTERIOR LIGHTING. NO EXPOSED CONDUIT ON FACE

FRONT. PAINT TO MATCH ADJACENT WALL W APPROPRIATE

26. ELECTRICAL

OF BUILDING.

PAINT TYPE FOR PANEL

INSTALL PER MANUF'S INSTRUCTS. COORDINATE WITH FIRE

7.4 NEW DARK BRONZE METAL CAP @ CHIMNEY. TYP @ CHIMNEYS. 21.1 APPROX LOCATION OF FDC CONNECTION - COORDINATE W/ FIRE DEPT. 21.2 PROPOSED SPRINKLER RISER LOCATION. COORDINATE WITH

FIRE SUPPRESSION CONTRACTOR. 21.3 EXTERIOR TAMPER/FLOW NOTIFICATION DEVICE -COORDINATE WITH ELECTRICAL AND FIRE PROTECTION SYSTEMS

22. PLUMBING

PROVIDE NEW CAST STONE LINTEL AND SILL. SEE STRUCTURAL 9.1 FIRE-RATING TO BE CONTINUOUS BEHIND PLUMBING/CHASE/ 22.1 PROVIDE RADON RISER, AS REQ'D BY OWNER'S CONSULTANT. RISER TO EXTEND FROM BASEMENT TO ATTIC. SEE CONSULTANT DESIGN FOR LOCATIONS OF RISERS. COORDINATE WITH PLUMBING.

> 22.2 PLUMBING CHASE (OR WALL) - VERIFY LOCATIONS IN FIELD TO ALIGN CONCEALMENT BETWEEN FLOORS.

22.3 HOSEBIB LOCATION. SEE PLUMBING.

STANDARDS & ACCESSIBILITY REQUIREMENTS. PROVIDE CONT 23. HEATING, VENTILATING, AND AIR CONDITIONING 23.1 MECHANICAL UNIT(S) - HATCHED AREA SHOWS APPROXIMATE LOCATION OF NEW FIXED ROOF WALKWAY PADS. GUARDRAIL REQUIRED IF EQUIPMENT <10' FROM ROOF EDGE. PROVIDE OVER-FRAMED PLATFORM PER 11/A5.00. SEE HVAC & STRUCTURAL DWGS.

23.2 NEW FIRE-RATED SHAFT FOR LINESETS, ABOVE. SEE 10-11/A6.02 AS REQ'D.

23.3 NEW EXHAUST / INTAKE VENT COVER. PAINT TO MATCH ADJACENT WALL SURFACE.

NEW WORK GRAPHIC KEY: PARTITION TYPE - SEE A6.00. 4 KEYNOTE. EXISTING WALL. NEW PARTITION WALL. NEW MASONRY WALL. OBJECT OVERHEAD. — IHR — I-HR FIRE RATING. — 2HR — 2-HR FIRE RATING. NEW FLOOR & FRAMING TO MATCH ADJ - SEE STRUCT DWGS. NEW GYP BD SOFFIT/ BULKHEAD/ DROPPED CLG - SEE RCPS. AREA OF ATYPICAL FIRE-RATED ASSEMBLY ABOVE. SEE A0.01 & A6.01. AREA OF TUCKPOINTING - SEE ELEVS & STRUCT DWGS. OOR TAG. SEE SCHEDULE / A6.10-13. <\$FA> EMERGENCY EGRESS EXIT. OPG CONTAINS SAFETY GLAZING. FIXED WITHIN 3'-0" OF EXHAUST. ELEVATION TAG.

WINDOW DESIGNATION. SEE A6.20-25. STOREFRONT DESIGNATION. SEE A6.13. SINGLE HUNG OPG - UPPER SASH TO BE

6.6 ELEV: 143'-4" FOURTH FLOOR ELEV: 133'-6" THIRD FLOOR ELEV: 122'-11" SECOND FLOOR ELEV: 111'-8" FIRST FLOOR REAR ELEV: 100'-0" 10.10 FIRST FLOOR FRONT ELEV: 98'-8" ±

CONSTRUCTION

REPUBLIC 1804

Progress Dates

Revisions

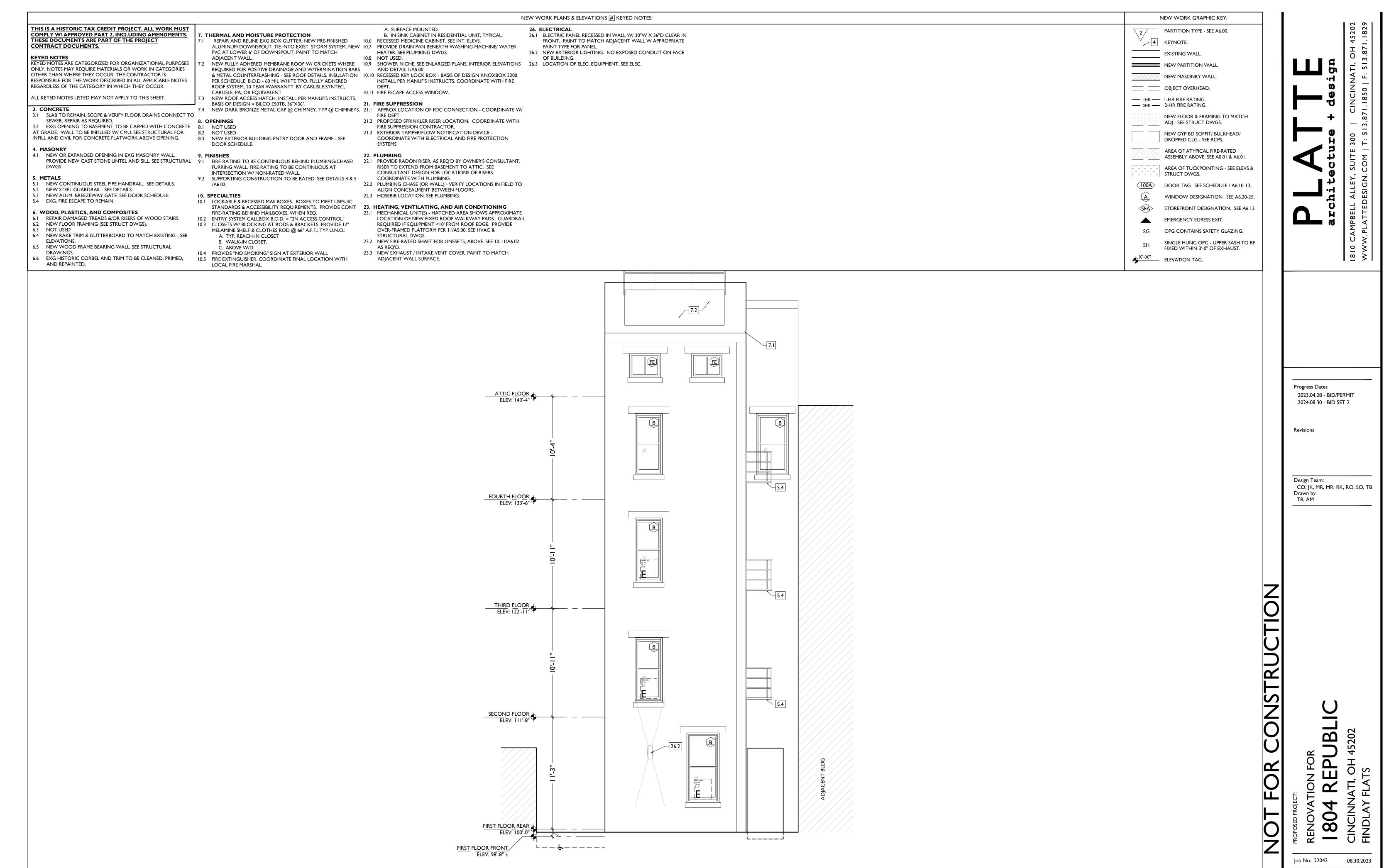
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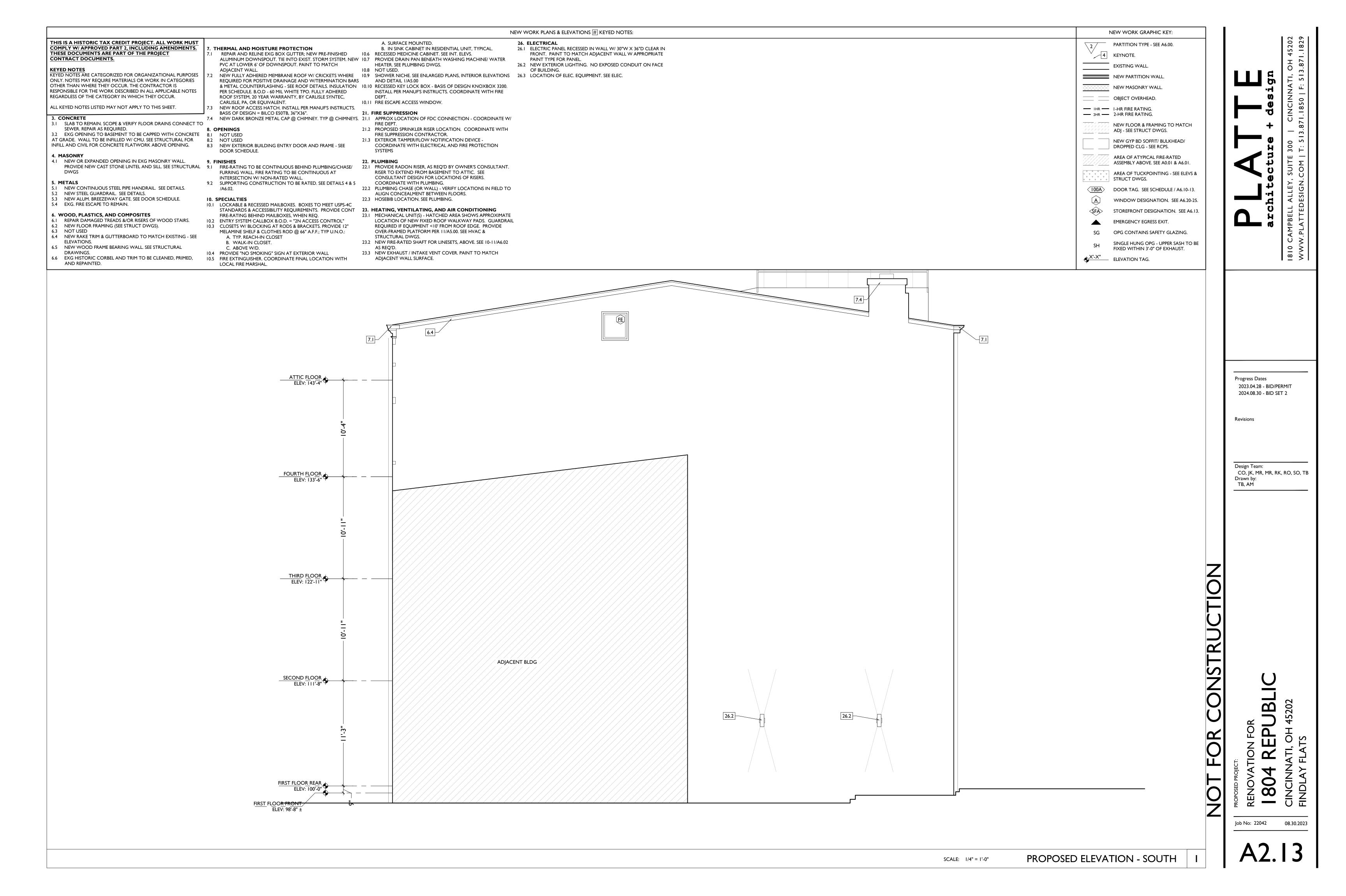
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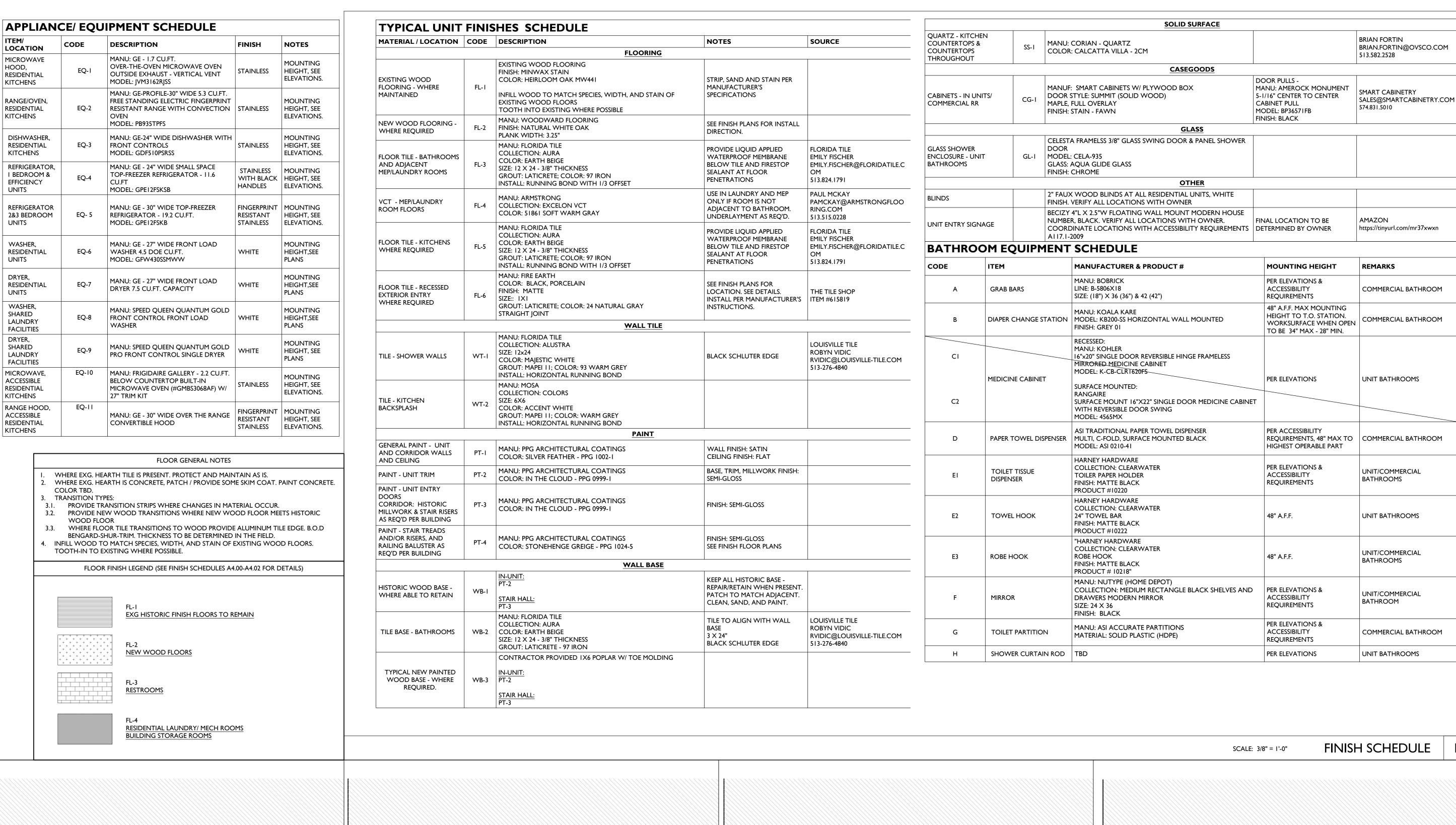
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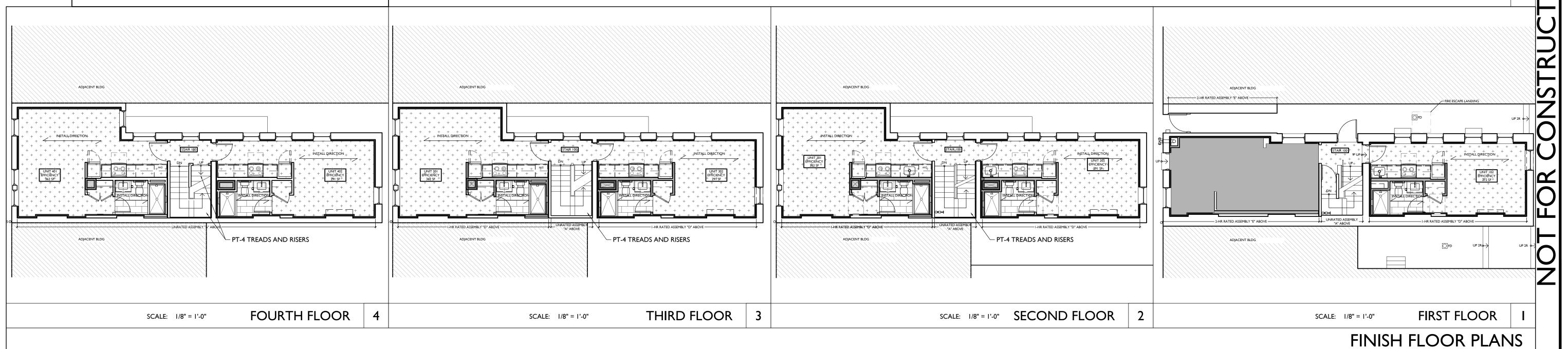




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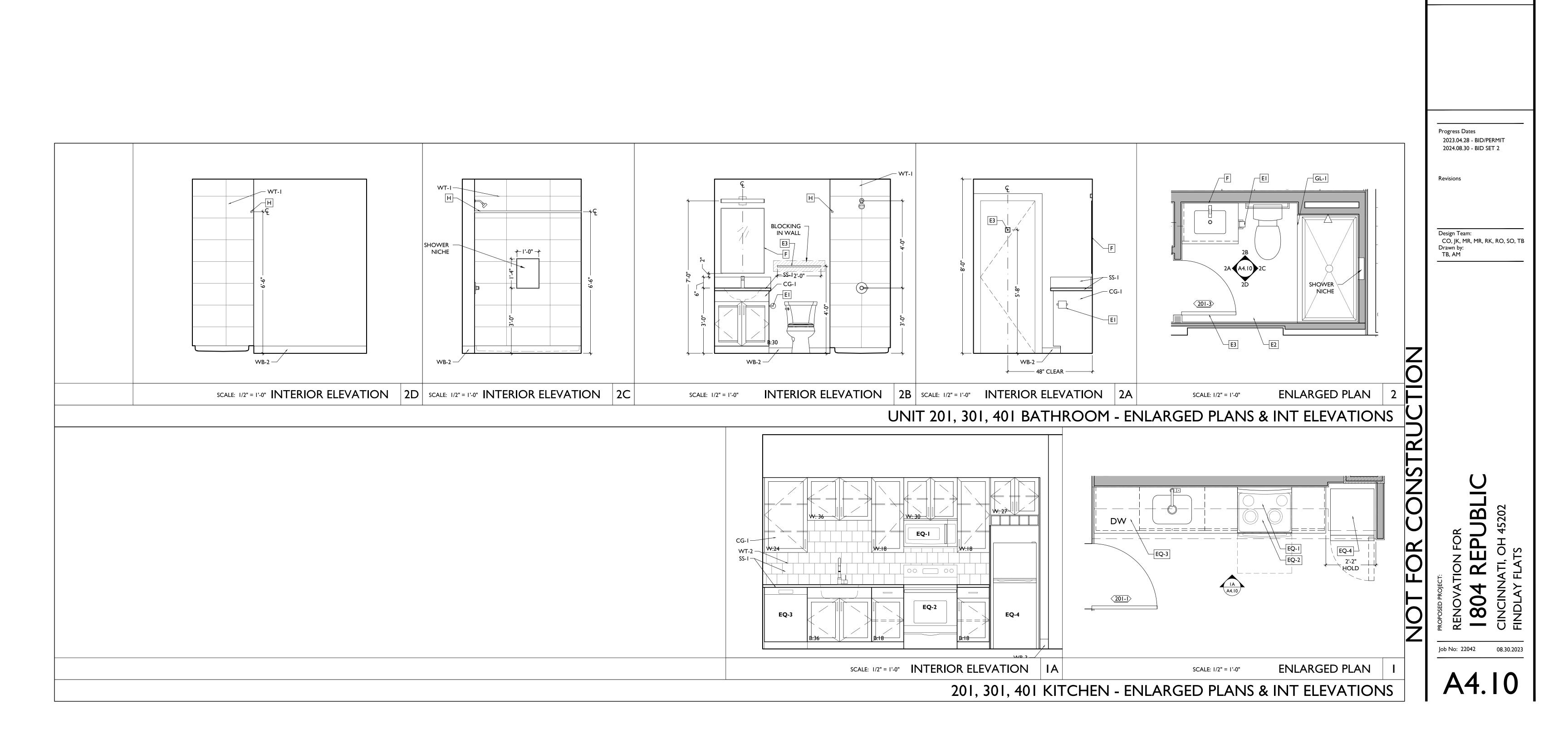
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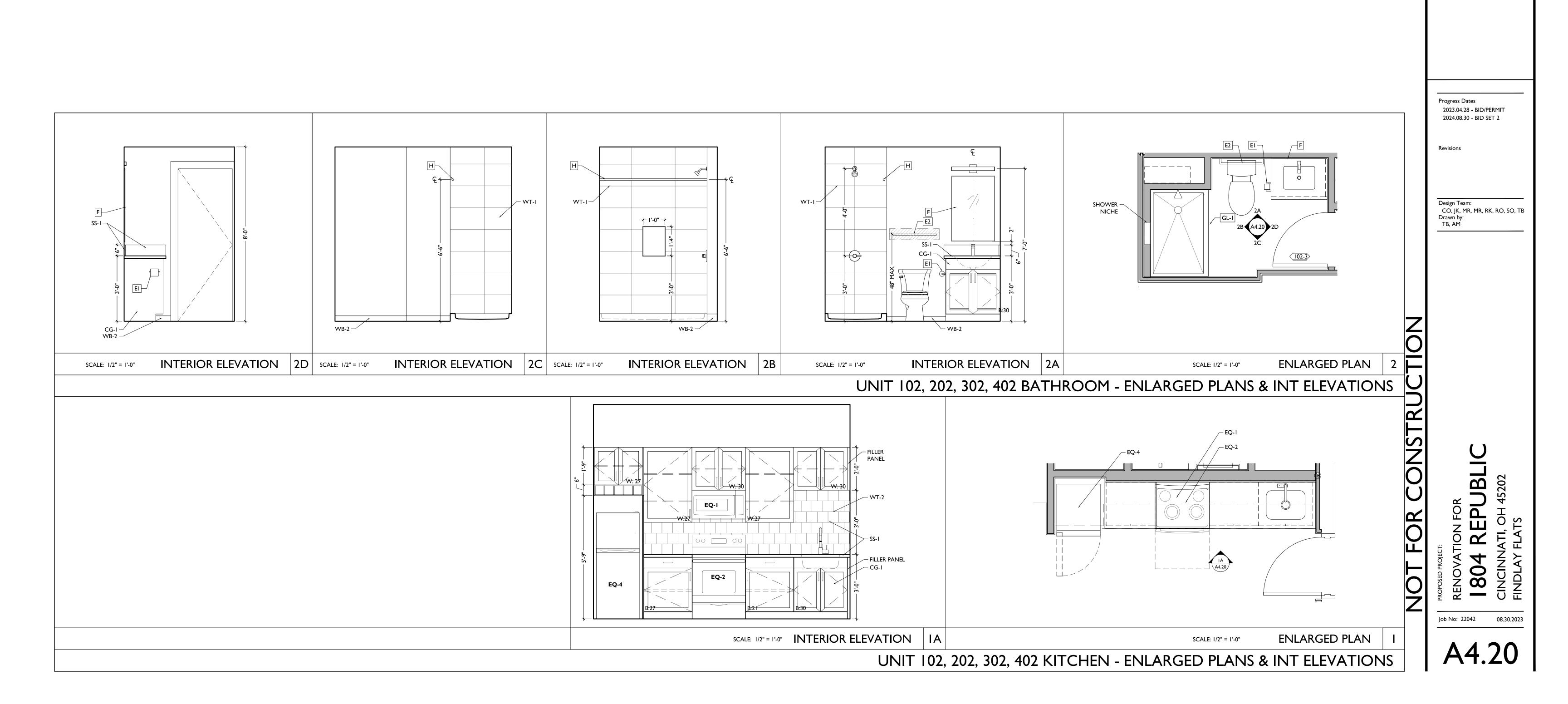
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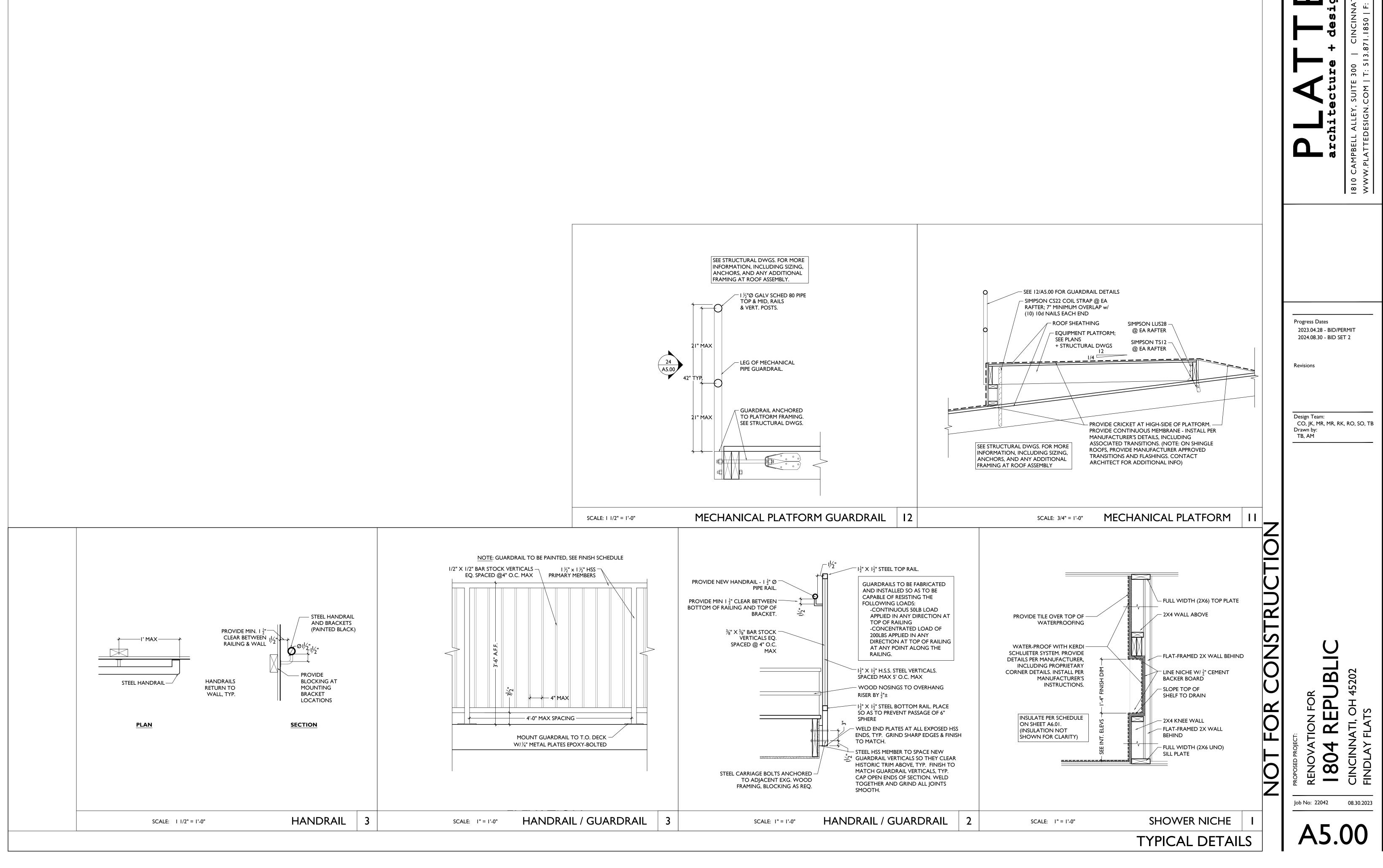
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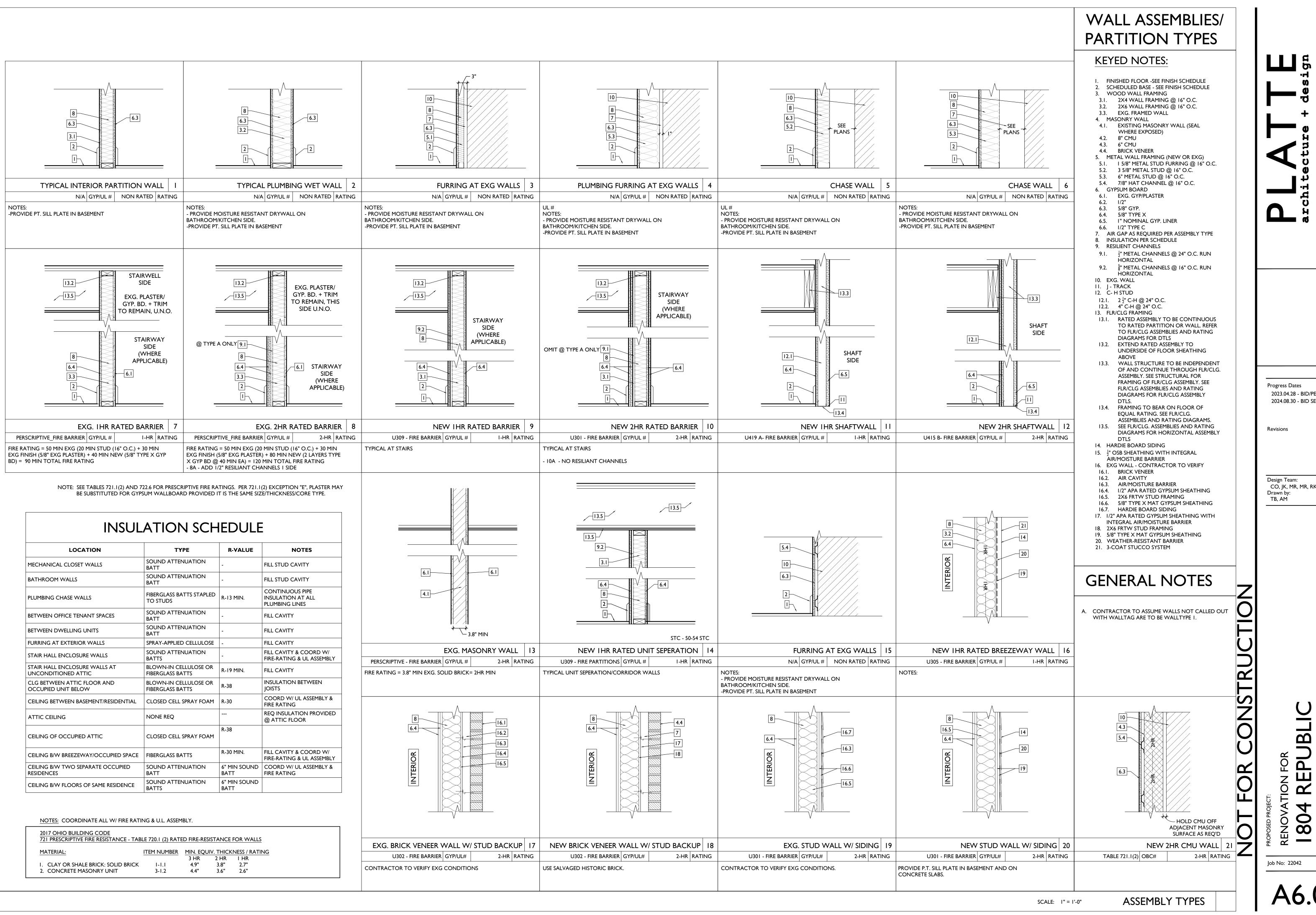


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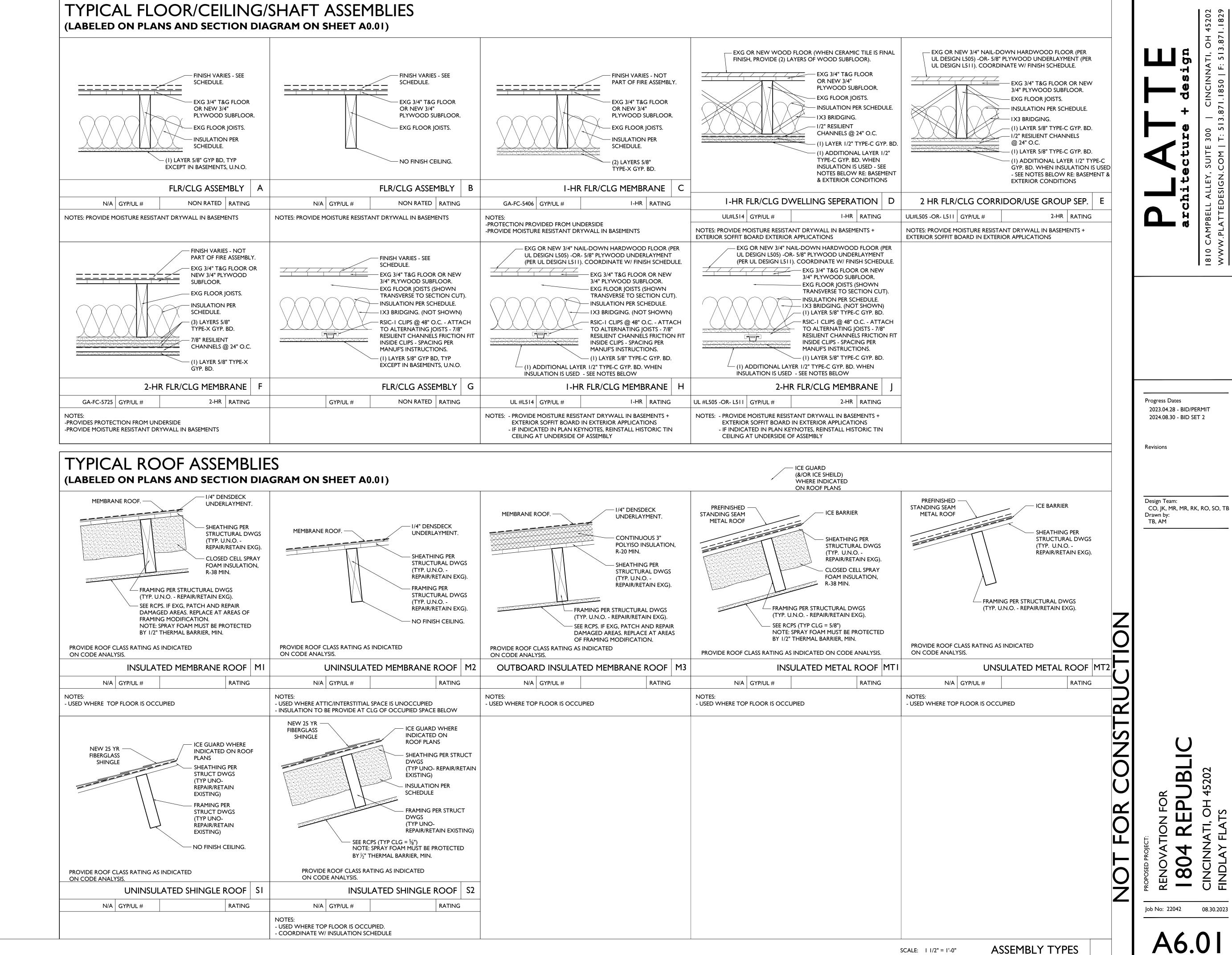




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08.30.2023



(I) LOCKSET	SHON  SHOP  SHON  SHON
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100   COUNT TO MARKED CHIEF ALVAND MICROSON   100	4 2 1 90 MIN I.E.
MINI COMMON RESISTANTIAL DOORS	4 2 1 90 MIN I.E.
## RECENTAL UNIT DATA	2 90 MIN I.E.
PARE DECOR   PARE RECOVERED NATIO DEPOSIT AND STANDARD TO IT DEPOSIT AND	2
MODELLOCATE   APPROXIMATE STREET CONTINUES C	2
DOCK ROM STANCORMICATO   LEGISLATION SECRETARY LOCATION   Locati	2
SCHEDULE NOTES   1.000   1.0	
SCHEDULE NOTES  SCHEDULE NOTES	
1.12 PMR   INSIGNATION   PMR	1 90 MIN 1.E.
MALPHOORS FOR   MALPHOORS FO	4
AS REC_CONTRACTOR TO PROVIDE ALLOWANCE FOR DOOR REPAIR FOR ALL DISC. DOORS TO BENUE. IN PLACE. SEE PLANS.   10   10   10   10   10   10   10   1	2
DOOR FROM STARKCOARDOR TO   1   1   1   1   1   1   1   1   1	
C. OPENING TO HAVE RELOCATED HISTORIC DOOR, SEE DISTING PLANS FOR NEW LOCATION AND NEW YORK PLANS FOR NEW LOCATION AND PROBLEMS FOR NEW YORK PLANS FOR NEW LOCATION AND PROBLEMS FOR NEW LOCATION AND NEW YORK PLANS FOR NEW LOCATION AND NEW YORK P	90 MIN 1.E.
RESIDENTIAL DOORS	A
RESIDENTIAL UNIT ENTRY DOOR   PROPERTY   PROVIDE HINDER CLOSES   FINANCIAL COLORS   PROVIDE HINDER CLOSES   PROVIDE HINDER C	2
FROID   RESIDENTIAL UNIT ENTRY DOOR   FROM	1 90 MIN I.E.
##ROLA ##	4
#ROIA  #R	Σ
DOOR SWEEP   P. PLUBER THRESHOLD (LOW PROFILE)	
RESIDENTIAL UNIT ENTRY DOOR (EXTERIOR)   TYPICAL BEDROOM AND BATHROOM   TYPICAL BEDROOM AND	90 MIN 1.E.
HROLA  RESIDENTIAL UNIT ENTRY DOOR (EXTERIOR)  RESIDENTIAL UNIT ENTRY DOOR (I) PROVIDE VIEW HOLE AT 48" A.F.F., CENTERED IN DOOR.  8. TIME DELAY FOR ELECTRIC STRIKE TRIGGERED BY INTERCOM OR KEY FOB AT EXTERIOR ENTRY.  9. GATE TO BE PART OF SPECIFIED FENCE SYSTEM. SEE PLANS FOR KEYNOTE WITH B.O.D.  FIFTH FLOOR  TYPICAL BEDROOM AND BATHROOM  10) CICKSET (I) CICKSET	
RESIDENTIAL UNIT ENTRY DOOR (EXTERIOR)  HR01A  RESIDENTIAL UNIT ENTRY DOOR (EXTERIOR)  - (i) SPRING CLOSER - (ii) SPRING CLOSER - (iii) ENTRY DOOR (EXTERIOR DY INTERCOM OR KEY FOB AT EXTERIOR - (iii) ENTRY V.I.F  - (iv) ENTRY V.I.	
#R02 TYPICAL BEDROOM AND BATHROOM  TYPICAL BEDROOM AND BATHROOM  TYPICAL BEDROOM AND BATHROOM  **STORAGE LOCKSET** - OUTSIDE KEY LOCK, INSIDE ALWAYS UNLOCKED** - ACCESSIBLE BY LANDLORD ONLY  **STORAGE LOCKSET** - OUTSIDE KEY LOCK, INSIDE ALWAYS UNLOCKED** - ACCESSIBLE BY LANDLORD ONLY  **ENTRY.*  9. GATE TO BE PART OF SPECIFIED FENCE SYSTEM. SEE PLANS FOR KEYNOTE WITH B.O.D.  **ENTRY.*  9. GATE TO BE PART OF SPECIFIED FENCE SYSTEM. SEE PLANS FOR KEYNOTE WITH B.O.D.  **FIFTH FLOOR**  **FIFTH FLOOR**  **FIFTH FLOOR**  **TYPICAL BEDROOM AND BATHROOM  **OUTSIDE KEY LOCK, INSIDE ALWAYS UNLOCKED** - ACCESSIBLE BY LANDLORD ONLY  **OUTSIDE KEY LOCK, INSIDE ALWAYS UNLOCKED** - ACCESSIBLE BY LANDLORD ONLY  **OUTSIDE KEY LOCK, INSIDE ALWAYS UNLOCKED** - ACCESSIBLE BY LANDLORD ONLY  **OUTSIDE KEY LOCK, INSIDE ALWAYS UNLOCKED** - ACCESSIBLE BY LANDLORD ONLY  **OUTSIDE KEY LOCK, INSIDE ALWAYS UNLOCKED** - ACCESSIBLE BY LANDLORD ONLY  **OUTSIDE KEY LOCK, INSIDE ALWAYS UNLOCKED** - ACCESSIBLE BY LANDLORD ONLY  **OUTSIDE KEY LOCK, INSIDE ALWAYS UNLOCKED** - ACCESSIBLE BY LANDLORD ONLY  **OUTSIDE KEY LOCK, INSIDE ALWAYS UNLOCKED** - ACCESSIBLE BY LANDLORD ONLY  **OUTSIDE KEY LOCK, INSIDE ALWAYS UNLOCKED** - ACCESSIBLE BY LANDLORD ONLY  **OUTSIDE KEY LOCK, INSIDE ALWAYS UNLOCKED** - ACCESSIBLE BY LANDLORD ONLY  **OUTSIDE KEY LOCK, INSIDE ALWAYS UNLOCKED** - ACCESSIBLE BY LANDLORD ONLY  **OUTSIDE KEY LOCK, INSIDE ALWAYS UNLOCKED** - ACCESSIBLE BY LANDLORD ONLY  **OUTSIDE KEY LOCK, INSIDE ALWAYS UNLOCKED** - ACCESSIBLE BY LANDLORD ONLY  **OUTSIDE KEY LOCK, INSIDE ALWAYS UNLOCKED** - ACCESSIBLE BY LANDLORD ONLY  **OUTSIDE KEY LOCK, INSIDE ALWAYS UNLOCKED** - ACCESSIBLE BY LANDLORD ONLY  **OUTSIDE KEY LOCK, INSIDE ALWAYS UNLOCKED** - ACCESSIBLE BY LANDLORD ONLY  **OUTSIDE KEY LOCK, INSIDE ALWAYS UNLOCKED** - ACCESSIBLE BY LANDLORD ONLY  **OUTSIDE KEY LOCK, INSIDE ALWAYS UNLOCKED** - ACCESSIBLE BY LANDLORD ONLY  **OUTSIDE KEY LOCK, INSIDE ALWAYS UNLOCKED** - ACCESSIBLE BY LANDLORD ONLY  **OUTSIDE KEY LOCK, INSIDE ALWAYS UNLOCKED** - A	1 90 MIN 1.E.
FIFTH FLOOR	
HR02 TYPICAL BEDROOM AND BATHROOM  TYPICAL BEDROOM AND BATHROOM  TYPICAL BEDROOM AND BATHROOM  (3) HINGES (3) HINGES (3) HINGES (4) HOOD TO MECHANICAL CLOSET  OODS TO MECHANICAL CLOSET  ACCESSIBLE BY LANDLORD ONLY	<u>'</u>
HR02 TYPICAL BEDROOM AND BATHROOM (3) HINGES (WALL/FLOOR STOP (WOOD "T" THRESHOLD (WOO	AB 90 MIN
OUTSIDE KEY LOCK, INSIDE ALWAYS UNLOCKED     ACCESSIBLE BY LANDLORD ONLY      ACCESSIBLE BY LANDLORD ONLY	AB 90 MIN
OUTSIDE KEY LOCK, INSIDE ALWAYS UNLOCKED  • ACCESSIBLE BY LANDLORD ONLY	
• (3) HINGES	
• WALL/FLOOR STOP • WOOD "T" THRESHOLD  SINGLE DOOR TO  PASSAGE LOCKSET  GENERAL NOTES	
HR04 CLOSET/STORAGE/LAUNDRY/ BEDROOM EGRESS • WALL/FLOOR STOP • (3) HINGES • WALL/FLOOR STOP  THIS IS A HISTORIC TAX CREDIT PROJECT WITH SENSITIVE HISTORIC MATERIALS, INCLUDING DOORS & TRIM. DO NOT REMOVE ANY HISTORIC DOORS OR TRIM	
DOUBLE SWINGING DOOR TO  CLOSET PULLS  OUMMY LEVER HANDLES  CLOSET PULLS  OUMMY LEVER HANDLES  UNLESS INDICATED IN THESE DRAWINGS & IN THE SHPO NARRATIVE.	
CLOSET/STORAGE	
A. FURNISH AND INSTALL ALL DOOR FRAMES AS SHOWN ON THE DRAWINGS AND IN  ACCORDANCE WITH FINAL SHOP DRAWINGS AND MANUFACTURER'S DATA AND	
I. ALL HARDWARE TO BE OPERABLE IN THE DIRECTION OF EGRESS ALWAYS WITHOUT KNOWLEDGE, KEY OR TIGHT	
2. ALL HARDWARE TO BE SATIN CHROME, STAINLESS STEEL AND POWDER COAT TO MATCH. EXIT DEVICES,  DETAILS OF EACH FRAME TYPE, CONDITIONS AT OPENINGS, DETAILS OF CONSTRUCTION,	
EXTERIOR HINGES, KICK PLATES TO BE US32D, INTERIOR HINGES, LOCKSETS, WALL STOPS US26D, DOOR CLOSERS TO BE POWDER COAT TO MATCH.  LOCATION, AND INSTALLATION REQUIREMENTS OF FINISH HARDWARE AND REINFORCEMENTS, AND DETAILS OF JOINTS AND CONNECTIONS. SHOW ANCHORAGE	
3. ALL HARDWARE TO BE AS SPECIFIED OR APPROVED EQUAL. A. LOCKSETS ARE BASED ON BEST CYLINDRICAL GRADE I (MORTISE LOCK FOR TOILETS WITH INDICATOR).  AND ACCESSORY ITEMS. PROVIDE SCHEDULE OF FRAMES USING SAME REFERENCE FOR DETAILS AND OPENINGS AS THOSE ON CONTRACT DRAWINGS.	
COORDINATE KEYING REQUIREMENTS WITH OWNER. APPROVED MANUFACTURERS: BEST (9K3 SERIES), SCHLAGE (ND SERIES), SARGENT (10 LINE). KEY SYSTEM - PROVIDE MASTER SYSTEM (KEY INTO OWNER'S EXISTING SMALL)  C. NEW FRAMES SHALL HAVE UL LABELS TO MATCH RATING NOTED IN DOOR SCHEDULE.	
FORMAT KEY SYSTEM), 5 MASTER KEYS, 3 CHANGE KEYS PER CYLINDER.  B. EXIT DEVICES ARE BASED ON PRECISION 2100 SERIES GRADE 1. APPROVED MANUFACTURERS: PRECISION (2100 TEMPLATES FURNISHED BY HARDWARE SUPPLIER.  D. SET AND BRACE ALL DOOR FRAMES. FRAMES SHALL BE PREPARED FOR HARDWARE PER TEMPLATES FURNISHED BY HARDWARE SUPPLIER.	
C. DOOR CLOSERS ARE BASED ON DORMA 8900 SERIES GRADE I. PROVIDE WITH FULL COVER. APPROVED  E. COORDINATE LOCATIONS FOR OTHER TRADES TO BUILD IN THEIR WORK AS REQUIRED.  MANUFACTURERS: DORMA (8900 SERIES), LCN (4040XP SERIES).	
4. HINGES: A. HINGE SIZE, DOORS UP TO 3 FEET WIDE 4-1/2" X 4-1/2", DOORS WIDER THAN 3 FEET TO BE 5" X 4-1/2".  DOORS	
B. HINGE QUANTITY - 3 HINGES PER DOOR LEAF FOR DOORS UP TO 7'6". PROVIDE 4 HINGES FOR DOORS TALLER  F. FURNISH AND INSTALL ALL DOORS AS SHOWN ON THE DRAWINGS AND IN ACCORDANCE  THAN 7'6".  WITH FINAL SHOP DRAWINGS AND MANUFACTURER'S DATA AND INSTRUCTIONS.	
5. COORDINATE KEYING REQUIREMENTS WITH OWNER.  G. SUBMIT DOOR MANUFACTURER'S PRODUCT DATA SPECIFICATIONS AND INSTALLATION	
6. COORDINATE ELECTRONIC ACCESS CONTROL REQUIREMENTS WITH OWNER INSTRUCTIONS FOR EACH TYPE OF DOOR, PROVIDE SCHEDULE OF DOORS USING SAME REFERENCE FOR DETAILS AND OPENINGS AS THOSE ON CONTRACT DRAWINGS.	
H. EXTERIOR DOORS TO BE INSULATED, WITH WEATHERSTRIPPING, AND PROVIDED WITH  ACCESSIBLE THRESHOLD. ALL EXTERIOR STOREFRONT DOORS TO BE INSULATED,	
THERMALLY BROKEN AND WITH WEATHER STRIPPING AND PROVIDED WITH ACCESSIBLE	
THRESHOLD.  I. GLAZING IN DOOR LITES AND SIDE LITES SHALL BE CLEAR TEMPERED GLASS, 1/4" THICKNESS,	
UNLESS OTHERWISE NOTED. WIRED GLASS, IS NOT ALLOWED. GLASS FRAMES IN DOORS SHALL HAVE FLUSH STOPS.	

NOT FIT, CONTACT ARCHITECT.

J. SEE DOOR SCHEDULE FOR REQUIRED FIRE RATINGS.

DOOR MAY FREELY MOVE ABOVE FINISH FLOOR MATERIAL.

K. FIT DOORS TO FRAMES WITH MINIMUM UNIFORM CLEARANCES AND BEVELS. DOORS SHALL BE PREPARED FOR HARDWARE AS REQUIRED BY HARDWARE SCHEDULE. SEAL DOOR EDGE SURFACES AFFECTED BY FITTING AND MACHINING. PROVIDE DOOR CLEARANCES SO THAT

L. VERIFY SIZE OF ALL EXISTING DOORS AND DOOR OPENINGS IN FIELD. WHERE HISTORIC DOORS ARE BEING RELOCATED, VERIFY DOOR FITS IN NEW LOCATION. IF DOOR DOES

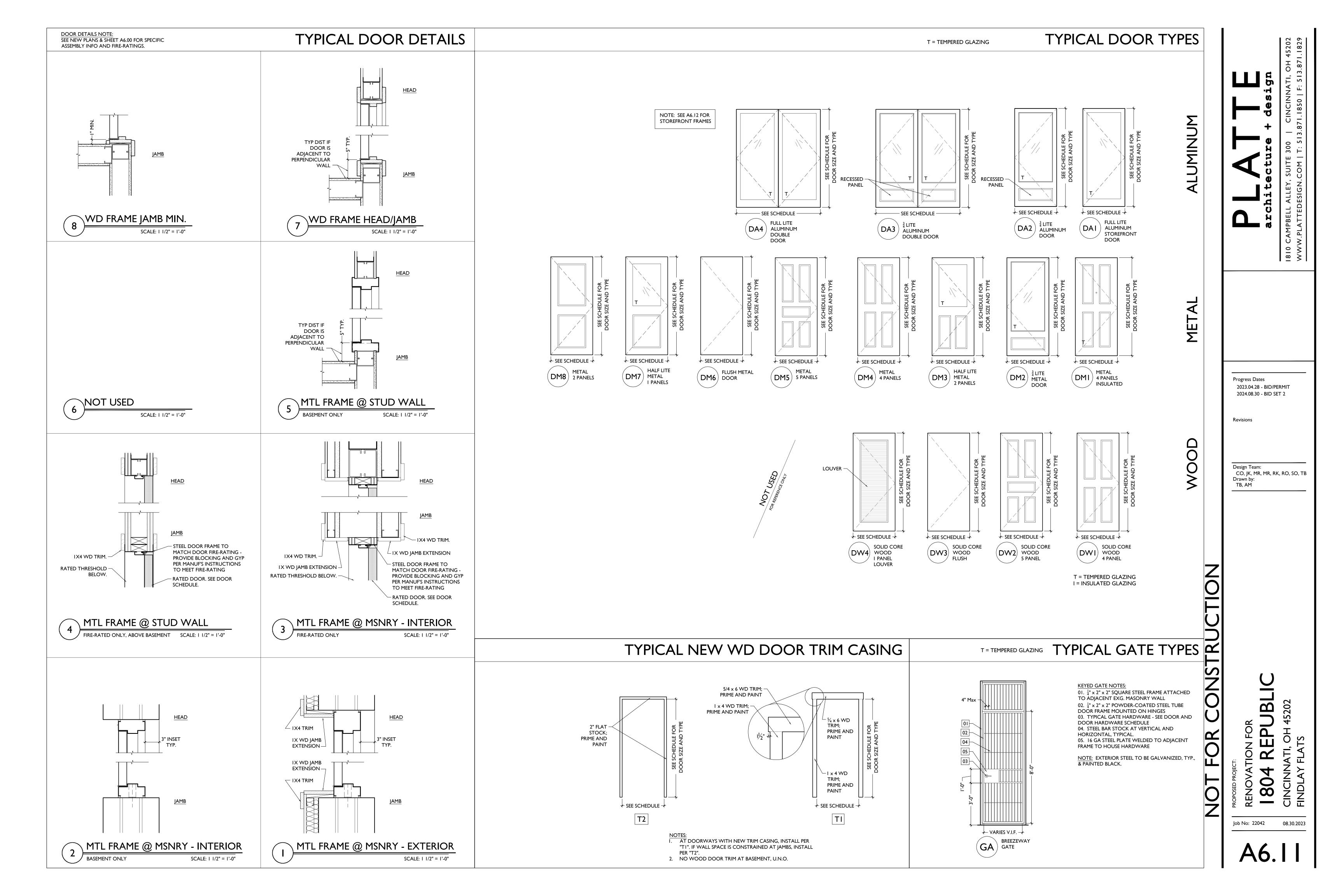
M. ALL MECHANICAL CLOSETS ARE TO BE LOCKED AT ALL TIMES WITH MECHANICAL ACCESS BY LANDLORD ONLY. CLOSET SHALL BE USED FOR MECHANICAL/WATER HEATING EQUIPMENT ONLY. NO STORAGE OF ANY KIND IS TO BE PERMITTED WITHIN.

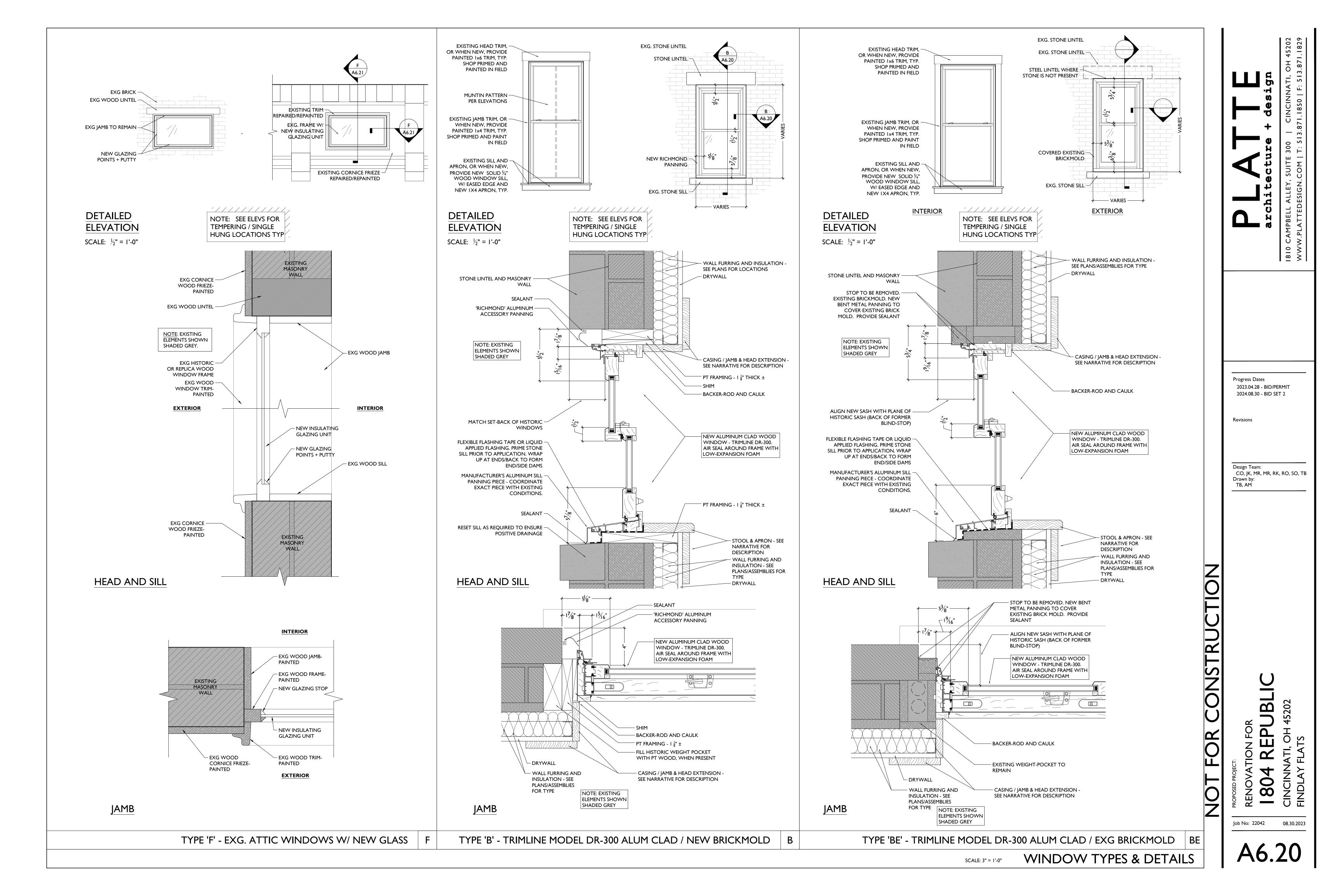
2023.04.28 - BID/PERMIT 2024.08.30 - BID SET 2

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
TB, AM

REPUBLIC

Job No: 22042 08.30.2023







CONSTRUCTION

REPUBLIC

**Progress Dates** 

2023.04.28 - BID/PERMIT 2024.08.30 - BID SET 2

Design Team: CO, JK, MR, MR, RK, RO, SO, TB Drawn by: TB, AM

Job No: 22042 08.30.2023



#### **GOVERNING CODE**

OHIO BUILDING CODE - 2017, BASED ON 2015 IBC

CLASSIFICATION OF THE BUILDING STRUCTURE: RISK CATEGORY II, TABLE 1604.5

#### DESIGN LOADS

- ROOF LOAD:
- A. MINIMUM LIVE LOAD OR SNOW LOAD: 20 PSF\* B. DEAD LOAD = 20 PSF IN ADDITION TO STRUCTURE SELF WEIGHT

\*MINIMUM LIVE / SNOW LOAD GOVERNED BY MINIMUM SNOW LOAD,  $P_m = I_s * P_g$ 

#### 2. SNOW LOAD:

- A. GROUND SNOW LOAD,  $P_g = 20 \text{ PSF}$ .
- B. FLAT ROOF SNOW LOAD, Pf = 14 PSF MODIFIED BY APPLICABLE BUILDING COEFFICIENTS.
- C. MINIMUM ROOF SNOW LOAD,  $P_m = 20 \text{ PSF}$ .
- D. SNOW LOAD IMPORTANCE FACTOR,  $I_s = 1.0$ E. SNOW EXPOSURE FACTOR, C<sub>e</sub> = 1.0
- THERMAL FACTOR, Ct = 1.0
- G. COORDINATE ROOF FRAMING WITH FINAL SELECTION OF ROOF SUPPORTED MECHANICAL EQUIPMENT AND ASSOCIATED OPENINGS. ITEMS TO BE COORDINATED INCLUDE SIZE, LOCATION, TOTAL WEIGHT, WEIGHT DISTRIBUTION, AND SUPPORT FRAME REQUIREMENTS.

#### 3. FLOOR LOAD:

- A. LIVE LOAD: 100 PSF
- B. LIVE LOAD = 40 PSF AT RESIDENTIAL
- C. DEAD LOAD ALLOWANCE: 20 PSF IN ADDITION TO STRUCTURE SELF

#### 4. WIND LOAD:

- A. MAIN WIND FORCE RESISTING SYSTEM: 115 MPH PER ASCE 7-10 (3-SECOND GUST - LOAD AND RESISTANCE FACTOR DESIGN).
- B. WIND EXPOSURE: B C. BASIC WIND VELOCITY PRESSURE, q<sub>h</sub>= 19.21 PSF (LRFD), 11.526 PSF
- D. INTERNAL GUST PRESSURE COEFFICIENT, GCp = 0.18 (ENCLOSED BUILDING).

#### 5. SPECIAL LOADS:

- A. INTERIOR FINISH: 5 PSF HORIZONTAL LOAD.
- B. HANDRAILS: 200 POUND CONCENTRATED LOAD AT ANY POINT, IN ANY DIRECTION, OR 50 PLF UNIFORM LOAD IN ANY DIRECTION.
- C. GUARDRAILS: a. TOP RAIL: 200 POUNDS CONCENTRATED AT ANY POINT IN ANY
- DIRECTION, OR 50 PLF UNIFORM LOAD IN ANY DIRECTION. b. IN-FILL AREAS: 50 POUNDS APPLIED OVER A 1 SQUARE FOOT AREA.

#### **SPECIAL INSPECTIONS**

PER THE REQUIREMENTS OF CHAPTER 17, SECTION 1704.1, OF THE REFERENCED BUILDING CODE, SPECIAL INSPECTIONS ARE NOT NECESSARY FOR THE PROPOSED BUILDING CONSTRUCTION. STRUCTURAL CONSTRUCTION IN THIS BUILDING IS CONSIDERED MINOR NATURE AND IS ASSUMED TO BE INSPECTED BY THE BUILDING INSPECTOR. SPECIAL INSPECTIONS CAN BE ADDED TO THIS PROJECT AT THE REQUEST OF THE BUILDING DEPARTMENT. BUILDING DEPARTMENT, PLEASE IDENTIFY SPECIFIC MATERIALS THAT WILL REQUIRE SPECIAL INSPECTIONS.

#### **SUBSTITUTIONS, SUBMITTALS, AND RFI'S**

- 1. CONTRACTOR SHALL SUBMIT ALL SUBSTITUTIONS FOR APPROVAL PRIOR TO CONSTRUCTION WITH THE FOLLOWING INFORMATION:
- A. THE SCOPE, EXTENT, AND ALL LOCATIONS AFFECTED BY THE PROPOSED SUBSTITUTION.
- B. SPECIFIC DRAWING OR SPECIFICATION REFERENCES FOR THE
- ORIGINAL PRODUCT OR SYSTEM SPECIFIED. C. THE REASON FOR THE PROPOSED CHANGE.
- D. COST SAVINGS AND/OR IMPACT ON THE SCHEDULE E. IMPACT ON ANY GUARANTEES OR WARRANTIES ASSOCIATED WITH THE
- PRODUCT OR SYSTEM. F. COORDINATION REQUIRED WITH OTHER TRADES OR ADJACENT MATERIALS.

OF TIME FOR REVIEW.

- G. ANY AND ALL DEVIATIONS FROM THE SPECIFIED REQUIREMENTS.
- 2. SHOP DRAWING SUBMITTALS SHALL BE SUBMITTED BY THE GENERAL CONTRACTOR IN A TIMELY MANNER TO PROVIDE AN ADEQUATE AMOUNT
- A. ALL SUBMITTALS MUST BE REVIEWED BY THE GENERAL CONTRACTOR PRIOR TO SUBMITTING FOR REVIEW. ANY SHOP DRAWINGS RECEIVED DO NOT BEAR THE STAMP OF THE GENERAL CONTRACTOR AS WELL AS CLEAR EVIDENCE THAT THE SUBMITTAL HAS BEEN REVIEWED WILL BE REJECTED WITHOUT REVIEW.
- B. REVIEW BY STRUCTURAL ENGINEER OF RECORD WILL BE FOR GENERAL COMPLIANCE WITH THE CONTRACT DOCUMENTS AND CONFORMANCE WITH THE DESIGN CONCEPT. THIS REVIEW DOES NOT IN ANYWAY RELIEVE THE CONTRACTOR AND/OR THE CONTRACTOR'S SUBCONTRACTORS FROM RESPONSIBILITY FOR ERRORS OR DEVIATIONS FROM THE CONTRACT REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR ALL DIMENSIONS, PROPER FIT, QUALITIES OF THE MATERIALS. AND COORDINATION WITH OTHER TRADES AND SUPPLIERS.
- C. IF CHANGES ARE MADE TO A PREVIOUSLY REVIEWED SUBMITTAL, DENOTE ALL REVISED AREAS WITH REVISION CLOUD AND TAGS.
- D. STRUCTURAL SUBMITTAL REQUIREMENTS:

Submittal/Shop Drawing	Submittal	Calculations	PE/SE Seal & Signature
Concrete Mix – Conforming to ACI 318	For Review	N/a	N/a
Structural Steel	For Review	N/a	N/a
Miscellaneous Steel	For Review	N/a	N/a

- For Review denotes the contractor must submit to the design team for review. The contractor shall not fabricate or install until all design team comments have been resolved in writing.

- For Record denotes the contractor must submit to the design team for record. The contractor's engineer is responsible for all loading and coordination of loads to be resisted by the building's structural elements. Any load resisted by the building's structural elements must be approved by the EOR. N/a denotes not applicable.

- REQUESTS FOR INFORMATION (RFI'S) SHALL BE SUBMITTED IN A TIMELY MANNER WHEN INFORMATION IS MISSING FROM THE CONSTRUCTION DOCUMENTS, INFORMATION IS CONFLICTING WITHIN THE CONSTRUCTION DOCUMENTS, OR IS AMBIGUOUS.
- A. THE CONTRACTOR MUST USE DUE DILIGENCE IN ATTEMPTING TO FIND ANY ANSWER PRIOR TO SUBMITTING AN RFI.
- B. IF THE INFORMATION REQUESTED IN AN RFI IS APPARENT FROM FIELD OBSERVATION, IS CONTAINED IN THE CONSTRUCTION DOCUMENTS, OR IS REASONABLY INFERABLE FROM THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR ALL REASONABLE COSTS CHARGED RELATED TO ADDITIONAL SERVICES INCURRED DUE TO ANSWERING THE RFI.

#### **CONSTRUCTION AND SAFETY**

- 1. THE CONTRACTOR SHALL BRACE ENTIRE STRUCTURE AS REQUIRED TO MAINTAIN STABILITY UNTIL COMPLETE AND FUNCTIONING AS THE
- THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF CONSTRUCTION SELECTED BY THE CONTRACTOR.
- 3. THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. WHEN ON SITE, THE ENGINEER IS RESPONSIBLE FOR HIS OWN SAFETY BUT HAS NO RESPONSIBILITY FOR THE SAFETY OF OTHER PERSONNEL OR SAFETY CONDITIONS AT THE SITE.
- 4. THE CONTRACTOR SHALL ONLY USE STRUCTURAL PLANS ISSUED AS "FOR CONSTRUCTION" OR ISSUES THEREAFTER. PRIOR ISSUES SHALL ONLY BE USED FOR PERMITTING OR BIDDING PURPOSES.
- 5. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. SHOULD ANY DISCREPANCY BE FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY OF THE CONDITION.
- 6. THE CONTRACTOR SHALL BRACE ENTIRE STRUCTURE AS REQUIRED DURING DEMOLITION AND CONSTRUCTION TO MAINTAIN STABILITY UNTIL THE STRUCTURE IS COMPLETE AND FUNCTIONING AS THE DESIGNED UNIT.
- 7. THE CONTRACTOR SHALL VERIFY ALL INFORMATION IN THESE DRAWINGS AND SHALL REPORT ANY ERRORS, OMISSIONS, OR DISCREPANCIES TO THE OWNER AND ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DEPARTURES FROM THESE PLANS NOT APPROVED IN WRITING BY THE OWNER AND ENGINEER.
- 8. THE CONTRACTOR SHALL NOT REMOVE ANY ELEMENTS WHICH MAY CAUSE THE STRUCTURE TO BECOME UNSTABLE, OR THAT WILL POSE A RISK TO PERSONS OR PROPERTY, EVEN IF INDICATED IN PLANS. IF ANY ELEMENTS BECOME UNSTABLE, CONTRACTOR IS TO STABILIZE AND SHALL INFORM THE ENGINEER/OWNER IMMEDIATELY.
- 9. IT IS UP TO THE CONTRACTOR TO CONTINUALLY EVALUATE THE STRUCTURAL STABILITY OF THE BUILDING AND THE INTEGRITY OF ELEMENTS BOTH STRUCTURAL AND NON-STRUCTURAL THAT ARE SHOWN TO REMAIN. IF THE CONTRACTOR DETERMINES THAT SOME OF THESE ELEMENTS SHOULD BE REMOVED, HE/SHE MUST FIRST RECEIVE PERMISSION FROM THE ENGINEER/ OWNER, OR MAY BE FINANCIALLY RESPONSIBLE FOR THE REPLACEMENT OF THESE ELEMENTS.

#### MISCELLANEOUS STRUCTURAL NOTES

- THESE STRUCTURAL DRAWINGS DEPICT A STRUCTURAL SYSTEM AND THE MAJOR COMPONENTS OF THAT SYSTEM, MINOR ITEMS, INCLUDING BUT NOT LIMITED TO, POURSTOPS, DECK SUPPORT ANGLES, FRAMES AT FLOOR AND ROOF DECK OPENINGS, CFS AT ARCHITECTURAL FEATURES, ETC. SHALL BE SUPPLIED BY THE CONTRACTOR AS NEEDED TO PROVIDE A COMPLETE SYSTEM.
- 2. WHERE DETAILS ARE CALLED FOR IN ONE AREA OF THE BUILDING, THEY SHALL BE DUPLICATED AT SIMILAR CONDITIONS UNLESS NOTED
- 3. STRUCTURAL AND ARCHITECTURAL PLANS SHOW DIMENSIONS AND ELEVATIONS TO SIGNIFICANT WORKING POINTS. CONTRACTORS. DETAILERS AND SUPPLIERS ARE RESPONSIBLE FOR THE DETERMINATION OF ALL DIMENSIONS, PITCHES, ELEVATIONS, ETC. BEYOND THOSE NOTED AS NECESSARY TO THOROUGHLY DETAIL/FABRICATE THEIR WORK. CONTACT ARCHITECT WITH ANY DISCREPANCIES FOUND.

#### **FOUNDATIONS**

- 1. SOIL CONDITIONS:
- A. PER THE CLIENT'S REQUEST, THE FOUNDATION DESIGN AND GENERAL FOUNDATION NOTES ARE BASED ON THE ASSUMPTION OF FAVORABLE SOIL CONDITIONS.
- 2. THE BOTTOM OF FOUNDATION ELEVATION INDICATED ARE FOR BIDDING PURPOSES AND MAY BE LOWERED TO SUIT SUB-SURFACE SOIL CONDITION. BEARING STRATA SHALL BE APPROVED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACING CONCRETE. PROVIDE ENGINEERED FILL OR FLOWABLE FILL CONCRETE (500 PSI) UNDER FOUNDATIONS AT SOFT SPOTS AND FOR EXTENDING EXCAVATION TO ADEQUATE BEARING MATERIAL. INSTALL FOUNDATIONS AT DESIGNED ELEVATIONS.
- 3. ALL FOOTINGS SHALL BEAR ON LEVEL (WITHIN 1 IN 12) UNDISTURBED SOIL OR APPROVED ENGINEERED FILL. FOUNDATIONS HAVE BEEN DESIGNED FOR A MAXIMUM SOIL BEARING PRESSURE OF 1500 PSF BELOW STRIP FOOTINGS AND 1500 PSF BELOW ISOLATED COLUMN FOOTINGS.
- 4. CONTRACTOR SHALL CONTACT UTILITY COMPANIES FOR LOCATING UNDERGROUND SERVICES AND IS RESPONSIBLE FOR THEIR PROTECTION AND SUPPORT.
- 5. COMPACTION:
- A. ALL FILL MATERIALS SHALL BE APPROVED BY A GEOTECHNICAL CONSULTANT.
- B. ENGINEERED FILL BENEATH FOOTINGS: MINIMUM COMPACTION 98% STANDARD PROCTOR DENSITY AT THE OPTIMUM MOISTURE CONTENT.
- 6. FINISHED GRADE SHALL SLOPE AWAY FROM THE PERIMETER FOUNDATION.

### **CONCRETE**

- 1. CONCRETE WORK AND TESTING SHALL CONFORM TO ALL REQUIREMENTS OF ACI 301, "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS", EXCEPT AS MODIFIED BY THE SUPPLEMENTAL REQUIREMENTS BELOW. REPORTS FROM TESTS REQUIRED BY SECTION 1.6 OF ACI 301 SHALL BE SUBMITTED TO STRUCTURAL ENGINEER, ARCHITECT, OWNER, CONTRACTOR, CONCRETE SUPPLIER, AND BUILDING OFFICIAL.
- CONCRETE WORK IN COLD WEATHER SHALL CONFORM TO ALL REQUIREMENTS OF ACI 306.1 "STANDARD SPECIFICATION FOR COLD WEATHER CONCRETING" AND ACI 306R "COLD WEATHER CONCRETING".

- 3. CONCRETE WORK IN HOT WEATHER SHALL CONFORM TO ALL REQUIREMENTS OF ACI 305R "HOT WEATHER CONCRETING". THE AIR TEMPERATURE, RELATIVE HUMIDITY, CONCRETE TEMPERATURE, AND WIND VELOCITY SHALL BE ENTERED INTO THE NOMOGRAPH OF THIS REFERENCE TO DETERMINE IF PRECAUTIONS AGAINST PLASTIC SHRINKAGE ARE
- 4. CONCRETE MIX DESIGNS SHALL BE SUBMITTED FOR EACH TYPE OF CONCRETE TO THE STRUCTURAL ENGINEER FOR APPROVAL IN ACCORDANCE WITH ACI 301 SECTION 4.2.3.4 FIELD TEST DATA OR TRIAL
- 5. SUBMIT SHOP DRAWINGS OF REINFORCING STEEL.
- 6. MATERIALS (ALSO SEE CONCRETE MIX SCHEDULE):
- A. REINFORCING STEEL: ASTM A615 OR ASTM 996 (AXLE ONLY) 60 KSI YIELD DEFORMED BARS AND ASTM A1064 MESH, FLAT SHEETS ONLY.
- B. FLY ASH: ASTM C618, TYPE F OR C. FLY ASH-TO-TOTAL CEMENTITIOUS RATIO SHALL NOT EXCEED 25% MAXIMUM.
- C. GROUND GRANULATED BLAST FURNACE SLAG: ASTM C989. TOTAL GROUND GRANULATED BLAST FURNACE SLAG-TO-TOTAL CEMENTITIOUS RATIO SHALL NOT EXCEED 50% MAXIMUM
- D. HIGH RANGE WATER REDUCER (HRWR) ADMIXTURE: ASTM C494. E. CHLORIDE CONTENT OF CONCRETE: LIMIT TOTAL CHLORIDE ION CONTENT TO AMOUNT INDICATED IN TABLE 4.2.2.6 OF ACI 318. ADMIXTURES CONTAINING CHLORIDE ARE NOT PERMITTED IN REINFORCED CONCRETE OR CONCRETE CONTAINING METALS.

#### CONCRETE MIX SCHEDULE:

Application	f'c @ 28 days (psi)	Air Content <sup>1</sup>	Max w/c ratio <sup>2</sup>	Max Agg. Size <sup>1</sup> (in)	F Class	S Class	W Class	C Class
Footings	3000	N/a	0.55	3/4	F0	S0	W0	C0
Interior Floor Slab on Grade	4000	N/a	0.5	3/4	F0	S0	W0	C0
Exterior Flatwork (Plain Concrete)	4500	6% ± 1.5%	0.45	3/4	F3	S0	W1	C1

- 8. SLUMP SHALL BE MEASURED PRIOR TO THE ADDITION OF HRWR.
- 9. LAP SPLICE REINFORCING BARS 48 BAR DIAMETERS UNLESS NOTED
- 10. BAR CLEARANCES BETWEEN ADJACENT BARS AND FORMWORK SHALL BE AS NOTED ON THE DRAWINGS OR A MINIMUM AS PER ACI REQUIREMENTS.

#### **EXPANSION AND EPOXY ADHESIVE ANCHORS**

- 1. EXPANSION ANCHORS:
- A. EXPANSION ANCHORS SHALL BE MANUFACTURED BY THE HILTI COMPANY AND SHALL BE THE TYPE, SIZE, AND EMBEDMENT INDICATED ON THE DRAWINGS. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. SUBSTITUTES MAY BE CONSIDERED: SUBMIT MANUFACTURER'S DATA PRIOR TO INSTALLATION.
- 2. EPOXY ADHESIVE ANCHORS:
- B. EPOXY ADHESIVE SHALL BE MANUFACTURED BY THE HILTI COMPANY AND SHALL BE THE TYPE, SIZE, AND EMBEDMENT INDICATED ON THE DRAWINGS. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. SUBSTITUTES MAY BE CONSIDERED; SUBMIT MANUFACTURER'S DATA PRIOR TO INSTALLATION.
- A. THREADED RODS SHALL BE ASTM A36. SIZES AND EMBEDMENT AS
- B. CONDUCT JOB-SITE TRAINING OF ALL CONTRACTOR'S PERSONNEL INSTALLING THIS PRODUCT FOR SAFE AND PROPER INSTALLATION, HANDLING, AND STORAGE OF THE EPOXY SYSTEM.

#### **MASONRY WALL REPAIR**

- 1. EXTERIOR MASONRY AND STONE IS TO BE REPAIRED, REPLACED, AND CLEANED AS NEEDED. CONTRACTOR SHALL PERFORM AN OBSERVATION OF ALL WALLS AND EXISTING LINTELS TO DETERMINE DAMAGED AREAS THAT
- 2. REPAIR DAMAGED JOINTS IN MASONRY WHERE MORTAR IS SOFT, DAMAGED. OR MISSING. CUT OUT JOINTS TO A DEPTH OF 2X THE WIDTH OF THE JOINT OR UNTIL SOUND MORTAR. REMOVE DUST AND LOOSE MATERIAL BY HAND BRUSHING. MORTAR TO MATCH EXISTING IN COMPOSITION, COLOR, TOOLING, PROFILE AND HARDNESS.
- 3. REPLACE MISSING, ERODED, SPALLED OR CRACKED MASONRY UNITS. CUT OUT UNITS, INCLUDING ENTIRE MORTAR JOINT AROUND MASONRY UNIT. REMOVE UNITS BY HAND USING CARE SO AS NOT TO DAMAGE ADJACENT MASONRY. TURN EXISTING BRICKS AROUND AND/OR USE SALVAGED BRICK IF POSSIBLE. BUILD-IN NEW MASONRY AND JOINTS TO MATCH EXISTING. ALIGN WITH EXISTING JOINTS AND COURSING TRUE AND LEVEL, FACES PLUMB AND IN-LINE INSTALL ANY ANCHORS, FLASHING, OR REINFORCEMENTS AS NECESSARY, ALL NEW WORK SHALL MATCH THAT OF THE SURROUNDING MASONRY.
- 4. REMOVE CRACKED, DAMAGED AND SEVERELY SPALLED STONE LINTELS AND SILLS WITH CARE IN A MANNER TO PREVENT DAMAGE TO ADJACENT REMAINING MATERIALS. BUILD-IN NEW LINTELS AND SILLS. ALIGN WITH EXISTING JOINTS AND COURSING TRUE AND LEVEL, FACES PLUMB AND IN-LINE. INSTALL ANY ANCHORAGES, FLASHINGS, OR REINFORCEMENTS AS NECESSARY. WHERE APPLICABLE, NEW LINTELS AND SILLS TO BE PRECAST CONCRETE TO MATCH EXISTING IN COLOR AND TEXTURE. THE CONTRACTOR SHALL PROVIDE SAMPLES FOR APPROVAL PRIOR TO ORDERING MATERIAL. ALL STONE REPLACEMENT WORK WILL BE DONE WITHOUT DAMAGE, TO MATCH THE EXISTING HISTORIC STONE AND MASONRY.
- 5. NEW MASONRY CONSTRUCTION FOR WALLS NEEDING TO BE ENTIRELY REBUILT SHALL BE CONSISTED OF AN EXTERIOR WYTHE OF SIMILAR BRICK MATERIAL OF THE ERA. COMPOSITE CONSTRUCTION WITH AN INNER 4" WYTHE OR 8" WYTHE OF CONCRETE MASONRY, TO MATCH EXISTING WALL WIDTH. INTER-CONNECT W/ 9 GAUGE LADDER TYPE JOINT REINFORCING (GALVANIZED) @ 8" O.C. GROUT ALL COLLAR JOINTS SOLID WITH NO VOIDS.
- 6. SPIRA-LOK TIES ARE MANUFACTURED BY HOHMANN & BARNARD SHALL BE 8MM, 304 STAINLESS STEEL. INSTALL IN MORTAR JOINTS, LENGTH AS NEEDED SO END OF TIE WITH WITHIN 1" OF EXTERIOR AND INTERIOR FACE OF MASONRY. WHERE TIE IS INSTALLED INTO INTERIOR WOOD FRAMING, PENETRATE WOOD A MINIMUM OF 3". ALTERNATES WILL BE CONSIDERED UPON SUBMITTING MANUFACTURER INFORMATION.

## <u>WOOD</u>

#### MATERIALS:

#### A. FRAMING LUMBER:

- a. 2x8 AND LARGER: NO.1 GRADE OR BETTER SOUTHERN PINE KILN
- b. 2x4: STUD GRADE OR BETTER SPRUCE PINE FIR KILN DRIED. c. 2x6: NO.2 GRADE OR BETTER SPRUCE PINE FIR KILN DRIED.
- d. ACQ-C (ALT CA-B OR SBX-DOT) PRESSURE TREAT PIECES IN CONTACT WITH FOUNDATION OR EXPOSED TO WEATHER.
- 2. SHEATHING AND SUBFLOORING:
- A. 48/24 APA RATED TONGUE AND GROOVE SUBFLOOR EXPOSURE 1. B. 32/16 APA RATED ROOF SHEATHING EXPOSURE 1.
- C. 24/16 APA RATED STRUCTURAL WALL SHEATHING EXPOSURE 1 D. ALL SHEATHING TO BE NAILED WITH 8d NAILS AT 6" ON CENTER AT PANEL EDGES AND 12" ON CENTER AT INTERMEDIATE SUPPORTS
- UNLESS NOTED OTHERWISE. E. ROOF AND WALL SHEATHING SHALL BE SPACED A MINIMUM 1/8" AT PANEL EDGES AND ENDS OF SHEETS. USE APPROPRIATE PLYWOOD CLIPS AS RECOMMENDED BY THE APA.
- F. ALL PLYWOOD SUBFLOORING SHALL BE GLUED AND NAILED.
- 3. NAIL SIZES AS CALLED OUT IN THE STRUCTURAL DRAWINGS AND FOR SIMPSON CONNECTORS ARE LISTED BELOW. NAIL GUN NAILS SHALL MEET DIAMETER AND LENGTH OF NAILS LISTED BELOW, OR ELSE NAILS SHALL BE DRIVEN WITH A HAMMER.
- A. 6d NAILS ARE  $0.120"Ø \times 1^{3}4"$  LONG (MIN 3/8" HEAD)
- B. 8d NAILS ARE 0.131"Ø x 21/2" LONG
- C. 10d NAILS ARE 0.148"Ø x 3" LONG D. 16d NAILS ARE 0.162"Ø x 3½" LONG
- 4. SIMPSON HANGERS:
- A. ALWAYS USE THE NAIL OR FASTENER AS SPECIFIED BY SIMPSON,
- INCLUDING THE CORRECT DIAMETER AND LENGTH. B. WHEN FASTENING TO A SINGLE PLY 11/2" OR 13/4" MEMBER, 11/2" FLANGE NAILS ARE ACCEPTABLE. USE FULL LENGTH NAILS FOR DIAGONAL NAILS OF DOUBLE SHEAR HANGERS.
- 5. ADHESIVE FOR PLYWOOD SUBFLOORING SHALL CONFORM TO PERFORMANCE SPECIFICATION AFG-01 DEVELOPED BY APA.
- 6. UNLESS NOTED OTHERWISE, CONNECTORS SHALL BE MADE PER TABLE 2304.10.1, "RECOMMENDED FASTENING SCHEDULE", IN REFERENCED BUILDING CODE. STAPLES NOT PERMITTED FOR FASTENING APA RATED SHEATHING AND SUBFLOORING.
- 7. ALL PLYWOOD SUBFLOORING SHALL BE GLUED AND NAILED.
- 8. ALL CONNECTION HARDWARE SPECIFIED ON THE STRUCTURAL DRAWINGS SHALL BE MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY AND SHALL BE FASTENED AS SPECIFIED IN THE SIMPSON PRODUCT AND INSTRUCTION MANUAL.

advantage 1527 Madison Road

513 396 8900

Cincinnati, OH 45206 www.advantageSE.com

Design Team: KCJ / SJ

Date: 04/28/2023

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Proj. No.: 22146.21

STRUCTURAL INFORMATION NOTED IS BASED ON ASSUMPTIONS OF CONDITION OF EXISTING FRAMING & FRAMING HIDDEN FROM VISUAL OBSERVATION. DETAILS OF PROPOSED FRAMING MODIFICATION/REPAIRS ARE SUBJECT TO CHANGE ONCE DEMOLITION IS UNDERWAY

B

advantage STRUCTURAL ENGINEERS

1527 Madison Road Cincinnati, OH 45206

www.advantageSE.com

513 396 8900

Design Team: KCJ / SJ Date: 04/28/2023

Proj. No.: 22146.21



EXISTING FIRE ESCAPE. EVALUATION IS NOT PART OF SCOPE. INSPECTION AND REPAIR DOCUMENTS SHALL BE PREPARTED BY A DESIGN PROFESSIONAL HIRED BY OWNER, SUBMITTED UNDER THE CITY OF CINCINNATI FIRE

ESCAPE INSPECTION PROGRAM, IF NOT PREVIOUSLY DONE.

EX SISTERS. SHIM BEARING AT WALL. RE-FASTEN PER THE TYPICAL END SISTER DETAIL.

 $\langle$  3 angle new end sister per typical detail. NEW 1-3/4"x9-1/4" x 16' LONG LVL SISTER. BEAR ON SOUTH MASONRY WALL. FASTEN SISTER w/ (3) 1/4"x3-1/2" SWS EACH END AND PER PLAN NOTE.

NEW 2x10x10' LONG LVL SISTER. AT SOUTH WALL, BEAR ON MASONRY OR HANG TO LEDGER w/ LUS28 HANGER WHERE APPLICABLE. FASTEN SISTER w/ (3) 1/4"x3-1/2" SWS EACH END AND PER PLAN NOTE. NEW 2x10 LEDGER w/ 1/2" SLEEVE ANGLE @ 12" o.c. STAGGERED. CONNECT EACH END OF LEDGER TO NEW CONTINUOUS SISTER w/ SIMPSON L70 ANGLE.

NEW 2x10 JOISTS @ 12" o.c., POCKET INTO WALL UTILIZING EXISTING JOIST POCKETS. RE-CONSTRUCT POCKETS AS NEW 2x10 JOISTS @ 12" o.c. POCKET INTO WALL UTILIZING EXISTING JOIST POCKETS. RE-CONSTRUCT POCKETS AS NEEDED. HANG TO HEADER w/ LUS28 HANGERS.

NEW (2) 2x10 HEADER w/ LUS28-2 HANGERS EACH END. (10) NEW 2x10 JOIST w/ L70 ANGLE EACH END.

 $\langle$  11  $\rangle$  NEW (2) 2x10 BEAM POCKET INTO WALL UTILIZING EXISTING JOIST POCKETS. RE-CONSTRUCT POCKETS AS NEEDED. APPROXIMATELY 30% OF INTERIOR WALL MASONRY IS SOFT OR DETERIORATING. REPLACE ALL BRICK THAT IS MISSING, SOFT, OR DETERIORATED BY MORE THAN ¾". PROVIDE HOHMANN & BARNARD SPIRALOK TIES @ 24" o.c. VERTICAL AND HORIZONTAL SPACING, FULL WALL THROUGH ALL WYTHES.

REMOVE EXISTING SHEATHING AND PROVIDE NEW APA RATED SHEATHING. REMOVE EXISTING BEAM. PROVIDE NEW 2x6 STUD WALL w/ 2x6 STUDS AT 16" o.c. SHEATH A MINIMUM OF (1) SIDE WITH DRYWALL. (1) 3' DOOR OPENING W/ (2) 2x8 HEADER, (1) BEARING STUD AND (1) FULL HEIGHT STUD EACH END. NEW (2) 13/4"x71/4" LVL JOIST EACH SIDE OF OPENING, BEAR ON MASONRY WALL EACH END. NEW (2) 2x8 HEADER w/ LUS28-2 HANGERS EACH END. CUT EX JOISTS AND CONNECT TO HEADER w/ HU26

HANGERS.

 $\langle$  17  $\rangle$  2x4 WALL FOR CONDENSER PLATFORM SUPPORT.  $raket{18}$  provide New Lintels at New Exterior opening per typical detail. REMOVE EXISTING JOISTS AND PROVIDE NEW PT 2x12 @ 16"o.c.

INFILL EX OPENING WITH SOLID CMU OR HOLLOW CMU GROUTED SOLID, TO MATCH WALL THICKNESS ABOVE. GROUT/MORTAR TIGHT TO EX STONE FOUNDATION WALLS AND MASONRY ABOVE. REMOVE EX WOOD LINTELS. CUT EXISTING JOISTS BACK AND BEAR JOISTS ON NEW BEAM. REMOVED DEBREES FROM EXTERIOR WINDOW WELL OR STAIR, AND FILL WITH CDF. TOP WITH 4" CONCRETE SIDEWALK SLAB. REMOVE EXISTING DEPRESSED SIDEWALK SLAB AND INVESTIGATE SOIL BELOW. REMOVE LOOSE SOIL AND FILL

 $\langle$  22  $\rangle$  NEW 2x12 PT JOISTS AT 12"o.c. HANG WITH LUS210 HANGERS.  $\langle$  23 angle New cont 2x12 PT Ledger Bearing on Stone Wall.

WITH CDF. REPLACE SIDEWALK WITH NEW 4" CONCRETE SLAB.

 $\langle$  24  $\rangle$  NEW (2) 2x12 PT HEADER WITH HHUS210-2 HANGER AND BEAR ON WALL NEW 4x4 WOOD POST. MITER BEARING AT CORNER, 45 DEGREES AND BEAR ON POST. CONNECT TO CONCRETE WITH ABA44Z POST BASE TO EXISTING SLAB.

NEW (2) 2x12 HEADER.  $\langle$  27 angle NEW (2) 2x12 HEADER w/LUS210-2 EACH END. HANG EX JOISTS TO HDR w/ LU210R-18 HANGERS.

 $\langle$  28  $\rangle$  CONNECT EX JOIST TO MASONRY WALL w/ 5/8 Ø THREADED ROD AND HILTI HIT-HY 270, 4" EMBED, @16"o.c. STAGGERED. (2) @ EACH HEADER LOCATION.  $\langle$  29  $\rangle$  NEW (2) 2x12 P.T. BEAM. BEAR ON MASONRY EACH END.

FASTEN MASTER LEDGER LOK.

 $\langle$  29  $\rangle$  NEW (2) 2x10 BEAM. BEAR ON WALL EACH END.  $\langle$  29  $\rangle$  NEW (2) 1¾" x 9¼" LVL BEAM. BEAR ON WALL EACH END.

**PLAN NOTES:** 1. COORDINATE ALL DIMENSIONS, DOOR AND WINDOW LOCATIONS WITH ARCHITECTURAL DRAWINGS.

2. REMOVE DAMAGED OR SATURATED SHEATHING AND REPLACE WITH NEW APA RATED SHEATHING. REPLACE DAMAGED,

4. WOOD LINTELS AT OPENINGS IN MASONRY WALLS WHERE ROTTED SHALL BE REPLACED WITH A STEEL HSS4x4x3/8 (GALVANIZED) LINTEL AT EACH 4" WYTHE. ALTERNATIVELY USE A 4"x8" PRECAST CONCRETE LINTEL WITH #5 TOP AND

7. FIELD VERIFY ALL EXISTING CONDITIONS, NOTIFY ADVANTAGE GROUP ENGINEERS OF ANY DESCREPANCIES.

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SATURATED OR DETERIORATED JOISTS WITH NEW JOISTS OF THE SAME SIZE. 3. LUMBER AT 1ST FLOOR AND BASEMENT SHALL BE PRESSURE TREATED.

5. SEE STRUCTURAL ELEVATION DRAWINGS FOR EXTERIOR BRICK REPAIR AND TUCKPOINTING.

9. FASTEN SISTERS WITH 1/4"x3" SWS @ 24"o.c. STAGGERED UNLESS NOTED OTHERWISE.

BOTTOM EACH 4" WYTHE, OR AN L4x3-1/2x5/16" LINTEL LLV, EACH WYTHE.

6. REPAIR AND TUCKPOINT INTERIOR MASONRY PER THE GENERAL NOTES.

NEW WOOD POST AND BEAM

**NEW WOOD POST** 

AND BEAM

**TUCKPOINT 75%** 

**EXISTING** 

CMU WALL

THIS WALL

TUCKPOINT 50%-

**TUCKPOINT 50%** 

**TUCKPOINT 25%** THIS WALL **EXISTING** CMU WALL **NEW CONC** FOOTING TYP **NEW CONC** FOOTING TYP **TUCKPOINT 75%** THIS WALL

 $\bowtie$ 

 $\times$ 

NEW WOOD POST

AND BEAM

NEW WOOD POST 7'-0" AND BEAM 22 

1ST FLOOR FRAMING PLAN

SCALE 1/4" = 1'-0"

REPAIR EXISTING

STAIR AS NEEDED

**NEW CONC** 

FOOTING TYP

 $\bowtie$ 

**TUCKPOINT 15%** 

THIS WALL

**TUCKPOINT 80%** 

 $\boxtimes$ 

EXISTING CONCRETE SLAB

TUCKPOINT LOWER 2'-6" OF WALL

REPUBLIC

Design Team: KCJ / SJ Date: 04/28/2023

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Proj. No.: 22146.21

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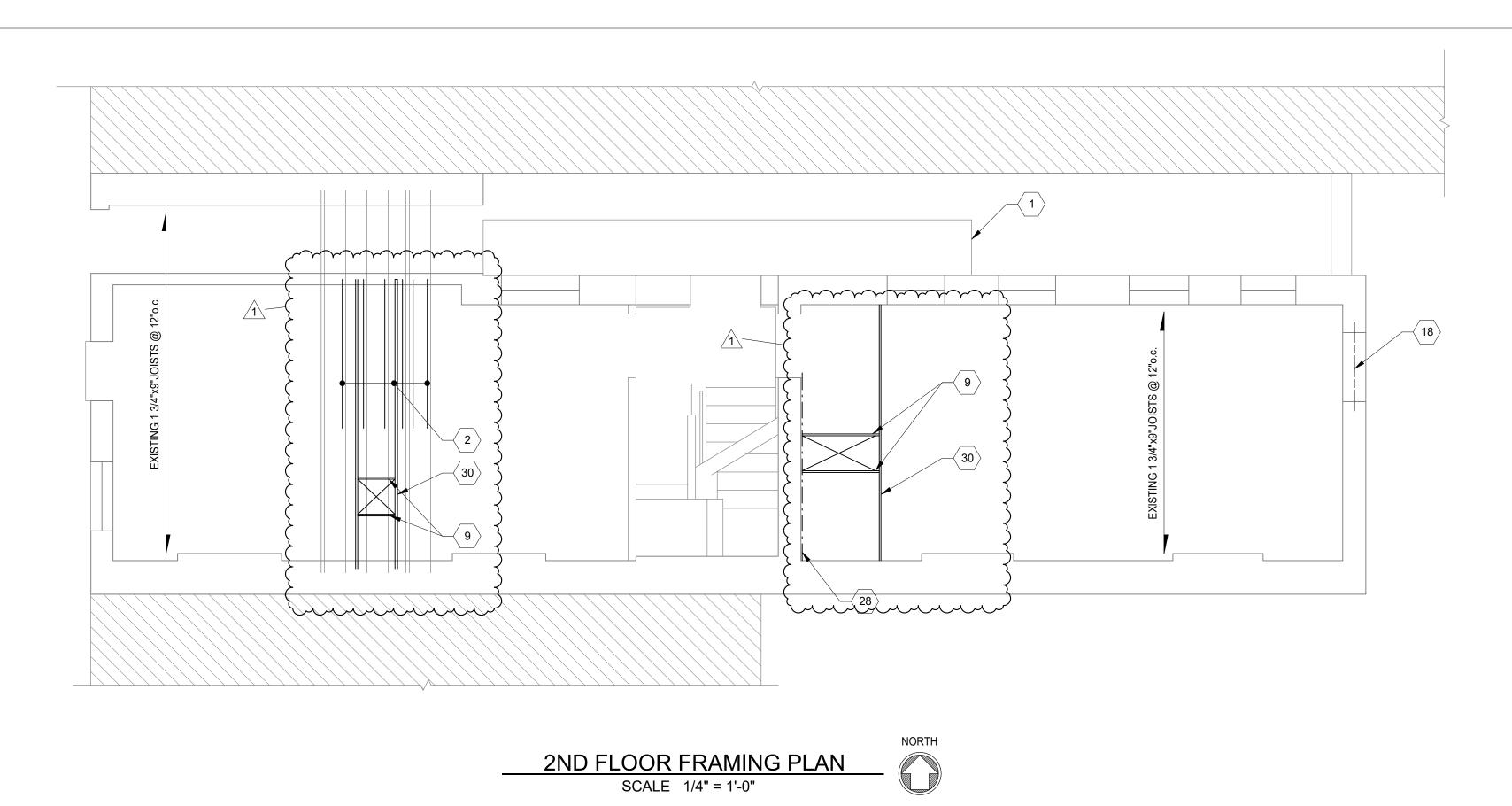
3RD FLOOR FRAMING PLAN

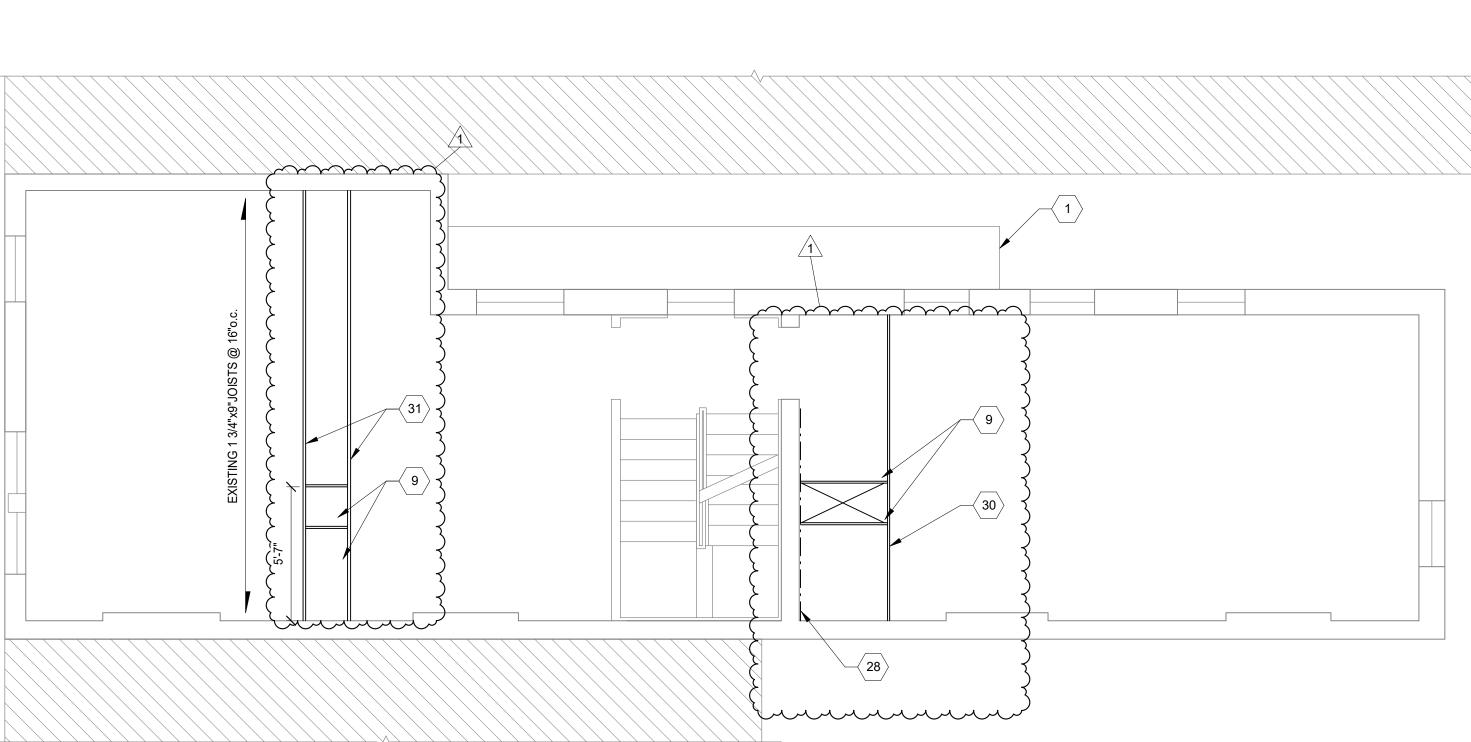
**PLAN NOTES:** 

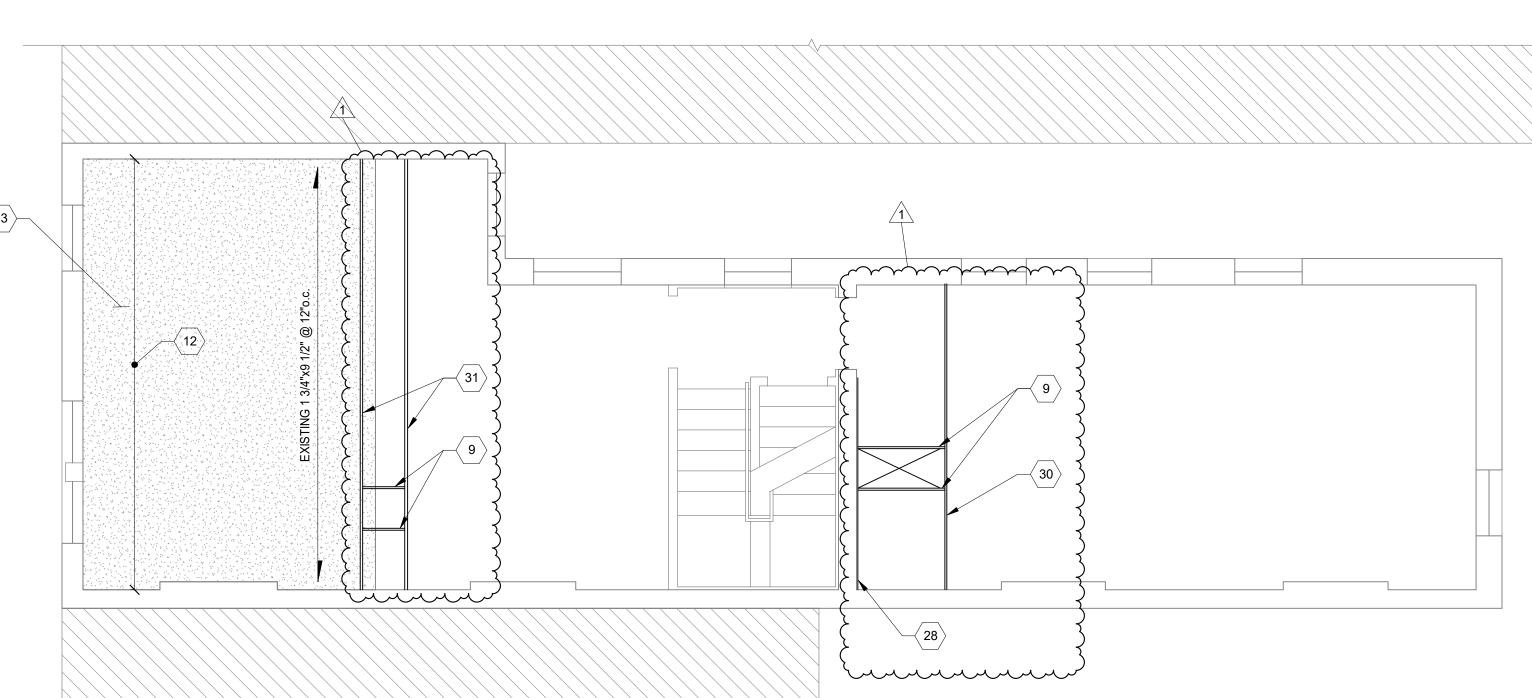
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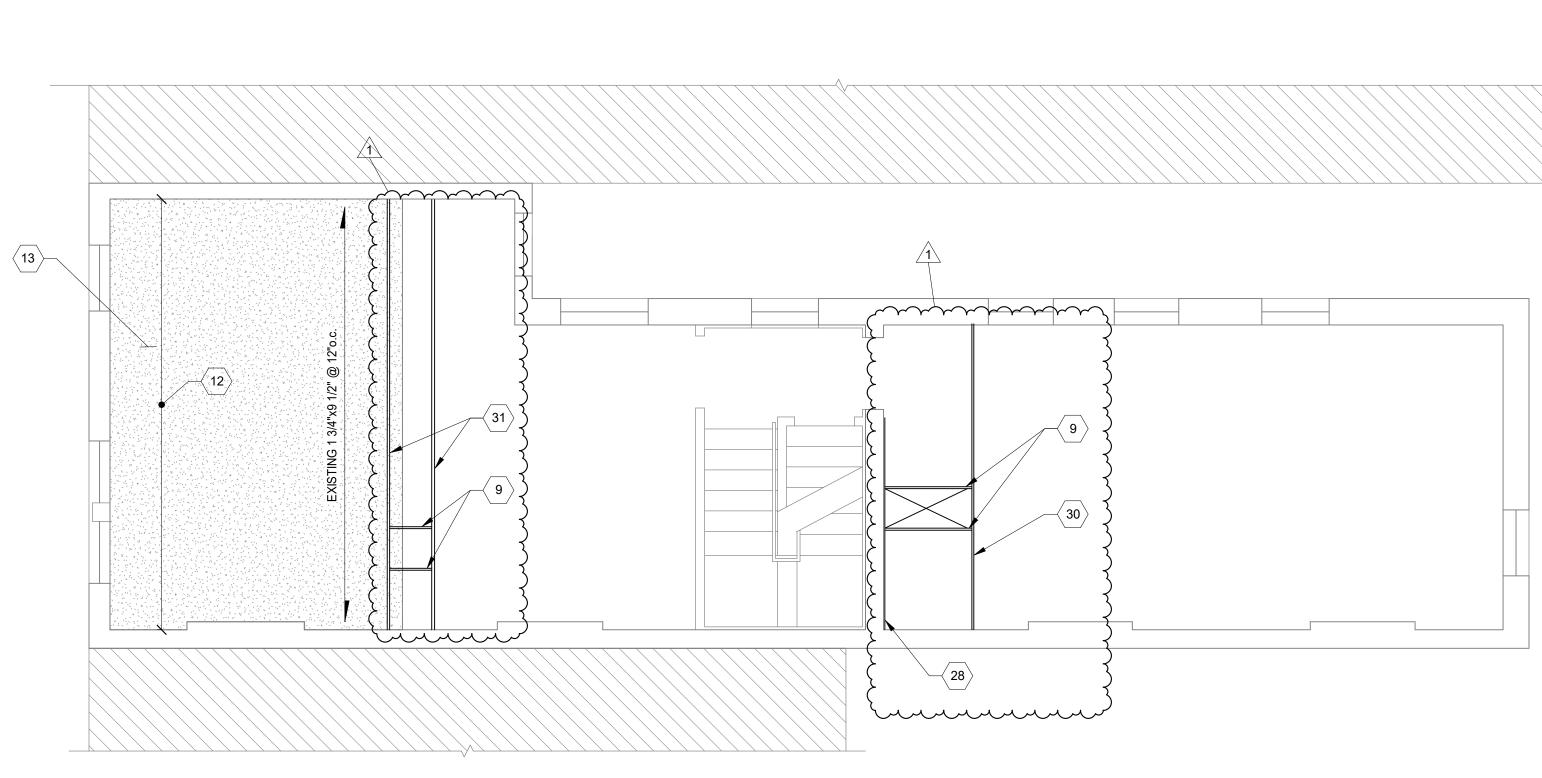
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Design Team: KCJ / SJ Date: 04/28/2023

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ATTIC FLOOR FRAMING PLAN SCALE 1/4" = 1'-0"

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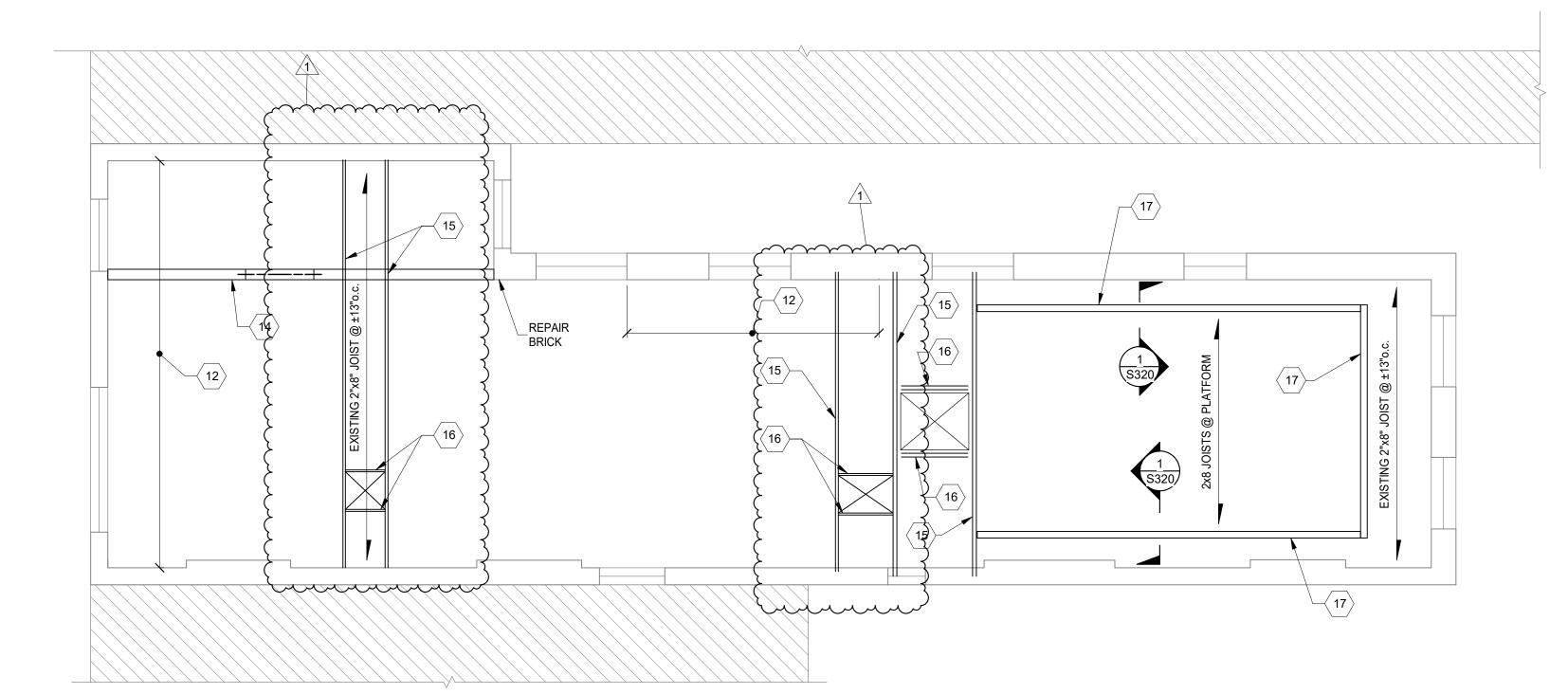
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ROOF FRAMING PLAN

Proj. No.: 22146.21



- 3. REMOVE CRACKED, DAMAGED OR SEVERLY SPALLED LINTELS AND REPLACE WITH RECLAIMED STONE OR CAST STONE LINTEL TO MATCH EXISTING.
- 4. ALL OBSERVATIONS WHERE MADE FROM THE GROUND LEVEL AND REPAIRS ARE SUBJECT TO CHANGE BASED ON CONTRACTOR HANDS ON INSPECTIONS. 5. AT CRACKS OR DAMAGED AREAS OF PARGE COAT, CONTRACTOR SHALL REMOVE ALL PARGE COAT THAT IS NOT SOUNDLY CONNECTED TO THE BRICK, AND REPLACE WITH NEW PARGE COAT. TUCKPOINT ANY DETERIORATED MORTAR JOINTS PRIOR TO APPLYING NEW PARGE COAT.

STRUCTURAL INFORMATION NOTED IS BASED ON ASSUMPTIONS OF CONDITION OF EXISTING FRAMING & FRAMING HIDDEN FROM VISUAL OBSERVATION. DETAILS OF PROPOSED FRAMING MODIFICATION/REPAIRS ARE SUBJECT TO CHANGE ONCE DEMOLITION IS UNDERWAY

\_\_ADJACENT BUILDING

\_\_ADJACENT BUILDING

WEST ELEVATION

SCALE 1/4" = 1'-0"

ADJACENT BUILDING

ADJACENT BUILDING

advantage STRUCTURAL ENGINEERS

Proj. No.: 22146.21

5. AT CRACKS OR DAMAGED AREAS OF PARGE COAT, CONTRACTOR SHALL REMOVE ALL PARGE COAT THAT IS NOT SOUNDLY CONNECTED TO THE BRICK, AND REPLACE WITH NEW PARGE COAT. TUCKPOINT ANY DETERIORATED MORTAR JOINTS PRIOR TO APPLYING NEW PARGE COAT.



**EAST ELEVATION** SCALE 1/4" = 1'-0"

# **PROJECT KEYNOTES:**

PROVIDE NEW LINTELS AT NEW EXTERIOR OPENING PER TYPICAL DETAIL.

# BRICK REPAIR LEGEND:

REPAIR BRICK

BRICK INFILL

TUCKPOINT TIE BRICK WYTHES WITH HELIFIX OR SPIRALOK TIES @ 16"o.c. EACH WAY. TUCKPOINT AS NEEDED.

**ELEVATION NOTES:** 1. TUCKPOINT JOINTS IN MASONRY WHERE MORTAR IS SOFT, DAMAGED OR MISSING.

SOUTH ELEVATION

SCALE 1/4" = 1'-0"

2. REMOVE AND REPLACE SPALLING OR SOFT BRICK THAT IS COMPROMISED MORE THAT 3/4" OF DEPTH.

REMOVE CRACKED, DAMAGED OR SEVERLY SPALLED LINTELS AND REPLACE WITH RECLAIMED STONE OR CAST STONE LINTEL TO MATCH EXISTING.

4. ALL OBSERVATIONS WHERE MADE FROM THE GROUND LEVEL AND REPAIRS ARE SUBJECT TO CHANGE BASED ON CONTRACTOR HANDS ON INSPECTIONS.

STRUCTURAL INFORMATION NOTED IS BASED ON ASSUMPTIONS OF CONDITION OF EXISTING FRAMING & FRAMING HIDDEN FROM VISUAL OBSERVATION. DETAILS OF PROPOSED FRAMING MODIFICATION/REPAIRS ARE SUBJECT TO CHANGE ONCE DEMOLITION IS UNDERWAY \_BLOCKING EACH SPACE

1'-0"

2'-0" MIN

SCALE 3/4" = 1'-0" \ S310

EXISTING SHEATING
OR NEW APA RATED
SHEATHING AS NEEDED

(3) 10d TOE NAILS EACH JOIST

NEW OR EXISTING JOIST

(3) PT 2x10's CONT
—STAGGER ALL SPLICES WITHIN 16"
OF SUPPORTS EACH SIDE OF POST

SEE PLAN

SEE PLAN

\_SIMPSON 'LPC6Z' POST CAP

SIMPSON ABA66Z POST BASE

w/5/8"Ø MIN ANCHOR BOLT w/6" EMBED

SEE PLAN

FOUNDATION FOR CONCRETE
—FOOTING SHALL BEAR ON
FIRM NATIVE SOIL

\_EXISTING CONC SLAB

∠PT 6x6 @ 7'-4" o.c. MAX

2 PER POST

EXISTING MULTIWYTHE— BRICK WALL

EXISTING STONE \_ FOUNDATION WALL

Design Team: KCJ / SJ Date: 04/28/2023

KYLE C. JENKINS

advantage STRUCTURAL ENGINEERS

1527 Madison Road Cincinnati, OH 45206 513 396 8900

www.advantageSE.com

Proj. No.: 22146.21

STRUCTURAL INFORMATION NOTED IS BASED ON ASSUMPTIONS OF CONDITION OF EXISTING FRAMING & FRAMING HIDDEN FROM VISUAL OBSERVATION. DETAILS OF PROPOSED FRAMING MODIFICATION/REPAIRS ARE SUBJECT TO CHANGE ONCE DEMOLITION IS UNDERWAY

1 1/2" STD PIPE RAIL w/ POSTS @ 5'-4"o.c. MAX

3/8"x5"x5" PLATE WITH

(3) 2x12 BLOCKING

-APA RATED SHEATHING

NEW 2x8 JOISTS @ 16"o.c.

EXISTING ROOF SHEATHING

-SIMPSON ML24Z EACH END

4" MIN PENETRATION INTO

(4) 3/8" GALVANIZED LAG SCREWS

EXISTING/NEW BRICK\_

MASONRY WALL

SCALE 3/4" = 1'-0"

\_\_COORD w/ ARCH GALVANIZED

-(3) 2x10 BLOCKING

SCALE 3/4" = 1'-0" \ S320

PIPE FLASHING-

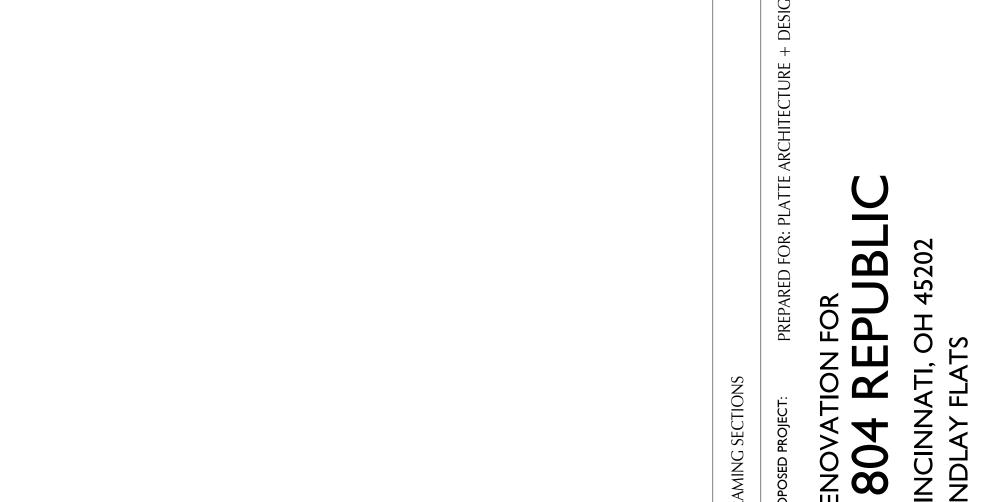
2x8 RIM BOARD-

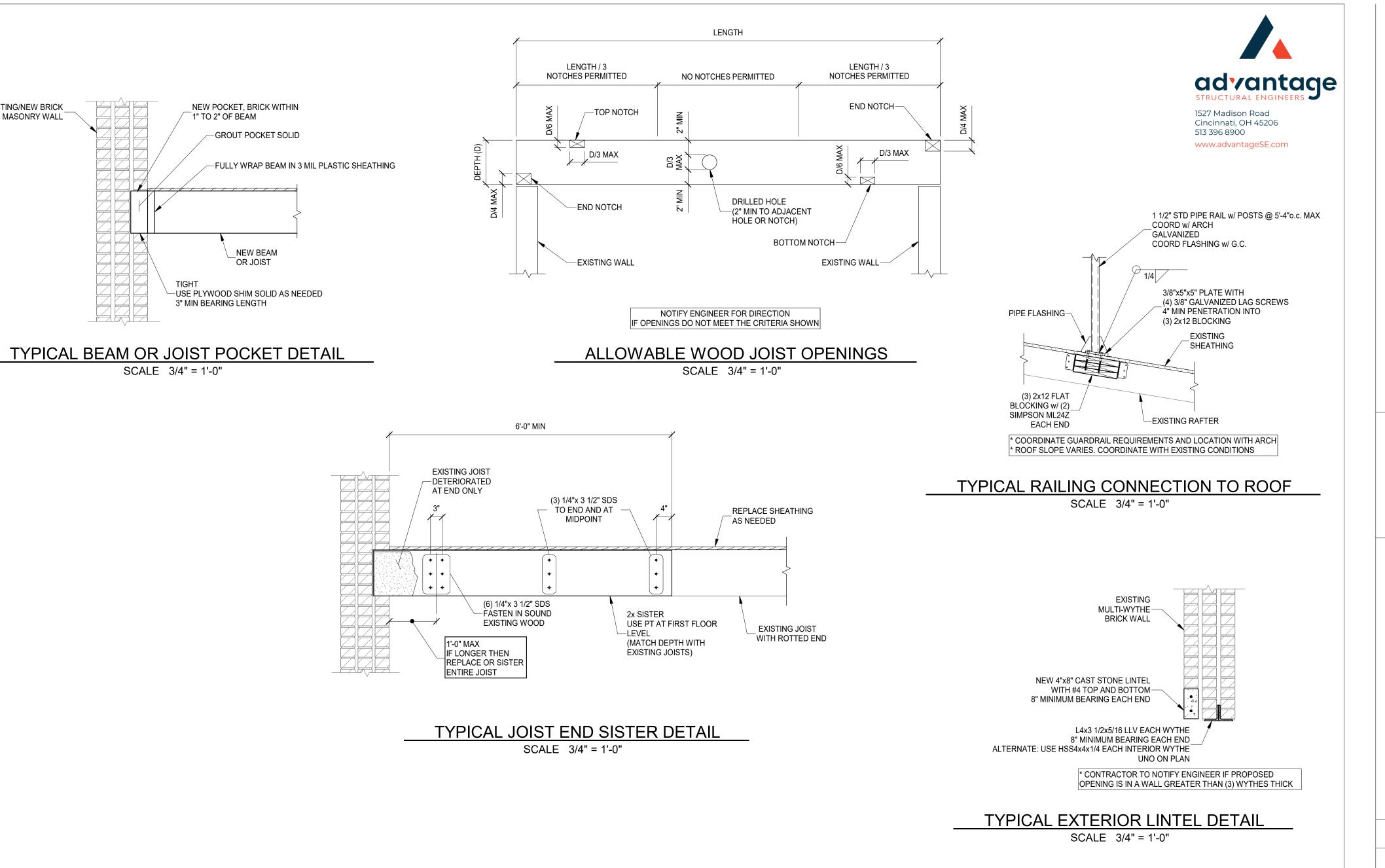
(2) 2x4 TOP PLATE-

2x4 WITH (2) 1/4"x4" SDS

EACH JOIST

COORD FLASHING w/ G.C.





KYLE C. JENKINS

Ш

Design Team: KCJ / SJ Date: 04/28/2023

Proj. No.: 22146.21

STRUCTURAL INFORMATION NOTED IS BASED ON ASSUMPTIONS OF CONDITION OF EXISTING FRAMING & FRAMING HIDDEN FROM VISUAL OBSERVATION. DETAILS OF PROPOSED FRAMING MODIFICATION/REPAIRS ARE SUBJECT TO CHANGE ONCE DEMOLITION IS UNDERWAY

EBS - RESIDENTIAL DIFFUSER, GRILLE, AND REGISTER SCHEDULE						
CALLOUT	DESCRIPTION	FACE SIZE (IN)	INLET SIZE (IN)	MODEL	NOTE 1	
DVH-4	28 GAUGE GALVANIZED STEEL. PRE-PAINTED DRYER VENT.	6x7	4Ø	FAMCO DWVP	BACKDRAFT DAMPER/ANGLED HOOD.	
EVH-4	28 GAUGE GALVANIZED STEEL. PRE-PAINTED EXHAUST VENT.	6x7	4Ø	FAMCO SDWVP	BACKDRAFT DAMPER/ANGLED HOOD. 1/4 INCH INSECT SCREEN.	
EVH-6	28 GAUGE GALVANIZED STEEL. PRE-PAINTED EXHAUST VENT.	8x9	6Ø	FAMCO SDWVP	BACKDRAFT DAMPER/ANGLED HOOD. 1/4 INCH INSECT SCREEN.	
FR-5	FLOOR REGISTER, ALL-STEEL CONSTRUCTION, 75% FREE AREA, TOE-OPERATED VALVE CONTROL	12x8	10x6	HART AND COOLEY/ 210	GOLDEN SAND ENAMEL FINISH	
FRG-1	RETURN AIR FILTER GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES	26x10	24x8	HART AND COOLEY/ 265	GOLDEN SAND ENAMEL FINISH	
IVH-4	28 GAUGE GALVANIZED STEEL. PRE-PAINTED INTAKE VENT.	6x7	4Ø	FAMCO SWVP	ANGLED HOOD.1/4 INCH INSECT SCREEN.	
IVH-10	28 GAUGE GALVANIZED STEEL. PRE-PAINTED INTAKE VENT.	13x13	10Ø	FAMCO SWVP	ANGLED HOOD.1/4 INCH INSECT SCREEN.	
RG-2	RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES	10x8	8x6	HART AND COOLEY/ 650	BRIGHT WHITE FINISH	
RR-1	STEEL RETURN GRILLE, 3/4" BLADE SPACING, 35 DEGREE DEFLECTION, BLADES PARALLEL TO LONG DIMENSION	8x8	6x6	TITUS 350RL	STEEL OPPOSED-BLADE DAMPER OPERABLE FROM THE FACE OF THE GRILLE.	
SDG1W-1	ALUMINUM SINGLE DEFLECTION SPIRAL	12x5	10x3	HART AND COOLEY/ SV	ADJUSTABLE DAMPER, BRIGHT WHITE	

FINISH

STORAGE/ UNOCCUPIED

001

2 <u>DE-1</u>

DIFFUSER

STORAGE/

NOCCUPIED

10x6

14x10

( 001 )

### 

- ROUTE 3/4" CONDENSATE DRAIN LINE TO FLOOR DRAIN IN BASEMENT. SLOPE PIPE A MINIMUM OF 1/8 " PER FOOT AWAY FROM UNIT.PROVIDE CONDENSATE PUMP AS REQUIRED.
- ROUTE LINE SET FROM OUTDOOR UNIT TO INDOOR AIR HANDLER. ALL PIPING SHALL BE CONCEALED IN SHAFTS. SIZE PER MANUFACTURES RECOMMENDATIONS.

RETURN DUCT UP TO FIRST FLOOR. SUPPLY DUCT UP TO FIRST FLOOR.

ALL BASEMENTS SHALL BE VENTILATED AS STORAGE/WAREHOUSE SPACE IN ACCORDANCE WITH TABLE 403.3 OF THE 2017 OHIO MECHANICAL CODE AT A RATE OF 0.06 CFM PER SQUARE FOOT. PROVIDE NEW FAN IN BASEMENT FOR CODE MINIMUM OSA LISTED ABOVE.

FRESH AIR INTAKE THRU WALL TO WALL CAP.

UNDERCUT DOOR 1" ABOVE FINISHED FLOOR FOR RETURN/MAKE UP AIR. ROUTE EXHAUST TO EXTERIOR WALL. INSTALL A LOUVERED VENT. SEE ARCHITECT BEFORE PENETRATION FOR EXACT LOCATION AND COLOR COORDINATION. ALL EXHAUST SHALL MEET THE FOLLOWING REQUIREMENTS.

8.1. 3' FROM PROPERTY LINE.

8.2. 3' FROM OPERABLE OPENINGS INTO BUILDING.

8.3 10' FROM MECHANICAL AIR INTAKE 9. DUCT EXHAUST UP THROUGH ROOF WITH RAIN-PROOF CAP.

10. MECHANICAL CONTRACTOR TO PROVIDE AND INSTALL LINE-SET COVERS FOR ALL EXPOSED REFRIGERANT PIPING AND CONDENSATE PIPING. 11. ROUTE EXHAUST DUCT UP IN JOIST POCKET. RATING SHALL BE MAINTAINED AROUND JOIST TO PREVENT FIRE DAMPER. REFER TO ARCHITECTURAL PLANS

12. MECHANICAL CONTRACTOR TO COORDINATE DUCT ROUTING AND LOCATIONS WITH PLUMBING CONTRACTOR.

#### MECHANICAL SCOPE OF WORK (PLAN REVIEW ONLY)

MECHANICAL SCOPE OF WORK IS TO PROVIDE NEW HVAC EQUIPMENT TO RESIDENTIAL AND COMMERCIAL SPACES. MECHANICAL CONTRACTOR SHALL REFERENCE ALL DISCIPLINE DRAWING, ETC. TO REVEAL FULL SCOPE OF WORK. REFER TO MECHANICAL SPECIFICATIONS FOR ADDITIONAL DETAILS.

# HVAC DESIGN CONDITIONS

COOLING HEATING COOLING HEATING OUTDOOR: 0 DB OUTDOOR: 93 DB / 75 WB OUTDOOR: 0 DB INDOOR: 70 INDOOR: 75 INDOOR: 72 INDOOR: 70

#### **GENERAL NOTES**

DIFFUSER LOCATIONS.

- A. FOR FULL SCHEDULES, SPECIFICATIONS, AND COMPLETE LISTING SEE DETAIL
- B. COORDINATE ROUTING OF ALL WORK WITH OTHER TRADES.
- ALL MECHANICAL EQUIPMENT. D. INSTALL ALL EQUIPMENT PER MANUFACTURER'S REQUIREMENTS. MAINTAIN ALL

COORDINATE WITH ELECTRICAL CONTRACTOR FOR POWER CONNECTIONS TO

- CODE RECOMMENDED CLEARANCES FOR ACCESS AND MAINTENANCE. E. REFER TO ARCHITECTURAL PLANS FOR DIMENSIONS, AND FINAL CEILING
- F. PROVIDE BACKDRAFT DAMPERS FOR ALL EXHAUST SYSTEMS AND EITHER LOUVER, BRICK VENT, OR CAPS AT ALL EXTERIOR BUILDING PENETRATIONS.
- G. IN DWELLING UNITS, ROUTE ALL SUPPLY, RETURN, AND EXHAUST DUCTWORK ABOVE DROP CEILING OR IN BULKHEADS. COORDINATE ROUTING WITH ARCHITECTURAL DRAWINGS. DUCTS SHALL BE RUN BELOW THE RATED
- H. ROUTE ALL AIR CONDITIONER CONDENSATE TO NEARBY FLOOR DRAIN. PROVIDE MINIMUM SLOPE OF 1/8 " PER FOOT. SIZE CONDENSATE PER SECTION 307.2.2 OF THE OHIO MECHANICAL CODE.
- MOUNT THERMOSTATS 60" ABOVE FINISHED FLOOR. MOUNT THERMOSTATS IN ADA UNITS 40" ABOVE FINISHED FLOOR.

. ANY EQUIPMENT THAT IS SUBSTITUTED SHALL FIT IN THE SPACE PROVIDED WITH ADEQUATE ROOM FOR SERVICING, INCLUDING SUBSTITUTE EQUIPMENT NAMED IN THE SPECIFICATIONS. SUBMIT A 1/4" SCALE DRAWING OF ALL EQUIPMENT SUBSTITUTED FOR APPROVAL PRIOR TO INSTALLATION, INCLUDING, BUT NOT LIMITED TO, STRUCTURAL AND ARCHITECTURAL IMPACT, CLEARANCE REQUIREMENTS AND UTILITY REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR TO COORDINATE ALL NEW ELECTRICAL AND PLUMBING REQUIREMENTS WITH THE ELECTRICAL AND PLUMBING CONTRACTORS.

K. MATERIALS WITHIN PLENUMS SHALL BE NONCOMBUSTIBLE OR SHALL BE LISTED AND LABLED AS HAVING A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND SMOKE-DEVELOPED INDEX OF NOT MORE THAN 50 WHEN TESTED IN ACCORDANCE WITH ASTM E 84 OR UL 723.

. THE FOLLOWING GUIDELINES MUST BE FOLLOWED FOR THE DOMESTIC DRYER EXHAUST SYSTEMS.

J.A. EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH AND BE CONSTRUCTED OF METAL A MINIMUM OF 28 GAGE.

J.B. DUCT SIZE SHALL BE 4 INCHES NOMINAL DIAMETER. J.C. DUCTS SHALL BE SUPPORTED AT 4-FOOT INTERVALS AND SECURED IN

PLACE. THE INSERT END OF THE DUCT SHALL EXTEND INTO THE ADJOINING DUCT OR FITTING IN THE DIRECTION OF AIRFLOW.

J.D. DUCTS SHALL NOT BE JOINED WITH SCREWS OF SIMILAR FASTENERS THAT PROTRUDE MORE THAN \( \frac{1}{8} \) INCH INTO THE INSIDE OF THE DUCT.

- J.E. PROTECTIVE SHIELD PLATES SHALL BE PLACED WHERE NAILS OR SCREWS FROM FINISH OR OTHER WORK ARE LIKELY TO PENETRATE THE CLOTHES DRYER EXHAUST DUCT. SHIELD PLATES SHALL BE PLACED ON THE FINISHED FACE OF ALL FRAMING MEMBERS WHERE THERE IS LESS THAN 1-1/4 INCHES BETWEEN THE DUCT AND THE FINISHED FACE OF THE FRAMING MEMBER. SHIELD PLATES SHALL BE CONSTRUCTED OF STEEL, HAVE A THICKNESS OF 0.062 INCHES, AND EXTEND NOT LESS THAN 2 INCHES ABOVE SOLE PLATES AND BELOW TOP PLATES.
- J.F. TRANSITION DUCTS USED TO CONNECT THE DRYER TO THE EXHAUST DUCT SYSTEM SHALL BE A SINGLE LENGTH THAT IS LISTED AND LABELED IN ACCORDANCE WITH UL 2158A. TRANSITION DUCTS SHALL BE NOT GREATER THAN 8 FEET IN LENGTH AND SHALL NOT BE CONCEALED WITHIN CONSTRUCTION.
- J.G. PROVIDE DRYER WALL BOX EQUAL TO DUNDAS JAFINE MODEL DRB4XZW NEAR DRYER.
- J.H. PROVIDE A PERMANENT LABEL OR TAG (EQUAL TO DRYERPLACARD) INDICATING ACTUAL EQUIVALENT LENGTH OF EXHAUST DUCT. LENGTH SHALL INCLUDE 5' FOR 90 . LABEL/TAG MUST BE WITHIN 6' OF DRYER EXHAUST CONNECTION, DRYER EXHAUST DUCT FITTING EQUIVALENT LENGTH SHALL BE 2'-6" FOR A RADIUS MITERED 45-DEGREE ELBOW AND 5 FEET FOR A RADIUS MITERED 90-DEGREE ELBOW.

SYMBOLS LI	SYMBOLS LEGEND — HVAC				
Ð	THERMOSTAT				
$\boxtimes$	CEILING DIFFUSER				
→	SIDE WALL GRILL				
-	RETURN WALL GRILL				
<b>←</b> \_	AIR FLOW DIRECTION				
14x10	DUCTWORK				
	TYPICAL SUPPLY DUCT DN				
	TYPICAL RETURN DUCT DN				
N N	TYPICAL EXHAUST DUCT				
ردرط	TURNING VANES				
	FLEXIBLE DUCT, 8'-0" LONG MAX.				
<u>a</u>	TYPICAL ROUND DUCT DN				
	ROUND DUCT UP				
	MVD MANUAL VOLUME DAMPER				
	DROPPED CEILING/SOFFIT				



SEVERT

202 **\*** 

Progress Dates 05/05/2023 BID P/E/FP 08/30/2024 BID SET 2

E-77755

Checked By: SSS

Drawn by: RPG



TEAMWORK • COLLABORATION SHARED SUCCESS 515 Monmouth Street, Suite 204 Newport, KY 41071 (859) 261-0585 MEP Consulting Services, Inc. in OH Copyright © 2015

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UBL

Job No: 22042

FAMCO SWVP

TITUS 350RL

HART AND COOLEY/ 650

HART AND COOLEY/ SV

10Ø

10x3

100

13x13

10x8

IVH-10

SDG1W-1

<u>IVH-10</u> ↓ **6** 

LOBBY/

LAUNDRY ROOM

28 GAUGE GALVANIZED STEEL.

RETURN AIR GRILLE, ALL-STEEL

CONSTRUCTION, 1/3" SPACED FINS AT

STEEL RETURN GRILLE, 3/4" BLADE

SPACING, 35 DEGREE DEFLECTION,

BLADES PARALLEL TO LONG DIMENSION

ALUMINUM SINGLE DEFLECTION SPIRAL | 12x5

PRE-PAINTED INTAKE VENT.

20 DEGREES

DIFFUSER

#### 

- 1. ROUTE 3/4" CONDENSATE DRAIN LINE TO FLOOR DRAIN IN BASEMENT. SLOPE PIPE A MINIMUM OF 1/8" PER FOOT AWAY FROM UNIT.PROVIDE CONDENSATE PUMP AS REQUIRED.
- 2. ROUTE LINE SET FROM OUTDOOR UNIT TO INDOOR AIR HANDLER. ALL PIPING SHALL BE CONCEALED IN SHAFTS. SIZE PER MANUFACTURES RECOMMENDATIONS.
- RETURN DUCT UP TO FIRST FLOOR.
  SUPPLY DUCT UP TO FIRST FLOOR.

ANGLED HOOD.1/4 INCH INSECT

STEEL OPPOSED-BLADE DAMPER

OPERABLE FROM THE FACE OF THE

ADJUSTABLE DAMPER, BRIGHT WHITE

**BRIGHT WHITE FINISH** 

SCREEN.

GRILLE.

LOFT

**APARTMENT** 

102

IDU-1.5

FD

- ALL BASEMENTS SHALL BE VENTILATED AS STORAGE/WAREHOUSE SPACE IN ACCORDANCE WITH TABLE 403.3 OF THE 2017 OHIO MECHANICAL CODE AT A RATE OF 0.06 CFM PER SQUARE FOOT. PROVIDE NEW FAN IN BASEMENT FOR CODE MINIMUM OSA LISTED ABOVE.
   FRESH AIR INTAKE THRU WALL TO WALL CAP.
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		OUTDOOR: 93 DB / 75 WB	OUTDOOR: 0 DB	OUTDOOR: 93 DB / 75 WB	OUTDOOR:	

#### **GENERAL NOTES**

- A. FOR FULL SCHEDULES, SPECIFICATIONS, AND COMPLETE LISTING SEE DETAIL SHEETS.
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- C. COORDINATE WITH ELECTRICAL CONTRACTOR FOR POWER CONNECTIONS TO ALL MECHANICAL EQUIPMENT.
- D. INSTALL ALL EQUIPMENT PER MANUFACTURER'S REQUIREMENTS. MAINTAIN ALL CODE RECOMMENDED CLEARANCES FOR ACCESS AND MAINTENANCE.
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- PROTRUDE MORE THAN \$\frac{1}{8}\$ INCH INTO THE INSIDE OF THE DUCT.

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  INDICATING ACTUAL EQUIVALENT LENGTH OF EXHAUST DUCT. LENGTH
  SHALL INCLUDE 5' FOR 90 . LABEL/TAG MUST BE WITHIN 6' OF DRYER
  EXHAUST CONNECTION. DRYER EXHAUST DUCT FITTING EQUIVALENT
  LENGTH SHALL BE 2'-6" FOR A RADIUS MITERED 45-DEGREE ELBOW AND 5
  FEET FOR A RADIUS MITERED 90-DEGREE ELBOW.

SYMBOLS LE	EGEND — HVAC
T	THERMOSTAT
	CEILING DIFFUSER
→	SIDE WALL GRILL
- 4	RETURN WALL GRILL
<b>«</b> \-	AIR FLOW DIRECTION
14x10	DUCTWORK
	TYPICAL SUPPLY DUCT DN
	TYPICAL RETURN DUCT DN
N N	TYPICAL EXHAUST DUCT
(cc	TURNING VANES
	FLEXIBLE DUCT, 8'-0" LONG MAX.
<u> </u>	TYPICAL ROUND DUCT DN
	ROUND DUCT UP
	MVD MANUAL VOLUME DAMPER
	DROPPED CEILING/SOFFIT



PLAT Tarchitecture + de

SCOT SEVERT STILKEY E-77755 GISTERE

202 **W** 

Progress Dates

05/05/2023 BID P/E/FP
08/30/2024 BID SET 2

Revisions

Checked By: SSS

Drawn by: RPG



TEAMWORK • COLLABORATION
SHARED SUCCESS
515 Monmouth Street, Suite 204
Newport, KY 41071 (859) 261-0585
MEP Consulting Services, Inc. in OH

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ION FOR REPUBLIC ST.

RENOVAT **1804** 

Job No: 22042 8

M1.01

EBS - RESIDENTIAL DIFFUSER, GRILLE, AND REGISTER SCHEDULE						
CALLOUT	DESCRIPTION	FACE SIZE (IN)	INLET SIZE (IN)	MODEL	NOTE 1	
DVH-4	28 GAUGE GALVANIZED STEEL. PRE-PAINTED DRYER VENT.	6x7	4Ø	FAMCO DWVP	BACKDRAFT DAMPER/ANGLED HOOD.	
EVH-4	28 GAUGE GALVANIZED STEEL. PRE-PAINTED EXHAUST VENT.	6x7	4Ø	FAMCO SDWVP	BACKDRAFT DAMPER/ANGLED HOOD. 1/4 INCH INSECT SCREEN.	
EVH-6	28 GAUGE GALVANIZED STEEL. PRE-PAINTED EXHAUST VENT.	8x9	6Ø	FAMCO SDWVP	BACKDRAFT DAMPER/ANGLED HOOD. 1/4 INCH INSECT SCREEN.	
FR-5	FLOOR REGISTER, ALL-STEEL CONSTRUCTION, 75% FREE AREA, TOE-OPERATED VALVE CONTROL	12x8	10x6	HART AND COOLEY/ 210	GOLDEN SAND ENAMEL FINISH	
FRG-1	RETURN AIR FILTER GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES	26x10	24x8	HART AND COOLEY/ 265	GOLDEN SAND ENAMEL FINISH	
IVH-4	28 GAUGE GALVANIZED STEEL. PRE-PAINTED INTAKE VENT.	6x7	4Ø	FAMCO SWVP	ANGLED HOOD.1/4 INCH INSECT SCREEN.	
IVH-10	28 GAUGE GALVANIZED STEEL. PRE-PAINTED INTAKE VENT.	13x13	10Ø	FAMCO SWVP	ANGLED HOOD.1/4 INCH INSECT SCREEN.	
RG-2	RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES	10x8	8x6	HART AND COOLEY/ 650	BRIGHT WHITE FINISH	
RR-1	STEEL RETURN GRILLE, 3/4" BLADE SPACING, 35 DEGREE DEFLECTION, BLADES PARALLEL TO LONG DIMENSION	8x8	6x6	TITUS 350RL	STEEL OPPOSED-BLADE DAMPER OPERABLE FROM THE FACE OF THE GRILLE.	

HART AND COOLEY/ SV

STAIR 200

ADJUSTABLE DAMPER, BRIGHT WHITE

STUDIO APARTMENT

202

IDU-1.5

FINISH

10x3

ALUMINUM SINGLE DEFLECTION SPIRAL | 12x5

DIFFUSER

**APARTMENT** 

201

#### 

ROUTE 3/4" CONDENSATE DRAIN LINE TO FLOOR DRAIN IN BASEMENT. SLOPE PIPE A MINIMUM OF 1/8 " PER FOOT AWAY FROM UNIT.PROVIDE CONDENSATE PUMP AS REQUIRED.

ROUTE LINE SET FROM OUTDOOR UNIT TO INDOOR AIR HANDLER. ALL PIPING SHALL BE CONCEALED IN SHAFTS. SIZE PER MANUFACTURES RECOMMENDATIONS.

RETURN DUCT UP TO FIRST FLOOR. SUPPLY DUCT UP TO FIRST FLOOR.

ALL BASEMENTS SHALL BE VENTILATED AS STORAGE/WAREHOUSE SPACE IN ACCORDANCE WITH TABLE 403.3 OF THE 2017 OHIO MECHANICAL CODE AT A RATE OF 0.06 CFM PER SQUARE FOOT. PROVIDE NEW FAN IN BASEMENT FOR CODE MINIMUM OSA LISTED ABOVE. FRESH AIR INTAKE THRU WALL TO WALL CAP.

UNDERCUT DOOR 1" ABOVE FINISHED FLOOR FOR RETURN/MAKE UP AIR.

ROUTE EXHAUST TO EXTERIOR WALL. INSTALL A LOUVERED VENT. SEE ARCHITECT BEFORE PENETRATION FOR EXACT LOCATION AND COLOR COORDINATION. ALL EXHAUST SHALL MEET THE FOLLOWING REQUIREMENTS.

8.1. 3' FROM PROPERTY LINE.

8.2. 3' FROM OPERABLE OPENINGS INTO BUILDING. 8.3 10' FROM MECHANICAL AIR INTAKE

9. DUCT EXHAUST UP THROUGH ROOF WITH RAIN-PROOF CAP. 10. MECHANICAL CONTRACTOR TO PROVIDE AND INSTALL LINE-SET COVERS FOR ALL EXPOSED REFRIGERANT PIPING AND CONDENSATE PIPING. 11. ROUTE EXHAUST DUCT UP IN JOIST POCKET. RATING SHALL BE MAINTAINED

AROUND JOIST TO PREVENT FIRE DAMPER. REFER TO ARCHITECTURAL PLANS 12. MECHANICAL CONTRACTOR TO COORDINATE DUCT ROUTING AND LOCATIONS WITH PLUMBING CONTRACTOR.

#### MECHANICAL SCOPE OF WORK (PLAN REVIEW ONLY)

MECHANICAL SCOPE OF WORK IS TO PROVIDE NEW HVAC EQUIPMENT TO RESIDENTIAL AND COMMERCIAL SPACES. MECHANICAL CONTRACTOR SHALL REFERENCE ALL DISCIPLINE DRAWING, ETC. TO REVEAL FULL SCOPE OF WORK. REFER TO MECHANICAL SPECIFICATIONS FOR ADDITIONAL DETAILS.

## HVAC DESIGN CONDITIONS

COOLINGHEATINGCOOLINGHEATINGOUTDOOR: 93 DB / 75 WBOUTDOOR: 0 DBOUTDOOR: 93 DB / 75 WBOUTDOOR: 0 DB INDOOR: 70 INDOOR: 75 INDOOR: 72 INDOOR: 70

#### **GENERAL NOTES**

DIFFUSER LOCATIONS.

A. FOR FULL SCHEDULES, SPECIFICATIONS, AND COMPLETE LISTING SEE DETAIL

B. COORDINATE ROUTING OF ALL WORK WITH OTHER TRADES.

C. COORDINATE WITH ELECTRICAL CONTRACTOR FOR POWER CONNECTIONS TO ALL MECHANICAL EQUIPMENT.

D. INSTALL ALL EQUIPMENT PER MANUFACTURER'S REQUIREMENTS. MAINTAIN ALL CODE RECOMMENDED CLEARANCES FOR ACCESS AND MAINTENANCE. E. REFER TO ARCHITECTURAL PLANS FOR DIMENSIONS, AND FINAL CEILING

F. PROVIDE BACKDRAFT DAMPERS FOR ALL EXHAUST SYSTEMS AND EITHER LOUVER, BRICK VENT, OR CAPS AT ALL EXTERIOR BUILDING PENETRATIONS.

G. IN DWELLING UNITS, ROUTE ALL SUPPLY, RETURN, AND EXHAUST DUCTWORK ABOVE DROP CEILING OR IN BULKHEADS. COORDINATE ROUTING WITH ARCHITECTURAL DRAWINGS. DUCTS SHALL BE RUN BELOW THE RATED

H. ROUTE ALL AIR CONDITIONER CONDENSATE TO NEARBY FLOOR DRAIN. PROVIDE MINIMUM SLOPE OF 1/8 " PER FOOT. SIZE CONDENSATE PER SECTION 307.2.2 OF THE OHIO MECHANICAL CODE.

MOUNT THERMOSTATS 60" ABOVE FINISHED FLOOR. MOUNT THERMOSTATS IN ADA UNITS 40" ABOVE FINISHED FLOOR.

. ANY EQUIPMENT THAT IS SUBSTITUTED SHALL FIT IN THE SPACE PROVIDED WITH ADEQUATE ROOM FOR SERVICING, INCLUDING SUBSTITUTE EQUIPMENT NAMED IN THE SPECIFICATIONS. SUBMIT A 1/4" SCALE DRAWING OF ALL EQUIPMENT SUBSTITUTED FOR APPROVAL PRIOR TO INSTALLATION, INCLUDING, BUT NOT LIMITED TO, STRUCTURAL AND ARCHITECTURAL IMPACT, CLEARANCE REQUIREMENTS AND UTILITY REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR TO COORDINATE ALL NEW ELECTRICAL AND PLUMBING REQUIREMENTS WITH THE ELECTRICAL AND PLUMBING CONTRACTORS.

K. MATERIALS WITHIN PLENUMS SHALL BE NONCOMBUSTIBLE OR SHALL BE LISTED AND LABLED AS HAVING A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND SMOKE-DEVELOPED INDEX OF NOT MORE THAN 50 WHEN TESTED IN ACCORDANCE WITH ASTM E 84 OR UL 723.

. THE FOLLOWING GUIDELINES MUST BE FOLLOWED FOR THE DOMESTIC DRYER EXHAUST SYSTEMS.

J.A. EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH AND BE CONSTRUCTED OF METAL A MINIMUM OF 28 GAGE.

J.B. DUCT SIZE SHALL BE 4 INCHES NOMINAL DIAMETER. J.C. DUCTS SHALL BE SUPPORTED AT 4-FOOT INTERVALS AND SECURED IN PLACE. THE INSERT END OF THE DUCT SHALL EXTEND INTO THE ADJOINING

DUCT OR FITTING IN THE DIRECTION OF AIRFLOW. J.D. DUCTS SHALL NOT BE JOINED WITH SCREWS OF SIMILAR FASTENERS THAT

PROTRUDE MORE THAN \$\frac{1}{8}\$ INCH INTO THE INSIDE OF THE DUCT. J.E. PROTECTIVE SHIELD PLATES SHALL BE PLACED WHERE NAILS OR SCREWS FROM FINISH OR OTHER WORK ARE LIKELY TO PENETRATE THE CLOTHES DRYER EXHAUST DUCT. SHIELD PLATES SHALL BE PLACED ON THE FINISHED FACE OF ALL FRAMING MEMBERS WHERE THERE IS LESS THAN 1-1/4 INCHES BETWEEN THE DUCT AND THE FINISHED FACE OF THE FRAMING MEMBER. SHIELD PLATES SHALL BE CONSTRUCTED OF STEEL, HAVE A THICKNESS OF

AND BELOW TOP PLATES. J.F. TRANSITION DUCTS USED TO CONNECT THE DRYER TO THE EXHAUST DUCT SYSTEM SHALL BE A SINGLE LENGTH THAT IS LISTED AND LABELED IN ACCORDANCE WITH UL 2158A. TRANSITION DUCTS SHALL BE NOT GREATER THAN 8 FEET IN LENGTH AND SHALL NOT BE CONCEALED WITHIN CONSTRUCTION.

0.062 INCHES, AND EXTEND NOT LESS THAN 2 INCHES ABOVE SOLE PLATES

J.G. PROVIDE DRYER WALL BOX EQUAL TO DUNDAS JAFINE MODEL DRB4XZW

NEAR DRYER. J.H. PROVIDE A PERMANENT LABEL OR TAG (EQUAL TO DRYERPLACARD) INDICATING ACTUAL EQUIVALENT LENGTH OF EXHAUST DUCT. LENGTH SHALL INCLUDE 5' FOR 90 . LABEL/TAG MUST BE WITHIN 6' OF DRYER EXHAUST CONNECTION, DRYER EXHAUST DUCT FITTING EQUIVALENT LENGTH SHALL BE 2'-6" FOR A RADIUS MITERED 45-DEGREE ELBOW AND 5 FEET FOR A RADIUS MITERED 90-DEGREE ELBOW.

SYMBOLS LI	SYMBOLS LEGEND — HVAC					
T	THERMOSTAT					
$\boxtimes$	CEILING DIFFUSER					
->	SIDE WALL GRILL					
-\-	RETURN WALL GRILL					
<b>←\</b> —	AIR FLOW DIRECTION					
14x10	DUCTWORK					
$\boxtimes$	TYPICAL SUPPLY DUCT DN					
	TYPICAL RETURN DUCT DN					
$\square$	TYPICAL EXHAUST DUCT					
ررد	TURNING VANES					
$\boxtimes \sim $	FLEXIBLE DUCT, 8'-0" LONG MAX.					
0	TYPICAL ROUND DUCT DN					
	ROUND DUCT UP					
7	MVD MANUAL VOLUME DAMPER					
	DROPPED CEILING/SOFFIT					



SEVERT E-77755

**Progress Dates** 05/05/2023 BID P/E/FP 08/30/2024 BID SET 2

Checked By: SSS

Drawn by: RPG



TEAMWORK • COLLABORATION SHARED SUCCESS 515 Monmouth Street, Suite 204 Newport, KY 41071 (859) 261-0585

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WITHOUT WRITTEN CONSENT OF ENGINEERED BUILDING SYSTEMS, INC.

UBL

8

EBS - RESIDENTIAL DIFFUSER, GRILLE, AND REGISTER SCHEDULE						
CALLOUT	DESCRIPTION	FACE SIZE (IN)	INLET SIZE (IN)	MODEL	NOTE 1	
DVH-4	28 GAUGE GALVANIZED STEEL. PRE-PAINTED DRYER VENT.	6x7	4Ø	FAMCO DWVP	BACKDRAFT DAMPER/ANGLED HOOD.	
EVH-4	28 GAUGE GALVANIZED STEEL. PRE-PAINTED EXHAUST VENT.	6x7	4Ø	FAMCO SDWVP	BACKDRAFT DAMPER/ANGLED HOOD. 1/4 INCH INSECT SCREEN.	
EVH-6	28 GAUGE GALVANIZED STEEL. PRE-PAINTED EXHAUST VENT.	8x9	6Ø	FAMCO SDWVP	BACKDRAFT DAMPER/ANGLED HOOD. 1/4 INCH INSECT SCREEN.	
FR-5	FLOOR REGISTER, ALL-STEEL CONSTRUCTION, 75% FREE AREA, TOE-OPERATED VALVE CONTROL	12x8	10x6	HART AND COOLEY/ 210	GOLDEN SAND ENAMEL FINISH	
FRG-1	RETURN AIR FILTER GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES	26x10	24x8	HART AND COOLEY/ 265	GOLDEN SAND ENAMEL FINISH	
IVH-4	28 GAUGE GALVANIZED STEEL. PRE-PAINTED INTAKE VENT.	6x7	4Ø	FAMCO SWVP	ANGLED HOOD.1/4 INCH INSECT SCREEN.	
IVH-10	28 GAUGE GALVANIZED STEEL. PRE-PAINTED INTAKE VENT.	13x13	10Ø	FAMCO SWVP	ANGLED HOOD.1/4 INCH INSECT SCREEN.	
RG-2	RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES	10x8	8x6	HART AND COOLEY/ 650	BRIGHT WHITE FINISH	
RR-1	STEEL RETURN GRILLE, 3/4" BLADE SPACING, 35 DEGREE DEFLECTION, BLADES PARALLEL TO LONG DIMENSION	8x8	6x6	TITUS 350RL	STEEL OPPOSED-BLADE DAMPER OPERABLE FROM THE FACE OF THE GRILLE.	
SDG1W-1	ALUMINUM SINGLE DEFLECTION SPIRAL	12x5	10x3	HART AND COOLEY/ SV	ADJUSTABLE DAMPER, BRIGHT WHITE	

STAIR 300 FINISH

STUDIO APARTMENT

( 302 )

IDU-1

DIFFUSER

**APARTMENT** 

301

IDU-1

### 

- 1. ROUTE 3/4" CONDENSATE DRAIN LINE TO FLOOR DRAIN IN BASEMENT. SLOPE PIPE A MINIMUM OF 1/8" PER FOOT AWAY FROM UNIT.PROVIDE CONDENSATE PUMP AS REQUIRED.
- 2. ROUTE LINE SET FROM OUTDOOR UNIT TO INDOOR AIR HANDLER. ALL PIPING SHALL BE CONCEALED IN SHAFTS. SIZE PER MANUFACTURES RECOMMENDATIONS.

RETURN DUCT UP TO FIRST FLOOR.
 SUPPLY DUCT UP TO FIRST FLOOR.

 SUPPLY DUCT OF TO FIRST PLOOK.
 ALL BASEMENTS SHALL BE VENTILATED AS STORAGE/WAREHOUSE SPACE IN ACCORDANCE WITH TABLE 403.3 OF THE 2017 OHIO MECHANICAL CODE AT A RATE OF 0.06 CFM PER SQUARE FOOT. PROVIDE NEW FAN IN BASEMENT FOR

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UNDERCUT DOOR 1" ABOVE FINISHED FLOOR FOR RETURN/MAKE UP AIR.
 ROUTE EXHAUST TO EXTERIOR WALL. INSTALL A LOUVERED VENT. SEE
 ARCHITECT BEFORE PENETRATION FOR EXACT LOCATION AND COLOR
 COORDINATION. ALL EXHAUST SHALL MEET THE FOLLOWING REQUIREMENTS.

8.1. 3' FROM PROPERTY LINE.8.2. 3' FROM OPERABLE OPENINGS INTO BUILDING.

- 8.3 10' FROM MECHANICAL AIR INTAKE
- DUCT EXHAUST UP THROUGH ROOF WITH RAIN-PROOF CAP.
   MECHANICAL CONTRACTOR TO PROVIDE AND INSTALL LINE-SET COVERS FOR
- MECHANICAL CONTRACTOR TO PROVIDE AND INSTALL LINE-SET COVERS FOR ALL EXPOSED REFRIGERANT PIPING AND CONDENSATE PIPING.
   ROUTE EXHAUST DUCT UP IN JOIST POCKET. RATING SHALL BE MAINTAINED AROUND JOIST TO PREVENT FIRE DAMPER. REFER TO ARCHITECTURAL PLANS
- 12. MECHANICAL CONTRACTOR TO COORDINATE DUCT ROUTING AND LOCATIONS WITH PLUMBING CONTRACTOR.

# MECHANICAL SCOPE OF WORK (PLAN REVIEW ONLY)

MECHANICAL SCOPE OF WORK IS TO PROVIDE NEW HVAC EQUIPMENT TO RESIDENTIAL AND COMMERCIAL SPACES. MECHANICAL CONTRACTOR SHALL REFERENCE ALL DISCIPLINE DRAWING, ETC. TO REVEAL FULL SCOPE OF WORK. REFER TO MECHANICAL SPECIFICATIONS FOR ADDITIONAL DETAILS.

## HVAC DESIGN CONDITIONS

COMMERCIAL

COOLING
OUTDOOR: 93 DB / 75 WB
INDOOR: 72

COOLING
OUTDOOR: 0 DB
INDOOR: 70

RESIDENTIAL

COOLING
OUTDOOR: 93 DB / 75 WB
OUTDOOR: 0 DB
INDOOR: 75

INDOOR: 70

#### **GENERAL NOTES**

- A. FOR FULL SCHEDULES, SPECIFICATIONS, AND COMPLETE LISTING SEE DETAIL SHEETS.
- B. COORDINATE ROUTING OF ALL WORK WITH OTHER TRADES.
- C. COORDINATE WITH ELECTRICAL CONTRACTOR FOR POWER CONNECTIONS TO ALL MECHANICAL EQUIPMENT.

D. INSTALL ALL EQUIPMENT PER MANUFACTURER'S REQUIREMENTS. MAINTAIN ALL

- CODE RECOMMENDED CLEARANCES FOR ACCESS AND MAINTENANCE.

  E. REFER TO ARCHITECTURAL PLANS FOR DIMENSIONS, AND FINAL CEILING
- DIFFUSER LOCATIONS.

  F. PROVIDE BACKDRAFT DAMPERS FOR ALL EXHAUST SYSTEMS AND EITHER LOUVER, BRICK VENT, OR CAPS AT ALL EXTERIOR BUILDING PENETRATIONS.
- G. IN DWELLING UNITS, ROUTE ALL SUPPLY, RETURN, AND EXHAUST DUCTWORK ABOVE DROP CEILING OR IN BULKHEADS. COORDINATE ROUTING WITH ARCHITECTURAL DRAWINGS. DUCTS SHALL BE RUN BELOW THE RATED FLOOR/CEILING
- H. ROUTE ALL AIR CONDITIONER CONDENSATE TO NEARBY FLOOR DRAIN.
  PROVIDE MINIMUM SLOPE OF 1/8 " PER FOOT. SIZE CONDENSATE PER SECTION
  307.2.2 OF THE OHIO MECHANICAL CODE.
- I. MOUNT THERMOSTATS 60" ABOVE FINISHED FLOOR. MOUNT THERMOSTATS IN ADA UNITS 40" ABOVE FINISHED FLOOR.
- J. ANY EQUIPMENT THAT IS SUBSTITUTED SHALL FIT IN THE SPACE PROVIDED WITH ADEQUATE ROOM FOR SERVICING, INCLUDING SUBSTITUTE EQUIPMENT NAMED IN THE SPECIFICATIONS. SUBMIT A 1/4" SCALE DRAWING OF ALL EQUIPMENT SUBSTITUTED FOR APPROVAL PRIOR TO INSTALLATION, INCLUDING, BUT NOT LIMITED TO, STRUCTURAL AND ARCHITECTURAL IMPACT, CLEARANCE REQUIREMENTS AND UTILITY REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR TO COORDINATE ALL NEW ELECTRICAL AND PLUMBING REQUIREMENTS WITH THE ELECTRICAL AND PLUMBING CONTRACTORS.
- K. MATERIALS WITHIN PLENUMS SHALL BE NONCOMBUSTIBLE OR SHALL BE LISTED AND LABLED AS HAVING A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND SMOKE-DEVELOPED INDEX OF NOT MORE THAN 50 WHEN TESTED IN ACCORDANCE WITH ASTM E 84 OR UL 723.
- J. THE FOLLOWING GUIDELINES MUST BE FOLLOWED FOR THE DOMESTIC DRYER EXHAUST SYSTEMS.
- J.A. EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH AND BE CONSTRUCTED OF METAL A MINIMUM OF 28 GAGE.
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- PROTRUDE MORE THAN \$\frac{1}{8}\$ INCH INTO THE INSIDE OF THE DUCT.

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- AND BELOW TOP PLATES.

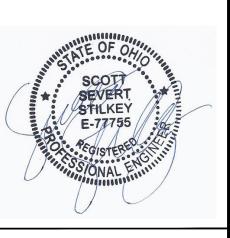
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- NEAR DRYER.

  J.H. PROVIDE A PERMANENT LABEL OR TAG (EQUAL TO DRYERPLACARD)
  INDICATING ACTUAL EQUIVALENT LENGTH OF EXHAUST DUCT. LENGTH
  SHALL INCLUDE 5' FOR 90 . LABEL/TAG MUST BE WITHIN 6' OF DRYER
  EXHAUST CONNECTION. DRYER EXHAUST DUCT FITTING EQUIVALENT
  LENGTH SHALL BE 2'-6" FOR A RADIUS MITERED 45-DEGREE ELBOW AND 5
  FEET FOR A RADIUS MITERED 90-DEGREE ELBOW.

SYMBOLS L	SYMBOLS LEGEND — HVAC					
Ū	THERMOSTAT					
$\boxtimes$	CEILING DIFFUSER					
→	SIDE WALL GRILL					
- 4	RETURN WALL GRILL					
<b>←√</b> −	AIR FLOW DIRECTION					
14x10	DUCTWORK					
	TYPICAL SUPPLY DUCT DN					
	TYPICAL RETURN DUCT DN					
X	TYPICAL EXHAUST DUCT					
زري	TURNING VANES					
<b>X</b>	FLEXIBLE DUCT, 8'-0" LONG MAX.					
0	TYPICAL ROUND DUCT DN					
	ROUND DUCT UP					
	MVD MANUAL VOLUME DAMPER					
	DROPPED CEILING/SOFFIT					



PLAT architecture +



Progress Dates

05/05/2023 BID P/E/FP
08/30/2024 BID SET 2

Revisions

Checked By: SSS

Drawn by: RPG



TEAMWORK • COLLABORATION
SHARED SUCCESS
515 Monmouth Street, Suite 204
Newport, KY 41071 (859) 261-0585
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TION FOR

REPUBLIC ST.

MATI, OH, 45202

Job No: 22042 8/10/2022

M1.03

HART AND COOLEY/ SV

ADJUSTABLE DAMPER, BRIGHT WHITE

FINISH

STUDIO APARTMENT

(402)

IDU-1

APARTMENT

402

10x3

STAIR

400

SDG1W-1

**APARTMENT** 

401

IDU-1

DIFFUSER

ALUMINUM SINGLE DEFLECTION SPIRAL | 12x5

#### ★ KEYED SHEET NOTES

- ROUTE 3/4" CONDENSATE DRAIN LINE TO FLOOR DRAIN IN BASEMENT. SLOPE PIPE A MINIMUM OF 1/8 " PER FOOT AWAY FROM UNIT. PROVIDE CONDENSATE PUMP AS REQUIRED. ROUTE LINE SET FROM OUTDOOR UNIT TO INDOOR AIR HANDLER. ALL PIPING
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## **COMMERCIAL**

COOLING HEATING COOLING HEATING
OUTDOOR: 93 DB / 75 WB OUTDOOR: 0 DB OUTDOOR: 93 DB / 75 WB OUTDOOR: 0 DB INDOOR: 70 INDOOR: 75 INDOOR: 72

#### **GENERAL NOTES**

DIFFUSER LOCATIONS.

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- PLACE. THE INSERT END OF THE DUCT SHALL EXTEND INTO THE ADJOINING DUCT OR FITTING IN THE DIRECTION OF AIRFLOW.
- J.D. DUCTS SHALL NOT BE JOINED WITH SCREWS OF SIMILAR FASTENERS THAT PROTRUDE MORE THAN \$\frac{1}{8}\$ INCH INTO THE INSIDE OF THE DUCT.
- J.E. PROTECTIVE SHIELD PLATES SHALL BE PLACED WHERE NAILS OR SCREWS FROM FINISH OR OTHER WORK ARE LIKELY TO PENETRATE THE CLOTHES DRYER EXHAUST DUCT SHIELD PLATES SHALL BE PLACED ON THE FINISHED. FACE OF ALL FRAMING MEMBERS WHERE THERE IS LESS THAN 1-1/4 INCHES BETWEEN THE DUCT AND THE FINISHED FACE OF THE FRAMING MEMBER. SHIELD PLATES SHALL BE CONSTRUCTED OF STEEL, HAVE A THICKNESS OF 0.062 INCHES, AND EXTEND NOT LESS THAN 2 INCHES ABOVE SOLE PLATES
- AND BELOW TOP PLATES. J.F. TRANSITION DUCTS USED TO CONNECT THE DRYER TO THE EXHAUST DUCT SYSTEM SHALL BE A SINGLE LENGTH THAT IS LISTED AND LABELED IN ACCORDANCE WITH UL 2158A. TRANSITION DUCTS SHALL BE NOT GREATER THAN 8 FEET IN LENGTH AND SHALL NOT BE CONCEALED WITHIN CONSTRUCTION.
- J.G. PROVIDE DRYER WALL BOX EQUAL TO DUNDAS JAFINE MODEL DRB4XZW NEAR DRYER.
- J.H. PROVIDE A PERMANENT LABEL OR TAG (EQUAL TO DRYERPLACARD) INDICATING ACTUAL EQUIVALENT LENGTH OF EXHAUST DUCT, LENGTH SHALL INCLUDE 5' FOR 90 . LABEL/TAG MUST BE WITHIN 6' OF DRYER EXHAUST CONNECTION. DRYER EXHAUST DUCT FITTING EQUIVALENT LENGTH SHALL BE 2'-6" FOR A RADIUS MITERED 45-DEGREE ELBOW AND 5 FEET FOR A RADIUS MITERED 90-DEGREE ELBOW.

SYMBOLS LEGEND — HVAC					
T	THERMOSTAT				
$\boxtimes$	CEILING DIFFUSER				
->	SIDE WALL GRILL				
-{\-	RETURN WALL GRILL				
<b>←</b> ∕	AIR FLOW DIRECTION				
14x10	DUCTWORK				
$\boxtimes$	TYPICAL SUPPLY DUCT DN				
	TYPICAL RETURN DUCT DN				
X	TYPICAL EXHAUST DUCT				
CCC	TURNING VANES				
<b>⊠</b> ~~	FLEXIBLE DUCT, 8'-0" LONG MAX.				
Ø	TYPICAL ROUND DUCT DN				
	ROUND DUCT UP				
	MVD MANUAL VOLUME DAMPER				
	Dropped Ceiling/Soffit				



HVAC DESIGN CONDITIONS INDOOR: 70

> SEVERT STILKEY E-77755

202 **W** 

Progress Dates 05/05/2023 BID P/E/FP 08/30/2024 BID SET 2

Revisions

Checked By: SSS

Drawn by: RPG



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UBL

Job No: 22042

EBS -	RESIDENTIAL DIFFUSE	ER, GRI	LLE, AN	D REGISTER SCHE	DULE
CALLOUT	DESCRIPTION	FACE SIZE (IN)	INLET SIZE (IN)	MODEL	NOTE 1
DVH-4	28 GAUGE GALVANIZED STEEL. PRE-PAINTED DRYER VENT.	6x7	4Ø	FAMCO DWVP	BACKDRAFT DAMPER/ANGLED HOOD.
EVH-4	28 GAUGE GALVANIZED STEEL. PRE-PAINTED EXHAUST VENT.	6x7	4Ø	FAMCO SDWVP	BACKDRAFT DAMPER/ANGLED HOOD. 1/4 INCH INSECT SCREEN.
EVH-6	28 GAUGE GALVANIZED STEEL. PRE-PAINTED EXHAUST VENT.	8x9	6Ø	FAMCO SDWVP	BACKDRAFT DAMPER/ANGLED HOOD. 1/4 INCH INSECT SCREEN.
FR-5	FLOOR REGISTER, ALL-STEEL CONSTRUCTION, 75% FREE AREA, TOE-OPERATED VALVE CONTROL	12x8	10x6	HART AND COOLEY/ 210	GOLDEN SAND ENAMEL FINISH
FRG-1	RETURN AIR FILTER GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES	26x10	24x8	HART AND COOLEY/ 265	GOLDEN SAND ENAMEL FINISH
IVH-4	28 GAUGE GALVANIZED STEEL. PRE-PAINTED INTAKE VENT.	6x7	4Ø	FAMCO SWVP	ANGLED HOOD.1/4 INCH INSECT SCREEN.
IVH-10	28 GAUGE GALVANIZED STEEL. PRE-PAINTED INTAKE VENT.	13x13	10Ø	FAMCO SWVP	ANGLED HOOD.1/4 INCH INSECT SCREEN.
RG-2	RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES	10x8	8x6	HART AND COOLEY/ 650	BRIGHT WHITE FINISH
RR-1	STEEL RETURN GRILLE, 3/4" BLADE SPACING, 35 DEGREE DEFLECTION, BLADES PARALLEL TO LONG DIMENSION	8x8	6x6	TITUS 350RL	STEEL OPPOSED-BLADE DAMPER OPERABLE FROM THE FACE OF THE GRILLE.
SDG1W-1	ALUMINUM SINGLE DEFLECTION SPIRAL	12x5	10x3	HART AND COOLEY/ SV	ADJUSTABLE DAMPER, BRIGHT WHITE

STAIR 500

FINISH

UNOCCUPIED ATTIC

502

DIFFUSER

#### 

- ROUTE 3/4" CONDENSATE DRAIN LINE TO FLOOR DRAIN IN BASEMENT. SLOPE PIPE A MINIMUM OF 1/8" PER FOOT AWAY FROM UNIT.PROVIDE CONDENSATE PUMP AS REQUIRED.
   ROUTE LINE SET FROM OUTDOOR UNIT TO INDOOR AIR HANDLER. ALL PIPING SHALL BE CONCEALED IN SHAFTS. SIZE PER MANUFACTURES
- RECOMMENDATIONS.

  3. RETURN DUCT UP TO FIRST FLOOR.

  4. SUPPLY DUCT UP TO FIRST FLOOR.
- SUPPLY DUCT UP TO FIRST FLOOR.
   ALL BASEMENTS SHALL BE VENTILATED AS STORAGE/WAREHOUSE SPACE IN ACCORDANCE WITH TABLE 403.3 OF THE 2017 OHIO MECHANICAL CODE AT A
- RATE OF 0.06 CFM PER SQUARE FOOT. PROVIDE NEW FAN IN BASEMENT FOR CODE MINIMUM OSA LISTED ABOVE.
  FRESH AIR INTAKE THRU WALL TO WALL CAP.
  UNDERCUT DOOR 1" ABOVE FINISHED FLOOR FOR RETURN/MAKE UP AIR.
  ROUTE EXHAUST TO EXTERIOR WALL. INSTALL A LOUVERED VENT. SEE
- ARCHITECT BEFORE PENETRATION FOR EXACT LOCATION AND COLOR COORDINATION. ALL EXHAUST SHALL MEET THE FOLLOWING REQUIREMENTS.

  8.1. 3' FROM PROPERTY LINE.
- 8.2. 3' FROM OPERABLE OPENINGS INTO BUILDING.
- 8.3 10' FROM MECHANICAL AIR INTAKE9. DUCT EXHAUST UP THROUGH ROOF WITH RAIN-PROOF CAP.
- MECHANICAL CONTRACTOR TO PROVIDE AND INSTALL LINE-SET COVERS FOR ALL EXPOSED REFRIGERANT PIPING AND CONDENSATE PIPING.
   ROUTE EXHAUST DUCT UP IN JOIST POCKET. RATING SHALL BE MAINTAINED
- AROUND JOIST TO PREVENT FIRE DAMPER. REFER TO ARCHITECTURAL PLANS FOR DETAILS.

  2. MECHANICAL CONTRACTOR TO COORDINATE DUCT ROUTING AND LOCATIONS WITH PLUMBING CONTRACTOR.

# MECHANICAL SCOPE OF WORK (PLAN REVIEW ONLY)

MECHANICAL SCOPE OF WORK IS TO PROVIDE NEW HVAC EQUIPMENT TO RESIDENTIAL AND COMMERCIAL SPACES. MECHANICAL CONTRACTOR SHALL REFERENCE ALL DISCIPLINE DRAWING, ETC. TO REVEAL FULL SCOPE OF WORK. REFER TO MECHANICAL SPECIFICATIONS FOR ADDITIONAL DETAILS.

HVAC DESIGN CO	NDITIONS
COMMERCIAL	RESIDENT

COOLING
OUTDOOR: 93 DB / 75 WB
INDOOR: 72

HEATING
OUTDOOR: 0 DB
INDOOR: 70

COOLING
OUTDOOR: 93 DB / 75 WB
OUTDOOR: 0 DB
INDOOR: 75

HEATING
OUTDOOR: 0 DB
INDOOR: 75

#### GENERAL NOTES

DIFFUSER LOCATIONS.

- A. FOR FULL SCHEDULES, SPECIFICATIONS, AND COMPLETE LISTING SEE DETAIL SHEETS.
- B. COORDINATE ROUTING OF ALL WORK WITH OTHER TRADES.
- C. COORDINATE WITH ELECTRICAL CONTRACTOR FOR POWER CONNECTIONS TO ALL MECHANICAL EQUIPMENT.
- D. INSTALL ALL EQUIPMENT PER MANUFACTURER'S REQUIREMENTS. MAINTAIN ALL CODE RECOMMENDED CLEARANCES FOR ACCESS AND MAINTENANCE.

  E. REFER TO ARCHITECTURAL PLANS FOR DIMENSIONS, AND FINAL CEILING
- F. PROVIDE BACKDRAFT DAMPERS FOR ALL EXHAUST SYSTEMS AND EITHER LOUVER, BRICK VENT, OR CAPS AT ALL EXTERIOR BUILDING PENETRATIONS.
- G. IN DWELLING UNITS, ROUTE ALL SUPPLY, RETURN, AND EXHAUST DUCTWORK ABOVE DROP CEILING OR IN BULKHEADS. COORDINATE ROUTING WITH ARCHITECTURAL DRAWINGS. DUCTS SHALL BE RUN BELOW THE RATED FLOOR CEILING.
- H. ROUTE ALL AIR CONDITIONER CONDENSATE TO NEARBY FLOOR DRAIN.
  PROVIDE MINIMUM SLOPE OF 1/8 " PER FOOT. SIZE CONDENSATE PER SECTION
  307.2.2 OF THE OHIO MECHANICAL CODE.
- I. MOUNT THERMOSTATS 60" ABOVE FINISHED FLOOR. MOUNT THERMOSTATS IN ADA UNITS 40" ABOVE FINISHED FLOOR.
- J. ANY EQUIPMENT THAT IS SUBSTITUTED SHALL FIT IN THE SPACE PROVIDED WITH ADEQUATE ROOM FOR SERVICING, INCLUDING SUBSTITUTE EQUIPMENT NAMED IN THE SPECIFICATIONS. SUBMIT A 1/4" SCALE DRAWING OF ALL EQUIPMENT SUBSTITUTED FOR APPROVAL PRIOR TO INSTALLATION, INCLUDING, BUT NOT LIMITED TO, STRUCTURAL AND ARCHITECTURAL IMPACT, CLEARANCE REQUIREMENTS AND UTILITY REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR TO COORDINATE ALL NEW ELECTRICAL AND PLUMBING REQUIREMENTS WITH THE ELECTRICAL AND PLUMBING CONTRACTORS.
- K. MATERIALS WITHIN PLENUMS SHALL BE NONCOMBUSTIBLE OR SHALL BE LISTED AND LABLED AS HAVING A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND SMOKE-DEVELOPED INDEX OF NOT MORE THAN 50 WHEN TESTED IN ACCORDANCE WITH ASTM E 84 OR UL 723.
- J. THE FOLLOWING GUIDELINES MUST BE FOLLOWED FOR THE DOMESTIC DRYER EXHAUST SYSTEMS.
- J.A. EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH AND BE CONSTRUCTED OF METAL A MINIMUM OF 28 GAGE.
- J.B. DUCT SIZE SHALL BE 4 INCHES NOMINAL DIAMETER.

  J.C. DUCTS SHALL BE SUPPORTED AT 4-FOOT INTERVALS AND SECURED IN PLACE. THE INSERT END OF THE DUCT SHALL EXTEND INTO THE ADJOINING
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  J.D. DUCTS SHALL NOT BE JOINED WITH SCREWS OF SIMILAR FASTENERS THAT
- PROTRUDE MORE THAN \$\frac{1}{8}\$ INCH INTO THE INSIDE OF THE DUCT.

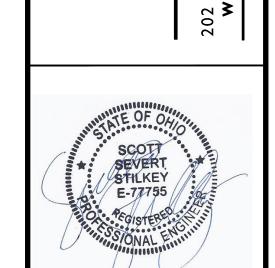
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  J.H. PROVIDE A PERMANENT LABEL OR TAG (EQUAL TO DRYERPLACARD)
  INDICATING ACTUAL EQUIVALENT LENGTH OF EXHAUST DUCT. LENGTH
  SHALL INCLUDE 5' FOR 90 . LABEL/TAG MUST BE WITHIN 6' OF DRYER
  EXHAUST CONNECTION. DRYER EXHAUST DUCT FITTING EQUIVALENT
  LENGTH SHALL BE 2'-6" FOR A RADIUS MITERED 45-DEGREE ELBOW AND 5
  FEET FOR A RADIUS MITERED 90-DEGREE ELBOW.

SYMBOLS L	EGEND — HVAC
T	THERMOSTAT
	CEILING DIFFUSER
→	SIDE WALL GRILL
←√-	RETURN WALL GRILL
<b>←</b> √-	AIR FLOW DIRECTION
14x10	DUCTWORK
	TYPICAL SUPPLY DUCT DN
	TYPICAL RETURN DUCT DN
X	TYPICAL EXHAUST DUCT
ردره	TURNING VANES
	FLEXIBLE DUCT, 8'-0" LONG MAX.
<u>a</u>	TYPICAL ROUND DUCT DN
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Progress Dates

05/05/2023 BID P/E/FP
08/30/2024 BID SET 2

Revisions

Checked By: SSS

Drawn by: RPG



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Newport, KY 41071 (859) 261-0585
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ATION FOR TION FOR NATI, OH, 45202

Job No: 22042 8/10/2022

M1.05

EBS -	RESIDENTIAL DIFFUSE	ER, GRI	LLE, AN	D REGISTER SCHEDU	LE
CALLOUT	DESCRIPTION	FACE SIZE (IN)	INLET SIZE (IN)	MODEL	NOTE 1
DVH-4	28 GAUGE GALVANIZED STEEL. PRE-PAINTED DRYER VENT.	6x7	4Ø	FAMCO DWVP	BACKDRAFT DAMPER/ANGLED HOOD.
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FR-5	FLOOR REGISTER, ALL-STEEL CONSTRUCTION, 75% FREE AREA, TOE-OPERATED VALVE CONTROL	12x8	10x6	HART AND COOLEY/ 210	GOLDEN SAND ENAMEL FINISH
FRG-1	RETURN AIR FILTER GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES	26x10	24x8	HART AND COOLEY/ 265	GOLDEN SAND ENAMEL FINISH
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RG-2	RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES	10x8	8x6	HART AND COOLEY/ 650	BRIGHT WHITE FINISH
RR-1	STEEL RETURN GRILLE, 3/4" BLADE SPACING, 35 DEGREE DEFLECTION, BLADES PARALLEL TO LONG DIMENSION	8x8	6x6	TITUS 350RL	STEEL OPPOSED-BLADE DAMPER OPERABLE FROM THE FACE OF THE GRILLE.
SDG1W-1	ALUMINUM SINGLE DEFLECTION SPIRAL DIFFUSER	12x5	10x3	HART AND COOLEY/ SV	ADJUSTABLE DAMPER, BRIGHT WHITE FINISH

HP-1:5 LOBBY/LAUNDRY

#### ★ KEYED SHEET NOTES

- ROUTE 3/4" CONDENSATE DRAIN LINE TO FLOOR DRAIN IN BASEMENT. SLOPE PIPE A MINIMUM OF 1/8 " PER FOOT AWAY FROM UNIT.PROVIDE CONDENSATE PUMP AS REQUIRED. ROUTE LINE SET FROM OUTDOOR UNIT TO INDOOR AIR HANDLER. ALL PIPING SHALL BE CONCEALED IN SHAFTS. SIZE PER MANUFACTURES
- RECOMMENDATIONS. RETURN DUCT UP TO FIRST FLOOR.
- SUPPLY DUCT UP TO FIRST FLOOR.

WITH PLUMBING CONTRACTOR.

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- 8.2. 3' FROM OPERABLE OPENINGS INTO BUILDING.
- 8.3 10' FROM MECHANICAL AIR INTAKE
- 9. DUCT EXHAUST UP THROUGH ROOF WITH RAIN-PROOF CAP. 10. MECHANICAL CONTRACTOR TO PROVIDE AND INSTALL LINE-SET COVERS FOR ALL EXPOSED REFRIGERANT PIPING AND CONDENSATE PIPING. 1. ROUTE EXHAUST DUCT UP IN JOIST POCKET. RATING SHALL BE MAINTAINED
- AROUND JOIST TO PREVENT FIRE DAMPER. REFER TO ARCHITECTURAL PLANS FOR DETAILS. 12. MECHANICAL CONTRACTOR TO COORDINATE DUCT ROUTING AND LOCATIONS

# (PLAN REVIEW ONLY)

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# HVAC DESIGN CONDITIONS

COOLINGHEATINGCOOLINGHEATINGOUTDOOR: 93 DB / 75 WBOUTDOOR: 0 DBOUTDOOR: 93 DB / 75 WBOUTDOOR: 0 DB INDOOR: 70 INDOOR: 75 INDOOR: 72 INDOOR: 70

#### **GENERAL NOTES**

- A. FOR FULL SCHEDULES, SPECIFICATIONS, AND COMPLETE LISTING SEE DETAIL
- B. COORDINATE ROUTING OF ALL WORK WITH OTHER TRADES.
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- G. IN DWELLING UNITS, ROUTE ALL SUPPLY, RETURN, AND EXHAUST DUCTWORK ABOVE DROP CEILING OR IN BULKHEADS. COORDINATE ROUTING WITH ARCHITECTURAL DRAWINGS. DUCTS SHALL BE RUN BELOW THE RATED
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- MOUNT THERMOSTATS 60" ABOVE FINISHED FLOOR. MOUNT THERMOSTATS IN ADA UNITS 40" ABOVE FINISHED FLOOR.
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- NEAR DRYER. J.H. PROVIDE A PERMANENT LABEL OR TAG (EQUAL TO DRYERPLACARD) INDICATING ACTUAL EQUIVALENT LENGTH OF EXHAUST DUCT. LENGTH SHALL INCLUDE 5' FOR 90 . LABEL/TAG MUST BE WITHIN 6' OF DRYER EXHAUST CONNECTION. DRYER EXHAUST DUCT FITTING EQUIVALENT LENGTH SHALL BE 2'-6" FOR A RADIUS MITERED 45-DEGREE ELBOW AND 5 FEET FOR A RADIUS MITERED 90-DEGREE ELBOW.

SYMBOLS LEGEND — HVAC					
Ð	THERMOSTAT				
$\boxtimes$	CEILING DIFFUSER				
→	SIDE WALL GRILL				
-	return wall grill				
<b>«</b> \/_	AIR FLOW DIRECTION				
14x10	DUCTWORK				
$\boxtimes$	TYPICAL SUPPLY DUCT DN				
Ø	TYPICAL RETURN DUCT DN				
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ردرج	TURNING VANES				
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6	TYPICAL ROUND DUCT DN				
	ROUND DUCT UP				
	MVD MANUAL VOLUME DAMPER				
	DROPPED CEILING/SOFFIT				



MECHANICAL SCOPE OF WORK

SEVERT E-77755

202 **W** 

**Progress Dates** 05/05/2023 BID P/E/FP 08/30/2024 BID SET 2

Revisions

Checked By: SSS

Drawn by: RPG



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UBLI

Job No: 22042 8/10/2022

	HIGH WALL STYLE INDOOR														
TAG	AREA SERVED	MANUFACTURER	SERIES	MODEL	CFM	BTUH COOLING	BTUH HEATING	VOLT/PHASE	WEIGHT	NOTES					
DU-1	REFER TO DRAWINGS	LG	HSV5	LSN120HSV5	459/338/317	12,000	13,600	208-240/60/1	32	1-3					
)U-1.5	REFER TO DRAWINGS	LG	HSV5	LSN181HSV5	706/530/477	18,000	21,600	208-240/60/1	32	1-3					

1. SELF CLEANING INDOOR COIL. 2. INVERTER (VARIABLE SPEED FAN).

3. 3M MICRO DUST FILTER.

	LG HIGH WALL STYLE (OUTDOOR)																		
TAG	AREA SERVED	MANUFACTURER	SERIES	MODEL	CLG-MBH	NOMINAL TONS	MIN. SEER	EER	HSPF	HEAT-MBH	MAX HEAT @5 DEGREES/ MBH	COOLING OPERATING RANGE (F)	HEATING OPERATING RANGE (F)	VOLT/PHASE	MCA	МОСР	REFRIDGERANT	WEIGHT	NOTE
ODU-1	REFER TO DRAWINGS	LG	HSV5	LSU120HSV5	12	1	22	12.55	10	14	19	14~118	-4~65	208-240/1	10	15	R410A	145	1-6
ODU-1.5	REFER TO DRAWINGS	LG	HSV5	LSU181HSV5	18	1.5	22	12.55	9.5	22	19	14~118	-4~65	208-240/1	19	30	R410A	145	1-6

- 1. LOW AMBIENT OPERATION TO 14F. 2. FACTORY INSTALLED DRAIN PAN HEATER.
- 3. DEFROST/DEICING
- 4. INVERTER VARIABLE SPEED COMPRESSOR.
- 5. PROVIDE EQUIPMENT SUPPORT EQUAL TO DIVERSITECH MODEL QSMS WITH VIBRATION ISOLATION PADS.

GENERAL NOTES

6. TWO INDOOR UNITS.

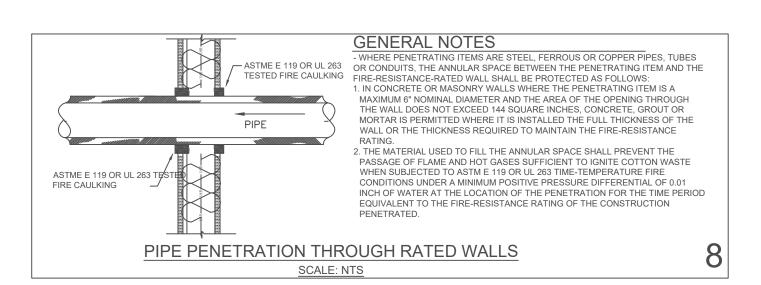
COMMON AREAS:MECH	IANICAL VEN	TILATION CAL	CULATION
SCHEDULE * (ASHF	RAE 62.1 LEE	D PURPOSES	ONLY)
UNIT	AREA (SQ. FT.)	VENT. AIR REQ. CFM	ACTUAL WHOLE BUILDING VENTILATION
ENTRY/STAIRWELL/CORRIDOR	486	29	30

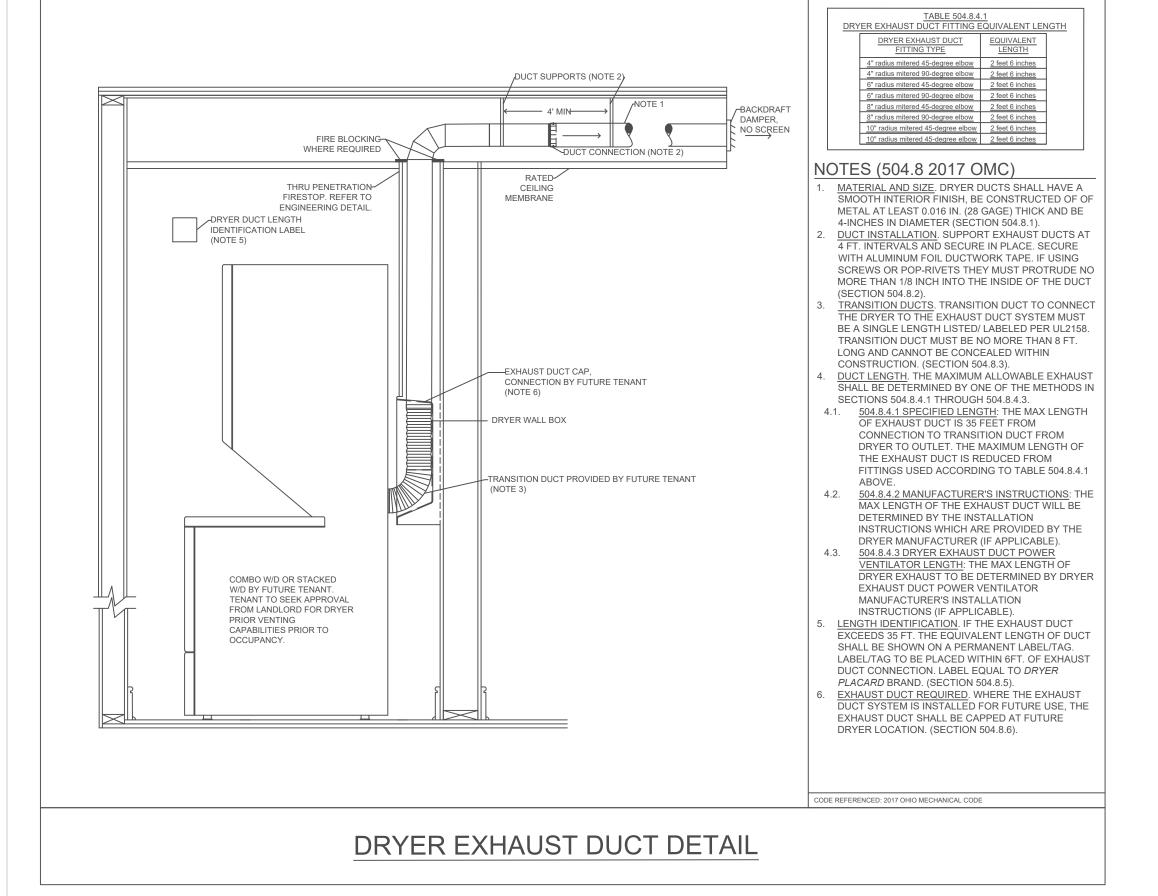
DUCT INSULATION SCHEDULE											
		Α	IR DISTRIBUT	ΓΙΟΝ TYPE							
		SA	RA	ADDITIONAL NOTES							
	AHU-A-1.5	R-3.5	N/A	-							

TABLE 6.8.2B OF ASHRAE 90.1 2010 ENERGY CODE. PROVIDE DUCTWORK OF SUFFICIENT THICKNESS TO MEET THE INSTALLED R-VALUE REQUIREMENTS LISTED ABOVE. ITEMS NOT REQUIRED TO BE INSULATED: FIBROUS-GLASS DUCTS, DUCTS WITH LINER THAT MEETS ASHRAE 90.1, FACTORY-INSULATED FLEXIBLE DUCTS, FACTORY-INSULATED PLENUMS AND CASINGS, FLEX CONNECTORS, VIBRATION-CONTROL DEVICES, FACTORY-INSULATED ACCESS PANELS AND DOORS.

DUCT INSULATION REQUIREMENTS ARE BASED ON

ASTME E 119 OR UL 26/3	SCALE: N	TS
ALLOWED BY OBC 717.6.1, EXCEPTION. A DUCT IS PERITATED FIREE FLOORS OR LESS WITHOUT A FIRE DAMPER AT EACH FLOOR, PROVIDED SUCH DUCT MEETS ALL OF THE FOLLOWING REQUIREMENTS:  1.1. THE DUCT SHALL BE CONTAINED AND LOCATED WITHIN THE CAVITY OF A WALL AND SHALL BE CONSTRUCTED OF STEEL HAVING A MINIMUM WALL THICKNESS OF 0.0187 INCHES (NO. 26 GAGE).  1.2. THE DUCT SHALL OPEN INTO ONLY ONE DWELLING OR SLEEPING UNIT AND THE DUCT SYSTEM SHALL BE CONTINUOUS FROM THE UNIT TO THE EXTERIOR OF THE BUILDING.  1.3. THE DUCT SHALL NOT EXCEED 100 SQUARE INCHES IN ANY 100 SQUARE FEET OF FLOOR AREA.  1.4. THE ANNULAR SPACE AROUND THE DUCT IS PROTECTED WITH MATERIALS THAT PREVENT THE PASSAGE OF FLAME AND HOT GASES SUPERICIENT TO IGNITE COTTON WASTE WHERE SUBJECTED TO ASTME 119 OR UL. 263 TIME TEMPERATURE CONDITIONS UNDER A MINIMUM POSITIVE PRESSURE DIFFERENTIAL OF 0.01 INCH OF THE CONTINUOUS FROM THE DESTANCE OF THE CONTINUOUS FROM THE CONTINUOUS FROM THE CONTINUOUS FROM THE WERE SUBJECTED TO ASTME 119 OR UL. 263 TIME TEMPERATURE CONTINUOUS FROM THE UNIT THE PASSAGE OF FLAME AND HOT GASES SUFFICIENT TO IGNITE COTTON WASTE WHERE SUBJECTED TO ASTME 119 OR UL. 263 TIME TEMPERATURE CONDITIONS UNDER A MINIMUM POSITIVE PRESSURE DIFFERENTIAL OF 0.01 INCH OF THE CONTINUOUS FROM THE PRESSURANCE RATING OF THE CONSTRUCTION PENETRATED.  9.5. GRIEF PRESSURE DIFFERENTIAL OF 0.01 INCH OF THE PRESSISTANCE RATING OF THE CONTINUOUS FROM THE CONTINUOUS FROM THE SUBJECTED OF THE CONSTRUCTION PENETRATED.  9.5. GRIEF PROSSURE DIFFERENTIAL OF 0.01 INCH OF THE PRESSISTANCE RATING OF THE CONSTRUCTION PENETRATED.  9.5. GRIEF PROSSURED SHALL BE PROTECTED WITH A LISTED CEILING RADIATION DAMPER INSTALLED IN ACCORDANCE WITH SECTION 717.6.2.1. (NOT APPLICABLE)	PARTITION —	OUGH RATED FLOOR 7
ALLOWED BY OBC 717.6.1, EXCEPTION. A DUCT IS PERMITTED TO PENETRATE THREE FLOORS OR LESS WITHOUT A FIRE DAMPER AT EACH FLOOR, PROVIDED SUCH DUCT MEETS ALL OF THE FOLLOWING REQUIREMENTS:  1.1. THE DUCT SHALL BE CONTAINED AND LOCATED WITHIN THE CAVITY OF A WALL AND SHALL BE CONSTRUCTED OF STEEL HAVING A MINIMUM WALL THICKNESS OF 0.0187 INCHES (NO. 26 GAGE).  1.2. THE DUCT SHALL OPEN INTO ONLY ONE DWELLING OR SLEEPING UNIT AND THE DUCT SYSTEM SHALL BE CONTINUOUS FROM THE UNIT TO THE EXTERIOR OF THE BUILDING.  1.3. THE DUCT SHALL NOT EXCEED 4-INCH NOMINAL DIAMETER AND THE TOTAL AREA OF SUCH DUCTS SHALL NOT EXCEED 100 SQUARE INCHES IN ANY 100 SQUARE FEET OF FLOOR AREA.  1.4. THE ANNULAR SPACE AROUND THE DUCT IS PROTECTED WITH MATERIALS THAT PREVENT THE PASSAGE OF FLAME AND HOT GASES SUFFICIENT TO IGNITE COTTON WASTE WHERE	ASSEMBLY  ASTME E 119 OR UL 263 TESTED FIRE CAULKING	TEMPERATURE CONDITIONS UNDER A MINIMUM POSITIVE PRESSURE DIFFERENTIAL OF 0.01 INCH OF WATER AT THE LOCATION OF THE PENETRATION FOR THE TIME PERIOD EQUIVALENT TO THE FIRE-RESISTANCE RATING OF THE CONSTRUCTION PENETRATED.  9.5. GRILLE OPENINGS LOCATED IN A CEILING OF A FIRE-RESISTANCE-RATED FLOOR/CEILING OR ROOF/CEILING ASSEMBLY SHALL BE PROTECTED WITH A LISTED CEILING RADIATION DAMPER INSTALLED IN ACCORDANCE WITH SECTION
ALLOWED BY OBC 717.6.1, EXCEPTION. A DUCT IS PERMITTED TO PENETRATE THREE FLOORS OR LESS WITHOUT A FIRE DAMPER AT EACH FLOOR, PROVIDED SUCH DUCT MEETS ALL OF THE FOLLOWING REQUIREMENTS:  1.1. THE DUCT SHALL BE CONTAINED AND LOCATED WITHIN THE CAVITY OF A WALL AND SHALL BE CONSTRUCTED OF STEEL HAVING A MINIMUM WALL THICKNESS OF 0.0187 INCHES (NO. 26 GAGE).  1.2. THE DUCT SHALL OPEN INTO ONLY ONE DWELLING OR SLEEPING UNIT AND THE DUCT SYSTEM SHALL BE CONTINUOUS FROM THE UNIT TO THE EXTERIOR OF THE BUILDING. WALL PARTITION  INTERIOR JIANE STEEL AND THE TOTAL AREA OF SUCH	NOMINAL	1.4. THE ANNULAR SPACE AROUND THE DUCT IS PROTECTED WITH MATERIALS THAT PREVENT THE PASSAGE OF FLAME AND HOT GASES
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ALLOWED BY OBC 717.6.1, EXCEPTION. A DUCT IS PERMITTED TO PENETRATE THREE FLOORS OR LESS WITHOUT A FIRE DAMPER AT EACH FLOOR, PROVIDED SUCH DUCT MEETS ALL OF THE FOLLOWING REQUIREMENTS:		CONSTRUCTED OF STEEL HAVING A MINIMUM WALL THICKNESS OF 0.0187 INCHES (NO. 26 GAGE).  1.2. THE DUCT SHALL OPEN INTO ONLY ONE
₩ V ₩ 4" EYHALIST DLICT TO BE DOLITED DIDECTLY TO DODE AS I	DUCT DUCT	PERMITTED TO PENETRATE THREE FLOORS OR LESS WITHOUT A FIRE DAMPER AT EACH FLOOR, PROVIDED SUCH DUCT MEETS ALL OF THE FOLLOWING REQUIREMENTS:





BATHROOM FAN SPEED SETTING SCHEDULE										
TYPICAL	ROOMNAME	MINIMUM SPEED	MAXIMUM SPEED							
UNIT	ROOMINAME	SETTING	SETTING							
102	BATHROOM	30	80							
201	BATHROOM	30	80							
202	BATHROOM	30	80							
301	BATHROOM	30	80							
302	BATHROOM	30	80							
401	BATHROOM	30	80							
402	BATHROOM	30	80							

<u> </u>	· · · · · · · · · · · · · · · · · · ·										
<u> </u>	UNIT	AREA (SQ. FT.)	NUMBER OF BEDROOMS		ACTUAL WHOLE BUILDING VENTILATIO						
	102	225	1	17	30						
	201	364	1	19	30						
	202	297	1	18	30						
	301	364	1	19	30						
	302	297	1	18	30						
	401	364	1	19	30						
	402	297	1	18	30						
EDULE											

RESIDENTIAL UNITS: MECHANICAL VENTILATION CALCULATION SCHEDULE \* (ASHRAE 62.2 LEED PURPOSES ONLY)

	FAN SCHEDULE														
TAG	TYPE	AREA SERVED	MANUFACTURER	MODEL	DRIVE	CFM	ESP	MCA	МОСР	WATTS	RPM	VOLT/PHASE	MOUNTING	WEIGHT	NOTE
E-1	EXHAUST	TYPICAL RESTROOM	PANASONIC	FV-0511VKS2	DIRECT	30,40-80	0.25	-	-	17	1131	115/60/1	CEILING	12	1,2,3,4
E-2	EXHAUST	STAIRWELL	PANASONIC	FV-0511VKS2	DIRECT	30	0.25	-	-	17	1131	115/60/1	CEILING	12	2,3,4,5
E-3	EXHAUST	REFER TO DRAWINGS	GREENHECK	G-070-VG	DIRECT	300	0.25	1.6	15	-	1131	115/60/1	CEILING	12	6
E-4	EXHAUST	REFER TO DRAWINGS	GREENHECK	G-090-VG	DIRECT	600	0.25	1.9	15	-	1131	115/60/1	CEILING	12	6
4 541101	LIALL BUILDONE IN III	0110134471034	00550 (00440 0514		A. 4D. LID. T.	2 LUQUI 2DEED (22		JEN 014/2		DAIED OA			ANT 40050	200150	

- 1. FAN SHALL RUN CONTINUOUSLY AT LOW SPEED (30/40 CFM) AND SHALL RAMP UP TO HIGH SPEED (80 CFM) WHEN SWITCH IS TURNED ON. PROVIDE ALL RELEVANT ACCESSORIES.
- 2. INSTALL RADIATION DAMPER PC-RD05C5 3. PROVIDE FV-CSVK1 CONDESNSATION SENSOR
- 4. REFER TO FAN SPEED SCHEDULE FOR FAN SPEED SETTINGS
- 5. FAN SHALL RUN CONTINUOUSLY AT LOW SPEED (30 CFM)
- 6. FAN SHALL RUN CONTINUOUSLY.

#### MECHANICAL EXHAUST SCHEDULE - 2017 OHIO MECHANICAL CODE

						FIXT	JRES		TOTAL	TOTAL
ROOM NUMBER/UNIT TYPICAL	ROOMNAME	OCCUPANCY CLASSIFICATION	AREA (ft2)	EXHAUST AIRFLOW RATE (CFMft2)	EXHAUST RATE PER FIXTURE (CFM)	LOWER CONTINUOUS RATE?	HIGHER INTERMITTENT RATE?	QTY. OF FIXTURES	EXHAUST AIRFLOW REQ. (CFM)	EXHAUST
	BATHROOM	PRIVATE DWELLING - TOILET ROOMS	-	-	30/80	YES	NO	1	30	80
*EXHAUST CALCUL	ATIONS PER OMC 2017 TABLE 403	3.3.1.1	•					-	-	

			1804 -	REPUBLIC											
UNIT	ROOM NAME	AREA	DOOR OPENABLE AREA [SQ. FT]	WINDOW OPENABLE AREA [SQ. FT]	UNOBSTRUCED OPENING	TOTAL OPENABLE AREA	4% OF FLOOR AREA	8% OF FLOOR AREA							
102															
201															
202	LIVING/BEDROOM	203	0	36	N/A	36	8	N/A							
301	LIVING/BEDROOM	267	0	33	N/A	33	11	N/A							
302	LIVING/BEDROOM	203	0	36	N/A	36	8	N/A							
401	LIVING/BEDROOM	267	0	33	N/A	33	11	N/A							
402	LIMING/BEDROOM	203	0	36	N/A	36	8	N/A							

NATURAL VENILATION OF THE OCCUPIED SPACE SHALL BE THROUGH WINDOWS, DOORS, OR OTHER OPENINGS TO THE SPACE. THE OPERATING MECHANISIM FOR SUCH OPENINGS SHALL BE PROVIDED WITH READY ACCESS SO THAT THE OPENINGS ARE READILY CONTROLLABLE BY THE BUILDING OCCUPANTS.

#### \*VENTILATION CALCULATIONS PER OMC 2017 TABLE 403.3.1.1

	HEATERS														
TAG	TYPE	AREA SERVED	MANUFACTURER	MODEL	HEAT-MBH	FUEL	HEAT-KW	VOLT/PHASE	FLA	MOUNTING	WEIGHT	NOTES			
DH-1	DUCT HEATER	REFER TO PLANS	HOTPOD	HP6-1000120-2T	3.4	ELECTRIC	1	120/1/60		INLINE	7	3,4			
H-1	WALL HEATER	REFER TO PLANS	BERKO	FRA4020	6.8	ELECTRIC	2	208/1/60		IN WALL	30	1,2			
H-3	BASEBOARD	REFER TO PLANS	BERKO	2542W	1	ELECTRIC	0.3	208/1/60		BASEBOARD	30	2			
H-4	CEILING HEATER	REFER TO PLANS	QMARK	EFF1500	5.1	ELECTRIC	1.5	120/1/60		CEILING	30	2			

- 1. SEMI-RECESSED MOUNTING SLEEVE.
- 2. INTEGRAL THERMOSTAT 3. DUCT STAT INCLUDED

3. DUCT STAT INCLUDED
4. REPLACEABLE FILTER INCLUDED

			DEH	IUMIDIFIER S	CHEDUL	.E				
TAG	AREA SERVED	MANUFACTURER	MODEL	CAPACITY - PINTS/24 HR	AMPS	FUSE	VOLT/PHASE	MOUNTING	WEIGHT	NOTES
DE-1	BASEMENT	APRILAIRE	1850	95	8	15	120/1	FLOOR	70	1,2,3,4
1. ENER	GY STAR RATE	D.								

2. DEHUMIDICATION COLTROL

3. CORD AND PLUG CONNECTION. 4. PROVIDE LOW PROFILE CONDENSATE PUMP

#### INDOOR SPLIT SYSTEM SCHEDULE

TAG	AREA SERVED	MANUFACTURER	SERIES	MODEL	CFM	ESP	HEAT-KW	HP	VOLT/PHASE	MCA	MOCP	MOUNTING	WEIGHT
AHU-1.5	REFER TO PLANS	TEMPSTAR	FEM4X	1800BL	REFER TO PLANS	0.5	REFER TO HEAT KIT SCHEDULE	3/4	208/1		) HEAT KIT DULE	*	116

			!	HEAT KIT	SCHEDUL	E				
TAG	AREA SERVED	MANUFACTURER	MODEL	HEAT-KW @ 208V	VOLT/PHASE	MCA CIRCUIT #1	MOCP CIRCUIT #1	MCA CIRCUIT #2	MOCP CIRCUIT #2	NOTES
HK-8	REFER TO DRAWINGS	TEMPSTAR	EHK07AKB	6.0	208/1	45	45	-	-	1,2,3
1 PLUG-IN W	IRING HARNESS	•		•						

1. PLUG-IN WIRING HARNESS.

2. FUSE LINK SECONDARY HIGH-TEMPERATURE LIMIT CONTROL. 3. ETL LISTED.

					(	OODTUC	R SPLIT	SYSTEM	SCHEDU	ILE						
TAG	AREA SERVED	MANUFACTURER	SERIES	MODEL	CLG-MBH	NOMINAL TONS	MIN SEER	HEAT-MBH	MIN HSPF	VOLT/PHASE	MCA	МОСР	REFRIGERANT	MOUNTING	WEIGHT	NOTE
HP-1.5	REFER TO DRAWINGS	TEMPSTAR	N4H4	18GKG	18	1.5	14	18	8.2	208/1	11.8	20	410A	GRADE	136	1

1. HOUSE KEEPING PAD

STILKEY

Progress Dates 05/05/2023 BID P/E/FP 08/30/2024 BID SET 2

Checked By: SSS

Drawn by: RPG PR-09757



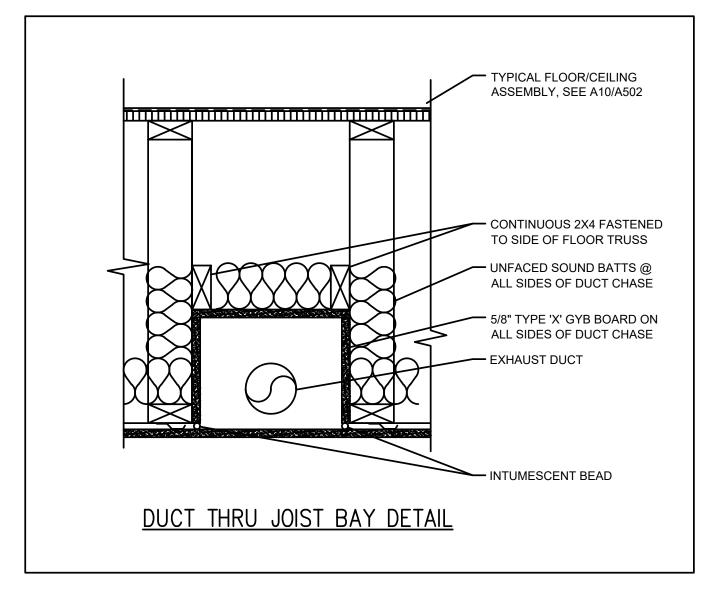
515 Monmouth Street, Suite 204 Newport, KY 41071 (859) 261-0585 MEP Consulting Services, Inc. in OH Copyright © 2015 THIS DOCUMENT IS THE PRODUCT AND EXCLUSIVE PROPERTY OF ENGINEERED BUILDING SYSTEMS, INC NEITHER THE DOCUMENT NOR THE INFORMATION I CONTAINS MAY BE USED FOR OTHER THAN THE SPECIFIC PURPOSE FOR WHICH IT WAS PREPARED

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#### MECHANICAL SPECIFICATIONS

General

a. Refer to architectural drawings, general notes, instructions to bidders, general conditions, supplementary general conditions, base building specifications and drawings, shop drawing manuals and as-built plans, except as noted herein, which apply in all respects to this section. The contractor shall visit the site and familiarize himself with all existing conditions prior to bidding the work

2. Use of Drawings And Specifications

a. EBS drawings and specifications are intended to convey design intent only. All means and methods sequences, techniques, and procedures of construction as well as any associated safety precautions and programs, and all incidental and temporary devices required to construct the project, and to provide a complete and fully operational mechanical system are the responsibility of the mechanical contractor.

a. Equipment and materials shall conform with appropriate provisions of AGA, ARI, ASME, ASTM, CISPI, UL, NEMA, ANSI, SMACNA, ASHRAE, NFPA, NEC, as applicable to each individual unit or assembly. All equipment must bear UL label.

a. Contractor must be licensed by the state to install HVAC systems/equipment. Contractor must also have a minimum of 5 years of experience and have installed at least (5) successful project installations of similar size and scope. References must be provided upon request.

a. All work shall be performed in strict accordance with all applicable state and local codes and ordinances. The mechanical contractor shall satisfy code requirements at a minimum without any extra cost to the owner. In case of conflict between the drawings/specifications and the codes and ordinances, the highest standard shall apply.

a. The mechanical contractor shall procure and pay for all permits, fees, taxes, and inspections necessary to complete the mechanical work. Furnish certificate of approval for work from inspection authority to owner before final acceptance for work. Certificate of final inspection and approval shall be submitted with the contractor's request for payment. No final payment will be approved without this certificate.

7. Site Examination a. The mechanical contractor shall thoroughly examine all areas of work where equipment, ductwork, and piping will be

installed and shall report any condition that in his opinion prevents the proper installation of the mechanical work prior to bid. Contractor shall also examine the drawings and specifications of other branches of work, making reference to them for details of new or existing building conditions. No extras will be allowed for failure to include all required work in bid. b. All work shall be done at times convenient to the owner and only during normal working hours, unless specified otherwise.

c. Mechanical contractor shall take their own measurements and be responsible for them. d. Access panels are not shown on drawings. During site examination, contractor shall identify all areas where access panels

are required, and report to general contractor. Designation of who furnishes and who installs access panels must be coordinated with general contractor prior to starting work. 8. Contractor Coordination

a. Coordination drawings showing system and component installation layout, routing, details, etc. Shall be produced by the mechanical contractor and under the supervision of the general contractor/construction manager, or appropriate party as

b. All systems installed by each sub-contractor shall be coordinated with one another and approved by general contractor/construction manager, etc. prior to installation and/or fabrication.

c. If questions concerning design intent arise during coordination, EBS can assist where appropriate.

d. The architectural drawings shall take precedence over all other drawings. Do not scale distances off the mechanical drawings; use actual building dimensions. 9. Shop Drawings / Submittals

a. Submit to the architect electronic copies of complete and certified shop drawings, descriptive data, performance data and ratings, diagrams and specifications on all specified equipment, including accessories, and materials for review. The make, model number, type, finish and accessories of all equipment and materials shall be reviewed and approved by the mechanical contractor and general contractor prior to submitting to the architect for their review and approval. Approval of shop drawings does not relieve the mechanical contractor/vendor from compliance with the requirements of the contract

drawings, specifications and applicable codes. b. Shop drawings shall be required for the following: HVAC equipment

•Diffusers, registers, grilles, dampers, louvers, and all sheet metal accessories

Temperature controls

 Sheet metal coordination drawings Duct Sealants

c. Products installed by the mechanical contractor and provided by others must be submitted for review prior to purchasing. Products shall not be selected based on permit drawings without express permission - products shall be selected based on construction drawings.

Record Drawing a. The mechanical contractor shall be responsible for creating record drawings where required. Drawings shall be produced

b. The mechanical contractor shall be responsible for creating record drawings in a format agreed upon by 3CDC, ZHx, and

11. Testing a. All mechanical systems shall be tested for proper operation.

Fire Stopping

a. Provide fire stopping at all penetrations through rated separations per local codes & regulations & per UL recommendations for assemblies encountered in project

b. The fire stopping material shall meet the integrity of the fire rated wall, floor, ceiling & roof being penetrated. Refer to architect's drawings for wall, floor, ceiling & roof fire ratings prior to bidding work.

c. Refer to architect's drawings for wall, floor, ceiling, and roof fire ratings prior to bidding work.

Access Panels

a. Provide ceiling and wall access panel quantities & locations to the general contractor prior to bidding. Access panels are required for all concealed appliances, controls devices, heat exchangers and HVAC system components that utilize energy. Where access panels are used, the access panel should be sized to allow accessibility for inspection, service, repair and replacement without disabling the function of a fire-resistance-rated assembly or removing permanent construction, other appliances, venting systems or any other piping or ducts not connected to the appliance being inspected, serviced, repaired or replaced. There shall be no extras for having to add access panels after bids are

14. Cutting and Patching

a. Neatly do all cutting as required and patch all cut surfaces to match building construction. The contractor shall employ and pay a trade trained and qualified to perform the required patching work. All surfaces disturbed shall be restored with like materials to the satisfaction of the owner. All penetrations through roof shall be made by bonded roofer. Mechanical contractor shall pay all fees required.

Flashing & Counterflashing

a. Roof flashing shall be furnished and installed by the roofing contractor. Roof counterflashing shall be furnished and installed by the mechanical contractor. Coordinate work with roofing contractor and pay all fees.

b. Obtain approval from general contractor, construction manager, owner and/or roofing contractor prior to making any penetrations so that warranties are not compromised or voided.

a. The mechanical contractor shall unconditionally warrant all work to be free of defects in equipment, material and workmanship for a period of one (1) year from the date of final acceptance by owner. The mechanical contractor will repair or replace any defective work promptly and without charge to the owner.

b. Restore any other existing work damaged in the course of repairing defective equipment, materials and workmanship.

17. Mechanical Work a. The mechanical contractor shall provide new hvac equipment, fans, ductwork, piping, air devices, controls as indicated on

drawings and as specified. Startup and 1st year parts and labor warranty shall be included and manufacturer's extended warranties. Equipment and appliances shall be installed as required by the terms of their approval, in accordance with the conditions of the listing, the manufacturer's installation instructions, and the applicable code. 18. Owner's Instructions

a. Provide two sets of complete operating and maintenance instructions with drawings, typewritten instructions and operating sequences and descriptive data sheets. Assemble each set in a hard-bound cover. Provide pdf files of all documentation.

19. Finale

a. Put all equipment in service and demonstrate that all conditions of the contract have been fulfilled. Remove all tools, debris, etc. occasioned by work under this contract. Mechanical Contractor to provide a new set of filters in all HVAC units prior to turnover. Submit all warranties, test reports, operating and maintenance manuals for HVAC systems, log sheets and charts, and guarantees as previously specified. Provide all reports, forms, etc. required by inspectors to the satisfaction of the owner. Provide as-built record drawings (in Autocad 2007 or later) showing an accurate account of the final installed systems. Systems including but not limited to all equipment and associated controls, ductwork/piping, air devices, etc.

20. Sheetmetal Ductwork

a. All sizes of ducts shown on the drawings are interior duct dimensions. All ductwork shall be rigid sheetmetal constructed from galvanized sheet steel in accordance with SMACNA low velocity duct construction standards. All exposed ductwork shall be round, spiral, or rectangular lock-seam type, as shown on HVAC drawings. Assemble and install ductwork in accordance with recognized industry practice for achieving air tight (5% leakage) and noiseless (no objectionable noise) systems, capable of performing each indicated service. Furnish all required dampers, transitions, offsets, connections to air devices, and other accessories necessary for a complete operating system. Flexible ductwork shall not exceed 8'-0"

b. All 90-degree duct turns must be 1.5 radius elbows. If a 1.5 radius elbow will not fit, square elbows with turning vanes can be provided in lieu of radius but should be limited to only areas where there are space constraints. c. All takeoff/branch ductwork must utilize boot or conical tee fittings.

21. Adhesives and Sealants

a. Seal all longitudinal and transverse duct joints with a UL 181A or 181B non-hardening, non-migrating mastic or liquid elastic sealant of a type recommended by the manufacturer for sealing joints and seams in sheet metal ductwork. Cover all field joints, joints around spin-in fittings and fastening screws with mastic. All sealants and gaskets shall have surface-burning characteristics with a maximum flame-spread index of 25 and a maximum smoke-developed index of 50 when tested according to UL 723.

b. Exposed Ductwork: trim duct sealants flush with metal. Create a smooth and uniform exposed bead. Do not use two-part

tape sealing system. c. All duct boots sealed to drywall/finished floor (any interface with another material).

22. Duct Supports

a. Furnish and install hot-dipped galvanized steel fasteners, hangers, anchors, rods, straps, trim, and angles for support of ductwork.

23. Flexible Connections

a. Furnish and install neoprene flexible duct connections at the inlet and discharge of units and fans.

24. Duct Manual Volume Dampers

a. Furnish and install opposed-blade, leak-proof volume control dampers where indicated on drawings and locations in supply, return and exhaust ducts where branches are taken from larger ducts or at each individual duct register in order to achieve system air balance quantities. Balancing devices must be provided in accordance with IMC 603.18. All manual volume dampers must be shown on coordination drawings when submitted for review.

25. Duct Access Doors

A. Furnish and install conveniently located duct access doors of ample size and quantity for servicing the dampers.

A.Diffusers, grilles and registers shall be manufactured by titus, price, or engineered approved equal and shall be furnished and installed by the mechanical contractor. Diffusers shall be installed as indicated on the drawings and schedules. The mechanical contractor shall provide all miscellaneous items necessary for a complete and proper installation in the type of ceiling and walls used in this project.

A.Fan manufacturer shall be Broan, Cook, Panasonic, Greenheck, or engineered approved equal. Refer to drawings and schedules for unit location, technical data, and any applicable accessories.

a. Split systems shall consist of high efficient air handling unit and associated heat pump. Equipment shall have manufacturer's

b. Split system manufacturer shall be Tempstar, Carrier, Goodman, or engineered equal.

29. Condensate Drain Piping

A.The mechanical contractor shall furnish and install condensate drains, p-traps with removable cleanout caps for air equipment per manufacturer's recommendations. The p-trap depth shall be at least the depth specified for the respective pressure drop of the unit. Condensate drain piping shall be schedule 40 CPVC pipe with solvent weld fittings [Insulate condensate walls of pipe with Armaflex AP, flexible closed cell elastomeric foam, self-sealing insulation. Provide 1/2" thick insulation on piping < 1" in diameter and 1" thick insulation on piping between 1" and 1-1/2" in diameter. Pipe insulation shall not exceed 25/50 flame-smoke ratings]. All condensate drain lines shall be configured to permit the clearing of blockages and performance of maintenance without requiring the drain line to be cut. For condensate pumps located in uninhabitable spaces (i.e. attics and crawl spaces), provide controls that will shut down the equipment if the condensate pump fails.

B. All cooling equipment shall have a wet switch in the primary drain line, the overflow drain line, or in the equipment-supplied drain pan (located at a point higher than the primary drain line connection and below the overflow rim of the pan) that will shut down the unit when the condensate is clogged..

30. Piping Supports (Metal Pipe)

A.Furnish and install hot-dipped galvanized steel fasteners, hangers, anchors, rods, straps, trim and angles for support of

31. Piping Supports (Plastic Pipe)

A. Furnish and install hangers for plastic piping per manufacturer's requirements.

32. Temperature Controls and Control Wiring

A. The mechanical contractor shall provide all control wiring necessary for the complete and proper operating temperature control system. Programmable thermostats shall be provided with equipment packages unless otherwise noted.

B. Exposed wiring: All wiring exposed to the space shall be run in conduit. Coordinate requirements with architectural drawings. 33. Commissioning

a. 3CDC has hired ZHCx to act as their commissioning provider. The commissioning process will be implemented on the

b. ZHCx will conduct onsite observations throughout construction. ZHCx shall be notified prior to any ductwork being c. ZHCx shall be notified prior to any equipment start up. ZHCx will witnedd start up of all split systems. If a start up occurs

without notifying ZHCx the responsible contractor is required to perform another start up in the presence of ZHCx. d. ZHCx will conduct functional performance testing on all HVAC equipment. Any findings will be reported to 3CDC, project architect, mechanical contractor, and the engineer of record. The responsible party is required to document the correction so that ZHCx can verify the correction has been made. ZHCx will perform one back check of the correction to ensure it has been implemented in its entirety.

34. Sequence of Operation

•H-X: heater shall be controlled from the integral thermostat. When the temperature of the space drops below the

thermostat setpoint, the heater fan shall run and the electric heating element shall engage to maintain temperature Exhaust Fans

•E-X: exhaust fan shall run on a wall switch (provided by the electrical contractor).

 Split Systems • AHU/HP-1.5:

 Heating mode - indoor air handler shall be controlled from a thermostat in the space. When the thermostat calls for heating the fan shall run and the heat pump in heating mode shall run to maintain temperature setpoint. If the heat pump cannot maintain temperature in the space, the electric heat kit shall energize until set point is reached. When the setpoint is reached the unit shall shut off.

•Cooling mode - when the thermostat calls for cooling the heat pump unit shall run in cooling mode, the air handler fan shall run, and the dx cooling coil shall cool the air to maintain temperature setpoint.

•Heating mode - indoor unit shall be controlled from a thermostat in the space. When the thermostat calls for heating the fan shall run and the heat pump in heating mode shall run to maintain temperature setpoint.

• Cooling mode - when the thermostat calls for cooling the heat pump unit shall run in cooling mode, the unit fan shall run, and the dx cooling coil shall cool the air to maintain temperature setpoint. •IDU/ODU-1.5:

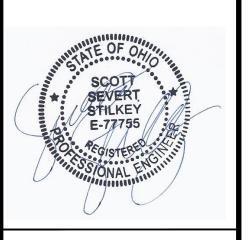
•Dehumidifier shall be controlled from an integral humidistat. When the humidity of the space rises above set point the

•Heating mode - indoor unit shall be controlled from a thermostat in the space. When the thermostat calls for heating the fan shall run and the heat pump in heating mode shall run to maintain temperature setpoint. • Cooling mode - when the thermostat calls for cooling the heat pump unit shall run in cooling mode, the unit fan shall run, and the

dehumidifier shall shut off.

dx cooling coil shall cool the air to maintain temperature setpoint. Dehumidifier ●DEH-1

dehumidifier shall energize and begin to dehumidify the space. When the humidity setpoint is reached the



Progress Dates 05/05/2023 BID P/E/FP 08/30/2024 BID SET 2

Revisions

Checked By: SSS

Drawn by: RPG



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STANDARD MOUNTING HEIGHTS

FUTURE RADON

EWH — 2 UNIT 102

EWH — 2 UNIT 202

UNIT 102-15,17 UNIT 202-15,17

HWRP (16)

**WNIT 202-19** 

TYP 0B2-19

UNIT 302 UNIT 402

TYP 0B2-15,17

)( <del>o</del>ld )( <del>o</del>ld

H1-23

TYP 0B1-19

UNIT 401

((GHZ))((GHZ)

UNOCCUPIED

BASEMENT

8 KW H1-32,34

UNIT 201-19

EWH WIT 101 UNIT 201 EWH UNIT 301 (2)

H1-20,22 UNIT 201-15,17 TYP 0B1-15,17

DE-1 GFCI

H1-17

H1-1

UNOCCUPIED

**BASEMENT** 

#### **GENERAL NOTES-DWELLING UNITS**

- A. PROVIDE AFCI PROTECTION IN ACCORDANCE WITH NEC 210.12. AFCI PROTECTION MUST BE PROVIDED WHERE EXISTING BRANCH CIRCUIT WIRING IS MODIFIED, OR RECEPTACLES ARE REPLACED, IN ACCORDANCE WITH NEC AND LOCAL ELECTRICAL INSPECTION REQUIREMENTS. REFER TO NEC 406.4
- B. FURNISH AND INSTALL SMOKE DETECTORS AS REQUIRED BY CODE. SMOKE DETECTORS SHOWN ON EBS DRAWINGS ARE INTENDED TO CONVEY GENERAL COMPLIANCE FOR BUILDING DEPARTMENT SUBMITTALS. PROVIDE INTERWIRING BETWEEN SMOKE DETECTORS LOCATED IN THE SAME UNIT. SMOKE DETECTORS SHALL BE HARD WIRED WITH BATTERY BACK-UP. FIRE ALARM AND/OR SMOKE DETECTOR SYSTEMS ARE FURNISHED ON A DESIGN-BUILD BASIS BY THE ELECTRICIAN.
- C. WHERE CIRCUITING IS SHOWN TYPICAL FOR MULTIPLE UNITS, COORDINATE BREAKER/WIRE SIZES FOR EQUIPMENT FURNISHED BY OTHERS WITH SHOP DRAWINGS PROVIDED BY THE CONTRACTOR SUPPLYING THE EQUIPMENT. VERIFY BREAKER/WIRE SIZES FOR EQUIPMENT OR APPLIANCE FOR EACH UNIT PRIOR TO ROUGH-IN.
- D. SEE ARCHITECTURAL REFLECTED CEILING PLANS FOR DIMENSIONED LOCATIONS OF ALL LIGHT FIXTURES.
- E. PROVIDE CONDUIT AND PULL STRING TO APPROVED LOCATION FOR VOICE, DATA, AND CATV CABLES.
- F. CIRCUITING ON DRAWINGS AND PANEL SCHEDULE IS SHOWN TYPICAL FOR SIMILAR UNITS. REFER TO DWELLING UNIT LOAD SUMMARIES FOR INDIVIDUAL
- DWELLING UNIT LOAD CALCULATIONS G. COORDINATE RECEPTACLE, PHONE, AND TV DEVICE PLACEMENT WITH FURNITURE LOCATIONS. VERIFY WITH ARCHITECT PRIOR TO ROUGH IN. LOCATIONS SHOWN ON DRAWINGS ARE INTENDED TO CONVEY DESIGN INTENT, AND DEMONSTRATE GENERAL COMPLIANCE WITH CODE. WHERE ACTUAL STUD LOCATIONS REQUIRE DEVICE LOCATIONS TO BE ADJUSTED, ADDED OR MINOR VARIATIONS AMONG UNITS THAT ARE SHOWN AS "TYPICAL" ETC. OCCUR, CONTRACTOR, UNDER HIS BASE BID, TO MAKE NECESSARY ADJUSTMENTS / ADDITIONS IN THE FIELD TO MAINTAIN NEC DWELLING UNIT RECEPTACLE SPACING REQUIREMENTS. WHERE ACTUAL WINDOW CONSTRUCTION PROHIBITS THE INSTALLATION OF A WALL RECEPTACLE, PROVIDE FLOOR RECEPTACLE WITHIN 18 INCHES OF THE BASE OF THE WALL PROVIDE TAMPER PROOF RECEPTACLES AS REQUIRED BY NEC ART. 406.12

#### SCOPE OF WORK

RENOVATION OF EXISTING BUILDING MULTIFAMILY BUILDING WITH COMMERCIAL FIRST FLOOR. PROVIDE NEW ELECTRICAL DISTRIBUTION. POWER AND LIGHTING. SEE SINGLE LINE DIAGRAM FOR MORE DETAILS.

#### GENERAL NOTES-OVERALL PROJECT

A. EBS DRAWINGS INDICATE DESIGN INTENT AND REQUIRED OUTCOMES. IF CONDITIONS ARISE IN THE FIELD THAT REQUIRE DEVIATIONS FROM THE DRAWINGS IT IS ASSUMED THAT THE CONTRACTOR WILL DETERMINE THE APPROPRIATE DEVIATION WITH APPROVAL FROM THE OWNER. EBS IS AVAILABLE TO ASSIST WHEN REQUIRED IF ISSUES ARISE.

#### GENERAL NOTES-LIGHTING

- A. REFER TO ARCHITECT'S PLANS AND ELEVATIONS FOR DIMENSIONED LOCATIONS OF LIGHT FIXTURES.
- B. PROVIDE HOLD-ON-TYPE BREAKERS FOR EGRESS/EMERGENCY LIGHTING CIRCUITS. WIRE ALL EGRESS/EMERGENCY FIXTURES AHEAD OF ANY LOCAL SWITCHING
- . LIGHT FIXTURES CONTROLLED BY SWITCH IN SAME ROOM UNLESS OTHERWISE NOTED.
- D. WHERE DIMMERS AND/OR DIMMING SYSTEMS ARE REQUIRED, CONTRACTOR TO FURNISH DIMMERS THAT ARE COMPATIBLE WITH FIXTURE SOURCE AND RATED FOR THE WATTAGE OF THE DIMMING ZONE. PROVIDE ADDITIONAL DIMMERS AS REQUIRED TO MEET ZONE LOAD REQUIREMENTS.
- ELECTRICAL SWITCHES ON OPPOSITE SIDES OF A WALL ARE TO BE SPACED SO THAT THEIR ELECTRICAL BOX ARE A MINIMUM OF ONE STUD BETWEEN
- F. WHERE APPLICABLE, PROVIDE TOGGLE STYLE LIGHT SWITCHES.

#### **☞** KEYED SHEET NOTES

- MECHANICAL EQUIPMENT PROVIDED BY MECHANICAL CONTRACTOR, WIRED BY ELECTRICAL CONTRACTOR. VERIFY ELECTRICAL REQUIREMENTS WITH MECHANICAL REQUIREMENTS PRIOR TO ROUGH-IN.
- ELECTRICAL CONTRACTOR. VERIFY ELECTRICAL REQUIREMENTS WITH PLUMBING REQUIREMENTS PRIOR TO ROUGH-IN.

2. PLUMBING EQUIPMENT PROVIDED BY PLUMBING CONTRACTOR, WIRED BY

- 3. COORDINATE TV RECEPTACLE AND DATA LOCATIONS WITH OWNER AND ARCHITECT PRIOR TO ROUGH-IN.
- 4. PROVIDE SWITCH AND CONNECTION FOR CONTINUOUSLY RUNNING 2-SPEED BATHROOM FAN. VERIFY REQUIREMENTS WITH MECHANICAL CONTRACTOR PRIOR TO ROUGH-IN.
- 5. PROVIDE HARD-WIRED SMOKE DETECTORS WITH BATTERY BACK-UP AS REQUIRED. ONE SMOKE DETECTOR IN EACH UNIT MUST BE A SMOKE/CO
- 6. DISHWASHER MUST BE GFCI PROTECTED PER NEC 210.8(D) RECEPTACLE SHALL BE LOCATED IN AN ACCESSIBLE LOCATION.
- 7. MICROWAVE RECEPTACLE LOCATED IN CABINET ABOVE, COORDINATE LOCATION WITH GENERAL CONTRACTOR PRIOR TO ROUGH-IN.
- 8. PROVIDE 120 VOLT DEDICATED CIRCUIT FOR SPRINKLER RISER TAMPER AND FLOW SWITCH. COORDINATE LOCATION WITH FIRE PROTECTION
- 9. CORRIDOR LIGHTS TO BE CONTROLLED BY OCCUPANCY SENSOR UNLESS
- 10. LOCATION OF BUILDING UTILITY DATA DEMARC. PROVIDE A 4'X4'X<sup>3</sup>/<sub>4</sub>" PLYWOOD

WITH OWNER, ARCHITECT, AND ALTA FIBER PRIOR TO ROUGH-IN. PROVIDE

- DEDICATED QUAD RECEPTACLE AS SHOWN. 11. EXTERIOR LIGHTING ON PHOTOCELL. CONFIRM LOCATION OF PHOTOCELL DEVICE WITH OWNER AND ARCHITECT PRIOR TO ROUGH-IN.
- 12. UNIT WIRED TO TYPICAL "0B2" REFER TO PANEL SCHEDULE FOR LOAD DATA. SEE UNIT 301 FOR CIRCUITRY LAYOUT.
- 13. UNIT WIRED TO TYPICAL "0B1" REFER TO PANEL SCHEDULE FOR LOAD DATA. SEE UNIT 302 FOR CIRCUITRY LAYOUT.
- 13. COORDINATE LOCATION AND REQUIREMENTS OF BUILDING CALL BOX, 2N INTERCOM SYSTEM, WITH OWNER AND ARCHITECT PRIOR TO ROUGH-IN.
- 14. INSTALL FIOPTIC 4-GANG AND QUAD OUTLET IN CABINET ABOVE REFRIGERATOR AS SHOWN.
- 15. HOT WATER CIRCULATION PUMP HARDWIRED CIRCUIT CONNECTION. COORDINATE LOCATION WITH PLUMBING CONTRACTOR. PRIOR TO ROUGH-IN
- 16. DUCTLESS INDOOR UNIT POWERED FROM OUTDOOR UNIT. CONFIRM LOCATION AND DISCONNECTING MEANS WITH INSTALLING CONTRACTOR.
- 17. LOCATION OF FUTURE RADON, PROVIDE JUNCTION BOX FOR FUTURE RADON FAN, FAN NOT TO BE INSTALLED AT THIS TIME.

- A. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ALL CONDUIT/CABLE ROUTING. COORDINATE ROUTING WITH ALL OTHER TRADES AND BUILDING
- B. SEE SINGLE LINE DIAGRAM FOR FEEDER WIRE AND CONDUIT SIZE. ALL
- PROVIDE MOTOR STARTERS FOR EQUIPMENT AS INDICATED ON DRAWINGS. COORDINATE ANY INTERLOCKING WIRING WITH HVAC CONTRACTOR AND PROVIDE WIRING, COILS, AND AUXILIARY CONTACTS AS NECESSARY. SIZE
- D. ALL PANELS AND DISCONNECTS LOCATED OUTDOORS SHALL BE LABELED
- ROOF MOUNTED AND OUTDOOR EQUIPMENT SHALL HAVE 120V RECEPTACLE MOUNTED WITHIN 25' OF EACH PIECE. RECEPTACLES SHALL BE IN WEATHER
- FULLY COORDINATE BREAKER AND WIRE SIZES WITH ACTUAL EQUIPMENT BEING CONNECTED PRIOR TO ROUGH-IN, OR INSTALLATION. THE SIZES ON PANEL SCHEDULES REFER TO BASIS OF DESIGN SELECTIONS, AND ACTUAL ITEMS MAY DEVIATE FROM BASIS OF DESIGN. IT IS THE RESPONSIBILITY OF
- G. REFER TO ARCHITECT'S PLANS AND ELEVATIONS FOR ALL DEVICE MOUNTING
- ELECTRICAL SYSTEMS. GROUNDING AND BONDING IS CONSIDERED MEANS AND METHODS OF CONSTRUCTION, AND SHOULD BE COMPLETED BY THE ELECTRICAL CONTRACTOR IN ACCORDANCE WITH NEC 250. GAS PIPING SYSTEMS MUST BE BONDED PER UTILITY PROVIDER'S INSTALLATION
- GUIDELINES WHERE REQUIRED.

**GENERAL NOTES-POWER** 

- CIRCUITS NOT SIZED ON DRAWING SHALL BE INSTALLED TO MEET MINIMUM
- ALL CIRCUITS FOR ACTUAL EQUIPMENT TO BE CONNECTED.
- PROOF BOX AND HAVE GFCI PROTECTION. FOR ITEMS FURNISHED BY OTHER TRADES, ELECTRICAL CONTRACTOR TO
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UBL 8

Progress Dates

Checked By: PRS

Drawn by: AJW

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05/05/2023 BID P/E/FP

08/30/2024 BID SET 2

Job No: 22042

STANDARD MOUNTING HEIGHTS

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- SEE ARCHITECTURAL REFLECTED CEILING PLANS FOR DIMENSIONED LOCATIONS OF ALL LIGHT FIXTURES.

DWELLING UNIT LOAD CALCULATIONS

**☞** KEYED SHEET NOTES

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- MECHANICAL EQUIPMENT PROVIDED BY MECHANICAL CONTRACTOR, WIRED BY ELECTRICAL CONTRACTOR. VERIFY ELECTRICAL REQUIREMENTS WITH MECHANICAL REQUIREMENTS PRIOR TO ROUGH-IN.
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- 10. LOCATION OF BUILDING UTILITY DATA DEMARC. PROVIDE A 4'X4'X<sup>3</sup>/<sub>4</sub>" PLYWOOD BACKBOARD FOR DATA/PHONE UTILITIES. COORDINATE ALL REQUIREMENTS WITH OWNER, ARCHITECT, AND ALTA FIBER PRIOR TO ROUGH-IN, PROVIDE
- 11. EXTERIOR LIGHTING ON PHOTOCELL. CONFIRM LOCATION OF PHOTOCELL DEVICE WITH OWNER AND ARCHITECT PRIOR TO ROUGH-IN.
- 12. UNIT WIRED TO TYPICAL "0B2" REFER TO PANEL SCHEDULE FOR LOAD DATA. SEE UNIT 301 FOR CIRCUITRY LAYOUT.

DEDICATED QUAD RECEPTACLE AS SHOWN.

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#### GENERAL NOTES-POWER

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- B. SEE SINGLE LINE DIAGRAM FOR FEEDER WIRE AND CONDUIT SIZE. ALL CIRCUITS NOT SIZED ON DRAWING SHALL BE INSTALLED TO MEET MINIMUM
- C. PROVIDE MOTOR STARTERS FOR EQUIPMENT AS INDICATED ON DRAWINGS. COORDINATE ANY INTERLOCKING WIRING WITH HVAC CONTRACTOR AND PROVIDE WIRING, COILS, AND AUXILIARY CONTACTS AS NECESSARY. SIZE ALL CIRCUITS FOR ACTUAL EQUIPMENT TO BE CONNECTED.
- D. ALL PANELS AND DISCONNECTS LOCATED OUTDOORS SHALL BE LABELED NEMA 3R.
- E. ROOF MOUNTED AND OUTDOOR EQUIPMENT SHALL HAVE 120V RECEPTACLE MOUNTED WITHIN 25' OF EACH PIECE. RECEPTACLES SHALL BE IN WEATHER PROOF BOX AND HAVE GFCI PROTECTION.
- F. FOR ITEMS FURNISHED BY OTHER TRADES, ELECTRICAL CONTRACTOR TO FULLY COORDINATE BREAKER AND WIRE SIZES WITH ACTUAL EQUIPMENT BEING CONNECTED PRIOR TO ROUGH-IN, OR INSTALLATION. THE SIZES ON PANEL SCHEDULES REFER TO BASIS OF DESIGN SELECTIONS, AND ACTUAL ITEMS MAY DEVIATE FROM BASIS OF DESIGN. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO CONFIRM REQUIRED WIRE AND BREAKER SIZES WITH THE CONTRACTOR FURNISHING THE EQUIPMENT.
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  I. ELECTRICAL RECEPTACLES ON OPPOSITE SIDES OF A WALL ARE TO BE SPACED SO THAT THEIR ELECTRICAL BOX ARE A MINIMUM OF ONE STUD

BETWEEN BOXES.

AM FOR FEEDER WIRE AND CONDUIT SIZE. ALL

Progress Dates
05/05/2023 BID P/E/FP

08/30/2024 BID SET 2

Revisions

Checked By: PRS

Drawn by: AJW



TEAMWORK COLLABORATION
SHARED SUCCESS
515 Monmouth Street, Suite 204
Newport, KY 41071 (859) 261-0585
MEP Consulting Services, Inc. in OH

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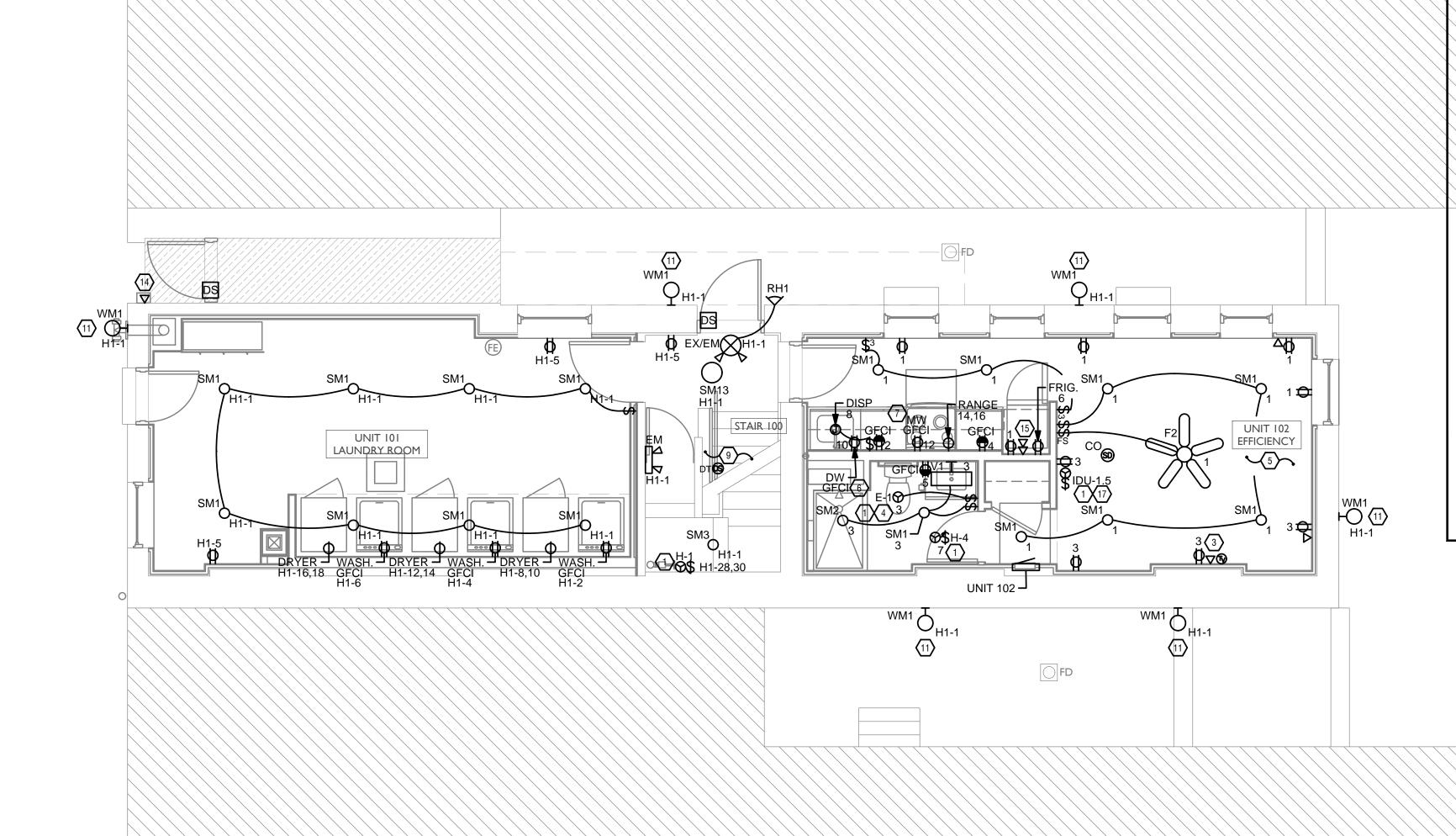
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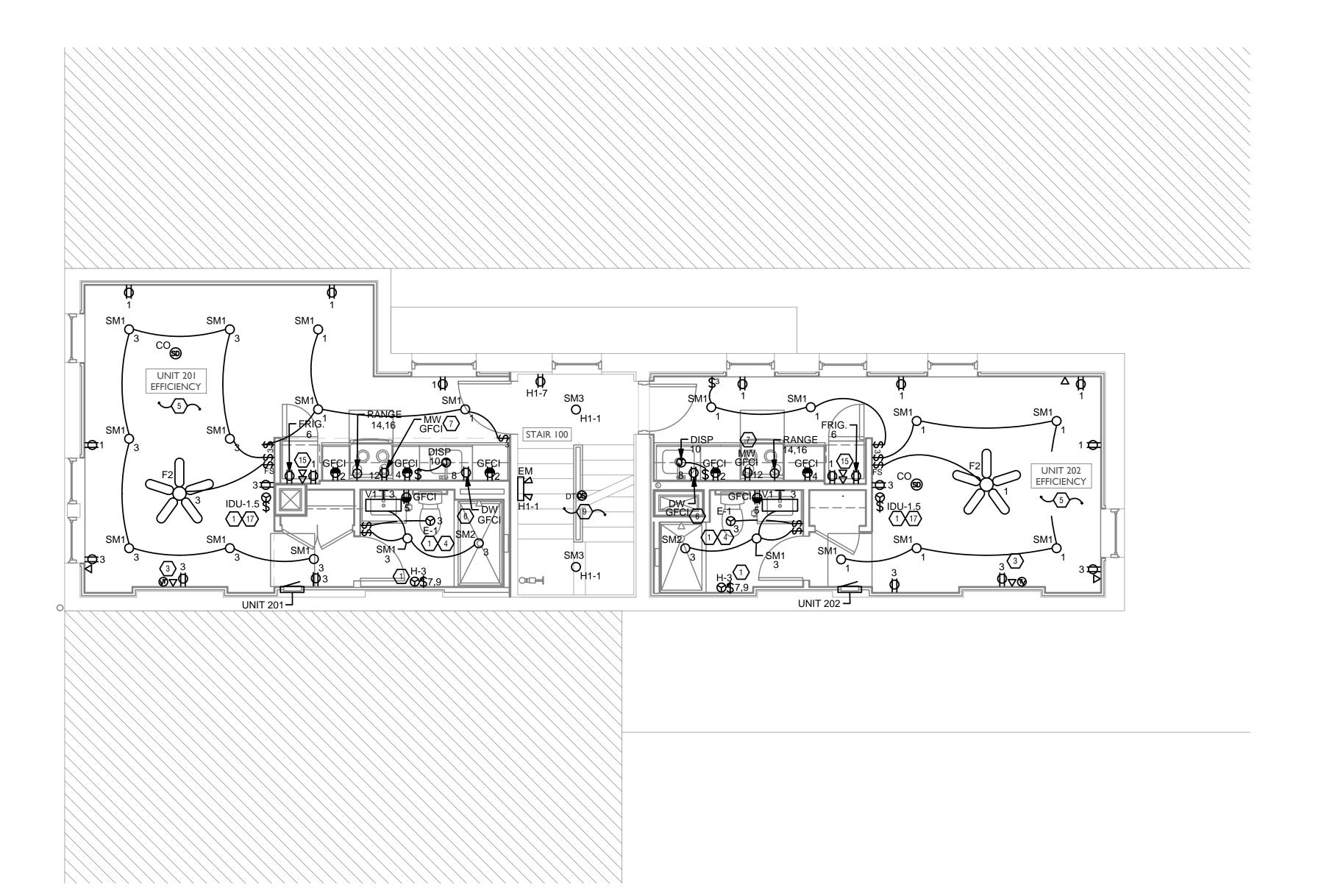
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NCINNATI, OH. 45202

Job No: 22042

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STANDARD MOUNTING HEIGHTS



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MECHANICAL EQUIPMENT PROVIDED BY MECHANICAL CONTRACTOR, WIRED BY ELECTRICAL CONTRACTOR. VERIFY ELECTRICAL REQUIREMENTS WITH

2. PLUMBING EQUIPMENT PROVIDED BY PLUMBING CONTRACTOR, WIRED BY

3. COORDINATE TV RECEPTACLE AND DATA LOCATIONS WITH OWNER AND

5. PROVIDE HARD-WIRED SMOKE DETECTORS WITH BATTERY BACK-UP AS

6. DISHWASHER MUST BE GFCI PROTECTED PER NEC 210.8(D) RECEPTACLE

7. MICROWAVE RECEPTACLE LOCATED IN CABINET ABOVE, COORDINATE LOCATION WITH GENERAL CONTRACTOR PRIOR TO ROUGH-IN.

FLOW SWITCH. COORDINATE LOCATION WITH FIRE PROTECTION

REQUIRED. ONE SMOKE DETECTOR IN EACH UNIT MUST BE A SMOKE/CO

8. PROVIDE 120 VOLT DEDICATED CIRCUIT FOR SPRINKLER RISER TAMPER AND

10. LOCATION OF BUILDING UTILITY DATA DEMARC. PROVIDE A 4'X4'X\frac{3}{4}" PLYWOOD

BACKBOARD FOR DATA/PHONE UTILITIES. COORDINATE ALL REQUIREMENTS

WITH OWNER, ARCHITECT, AND ALTA FIBER PRIOR TO ROUGH-IN. PROVIDE

9. CORRIDOR LIGHTS TO BE CONTROLLED BY OCCUPANCY SENSOR UNLESS

11. EXTERIOR LIGHTING ON PHOTOCELL. CONFIRM LOCATION OF PHOTOCELL

12. UNIT WIRED TO TYPICAL "0B2" REFER TO PANEL SCHEDULE FOR LOAD DATA.

13. UNIT WIRED TO TYPICAL "0B1" REFER TO PANEL SCHEDULE FOR LOAD DATA.

13. COORDINATE LOCATION AND REQUIREMENTS OF BUILDING CALL BOX, 2N INTERCOM SYSTEM, WITH OWNER AND ARCHITECT PRIOR TO ROUGH-IN.

COORDINATE LOCATION WITH PLUMBING CONTRACTOR. PRIOR TO ROUGH-IN

LOCATION AND DISCONNECTING MEANS WITH INSTALLING CONTRACTOR.

17. LOCATION OF FUTURE RADON, PROVIDE JUNCTION BOX FOR FUTURE RADON

DEVICE WITH OWNER AND ARCHITECT PRIOR TO ROUGH-IN.

14. INSTALL FIOPTIC 4-GANG AND QUAD OUTLET IN CABINET ABOVE

15. HOT WATER CIRCULATION PUMP HARDWIRED CIRCUIT CONNECTION.

16. DUCTLESS INDOOR UNIT POWERED FROM OUTDOOR UNIT. CONFIRM

ELECTRICAL CONTRACTOR. VERIFY ELECTRICAL REQUIREMENTS WITH

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## SCOPE OF WORK

RENOVATION OF EXISTING BUILDING MULTIFAMILY BUILDING WITH COMMERCIAL FIRST FLOOR. PROVIDE NEW ELECTRICAL DISTRIBUTION, POWER AND LIGHTING. SEE SINGLE LINE DIAGRAM FOR MORE DETAILS.

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A. EBS DRAWINGS INDICATE DESIGN INTENT AND REQUIRED OUTCOMES. IF CONDITIONS ARISE IN THE FIELD THAT REQUIRE DEVIATIONS FROM THE DRAWINGS IT IS ASSUMED THAT THE CONTRACTOR WILL DETERMINE THE APPROPRIATE DEVIATION WITH APPROVAL FROM THE OWNER. EBS IS AVAILABLE TO ASSIST WHEN REQUIRED IF ISSUES ARISE.

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- A. REFER TO ARCHITECT'S PLANS AND ELEVATIONS FOR DIMENSIONED LOCATIONS OF LIGHT FIXTURES.
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- D. WHERE DIMMERS AND/OR DIMMING SYSTEMS ARE REQUIRED, CONTRACTOR TO FURNISH DIMMERS THAT ARE COMPATIBLE WITH FIXTURE SOURCE AND RATED FOR THE WATTAGE OF THE DIMMING ZONE. PROVIDE ADDITIONAL DIMMERS AS REQUIRED TO MEET ZONE LOAD REQUIREMENTS.
- ELECTRICAL SWITCHES ON OPPOSITE SIDES OF A WALL ARE TO BE SPACED SO THAT THEIR ELECTRICAL BOX ARE A MINIMUM OF ONE STUD BETWEEN
- F. WHERE APPLICABLE, PROVIDE TOGGLE STYLE LIGHT SWITCHES.

- A. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ALL CONDUIT/CABLE ROUTING. COORDINATE ROUTING WITH ALL OTHER TRADES AND BUILDING
- PROVIDE MOTOR STARTERS FOR EQUIPMENT AS INDICATED ON DRAWINGS. COORDINATE ANY INTERLOCKING WIRING WITH HVAC CONTRACTOR AND PROVIDE WIRING, COILS, AND AUXILIARY CONTACTS AS NECESSARY. SIZE
- D. ALL PANELS AND DISCONNECTS LOCATED OUTDOORS SHALL BE LABELED
- ROOF MOUNTED AND OUTDOOR EQUIPMENT SHALL HAVE 120V RECEPTACLE
- FOR ITEMS FURNISHED BY OTHER TRADES, ELECTRICAL CONTRACTOR TO FULLY COORDINATE BREAKER AND WIRE SIZES WITH ACTUAL EQUIPMENT BEING CONNECTED PRIOR TO ROUGH-IN, OR INSTALLATION. THE SIZES ON PANEL SCHEDULES REFER TO BASIS OF DESIGN SELECTIONS, AND ACTUAL ITEMS MAY DEVIATE FROM BASIS OF DESIGN. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO CONFIRM REQUIRED WIRE AND BREAKER
- ELECTRICAL SYSTEMS. GROUNDING AND BONDING IS CONSIDERED MEANS AND METHODS OF CONSTRUCTION, AND SHOULD BE COMPLETED BY THE ELECTRICAL CONTRACTOR IN ACCORDANCE WITH NEC 250. GAS PIPING SYSTEMS MUST BE BONDED PER UTILITY PROVIDER'S INSTALLATION
- ELECTRICAL RECEPTACLES ON OPPOSITE SIDES OF A WALL ARE TO BE

#### **GENERAL NOTES-POWER**

- B. SEE SINGLE LINE DIAGRAM FOR FEEDER WIRE AND CONDUIT SIZE. ALL CIRCUITS NOT SIZED ON DRAWING SHALL BE INSTALLED TO MEET MINIMUM
- ALL CIRCUITS FOR ACTUAL EQUIPMENT TO BE CONNECTED.
- MOUNTED WITHIN 25' OF EACH PIECE. RECEPTACLES SHALL BE IN WEATHER PROOF BOX AND HAVE GFCI PROTECTION.
- SIZES WITH THE CONTRACTOR FURNISHING THE EQUIPMENT.
- G. REFER TO ARCHITECT'S PLANS AND ELEVATIONS FOR ALL DEVICE MOUNTING HEIGHTS.
- H. CONTRACTOR TO PROVIDE GROUNDING AND BONDING AS REQUIRED FOR GUIDELINES WHERE REQUIRED.
- SPACED SO THAT THEIR ELECTRICAL BOX ARE A MINIMUM OF ONE STUD BETWEEN BOXES.

Job No: 22042

Progress Dates

Checked By: PRS

Drawn by: AJW

**ENGINEERED** 

TEAMWORK COLLABORATION

SHARED SUCCESS

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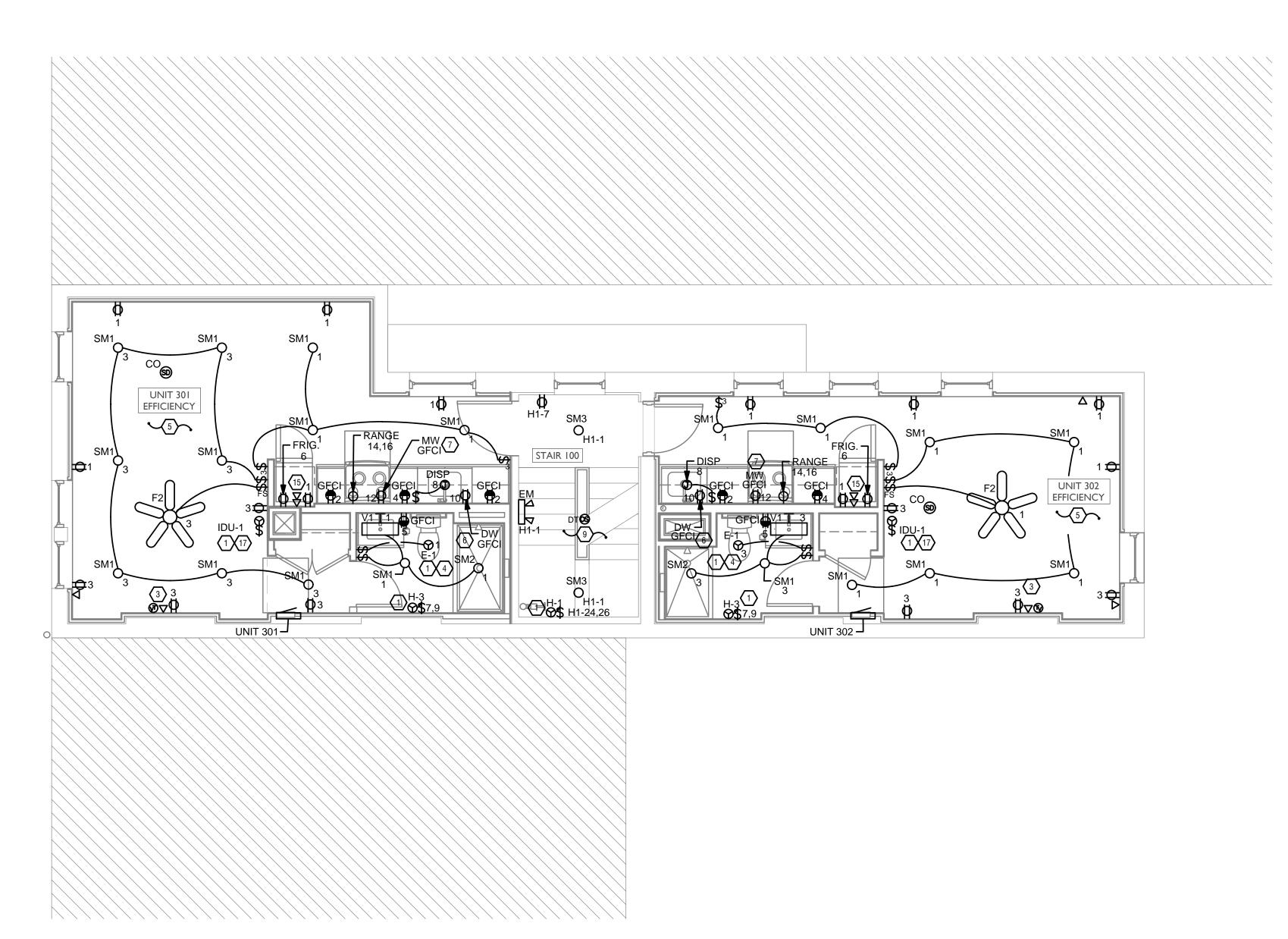
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08/30/2024 BID SET 2

STANDARD MOUNTING HEIGHTS



- A. PROVIDE AFCI PROTECTION IN ACCORDANCE WITH NEC 210.12. AFCI PROTECTION MUST BE PROVIDED WHERE EXISTING BRANCH CIRCUIT WIRING IS MODIFIED, OR RECEPTACLES ARE REPLACED, IN ACCORDANCE WITH NEC AND LOCAL ELECTRICAL INSPECTION REQUIREMENTS. REFER TO NEC 406.4 (D) AND NEC 210.12 (D)
- B. FURNISH AND INSTALL SMOKE DETECTORS AS REQUIRED BY CODE. SMOKE DETECTORS SHOWN ON EBS DRAWINGS ARE INTENDED TO CONVEY GENERAL COMPLIANCE FOR BUILDING DEPARTMENT SUBMITTALS. PROVIDE INTERWIRING BETWEEN SMOKE DETECTORS LOCATED IN THE SAME UNIT. SMOKE DETECTORS SHALL BE HARD WIRED WITH BATTERY BACK-UP. FIRE ALARM AND/OR SMOKE DETECTOR SYSTEMS ARE FURNISHED ON A DESIGN-BUILD BASIS BY THE ELECTRICIAN.
- C. WHERE CIRCUITING IS SHOWN TYPICAL FOR MULTIPLE UNITS, COORDINATE BREAKER/WIRE SIZES FOR EQUIPMENT FURNISHED BY OTHERS WITH SHOP DRAWINGS PROVIDED BY THE CONTRACTOR SUPPLYING THE EQUIPMENT. VERIFY BREAKER/WIRE SIZES FOR EQUIPMENT OR APPLIANCE FOR EACH UNIT PRIOR TO ROUGH-IN.
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MECHANICAL EQUIPMENT PROVIDED BY MECHANICAL CONTRACTOR, WIRED BY ELECTRICAL CONTRACTOR. VERIFY ELECTRICAL REQUIREMENTS WITH

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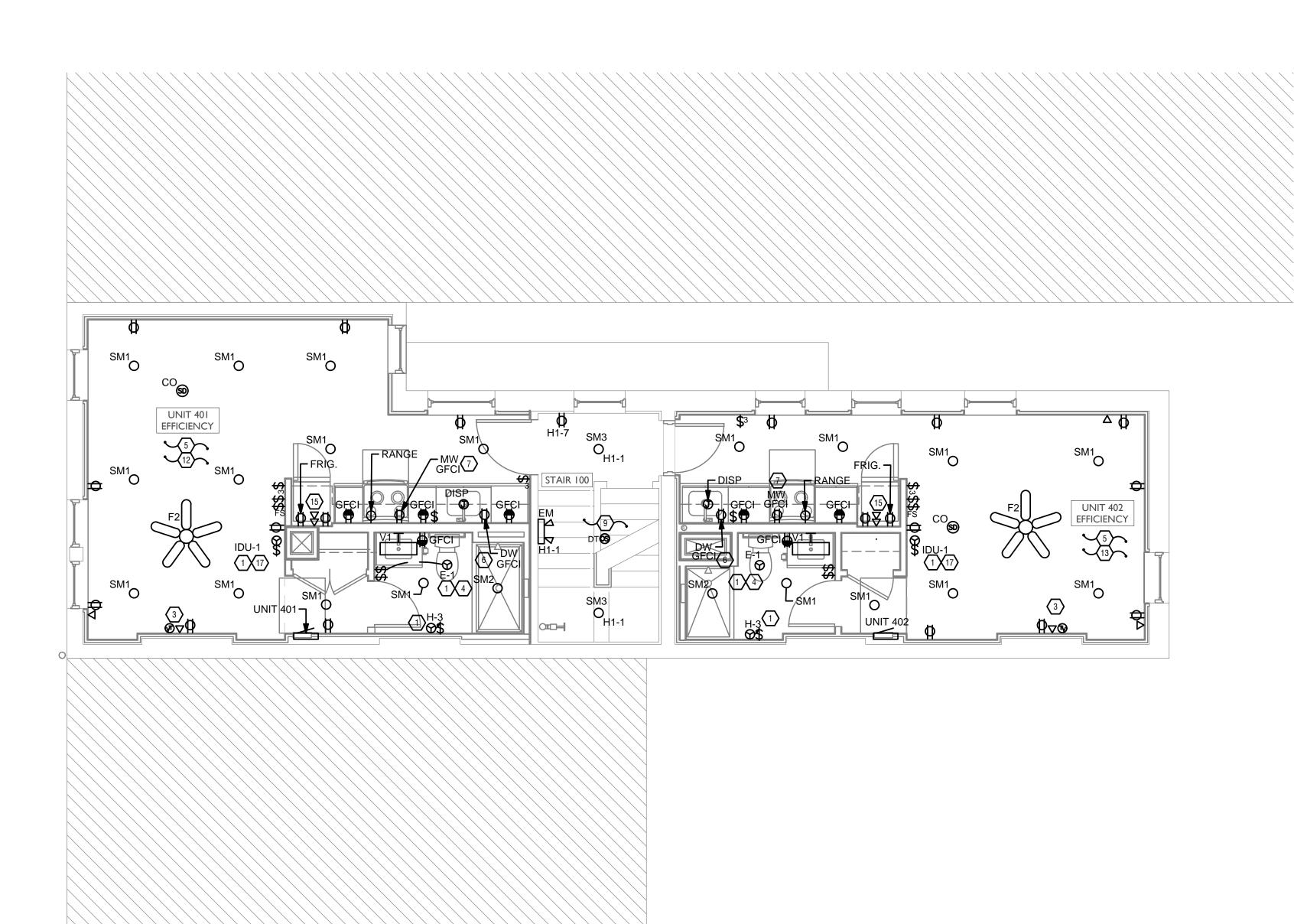
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Job No: 22042

STANDARD MOUNTING HEIGHTS

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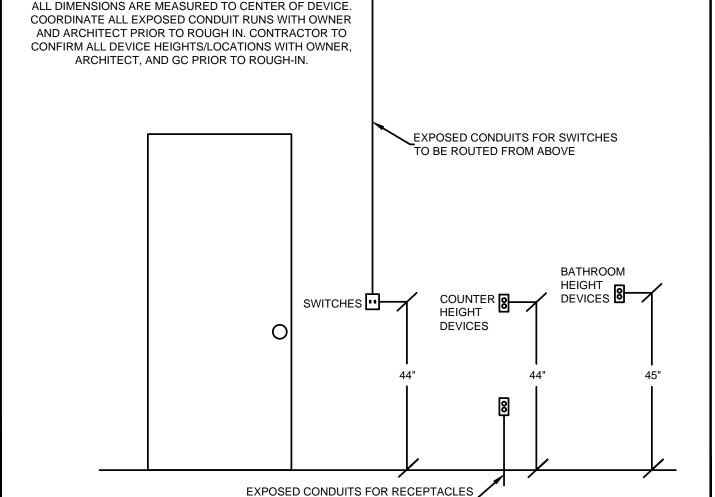
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MECHANICAL EQUIPMENT PROVIDED BY MECHANICAL CONTRACTOR, WIRED BY ELECTRICAL CONTRACTOR. VERIFY ELECTRICAL REQUIREMENTS WITH MECHANICAL REQUIREMENTS PRIOR TO ROUGH-IN.

**☞** KEYED SHEET NOTES

- 2. PLUMBING EQUIPMENT PROVIDED BY PLUMBING CONTRACTOR, WIRED BY ELECTRICAL CONTRACTOR. VERIFY ELECTRICAL REQUIREMENTS WITH PLUMBING REQUIREMENTS PRIOR TO ROUGH-IN.
- 3. COORDINATE TV RECEPTACLE AND DATA LOCATIONS WITH OWNER AND ARCHITECT PRIOR TO ROUGH-IN.
- 4. PROVIDE SWITCH AND CONNECTION FOR CONTINUOUSLY RUNNING 2-SPEED BATHROOM FAN. VERIFY REQUIREMENTS WITH MECHANICAL CONTRACTOR PRIOR TO ROUGH-IN.
- 5. PROVIDE HARD-WIRED SMOKE DETECTORS WITH BATTERY BACK-UP AS REQUIRED. ONE SMOKE DETECTOR IN EACH UNIT MUST BE A SMOKE/CO
- 6. DISHWASHER MUST BE GFCI PROTECTED PER NEC 210.8(D) RECEPTACLE SHALL BE LOCATED IN AN ACCESSIBLE LOCATION.
- 7. MICROWAVE RECEPTACLE LOCATED IN CABINET ABOVE, COORDINATE LOCATION WITH GENERAL CONTRACTOR PRIOR TO ROUGH-IN.
- 8. PROVIDE 120 VOLT DEDICATED CIRCUIT FOR SPRINKLER RISER TAMPER AND FLOW SWITCH. COORDINATE LOCATION WITH FIRE PROTECTION
- 9. CORRIDOR LIGHTS TO BE CONTROLLED BY OCCUPANCY SENSOR UNLESS OTHERWISE NOTED.
- 10. LOCATION OF BUILDING UTILITY DATA DEMARC. PROVIDE A 4'X4'X\frac{3}{4}" PLYWOOD BACKBOARD FOR DATA/PHONE UTILITIES. COORDINATE ALL REQUIREMENTS WITH OWNER, ARCHITECT, AND ALTA FIBER PRIOR TO ROUGH-IN. PROVIDE DEDICATED QUAD RECEPTACLE AS SHOWN.
- 11. EXTERIOR LIGHTING ON PHOTOCELL. CONFIRM LOCATION OF PHOTOCELL DEVICE WITH OWNER AND ARCHITECT PRIOR TO ROUGH-IN.
- 12. UNIT WIRED TO TYPICAL "0B2" REFER TO PANEL SCHEDULE FOR LOAD DATA. SEE UNIT 301 FOR CIRCUITRY LAYOUT.
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13. UNIT WIRED TO TYPICAL "0B1" REFER TO PANEL SCHEDULE FOR LOAD DATA.

- INTERCOM SYSTEM, WITH OWNER AND ARCHITECT PRIOR TO ROUGH-IN.
- 14. INSTALL FIOPTIC 4-GANG AND QUAD OUTLET IN CABINET ABOVE REFRIGERATOR AS SHOWN.
- 15. HOT WATER CIRCULATION PUMP HARDWIRED CIRCUIT CONNECTION. COORDINATE LOCATION WITH PLUMBING CONTRACTOR. PRIOR TO ROUGH-IN.
- 16. DUCTLESS INDOOR UNIT POWERED FROM OUTDOOR UNIT. CONFIRM LOCATION AND DISCONNECTING MEANS WITH INSTALLING CONTRACTOR.
- 17. LOCATION OF FUTURE RADON, PROVIDE JUNCTION BOX FOR FUTURE RADON FAN, FAN NOT TO BE INSTALLED AT THIS TIME.

#### **GENERAL NOTES-DWELLING UNITS**

- A. PROVIDE AFCI PROTECTION IN ACCORDANCE WITH NEC 210.12. AFCI PROTECTION MUST BE PROVIDED WHERE EXISTING BRANCH CIRCUIT WIRING IS MODIFIED, OR RECEPTACLES ARE REPLACED, IN ACCORDANCE WITH NEC AND LOCAL ELECTRICAL INSPECTION REQUIREMENTS. REFER TO NEC 406.4 (D) AND NEC 210.12 (D)
- B. FURNISH AND INSTALL SMOKE DETECTORS AS REQUIRED BY CODE. SMOKE DETECTORS SHOWN ON EBS DRAWINGS ARE INTENDED TO CONVEY GENERAL COMPLIANCE FOR BUILDING DEPARTMENT SUBMITTALS. PROVIDE INTERWIRING BETWEEN SMOKE DETECTORS LOCATED IN THE SAME UNIT. SMOKE DETECTORS SHALL BE HARD WIRED WITH BATTERY BACK-UP. FIRE ALARM AND/OR SMOKE DETECTOR SYSTEMS ARE FURNISHED ON A DESIGN-BUILD BASIS BY THE ELECTRICIAN.
- C. WHERE CIRCUITING IS SHOWN TYPICAL FOR MULTIPLE UNITS, COORDINATE BREAKER/WIRE SIZES FOR EQUIPMENT FURNISHED BY OTHERS WITH SHOP DRAWINGS PROVIDED BY THE CONTRACTOR SUPPLYING THE EQUIPMENT. VERIFY BREAKER/WIRE SIZES FOR EQUIPMENT OR APPLIANCE FOR EACH UNIT PRIOR TO ROUGH-IN.
- D. SEE ARCHITECTURAL REFLECTED CEILING PLANS FOR DIMENSIONED LOCATIONS OF ALL LIGHT FIXTURES.
- E. PROVIDE CONDUIT AND PULL STRING TO APPROVED LOCATION FOR VOICE, DATA, AND CATV CABLES.
- F. CIRCUITING ON DRAWINGS AND PANEL SCHEDULE IS SHOWN TYPICAL FOR SIMILAR UNITS. REFER TO DWELLING UNIT LOAD SUMMARIES FOR INDIVIDUAL
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### SCOPE OF WORK

RENOVATION OF EXISTING BUILDING MULTIFAMILY BUILDING WITH COMMERCIAL FIRST FLOOR. PROVIDE NEW ELECTRICAL DISTRIBUTION. POWER AND LIGHTING. SEE SINGLE LINE DIAGRAM FOR MORE DETAILS.

#### GENERAL NOTES-OVERALL PROJECT

A. EBS DRAWINGS INDICATE DESIGN INTENT AND REQUIRED OUTCOMES. IF CONDITIONS ARISE IN THE FIELD THAT REQUIRE DEVIATIONS FROM THE DRAWINGS IT IS ASSUMED THAT THE CONTRACTOR WILL DETERMINE THE APPROPRIATE DEVIATION WITH APPROVAL FROM THE OWNER. EBS IS AVAILABLE TO ASSIST WHEN REQUIRED IF ISSUES ARISE.

## GENERAL NOTES-LIGHTING

- A. REFER TO ARCHITECT'S PLANS AND ELEVATIONS FOR DIMENSIONED LOCATIONS OF LIGHT FIXTURES.
- B. PROVIDE HOLD-ON-TYPE BREAKERS FOR EGRESS/EMERGENCY LIGHTING CIRCUITS. WIRE ALL EGRESS/EMERGENCY FIXTURES AHEAD OF ANY LOCAL
- C. LIGHT FIXTURES CONTROLLED BY SWITCH IN SAME ROOM UNLESS OTHERWISE NOTED.
- D. WHERE DIMMERS AND/OR DIMMING SYSTEMS ARE REQUIRED, CONTRACTOR TO FURNISH DIMMERS THAT ARE COMPATIBLE WITH FIXTURE SOURCE AND RATED FOR THE WATTAGE OF THE DIMMING ZONE. PROVIDE ADDITIONAL DIMMERS AS REQUIRED TO MEET ZONE LOAD REQUIREMENTS.
- . ELECTRICAL SWITCHES ON OPPOSITE SIDES OF A WALL ARE TO BE SPACED SO THAT THEIR ELECTRICAL BOX ARE A MINIMUM OF ONE STUD BETWEEN
- F. WHERE APPLICABLE, PROVIDE TOGGLE STYLE LIGHT SWITCHES.

#### **GENERAL NOTES-POWER**

- A. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ALL CONDUIT/CABLE ROUTING. COORDINATE ROUTING WITH ALL OTHER TRADES AND BUILDING
- B. SEE SINGLE LINE DIAGRAM FOR FEEDER WIRE AND CONDUIT SIZE. ALL CIRCUITS NOT SIZED ON DRAWING SHALL BE INSTALLED TO MEET MINIMUM
- PROVIDE MOTOR STARTERS FOR EQUIPMENT AS INDICATED ON DRAWINGS. COORDINATE ANY INTERLOCKING WIRING WITH HVAC CONTRACTOR AND PROVIDE WIRING, COILS, AND AUXILIARY CONTACTS AS NECESSARY. SIZE
- D. ALL PANELS AND DISCONNECTS LOCATED OUTDOORS SHALL BE LABELED
- ROOF MOUNTED AND OUTDOOR EQUIPMENT SHALL HAVE 120V RECEPTACLE MOUNTED WITHIN 25' OF EACH PIECE. RECEPTACLES SHALL BE IN WEATHER PROOF BOX AND HAVE GFCI PROTECTION.
- FULLY COORDINATE BREAKER AND WIRE SIZES WITH ACTUAL EQUIPMENT BEING CONNECTED PRIOR TO ROUGH-IN, OR INSTALLATION. THE SIZES ON PANEL SCHEDULES REFER TO BASIS OF DESIGN SELECTIONS, AND ACTUAL ITEMS MAY DEVIATE FROM BASIS OF DESIGN. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO CONFIRM REQUIRED WIRE AND BREAKER
- G. REFER TO ARCHITECT'S PLANS AND ELEVATIONS FOR ALL DEVICE MOUNTING
- H. CONTRACTOR TO PROVIDE GROUNDING AND BONDING AS REQUIRED FOR ELECTRICAL SYSTEMS. GROUNDING AND BONDING IS CONSIDERED MEANS AND METHODS OF CONSTRUCTION, AND SHOULD BE COMPLETED BY THE ELECTRICAL CONTRACTOR IN ACCORDANCE WITH NEC 250. GAS PIPING SYSTEMS MUST BE BONDED PER UTILITY PROVIDER'S INSTALLATION
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GUIDELINES WHERE REQUIRED.

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Progress Dates 05/05/2023 BID P/E/FP 08/30/2024 BID SET 2

1\07/07/2023 ADDENDUM I

Checked By: PRS

Drawn by: AJW



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STANDARD MOUNTING HEIGHTS

- A. PROVIDE AFCI PROTECTION IN ACCORDANCE WITH NEC 210.12. AFCI PROTECTION MUST BE PROVIDED WHERE EXISTING BRANCH CIRCUIT WIRING IS MODIFIED, OR RECEPTACLES ARE REPLACED, IN ACCORDANCE WITH NEC AND LOCAL ELECTRICAL INSPECTION REQUIREMENTS. REFER TO NEC 406.4 (D) AND NEC 210.12 (D)
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TLA architecture +

Progress Dates

05/05/2023 BID P/E/FP
08/30/2024 BID SET 2

Revisions

Checked By: PRS

Drawn by: AJW



TEAMWORK COLLABORATION
SHARED SUCCESS
515 Monmouth Street, Suite 204
Newport, KY 41071 (859) 261-0585
MEP Consulting Services, Inc. in OH

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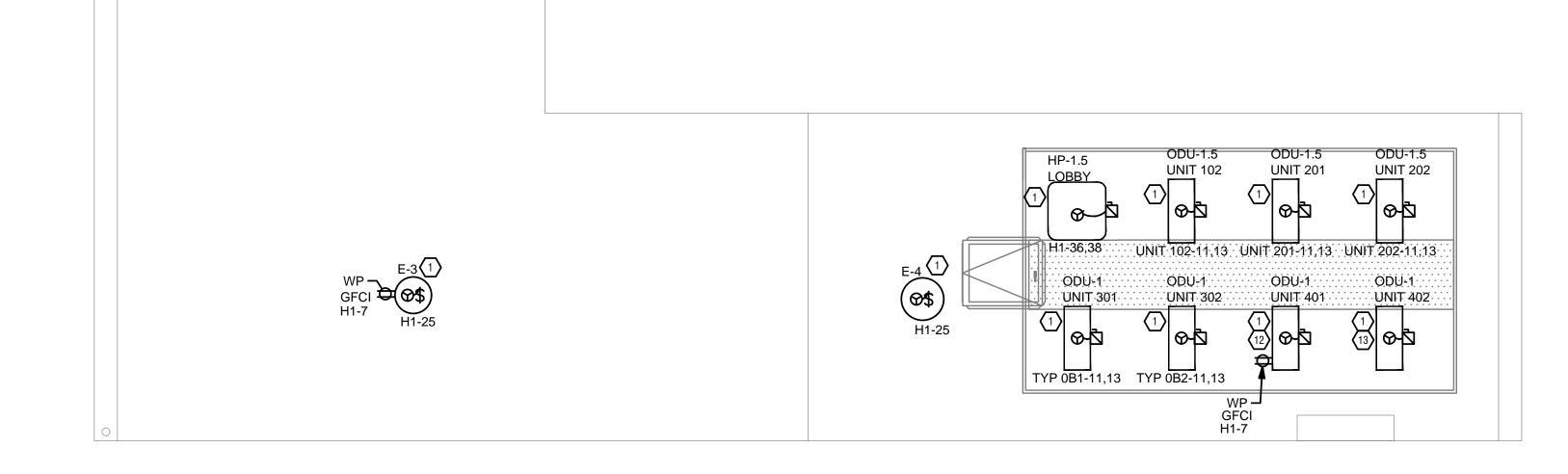
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FOR PUBLIC ST. 0H, 45202

ENOVATION FOR 804 REPUB

Job No: 22042 8/10/2022

E1.06



#### **ELECTRICAL SPECIFICATIONS**

#### General Demolition

a. Refer to architectural drawings, general notes, instructions to bidders, general conditions, supplementary general conditions, base building specifications and drawings, shop drawing manuals and as-built plans, except as noted herein, which apply in all respects to this section. The contractor shall visit the site and familiarize himself with all existing conditions prior to bidding the work

#### 2. Use of Drawings And Specifications

a. EBS drawings and specifications are intended to convey design intent only. All means and methods sequences, techniques, and procedures of construction as well as any associated safety precautions and programs, and all incidental and temporary devices required to construct the project, and to provide a complete and fully operational electrical system are the responsibility of the electrical

#### Standards

a. Materials equipment and materials shall conform with appropriate provisions of NEC, ASTM, UL, ETL, NEMA, ANSI, as applicable to each individual unit or

#### Codes

a. All work shall be performed in strict accordance with all applicable state and local codes and ordinances. In case of conflict between the drawings/specifications and the codes and ordinances, the highest standard shall apply. The electrical contractor shall satisfy code requirements as a minimum standard without any extra cost to owner.

#### 5. Permits and Fees

a. The electrical contractor shall procure and pay for all permits, fees and inspections necessary to complete the electrical work.

#### Warranty

a. The electrical contractor shall unconditionally warrant all work to be free of defects in material and workmanship for a period of one (1) year from the date of final acceptance, and will repair or replace any defective work promptly and without charge and restore any other existing work damaged in the course of repairing defective materials and workmanship.

- 7. Site Examination a. The electrical contractor shall thoroughly examine all areas of work where equipment will be installed and shall report any condition that, in his opinion, prevents the proper installation of the electrical work prior to bid. He shall also
- examine the drawings and specifications of other branches of work making reference to them for details of new or existing building conditions.
- b. All work shall be done at times convenient to the owner and only during normal working hours, unless specified otherwise.

c. Electrical contractor shall take his own measurements and be responsible for

d. Access panels are not shown on drawings. During site examination, contractor

shall identify all areas where access panels are required, and report to general contractor. Designation of who furnishes and who installs access panels must be coordinated with general contractor prior to starting work.

#### 8. Contractor Coordination

a. The electrical drawings and specifications convey design intent only. Means and methods, sequences, techniques, and procedures of construction as well as any associated safety precautions and programs, and all incidental and temporary devices required to construct the project are the responsibility of the electrical

b. All systems installed by each sub-contractor shall be coordinated with one another and approved by general contractor/construction manager, etc. prior to installation and/or fabrication. Where the electrical contractor is making a connection to equipment/components that are furnished by others, electrical contractor to verify all connection requirements with actual equipment being connected, including but not limited to OCP size, means of disconnect, special connection requirements, or other items indicated on shop drawings, or manufacturer's installation instructions and/or installation diagrams, and furnish all labor and materials required for the installation and operation of the equipment. No allowances will be made for failure to coordinate, after electrical connections have been installed.

#### c. If questions concerning design intent arise during coordination, EBS can assist where appropriate.

d. The architectural drawings shall take precedence over all other drawings. Do not scale distances off the electrical drawings; use actual building dimensions.

e. Coordination drawings showing system and component installation layout, routing, details, etc. shall be produced by the electrical contractor and under the supervision of the general contractor/construction manager, or appropriate party as applicable. All systems installed by each sub-contractor shall be coordinated with one another and approved by general contractor/construction manager, etc. prior to installation and/or fabrication. If questions concerning design intent arise during coordination, EBS can assist where appropriate.

#### 9. Utility Coordination a. Electrical contractor to verify installation of metering and utility demarcation

## required items per utility company's installation requirements and/or manuals.

Submittals a. Products installed by the electrical contractor and provided by others must be submitted for review prior to purchasing. Products shall not be selected based on permit drawings without express permission - products shall be selected

equipment with utility provider prior to start of work and furnish and install

#### based on construction drawings.

Shop Drawings

Record Drawing a. The electrical contractor shall be responsible for creating record drawings where required. Drawings shall be produced in Autocad 2004 format or later.

#### a. Submit to the architect pdf file copies of complete & certified shop drawings, descriptive data, performance data & ratings, diagrams and specifications on all

specified equipment, including accessories, and materials for review.

b. The make, model number, type, finish & accessories of all equipment and materials shall be reviewed & approved by the electrical contractor & general contractor prior to submitting to the architect for their review & approval.

c. Review of shop drawings does not relieve the electrical contractor/vendor from compliance with the requirements of the contract drawings, specifications & applicable codes.

a. All electrical systems shall be tested for proper operation. Balance all branch circuit loads between the phases of the system to within 10% of the highest phase load in each panelboard.

a. The electrical contractor shall provide temporary electrical wiring for construction. The temporary service shall be a minimum of 60 amps, single phase, three wire, 120/208 volts fused at main disconnect. All receptacles on this temporary service shall be protected by a GFI breaker.

#### 15. Mechanical Equipment

a. All final connections to mechanical equipment shall be done by the electrical contractor.

#### 16. Demolition

a. The electrical contractor shall be responsible for deenergizing circuits in demolition areas to insure a safe condition. Electrical devices and associated wiring located within the demolition area that will no longer be used shall be removed and properly disposed of at contractor's expense unless otherwise

#### Power Outages

a. The electrical contractor shall schedule all electrical system(s) outages with the general contractor and owner at least 24 hours in advance. Unless approved otherwise all outages shall occur between 11:00pm and 5:00am.

#### 18. Grounding and Bonding

a. Contractor to provide grounding and bonding as required for electrical systems. Grounding and bonding is considered means and methods of construction, and should be completed by the electrical contractor in accordance with NEC 250.

#### b. Any gas piping systems must be bonded per utility provider's installation guidelines where required.

a. Provide all new material and equipment unless noted otherwise. All equipment shall be UL approved and labeled, or other approved testing organization which has acceptance by the local jurisdiction, for the purpose for which they are used, in addition to meeting all requirements of the current applicable codes and regulations. No substitution to materials specified will be allowed unless approved

b. Electrical contractor shall not order or purchase any materials or equipment until permit drawings have been approved. No allowances will be made for any

#### changes that occur if permit drawings have not been approved prior to ordering.

a. Perform cutting, coring, fitting, repairing and finishing of the work necessary for the installation of the equipment of this section. However, no cutting of the work of other trades or of any structural member shall be done without the consent of the owner. Properly fill, seal, fireproof, and waterproof all openings, sleeves, and holes in slabs, walls, and casework.

#### 21. Wiring Methods

20. Cutting and Fitting

a. Provide code approved wiring methods for branch circuiting indoors, such as NM cable (only where permitted by NEC 334), EMT conduit, or MC cable for mechanical equipment, lighting, and power.

#### b. Conduit runs on exterior of building shall be rigid steel conduit with weather tight, corrosion-resistant fittings. Schedule 40 PVC is acceptable where permitted by code and or underground runs or concrete encasement where not exposed to physical damage.

- c. The minimum size of conduit shall be 3/4" unless otherwise noted. Conduit connectors shall be double locknut type, UL listed and labeled, with compression or set screw fittings.
- d. Rigid conduit shall be hot dipped galvanized.
- e. Where raceways are installed for others to use, or for future use, provide nylon
- f. Penetrations through fire rated construction shall be sealed using 3M fire barrier caulk, Nelson Electric Flameseal or T&B Flamesafe or other approved method.

#### 22. Conductors and Terminations a. Branch conductors shall be copper, feeders as indicated on riser diagram. Conductors shall be insulated for 600v number 12 AWG minimum. Provide wires and cables as indicated listed and suitable for temperature, conditions, and

#### location where installed. 23. Motors and Other Wiring

a. The electrical contractor shall provide all required conduit, wiring, and safety switches for all motors, and other electrical equipment, even though the motors and electrical equipment may be supplied by others. The electrical contractor shall include all work and connections required to make the system complete and operational. Provide magnetic starters for equipment as indicated on the drawings.

b. The electrical equipment may include but not be limited to such items as grille motors and interlocks, exterior and interior signage, starting devices, motor controllers, float switches, alarm devices or systems, push buttons, exhaust fans, data systems, intercoms and stereo systems. The electrical contractor shall verify equipment location and sizes with the trade supplying the equipment before installing the conduit or outlets.

#### 24. Devices a. Hubbell, Leviton, or approved equal with matching coverplates

b. Provide specification grade wiring devices, in types, characteristics, grades, colors, and electrical ratings for applications indicated, which are UL-listed and which comply with NEMA WD1 and other applicable UL and NEMA standards. Verify color selections with architect. Provide device plates to match device

c. Provide GFCI protection for all kitchen 15 and 20-amp receptacles. Where the receptacle is rendered inaccessible by equipment provide GFCI protection at the circuit breaker.

#### 25. Service entrance and distribution equipment

a. Electrical contractor must submit drawings for permit and receive approval prior to ordering equipment. No allowances will be made for equipment changes that occur prior to receipt of approved plans.

#### 26. Disconnects and Fused Switches

a. Heavy duty type, horsepower rated with interlocking cover. NEMA 1 typical. Outdoor and wet location switches shall be raintight type NEMA 3Rr. All switches shall be lockable. Fuses in circuits rated at 600 amperes or less shall be UL class RK1 dual-element, time-delay, current limiting fuses. Fuses in circuits rated at 601 amperes or larger shall be UL class I time-delay, current limiting fuses.

#### 27. Nameplates

a. Provide permanent nameplate labeling on all disconnects. Include load served, voltage, phase, horsepower, fuse size, and type.

a. Mount independent of the mechanical unit housing unless specifically accepted by the local code authority. Provide Unistrut support channels mounted in coordination with roof penetration and patching work. Coordinate with general

29. Grounding and bonding for electrical systems and equipment a. Provide grounding and bonding for electrical service in accordance with NEC article 250.

b. All major parts not carrying current, including but not limited to, secondary feeder circuit, equipment and panelboard enclosures, pull and junction boxes, shall be properly grounded. Metallic raceways shall utilize double locknuts and other fittings as required to provide ground continuity.

#### 30. Multi-tenant Meter Centers

a. Provide meter centers(s) as shown on the drawings and as specified herein. Meter centers shall have main lugs only or main breakers as required, and shall have branch breaker installed for each meter socket. Meter centers shall be Eaton, Square D, GE by ABB, or equal, and shall be of the same manufacture as load centers or panelboards served. Meter centers shall be enclosed NEMA 1, NEMA 3R as required. Final configuration (number of meters per section, end-main/center-main, etc. shall be determined by contractor. All bussing must be rated for the loads served. Meter centers shall be rated to withstand the available fault current.

#### 31. Panelboards

a. Provide branch circuit panelboard(s) as shown on the drawings and as specified herein. Panelboards shall have bolted, thermal and magnetic breakers with main lugs only or main breakers as required. Panelboards shall be Eaton, Square D, GE by ABB, or equal, and be enclosed in NEMA 1 type housing unless noted otherwise. Enclosure(s) shall be complete with a hinged door, cylinder lock, and a neatly typed directory under plastic cover in each panel door. All multiple pole breakers shall have a common trip handle. All panels and breakers shall be rated to withstand available fault current.

#### 32. Residential Load Centers

a. Provide load centers as shown on drawings and as specified herein. Load centers shall be Eaton, Square D, GE by ABB, or equal. Load centers shall contain a neatly typed directory in each door. All multiple pole breakers shall have a common trip handle. All panels and breakers shall be rated to withstand available fault current. Load centers may be used in areas other than dwelling units where appropriate and where approved by Owner's representative.

#### 33. Lighting

a. Provide a new lighting system complete and fully operational and in conformance with code and UL listing requirements. Clean all fixtures at time of job completion utilizing manufacturers approved or recommended cleaning solutions. All fixtures and lamps are provided by this contractor as scheduled unless noted otherwise. Contractor shall furnish all boxes, mounting kits, transformers, controllers, and other components necessary for a complete and fully functional installation.

b. Where dimmers and/or dimming systems are required, contractor to furnish dimmers that are compatible with fixture source and rated for the wattage of the dimming zone. Provide additional dimmers as required to meet zone load

#### 34. Telephone System

a. Telephone wiring and system provided by owner. Verify system requirements and rough-in locations with owner prior to start of construction. Electrical contractor shall provide plaster ring and pull string from each device location to above accessible ceiling.

#### 35. Security System Notes

a. Security wiring and system provided by owner. Verify system requirements and rough-in locations with owner prior to start of construction. Provide power for

#### owner's head-end equipment and remote power for secure doors as required.

36. Data/Pos/A-V/System Notes a. Data, POS and/or A-V wiring and systems provided by owner. Verify system requirements and rough-in locations with owner prior to start of construction. Electrical contractor shall provide plaster ring and pull string from each device

#### location to above accessible ceiling. 37. Fire Alarm System

a. Fire alarm system to be design-build by contractor. Contractor shall provide all required drawings and submit to authorities. Refer to architect's code sheet for relevant design criteria. Submit drawings to Owner/Architect for review prior to submitting to authorities. Provide required items including but not limited to relay modules, monitor modules, return-air detectors, elevator recall, etc. Provide remote annunciator panel(s) at location(s) approved by Architect and authorities.

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Progress Dates 05/05/2023 BID P/E/FP 08/30/2024 BID SET 2

Revisions

Checked By: PRS



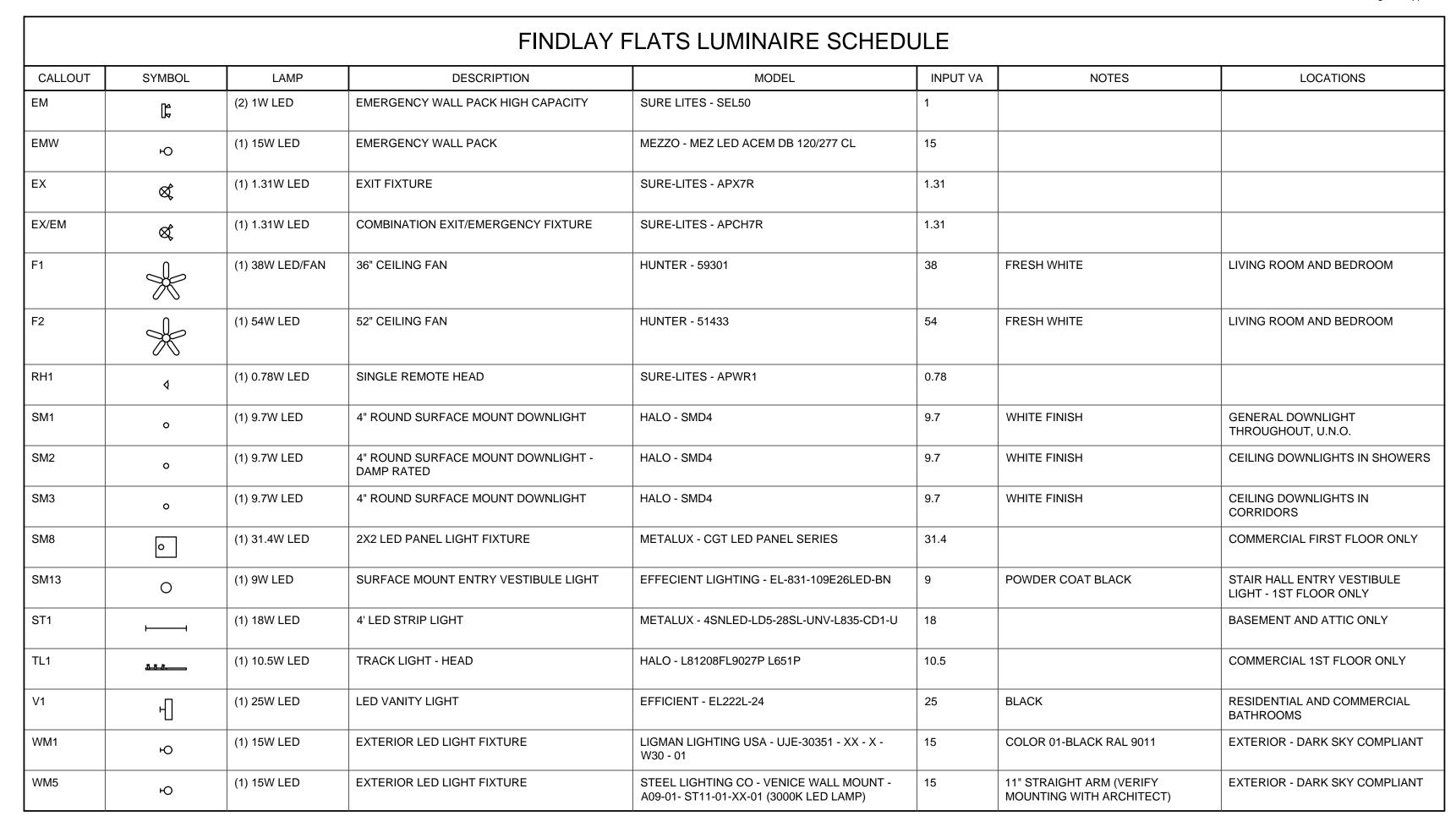
SYSTEMS INC. COLLABORATION TEAMWORK SHARED SUCCESS 515 Monmouth Street, Suite 204 Newport, KY 41071 (859) 261-0585 MEP Consulting Services, Inc. in OH

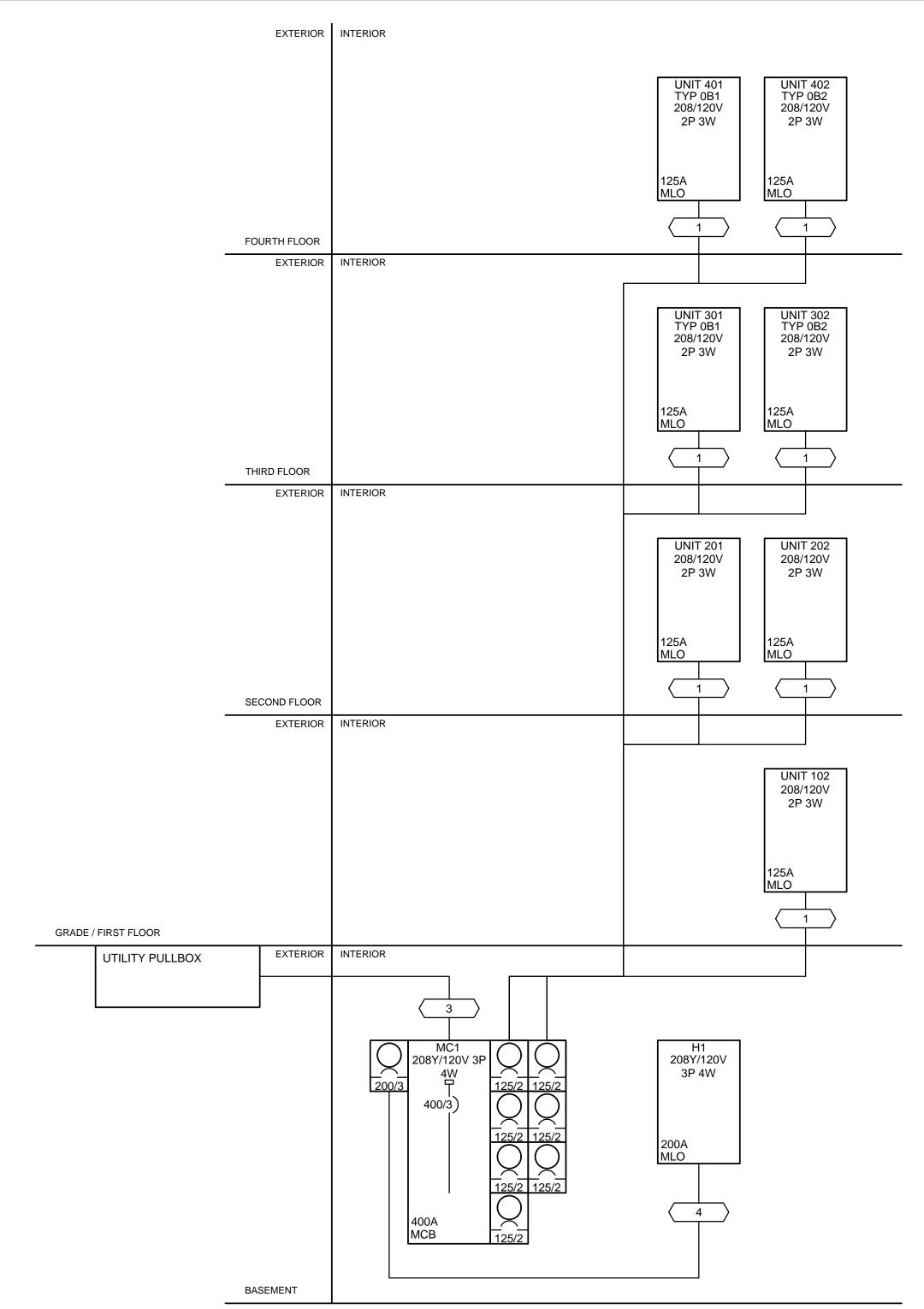
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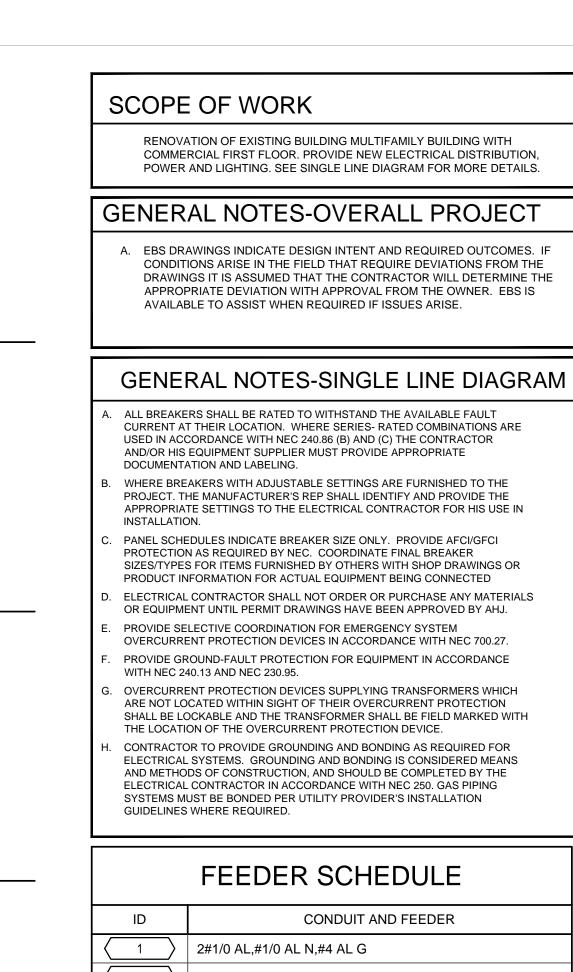
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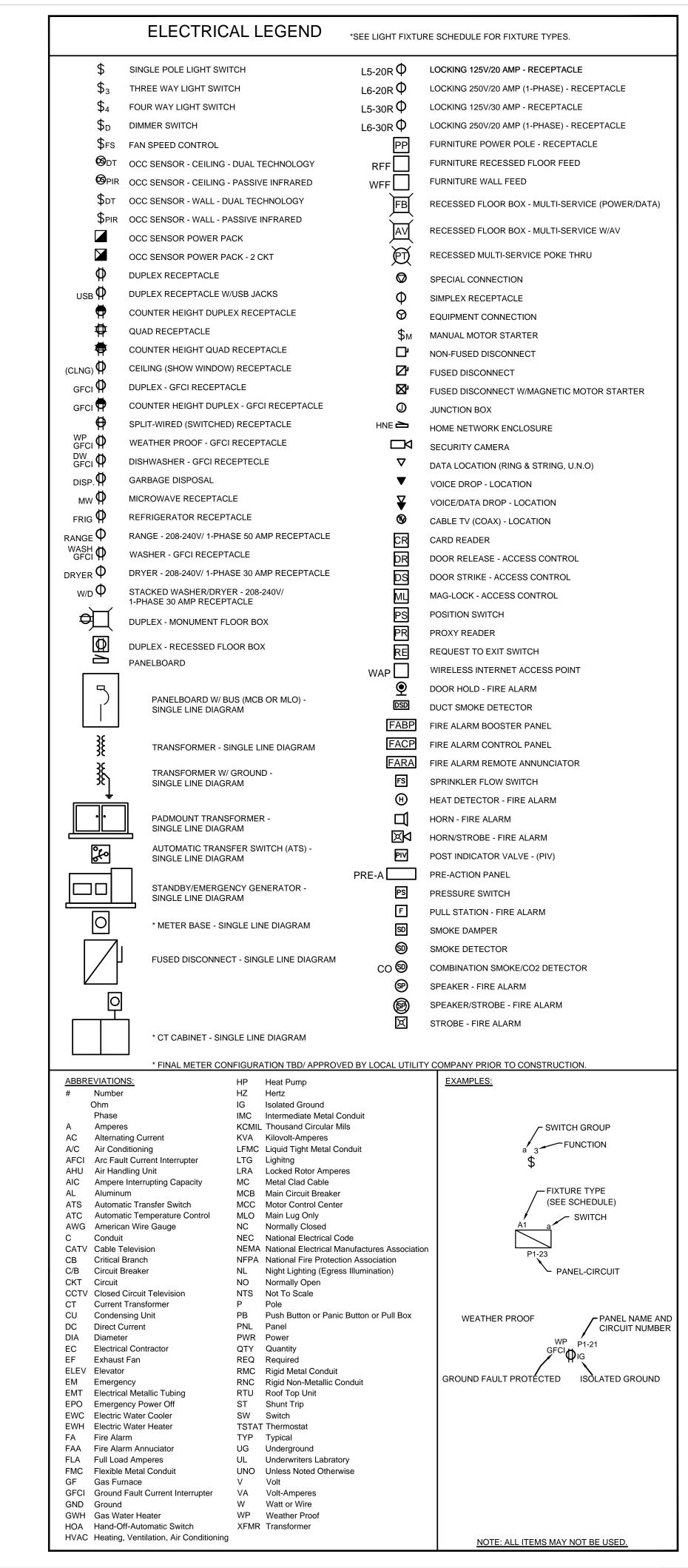


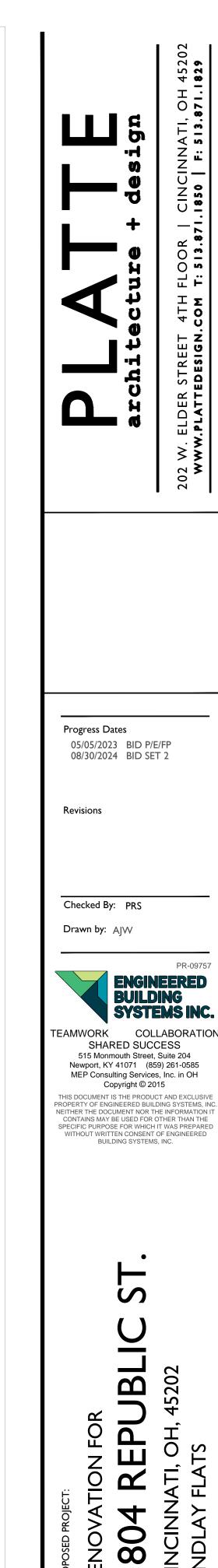




	FEEDER SCHEDULE
ID	CONDUIT AND FEEDER
1	2#1/0 AL,#1/0 AL N,#4 AL G
3	(2)2-1/2"C,3#250kcmil AL,#250kcmil AL N,#1/0 AL G
4	2-1/2"C,3#250kcmil AL,#250kcmil AL N,#4 AL G
SIZING METH	OD: COMPACT AL 75°C 100A AND ABOVE, CU 75°C

BELOW 100A





MC FE	OOM DUNTING D FROM DTE	FLUSH MC1			VOLTS 20 BUS AMPS NEUTRAL	20	0	3P 4W		N	AIC T.B.D Main BKR Lugs Sta	MLO
1 1 3 5 7 9 1 3 5 7	CKT BKR 20/1 20/1 20/1 20/1 20/1 20/1 20/1 20/1	LOAD KVA 0.363 0.36 1.08 1.18 0.5 1 0 0.96 0.96	LIGHTIN RECEPT RECEPT E-2, R (SR) S MONITO DH-1 SPACE (DE-1)	ΓACLE	_E RISER STEM	c	# 2 4 6 8 10 12 14 16	CKT BKR 20/1 20/1 20/1 30/2   30/2   30/2	LOAD KVA 1.5 1.5 1.5 4.75 4.75 4.75	CIRC WASI WASI DRYE DRYE	HER HER ER	CRIPTION
21 25 27 29 31 33 35 37	20/1 20/1 20/1 20/1 20/1 20/1 20/1 20/1	1.2 0.25 0.42 0 0 0 0 0 0	ESP1	E RADON -4		р с а р с а р	22 24 26 28 30 32 34 36 38 40	20/2   20/2   20/2   20/2   20/1 20/1	2 2 9.9 2.45 0.25 0	H-1  H-1  AHU  HP-  HWRI  SPAC	1.5 P	
AF LA	GHTING PPLIANCE ARGEST MOTOR OTORS		CONN KVA 0.363 0.25 2.45 1.97	CALC KVA 0.453 0.25 0.614 1.97	- (125%) (100%) (25%) (100%)		CON NON HEA COC TOT BAL PHA	EPTACLE TINUOUS CONTINU TING PLING AL LOAD ANCED 3-1 AD ASE A ASE B ASE C	S 2.52 4.5 OUS 21.2 18.4 2.4	<u>2</u> 1	CALC KVA  2.52 5.63 21.2 18.4 0 51 141 A  114% 109% 77.2%	(50%>10) (125%) (100%) (100%) (0%)

M(	<u>C1</u>														
	NTING <b>FLUSH</b> FROM <b>UTILITY</b>	PULLBOX	BL	DLTS <b>208Y</b> US AMPS 4 CUTRAL <b>10</b> 0	100	SP 4W			AIC T.B.D. MAIN BKR LUGS STAN						
CKT #	BREAKER TRIP/POLES	CIRCUIT DESCRI	IPTION			OAD KV	Т	FEEDER E	RACEWAY AND (	CONDUCTORS					
1 2 3 4 5 6 7 8	200/3 125/2 125/2 125/2 125/2 125/2 125/2 125/2	PANEL H1 UNIT 102 UNIT 201 UNIT 202 UNIT 301 - TY UNIT 302 - TY UNIT 401 - TY UNIT 402 - TY	́Р. 0B2 ′Р. 0B1 ′Р. 0B2		A 18.6 14.3 12.6 12.8 12.1	17.7 12.9 14.2 12.1 12.8 12.1	12.5	2-1/2"( 2#1/0 A 2#1/0 A 2#1/0 A 2#1/0 A 2#1/0 A		AL,#250kcmil ,#4 AL G ,#4 AL G ,#4 AL G ,#4 AL G ,#4 AL G	AL N,#4 AL G				
OPTIO			NECTED KVA		70.3	81.7	78								
OPTIC	ONAL MULTIFAM	ILY DWELLING CAL	_CULATION (NE	,	DWELLIN	IG UNIT L	OADS								
			KVA							KVA					
SMA APP ELEC MOT	HTING AND RECE ALL-APPLIANCE PLIANCES CTRIC COOKING FORS		7.56 21 61.3 59.5 2	2,519 SF (3 VA/SF)		DWE DEM	INECTED ELLING U IAND FAG CULATEI	INITS CTOR		175 7 (44%) 76.9					
	TING DLING		23.5 20.2	(100%) (0%)											
					HOL	ISE LOAD	)S								
		CONN KVA	CALC KVA	_					CONN KVA	CALC KVA					
LAR(	HTING GEST MOTOR FORS	0.363 2.45 1.97	0.453 0.614 1.97	(125%) (25%) (100%)		NON HEA	ITINUOU ICONTIN TING		4.5 21.2 18.4	5.63 21.2 18.4	(125%) (100%) (100%)	Meter Ce	enter Brea	akdown (I	MC)
REC	EPTACLES	2.52	2.52	(50%>10)	)		DLING		2.45	0	<u>(0%)</u>	220.84 Multi-Family Calculation		Qty	Tota
								SE LOAD		50.7		UNIT 102 UNIT 201		1	26 25
					TO	TAL LOAI	)					UNIT 202		1	25
			KVA							KVA		TYP 0B1	24.08	2	48
	AL DWELLING U		76.9 50.7	<del></del>			AL LOAD	) 3-PHASE LO	AD	128 354 A		TYP 0B2  Total Quantity and Conne		7	47 174

Total KVA

26.94

25.95

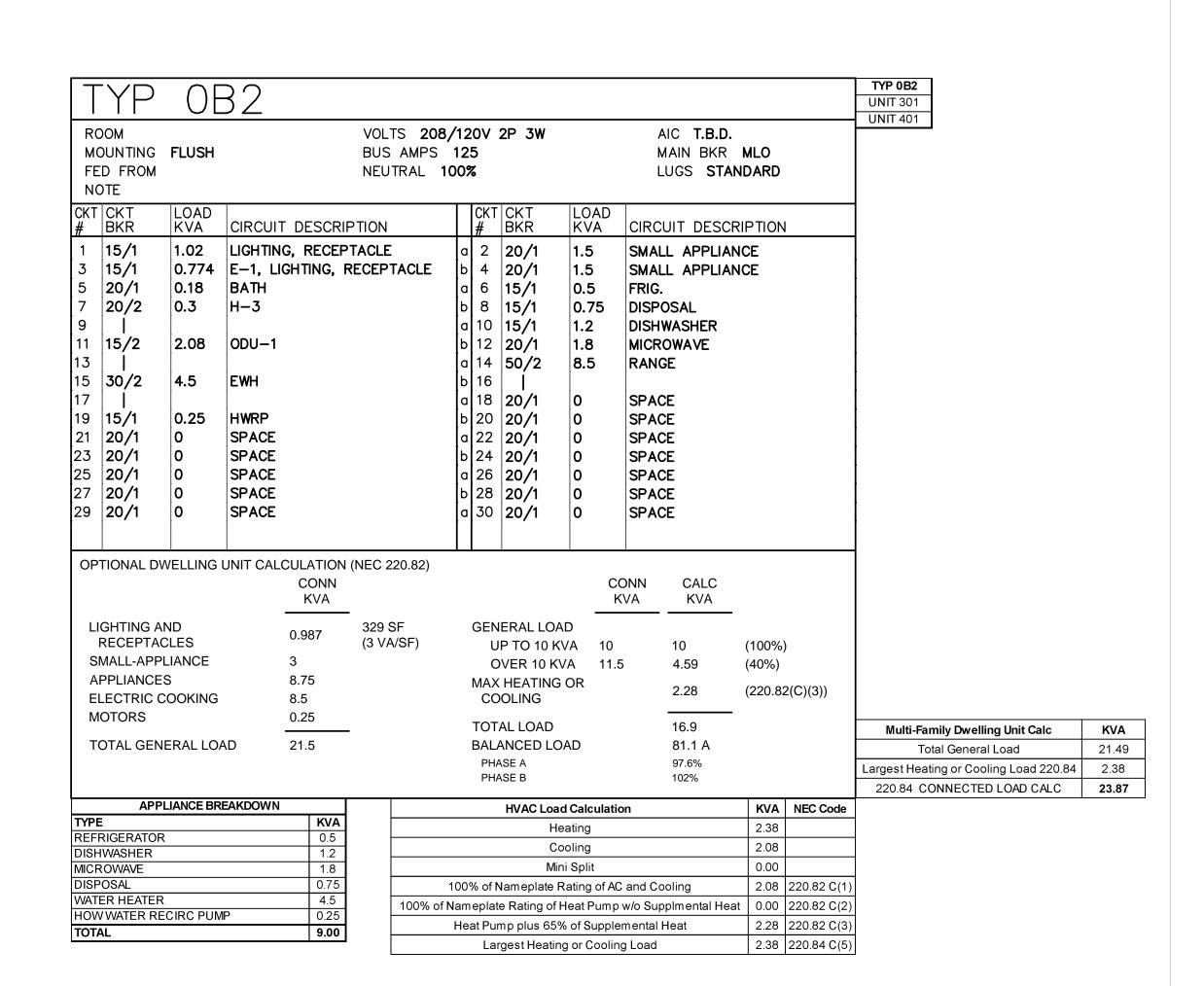
25.74

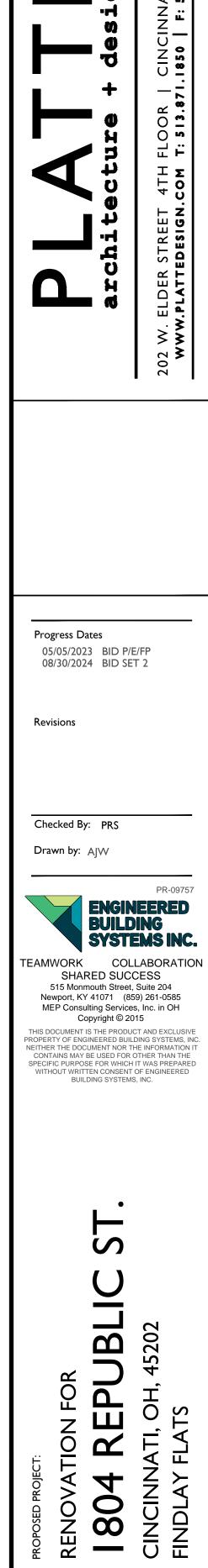
48.17

47.73

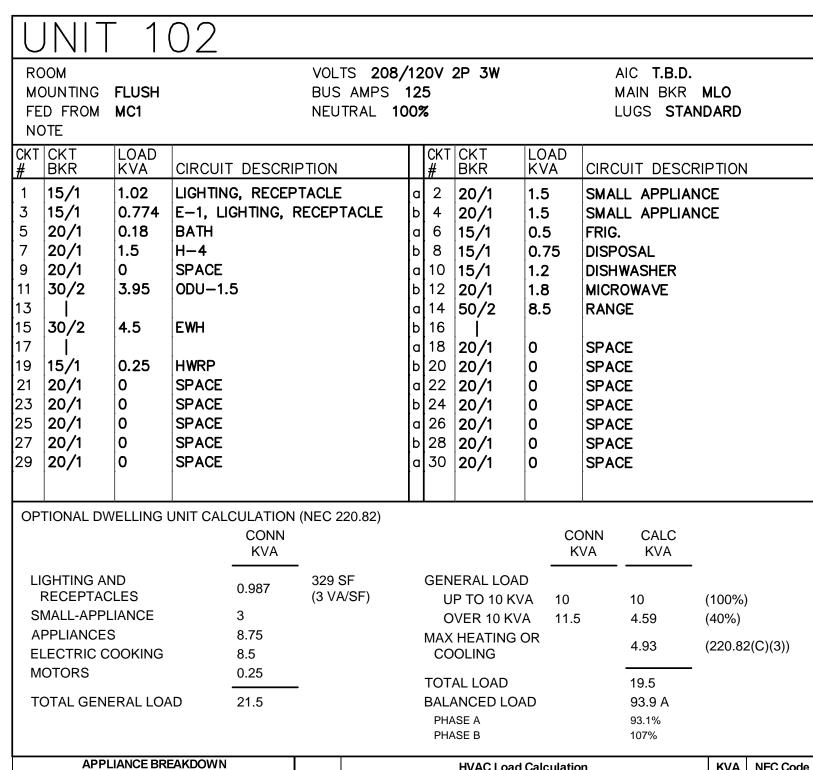
174.53

M FE N	OOM OUNTING ED FROM OTE	FLUSH	<u> </u>		VOLTS 20 BUS AMPS NEUTRAL	125	2P 3W		ı	AIC <b>T.B.D.</b> MAIN BKR LUGS <b>STAI</b>		UNIT 402	
ÇKT	CKT	LOAD	CIDCLIIT	DECODI	DTION	CK <sup>-</sup>	T CKT BKR	LOAD	CIDC	וווד מרכסו	DIDTION		
#	BKR	KVA	CIRCUIT					KVA		UIT DESCE		-	
1 3 5 7	15/1 15/1 20/1 20/2	0.983 0.842 0.18 0.3	LIGHTING BATH H-3		RECEPTACLE PTACLE	a 2 b 4 a 6 b 8	20/1 20/1 15/1 15/1	1.5 1.5 0.5 0.75	SMAI FRIG DISP	OSAL			
9 11 13	15/2	2.08	ODU-1			1 1	20/1 50/2	1.2 1.8 8.5	1	WASHER OWAVE GE			
15 17 19 21	30/2       15/1   20/1	0.25 0	HWRP SPACE			b 16 a 18 b 20 a 22	20/1 20/1	0	SPA(	Œ			
23 25 27	20/1 20/1 20/1 20/1	0 0	SPACE SPACE SPACE			b 24	20/1 20/1	0 0 0	SPAC SPAC SPAC	Œ Œ			
29 	20/1	Ö	SPACE				20/1	0	SPA				
OF	PTIONAL D	WELLING	UNIT CALC	ULATION CONN KVA	(NEC 220.82)				ONN KVA	CALC KVA			
	IGHTING A	CLES		1.2	401 SF (3 VA/SF)		NERAL LOA JP TO 10 K			10	(100%)		
А	SMALL-APF APPLIANCE LECTRIC			3 8.75 8.5		MAX	OVER 10 K X HEATING OOLING		.7	4.68 2.28	(40%) (220.82(C)(3))		
	MOTORS			0.25						47			
		JEDAL LO	-	21.7	-		TAL LOAD LANCED LO			17 81.5 A		Multi-Family Dwelling Unit Calc	K۱
1	OTAL GET	NERAL LOA	אט	∠1. <i>[</i>			LANCED LO IASE A	JAU		81.5 A 97.2%		Total General Load	21
							IASE B			103%		Largest Heating or Cooling Load 220.84	+
	ΛDI	PLIANCE BR	EVKDOWN				18/40:	10-1-1-1	•		10/4 1:50 0 :	220.84 CONNECTED LOAD CALC	24
TYP		LIANOL DR		KVA				d Calculat	ion		KVA NEC Code	-	
	RIGERATO	R		0.5				eating			2.38	-	
DIGI	HWASHER			1.2				ooling			2.08	$\dashv$	
	ROWAVE			1.8				ni Split			0.00		
MICI				0.75		100% of	Nameplate	Rating of A	C and C	ooling	2.08 220.82 C(1	<u>)</u>	
MICI DISF	POSAL			7									
MICI DISF WAT	TER HEATE		D	4.5	100%	of Namepla	ite Rating of	Heat Pump	w/o Su	oplmental Hea	t 0.00 220.82 C(2		
MICI DISF WAT	TER HEATEI WWATER R	R ECIRC PUM	P	4.5 0.25 <b>9.00</b>	100%		ate Rating of ump plus 65	·		•	at 0.00 220.82 C(2 2.28 220.82 C(3		





804



REFRIGERATOR

DISHWASHER MICROWAVE

WATER HEATER

REFRIGERATOR

WATER HEATER

HOW WATER RECIRC PUMP

DISHWASHER MICROWAVE

DISPOSAL

TOTAL

HOW WATER RECIRC PUMP

DISPOSAL

0.75 4.5

9.00

.dwg-EBS. Plot Date/Time: Sep 04, 2024-4:12pm - By \$(++)
.TE COMPLIANCE WITH APPLICABLE CODES, AND ARE
ARE INSTALLED IN ACCORDANCE WITH ANY CONTRA

PHASE B 107%		
HVAC Load Calculation	KVA	NEC Code
Heating	5.45	
Cooling	3.95	
Mini Split	0.00	
100% of Nameplate Rating of AC and Cooling	3.95	220.82 C(1
100% of Nameplate Rating of Heat Pump w/o Supplmental Heat	0.00	220.82 C(2
Heat Pump plus 65% of Supplemental Heat	4.93	220.82 C(3
Largest Heating or Cooling Load	5.45	220.84 C(5

Multi-Family Dwelling Unit Calc

Total General Load

Multi-Family Dwelling Unit Calc

Total General Load

4.25

3.95

3.95 220.82 C(1)

4.15 220.82 C(3)

4.25 220.84 C(5)

Largest Heating or Cooling Load 220.84 4.25 220.84 CONNECTED LOAD CALC 25.74

KVA

21.49

Largest Heating or Cooling Load 220.84 5.45 220.84 CONNECTED LOAD CALC 26.94

KVA

21.49

DISHWASHER

WATER HEATER

HOW WATER RECIRC PUMP

0.75 4.5 0.25 **9.00** 

MICROWAVE

DISPOSAL

	<u>INI</u>	Γ 2	02												
M( FE N(	D FROM	FLUSH MC1			BUS	TS <b>208</b> , AMPS TRAL <b>1</b> 0	12	5 %				N	AIC <b>T.B.D</b> MAIN BKR .UGS <b>STA</b>	MLO	
CKT #	CKT BKR	LOAD KVA	CIRCUI	DESCR	IPTION			CKT #	CKT BKR		OAD VA	CIRC	UIT DESC	RIPTION	I
1 3 5 7 9 11 13 15 17 19 21 23 25 27	15/1 15/1 20/1 20/2   30/2   30/2   15/1 20/1 20/1 20/1 20/1	1.02 0.774 0.18 0.3 3.95 4.5 0.25 0 0	LIGHTIN	G, RECEF GHTING,	PTACLE		рарар	2 4 6 8 10 12 14 16 18 20 22 24 26 28	20/1 20/1 15/1 15/1 15/1 20/1 50/2   20/1 20/1 20/1 20/1 20/1 20/1 20/1	1. 1. 0. 1. 0.	.5 .5 .2 .75 .8 .5	SMAI SMAI FRIG DISH DISP	L APPLIA L APPLIA WASHER OSAL OWAVE EE EE EE EE	NCE	
LI S A E M	GHTING A RECEPTA MALL-APF PPLIANCE LECTRIC ( OTORS	IND CLES PLIANCE IS COOKING		CULATION CONN KVA 0.987 3 8.75 8.5 0.25 21.5	- 329 :	·		U MAX CC TOT BAL/ PH/	ERAL LO P TO 10 F VER 10 K HEATING OLING AL LOAD ANCED LO ASE A	KVA (VA G OR	10 11.5	ONN VA	CALC KVA  10 4.59 4.15  18.7 90.1 A 94.8% 105%	- (100% (40%) (220.8)	) 2(C)(3))
	APF	LIANCE BR	EAKDOWN						HVAC Lo	ad Ca	lculatio	n		KVA	NEC Code

Heating

Cooling

Mini Split

100% of Nameplate Rating of AC and Cooling

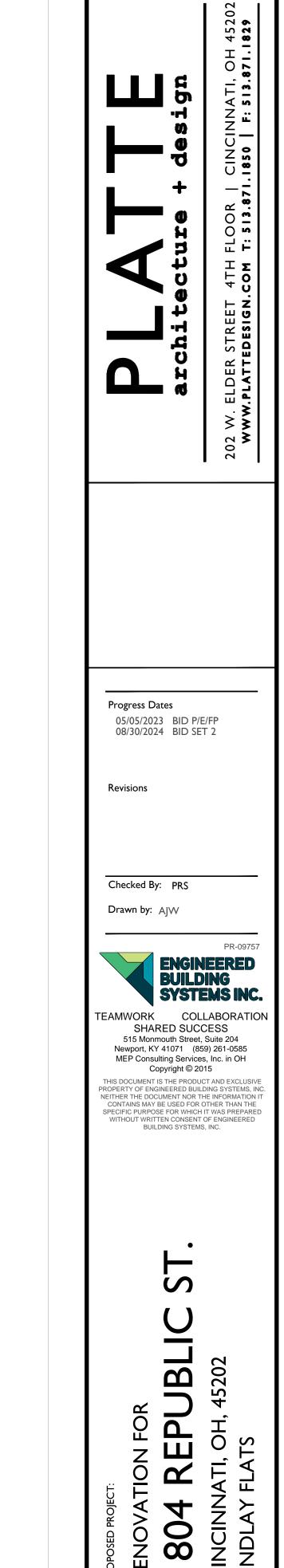
Heat Pump plus 65% of Supplemental Heat

Largest Heating or Cooling Load

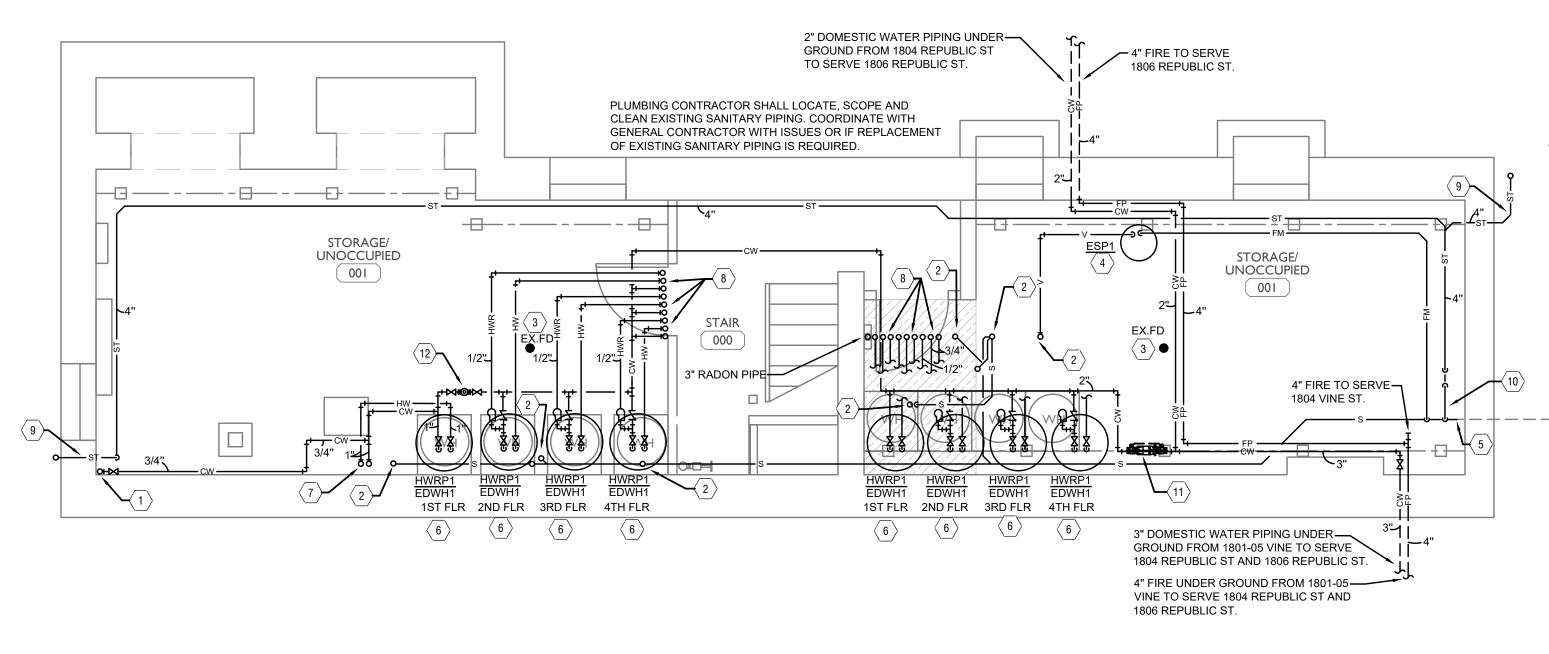
100% of Nameplate Rating of Heat Pump w/o Supplmental Heat | 0.00 | 220.82 C(2)

	= RIGERATOF	₹		0.5					eating coling			4.25 3.95	
TYPE		LIANCE BRI	EAKDOWN	KVA				HVAC Loa		lation		KVA	NEC Code
		IERAL LOA	AD 2	1.7	-		BAL.	AL LOAD ANCED LO ASE A ASE B	OAD		18.8 90.5 A 94.1% 106%		
Е	LECTRIC (		8	.5				OLING	OI		4.15	(220.82	2(C)(3))
	PPLIANCE		_	.75				HEATING		1 1.7		,	
	RECEPTA MALL-APP	CLES	1	.2	(3 VA/SF)		L	P TO 10 K VER 10 K	VA	10 11.7	10 4.68	(100%) (40%)	)
	GHTING A		_	CONN KVA	- 401 SF		CEN	IERAL LO <i>l</i>	- -	CONN KVA	CALC KVA	-	
OP	TIONAL D	WELLING	LINIT CALCI	ΙΙ ΔΤΙΩΝ	(NEC 220.82)								
29	20/1	0	SPACE				30	20/1	0	SPA			
25 27	20/1 20/1	0	SPACE SPACE				26   28	20/1 20/1	0	SPA SPA			
23	20/1	0	SPACE				24	<b>,</b> ,	0	SPA			
21	20/1	0	SPACE				22	20/1	o	SPA			
9	15/1	0.25	HWRP				20	20/1	0	SPA			
5 7	30/2	4.5	EWH				16 18	20/1	0	SPA	CE		
3							14	50/2	8.5	RAN	GE		
11	30/2	3.95	ODU-1.5				12	20/1	1.8	1	ROWAVE		
7 9	20/2	0.3	H-3			b	10	15/1 15/1	1.2	+	IWASHER POSAL		
5	20/1	0.18	BATH			a	l .	15/1	0.5	FRIG			
3	15/1	0.896	E-1, LIGH		RECEPTACLE	Ь	ł	20/1	1.5	ł	LL APPLIA	NCE	
<u>′                                    </u>	15/1	0.929	LIGHTING,			a		20/1	1.5		LL APPLIA		
CKT #	CKT BKR	LOAD KVA	CIRCUIT	DESCRI	PTION		CKT #	CKT BKR	LOA		CUIT DESC	RIPTION	
	D FROM	MCI			NEOTRAL	100,	<b>′</b> 0				LUGS 317	MUANU	
	DUNTING D FROM	FLUSH MC1			BUS AMPS NEUTRAL						MAIN BKR LUGS <b>STA</b>		
	DOM				VOLTS <b>208</b>	3/12	2UV	2P 3W			AIC T.B.D	•	

0	•		_								
TION			CKT #	CKT BKR	LOAD KVA	CIR	CUIT DESCR	IPTION	١		
ΓACLE	TACLE	a b a b a b a b a	2 4 6 8 10 12 14 16 18 20 22 24 26 28	20/1 20/1 15/1 15/1 15/1 20/1 50/2   20/1 20/1 20/1 20/1 20/1 20/1 20/1	1.5 1.5 0.5 1.2 0.75 1.8 8.5 0 0 0 0	SMA SMA FRIC DISH	ALL APPLIAN ALL APPLIAN ALL APPLIAN ALL APPLIAN ALL APPLIAN ALL AVE	CE			
(NEC 2	20.82)			,	C	ONN	CALC				
401 S (3 VA			U C MAX	IERAL LOA IP TO 10 KV IVER 10 KV I HEATING IOLING	D /A 10 /A 11		10 4.68 4.15	(100% (40%) (220.8	) 2(C)(3))		
			TOT	AL LOAD			18.8			Multi-Family Dwelling Unit Calc	KVA
				ANCED LO	AD		90.5 A			Total General Load	21.70
				ASE A			94.1%			Largest Heating or Cooling Load 220.84	4.25
			PH/	ASE B			106%			220.84 CONNECTED LOAD CALC	25.95
				HVAC Load	l Calculat	ion		KVA	NEC Code		
				He	ating			4.25			
				Со	oling			3.95			
				Min	i Split			0.00			
		100	% of <b>N</b>	Nameplate R	ating of A	C and C	Cooling	3.95	220.82 C(1)		
	100% of <b>N</b>	Nam	eplat	e Rating of H	leat Pum	w/o Su	ıpplmental Heat	0.00	220.82 C(2)		
L			- 4 D	mp plus 65%	of Suppl	em enta	l Heat	4.15	220.82 C(3)		
-		He	at Pui	iiip pius 05 /	о обрр.					_	



	PLUMBING LEGEND
SYMBOL	DESCRIPTION
s	SANITARY/WASTE PIPING BELOW FLOOR
— s —	SANITARY/WASTE PIPING ABOVE CEILING
—	VENT PIPING
cw	COLD WATER PIPING
——HW——	HOT WATER PIPING
HWR	HOT WATER RETURN PIPING
—— G——	NATURAL GAS PIPING
——st——	STORM PIPING
FD●	FLOOR DRAIN
<u>rd</u> <b>©</b>	ROOF DRAIN
<u>od</u>	OVERFLOW DRAIN
——₩——	BALL VALVE
— <b>&gt;</b> —	CHECK VALVE
<del></del>	BALANCING VALVE
CO <b>•</b>	CLEANOUT
WH <b>H</b>	FROST PROOF WALL HYDRANT
#	VENT THROUGH ROOF RISER INDICATOR
Ω	HOT WATER RETURN PUMP



#### PLUMBING BASEMENT KEYED NOTES

- 3/4" COLD WATER PIPING UP TO SERVE WALL HYDRANT ON FLOOR ABOVE.
- SANITARY PIPING UP TO FLOOR ABOVE. REFER TO ISOMETRICS FOR PIPE SIZES.
- 3. PLUMBING CONTRACTOR SHALL INSPECT EXISTING FLOOR DRAIN. CLEAN, FIX OR REPLACE AS REQUIRED.
- 4. PROVIDE NEW SUMP PUMP. NEW SUM PUMP SHALL BE ZOELLER M137 WITH
- POLYETHYLENE BASIN WITH SEALED LID.
- 5. CONNECT NEW SANITARY PIPING TO EXISTING SANITARY PIPING.
- 6. ELECTRIC TANK TYPE WATER HEATER WITH HEAT TRAPS ON INLET AND OUTLET. 3/4" COLD WATER IN, 3/4" HOT WATER OUT. PROVIDE DRAIN PAN AND PIPE DRAIN AND PRESSURE RELIEF VALVE INDEPENDENTLY AND INDIRECTLY TO FLOOR DRAIN. REFER TO DETAIL SHEETS FOR SPECIFICATIONS.
- 7. HOT AND COLD WATER PIPING UP TO FLOOR ABOVE.
- 3/4" COLD WATER,  $\,3/4"$  HOT WATER AND 1/2" HOT WATER RETURN PIPING UP TO FLOORS ABOVE.
- 9. 4" STORM PIPING.
- 10. CONNECT NEW STORM LEADERS WITH RUNNING TRAP TO EXISTING SANITARY
- 11. PROVIDE A 2" REDUCE PRESSURE BACKFLOW PREVENTER.
- 12. PROVIDE A REMOTE READ TAB METER ON DOMESTIC WATER PIPING SERVING LAUNDRY.

1804 REP



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SCOT SEVERT STILKEY E-77755

Progress Dates

05/05/2023 BID P/E/FP
08/30/2024 BID SET 2

Revision

Checked By: sss
Drawn by: DAG



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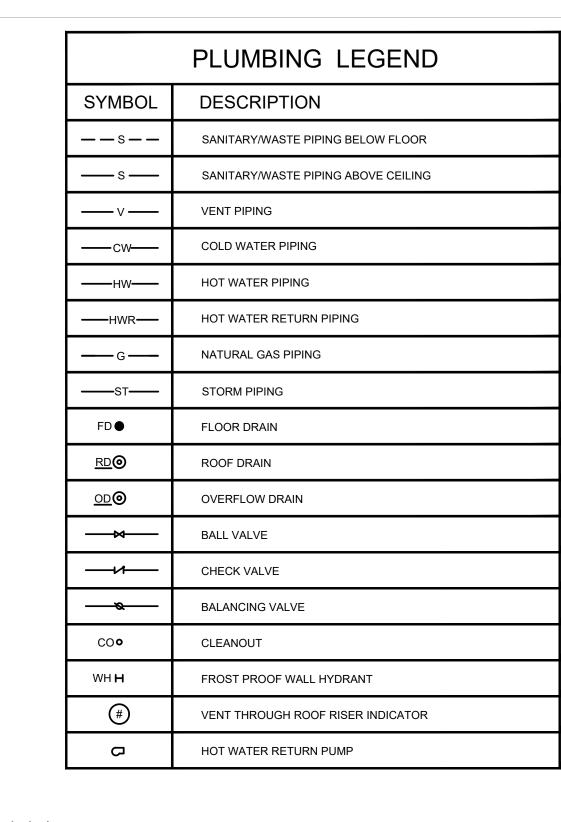
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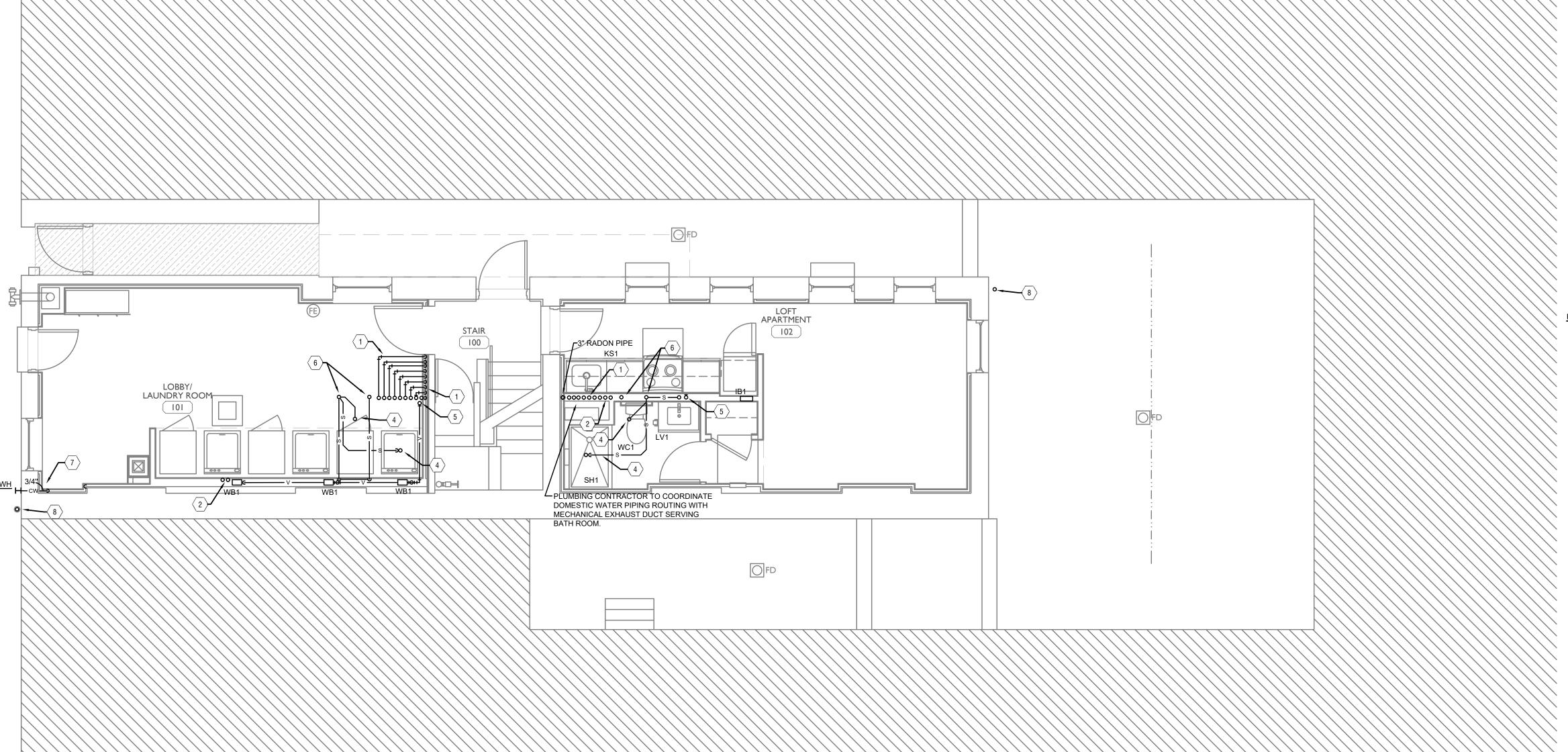
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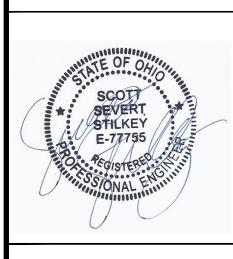


#### PLUMBING FIRST FLOOR KEYED NOTES

- 1. 3/4" COLD WATER, 3/4" HOT WATER AND 1/2" HOT WATER RETURN PIPING UP AND
  - 3/4" HOT AND COLD WATER ROUTED THROUGH WALL TO SERVE PLUMBING FIXTURES. 1/2" COLD WATER TO WATER CLOSET AND VALVE BOX, 1/2" HOT AND COLD WATER TO LAVATORY, SHOWER AND KITCHEN SINK. EXTEND A 1/2" HOT WATER LINE TO SERVE DISHWASHER.
- 1" HOT AND COLD WATER PIPING UP FROM FLOOR BELOW. ROUTE 1/2" HOT AND " COLD WATER PIPING TO EACH WASHER BOX.
- 4. SANITARY PIPING UP TO SERVE PLUMBING FIXTURE ON FLOOR ABOVE.
- 5. VENT PIPING UP TO FLOOR ABOVE.
- 6. STACK WASTE VENT PIPING UP AND DOWN
- 7. 3/4" COLD WATER PIPING UP FROM FLOOR BELOW TO WALL HYDRANT.
- 8. PROVIDE A 4" DOWNSPOUT CONNECTION AND ROUTE INTO BUILDING AND DOWN TO BASEMENT.



PLATTE



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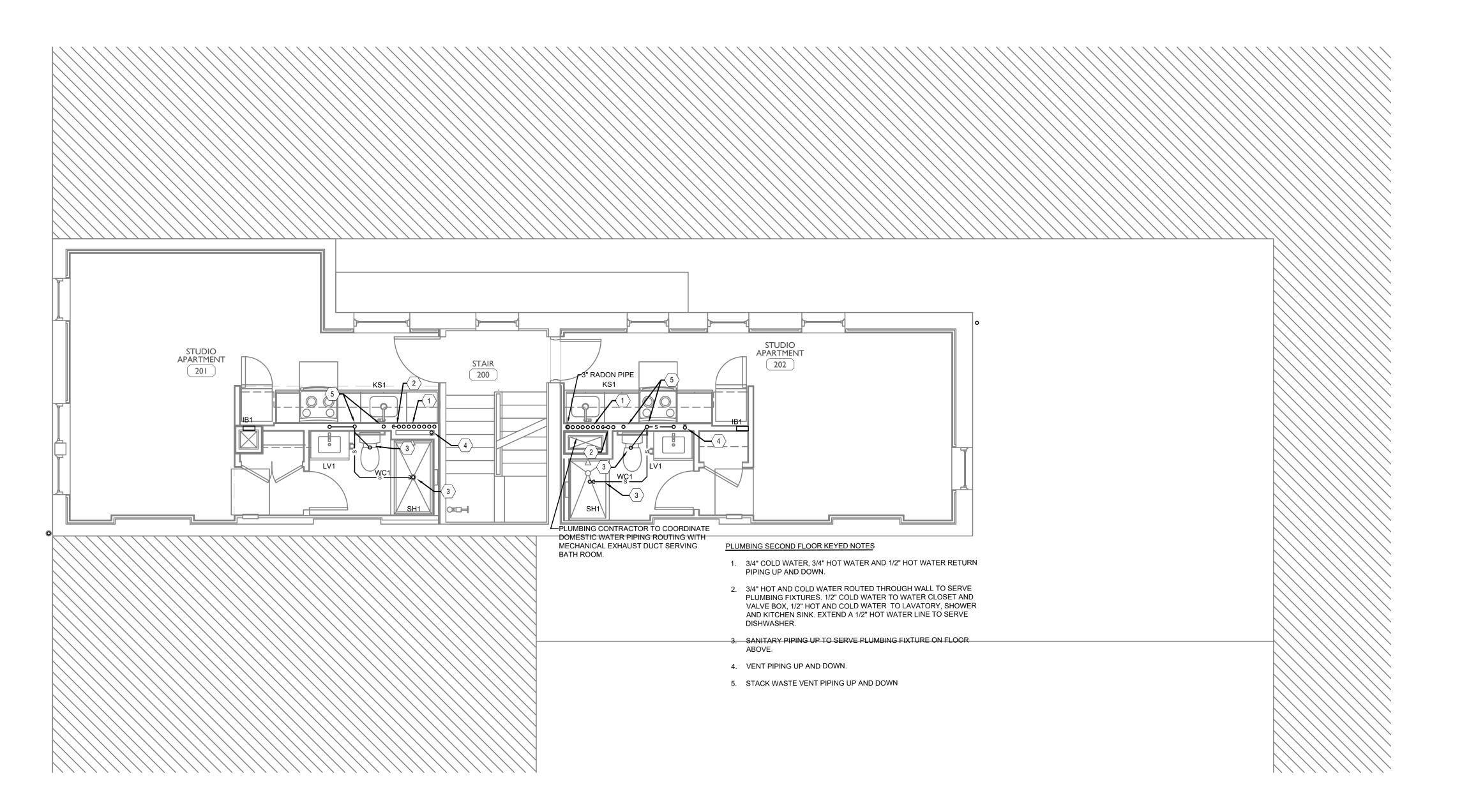
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RENOVATION FOR 1804 REPUCINCINNATI, OH, 4

Job No: 22042 8/10/2022

P1.01

	PLUMBING LEGEND
SYMBOL	DESCRIPTION
s	SANITARY/WASTE PIPING BELOW FLOOR
—-s—	SANITARY/WASTE PIPING ABOVE CEILING
v	VENT PIPING
cw	COLD WATER PIPING
——HW——	HOT WATER PIPING
—HWR—	HOT WATER RETURN PIPING
—— G——	NATURAL GAS PIPING
——st——	STORM PIPING
FD●	FLOOR DRAIN
<u>RD</u> <b>⊚</b>	ROOF DRAIN
<u>od</u> <b>©</b>	OVERFLOW DRAIN
—₩—	BALL VALVE
—v—	CHECK VALVE
—— <i>&amp;</i> ——	BALANCING VALVE
CO <b>•</b>	CLEANOUT
WH <b>H</b>	FROST PROOF WALL HYDRANT
#	VENT THROUGH ROOF RISER INDICATOR
O	HOT WATER RETURN PUMP





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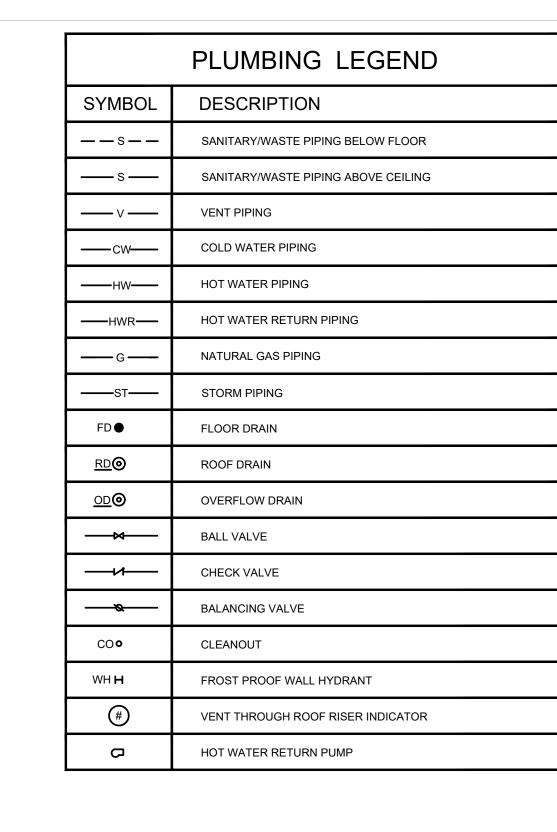
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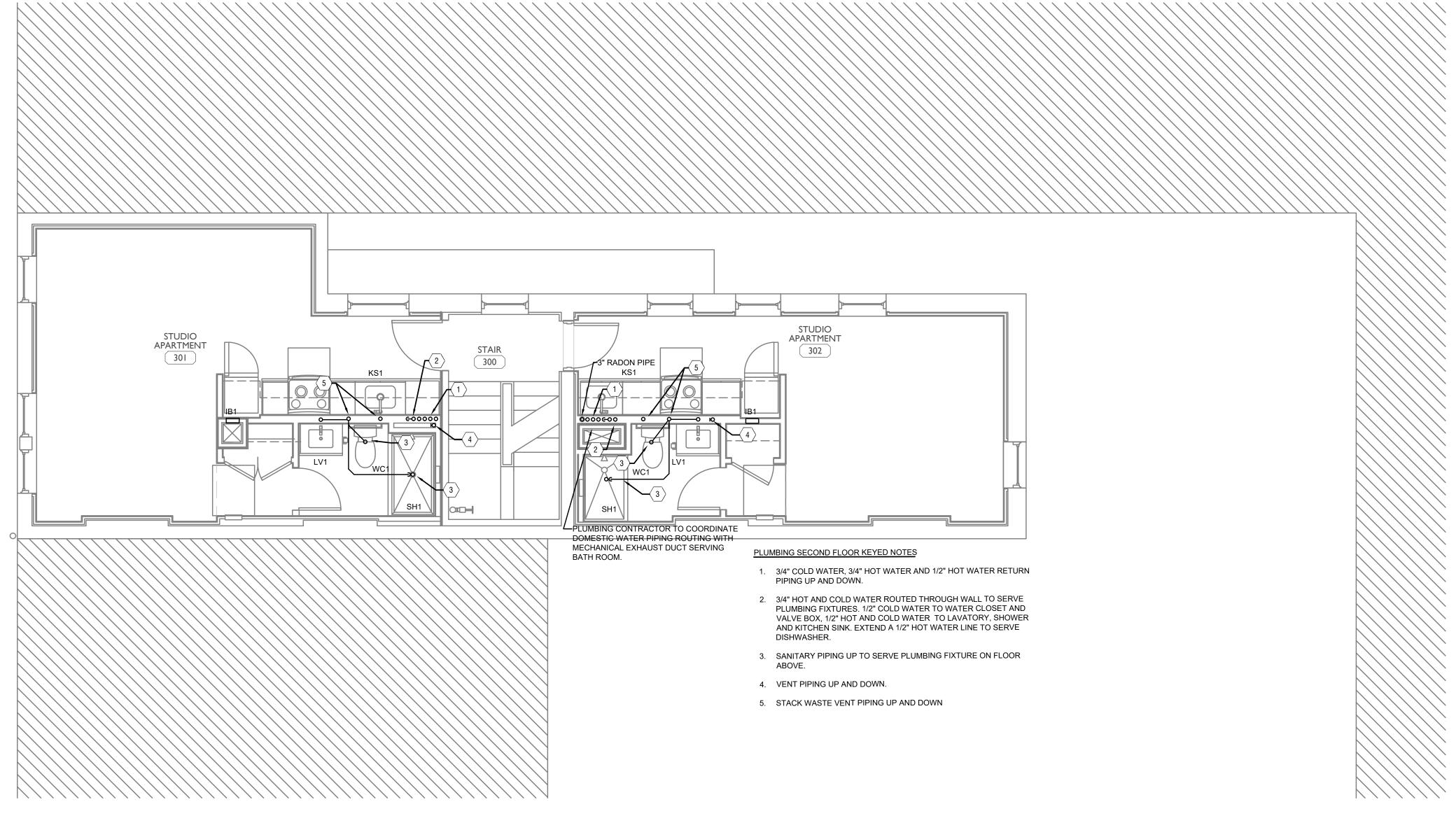
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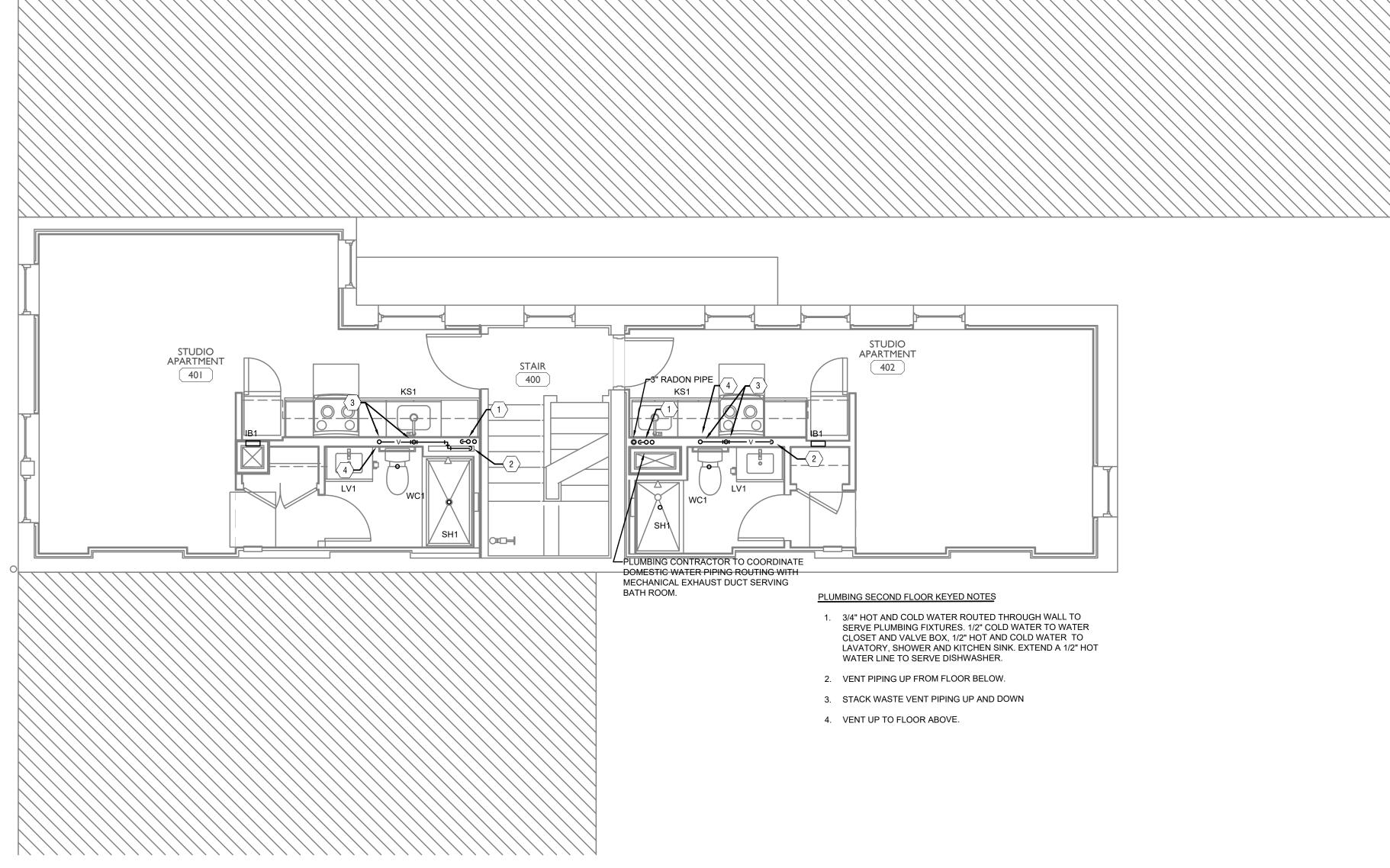
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SYMBOL	DESCRIPTION
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—-s—	SANITARY/WASTE PIPING ABOVE CEILING
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cw	COLD WATER PIPING
——нw——	HOT WATER PIPING
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—— G ——	NATURAL GAS PIPING
——st——	STORM PIPING
FD●	FLOOR DRAIN
<u>rd</u> <b>©</b>	ROOF DRAIN
<u>od</u> <b>©</b>	OVERFLOW DRAIN
—×—	BALL VALVE
v_	CHECK VALVE
<del></del>	BALANCING VALVE
CO•	CLEANOUT
WH <b>H</b>	FROST PROOF WALL HYDRANT
#	VENT THROUGH ROOF RISER INDICATOR
O	HOT WATER RETURN PUMP

PLUMBING LEGEND





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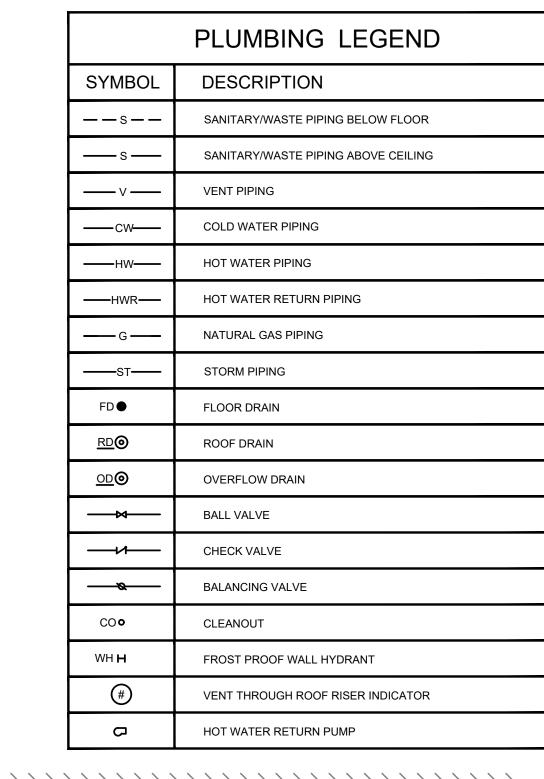
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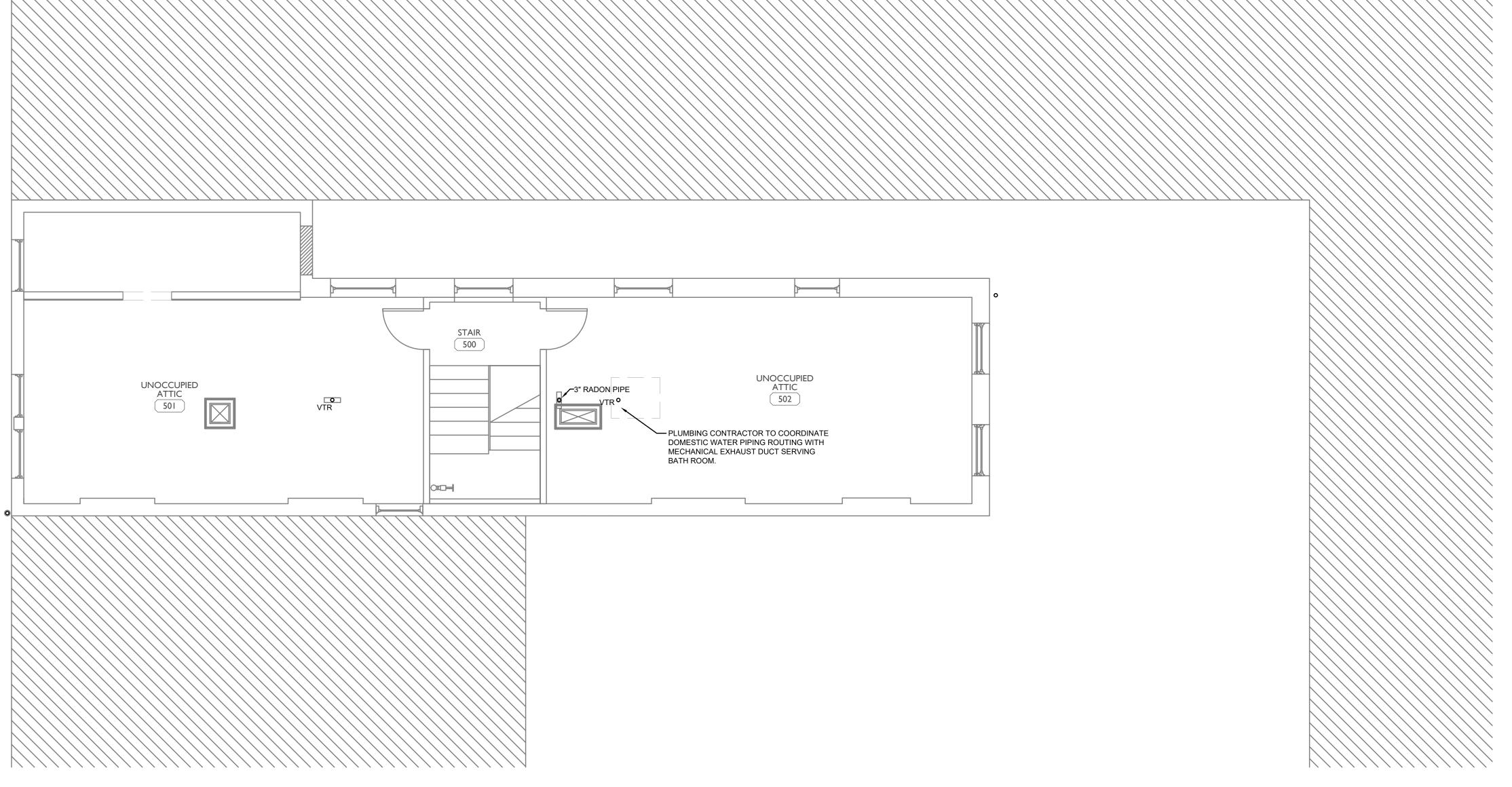
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ENOVATION FOR 804 REPUBLIC ST. INCINNATI, OH, 45202

#### 1. GENERAL PLUMBING REQUIREMENTS

- a. THE PLUMBING CONTRACTOR MUST REFER TO SITE PLANS, ARCHITECTURAL PLANS AND ELEVATIONS, AND PRICING INSTRUCTIONS FROM THE GENERAL CONTRACTOR TO DEVELOP THEIR PRICE. THE PLUMBING CONTRACTOR'S PRICE (INCLUDING TAXES) SHOULD INCLUDE ALL LABOR AND MATERIAL NECESSARY TO PROVIDE A COMPLETE AND FULLY OPERATIONAL PLUMBING SYSTEM.
- b. THE PLUMBING CONTRACTOR SHALL BE LICENSED BY THE STATE OF OHIO TO INSTALL PLUMBING SYSTEMS
- c. ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE STATE, LOCAL CODES AND ORDINANCES. THE PLUMBING CONTRACTOR SHALL SATISFY CODE REQUIREMENTS AS A MINIMUM
- d. SUBMIT TO THE ARCHITECT PDF FILE COPIES OF COMPLETE AND CERTIFIED SHOP DRAWINGS, DESCRIPTIVE DATA, PERFORMANCE DATA AND RATINGS, DIAGRAMS AND SPECIFICATIONS ON ALL SPECIFIED EQUIPMENT INCLUDING ACCESSORIES, AND MATERIALS FOR REVIEW. e. REFER TO ARCHITECTURAL DRAWINGS, GENERAL NOTES, INSTRUCTIONS

ARCHITECT. ALL DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR

- TO BIDDERS, GENERAL CONDITIONS, SUPPLEMENTARY GENERAL CONDITIONS, SPECIFICATIONS, AND DRAWINGS EXCEPT AS NOTED HEREIN WHICH APPLY IN ALL RESPECTS TO THIS SECTION. f. COORDINATE PIPING CHASES, SHAFTS, ABOVE CEILING WORK, ETC. WITH
- g. THE PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING ALL NECESSARY PLUMBING PIPING PENETRATIONS. THIS INCLUDES CORING
- HOLES IN SLABS, ETC h. EQUIPMENT AND MATERIALS SHALL CONFORM WITH APPROPRIATE PROVISIONS OF AGA, ARI, ASME, ASTM, CISPI, UL, NEMA, ANSI, SMACNA,
- ASHRAE, NFPA, NEC, AS APPLICABLE TO EACH INDIVIDUAL UNIT OR ASSEMBLY. ALL EQUIPMENT MUST BEAR UL LABEL. i. INSTALL EQUIPMENT PER MANUFACTURER'S REQUIREMENTS. MAINTAIN ALL
- CODE RECOMMENDED CLEARANCES. . WHERE NOT PROVIDED BY OTHERS, PROCURE AND PAY FOR ALL PERMITS, FEES, TAXES AND INSPECTIONS NECESSARY TO COMPLETE THE PLUMBING WORK. FURNISH CERTIFICATE OF APPROVAL FOR WORK FROM INSPECTION AUTHORITY TO OWNER BEFORE FINAL ACCEPTANCE FOR WORK CERTIFICATE OF FINAL INSPECTION AND APPROVAL SHALL BE SUBMITTED WITH THE CONTRACTOR'S REQUEST FOR PAYMENT. NO FINAL PAYMENT
- WILL BE APPROVED WITHOUT THIS CERTIFICATE. k, ALL WORK SHALL BE ACCURATELY LAID-OUT WITH OTHER TRADES, PRIOR TO INSTALLATION & FABRICATION. TO AVOID ALL CONFLICTS AND OBTAIN A NEAT AND WORKMANLIKE INSTALLATION WHICH WILL AFFORD MAXIMUM ACCESSIBILITY FOR EQUIPMENT OPERATION, MAINTENANCE CLEARANCES AND HEADROOM.
- 2. USE OF INFORMATION PROVIDED BY EBS
- a. THE INFORMATION PROVIDED IS INTENDED TO CONVEY DESIGN INTENT ONLY. ALL MEANS AND METHODS, SEQUENCES, TECHNIQUES, AND PROCEDURES OF CONSTRUCTION AS WELL AS ANY ASSOCIATED SAFETY PRECAUTIONS AND PROGRAMS. AND ALL INCIDENTAL AND TEMPORARY DEVICES REQUIRED TO CONSTRUCT THE PROJECT, AND TO PROVIDE A COMPLETE AND FULLY OPERATIONAL PLUMBING SYSTEM ARE THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR.
- 3. CONTRACTOR COORDINATION
- a. COORDINATION DRAWINGS SHOWING SYSTEM AND COMPONENT INSTALLATION LAYOUT, ROUTING, DETAILS, ETC. SHALL BE PRODUCED BY THE PLUMBING CONTRACTOR AND UNDER THE SUPERVISION OF THE GENERAL CONTRACTOR/CONSTRUCTION MANAGER. OR APPROPRIATE PARTY AS APPLICABLE. ALL SYSTEMS INSTALLED BY EACH SUB-CONTRACTOR SHALL BE COORDINATED WITH ONE ANOTHER AND APPROVED BY GENERAL CONTRACTOR/CONSTRUCTION MANAGER, ETC. PRIOR TO INSTALLATION AND/OR FABRICATION. IF QUESTIONS CONCERNING DESIGN INTENT ARISE DURING COORDINATION, EBS CAN ASSIST WHERE APPROPRIATE.
- 4. PLUMBING FIXTURES a. SHUT OFF VALVES/STOPS SHALL BE PROVIDED AT ALL LAVATORIES, SINKS AND WATER CLOSETS.
- b. ALL WALL-HUNG PLUMBING FIXTURES, INCLUDING, BUT NOT LIMITED TO WATER CLOSETS, URINALS, LAVATORIES, AND SINKS SHALL BE ANCHORED TO THE FLOOR WITH CONCEALED IN-WALL CARRIERS. WALL-HUNG FIXTURES SHALL NOT BE SIMPLY BOLTED TO THE WALL OR ANCHORED TO WOOD BLOCKING.
- c. COORDINATE COLOR OF FIXTURES WITH ARCHITECT. FIXTURES SHALL BE WHITE UNLESS OTHERWISE NOTED
- d. PROVIDE ADA COMPLIANT FIXTURES WHERE INDICATED ON THE ARCHITECTURAL PLANS. PROVIDE OFFSET FIXTURE TAILPIECES AND TRAPS 8. BACKFLOW PREVENTION WHERE REQUIRED TO MEET ADA LEG CLEARANCES.
- e. FIXTURES SHALL BE SECURELY FASTENED TO PREVENT ANY MOVEMENT OF FIXTURE DURING NORMAL USE. SEAL TO WALL, FLOOR OR COUNTERTOP WITH SILICONIZED ACRYLIC-LATEX CAULK.

#### 5. DRAIN PANS

- a. PROVIDE DRAIN PAN UNDER WATER HEATERS. PIPE WATER HEATER DRAIN AND PRESSURE RELIEF VALVE SEPARATELY AND INDIRECTLY TO FLOOR DRAIN (NOT TO DRAIN PAN) b. DRAIN PANS SHALL BE PROVIDED UNDER WASHERS AND SHALL BE SIZED
- TO ACCOMMODATE A STANDARD WASHER OR STACKABLE WASHER/DRYER AS APPLICABLE. BASIS OF DESIGN SHALL BE DRIPTITE 30-5/8" WIDE X 34-5/8" DEEP TRANSI UCENT PAN DRILL 3/4" OUTLET IN VERTICAL SIDEWALL FOR SIDE-OUTLET OR IN BOTTOM OF PAN DIRECTLY OVER DRAIN IF DRAIN IS UNDER THE PAN. DRAIN CONNECTION SHALL BE MADE WITH MANUFACTURER PROVIDED DRAIN OUTLET CONNECTION. PANS ARE AVAILABLE IN CUSTOM SIZES IF NECESSARY (COORDINATE SIZES AND LOCATIONS OF THE PAN WITH ROOM DIMENSIONS AND EQUIPMENT SIZES AS PROVIDED BY THE ARCHITECT/OWNER).

#### 6. DOMESTIC WATER SYSTEMS

- a. PROVIDE A NEW DOMESTIC WATER SERVICE TO THE BUILDING b. PROVIDE SEPARATE VALVE AND TAB METER FOR EACH APARTMENT AND TENANT SPACE.
- c. INTERIOR DOMESTIC WATER PIPING:
- i. WHERE ALLOWED BY CODE, CPVC PIPING CAN BE USED. a. CPVC PIPING 2" AND SMALLER SHALL BE EQUAL TO FLOW GUARD GOLD - THIS SPECIFICATION COVERS COPPER TUBE SIZE (CTS) CPVC MANUFACTURED TO STANDARD DIMENSIONAL RATIO (SDR) 11 FOR HOT AND COLD DOMESTIC WATER DISTRIBUTION. THIS SYSTEM IS INTENDED FOR PRESSURE APPLICATIONS WHERE THE OPERATING TEMPERATURE WILL NOT EXCEED 180°F AT 100 PSI. PIPE AND FITTINGS SHALL BE MANUFACTURED FROM VIRGIN RIGID CPVC (CHLORINATED POLYVINYL CHLORIDE) VINYL COMPOUNDS WITH A CELL CLASS OF 24448 AS IDENTIFIED IN ASTM D 1784. CTS CPVC PIPE AND FITTINGS SHALL CONFORM TO ASTM D 2846. PIPE AND FITTINGS SHALL BE MANUFACTURED AS A SYSTEM AND BE THE PRODUCT OF ONE MANUFACTURER. ALL PIPE AND FITTINGS SHALL BE MANUFACTURED IN THE UNITED STATES. PIPE AND FITTINGS SHALL CONFORM TO NATIONAL SANITATION FOUNDATION (NSF) STANDARDS 14 AND 61. INSTALLATION SHALL COMPLY WITH LATEST INSTALLATION PROVIDED BY THE MANUFACTURER AND SHALL CONFORM TO ALL LOCAL PLUMBING, BUILDING AND FIRE CODE REQUIREMENTS. BURIED PIPE SHALL BE INSTALLED IN ACCORDANCE WITH ASTM F 1668. SOLVENT WELD JOINTS SHALL BE MADE USING CPVC CEMENT CONFORMING TO ASTM F 493. YELLOW ONE-STEP CEMENT MAY BE USED WITHOUT PRIMER. IF A PRIMER IS REQUIRED BY LOCAL PLUMBING OR BUILDING CODES, THEN A PRIMER CONFORMING TO ASTM F 656 SHOULD BE USED. THE SYSTEM SHALL BE PROTECTED FROM CHEMICAL AGENTS. FIRE STOPPING MATERIALS. THREAD SEALANT. PLASTICIZED VINYL PRODUCTS OR OTHER AGGRESSIVE CHEMICAL AGENTS NOT COMPATIBLE WITH CPVC COMPOUNDS. SYSTEMS SHALL BE HYDROSTATICALLY TESTED AFTER INSTALLATION. NEVER TEST

WITH OR TRANSPORT/STORE COMPRESSED AIR OR GAS IN CPVC PIPE OR

#### 9. HOSE BIBS AND HYDRANTS SPECIFICATION COVERS THE MANUFACTURING REQUIREMENTS FOR CPVC

b. CPVC PIPING LARGER THAN 2" SHALL BE EQUAL TO CORZAN - THIS

SCHEDULE 80 IRON PIPE SIZE (IPS) PIPE AND FITTINGS. BOTH THE PIPE AND

THE REQUIREMENTS SET FORTH BY THE AMERICAN SOCIETY FOR TESTING

COMPOUND MEETS CELL CLASS 24448 AND THE FITTING COMPOUND MEETS

PROPERTIES MEET OR EXCEED THE REQUIREMENTS OF ASTM STANDARDS

MATERIALS (ASTM) AND ANSI/NSF STANDARDS 14 AND 61. CPVC PIPE AND

FITTINGS ARE FXTRUDED/MOLDED FROM CPVC COMPOUNDS. THE PIPE

CELL CLASS 23447 AS DEFINED BY ASTM D1784. BOTH THE PIPE AND THE

FITTING COMPOUNDS ARE CERTIFIED BY NSF INTERNATIONAL FOR USE

F441 FOR PIPE F439 FOR SOCKET FITTINGS AND ASTM F437 OR F439 FOR

THREADED FITTINGS. THREADED FITTINGS HAVE TAPER PIPE THREADS IN

ACCORDANCE WITH ASTM F1498, UNIONS AND FLANGES MEET OR EXCEED

THE REQUIREMENTS OF ASTM F1970. ALL SOCKET TYPE JOINTS SHALL BE

HANDLING OF SOLVENT CEMENTS SHALL BE IN ACCORDANCE WITH ASTM

REQUIREMENTS OF ASTM F493. THE STANDARD PRACTICE FOR SAFE

ASSEMBLED EMPLOYING SOLVENT CEMENTS THAT MEET OR EXCEED THE

F402. SOLVENT CEMENT SHALL BE LISTED BY NSF INTERNATIONAL FOR USE

WITH POTABLE WATER, AND APPROVED BY THE FITTINGS MANUFACTURERS.

WATER FILLED PIPE AND FITTINGS (1/2" THROUGH 6") TESTED IN GENERAL

ACCORDANCE WITH UL 723/ASTM E 84 (NFPA 255 AND UBC 8-1) MEETS THE

25/50 FLAME AND SMOKE REQUIREMENT AND SHALL BE PERMITTED TO BE

TESTING LABORATORY SHALL BE OBTAINED AND MADE AVAILABLE UPON

OF ASTM STANDARDS F437, F438 OR F1970. THE PIPE AND FITTINGS

MARKINGS STATE THE PIPE/FITTING MANUFACTURE'S NAME OR

SHALL BE PEX-A TYPE AND FITTINGS SHALL BE EQUAL TO UPONOR

AQUAPEX. TUBING AND FITTINGS MUST CONFORM TO ASTM

ALLOW TUBING TO COME IN CONTACT WITH PIPE THREAD

POTABLE WATER AND THE ASTM DESIGNATION.

REQUEST. THE MARKING ON THE CPVC PIPE MEET THE REQUIREMENTS OF

TRADEMARK, THE MATERIAL DESIGNATION, THE SIZE, THE NSF MARK FOR

ii. WHERE ALLOWED BY CODE, PEX TUBE AND FITTINGS CAN BE USED. TUBING

F876 "STANDARD SPECIFICATION FOR CROSSLINKED POLYETHYLENE, ASTM

F877 "STANDARD FOR CROSSLINKED POLYETHYLENE PLASTIC HOT AND

COLD WATER DISTRIBUTION SYSTEMS". PROVIDE ENGINEERED PLASTIC

FITTINGS WITH PLASTIC COLLARS WHICH CONFORM TO ASTM F1960

STANDARD SPECIFICATION FOR COLD EXPANSION FITTINGS WITH PEX

REINFORCING RINGS FOR USE WITH CROSSLINKED POLYETHYLENE PIPING

PEX TUBING AND CONNECTIONS SHALL BE WARRANTED FOR A PERIOD OF

25 YEARS. DO NOT WELD, GLUE, TAPE OR ALLOW OTHER SOLVENT BASED

ADHESIVES OR PAINTS TO COME INTO CONTACT WITH TUBING. DO NOT

FIXTURES. DO NOT EXPOSE TUBING TO OPEN FLAME. DO NOT SOLDER

WITHIN 18" OF TUBING. DO NOT INSTALL TUBING BETWEEN TUB SPOUT AND

SHOWER VALVE. RADIUS OF BENDS MUST NOT EXCEED SIX TIMES OUTSIDE

TUBE DIAMETER. REPAIR KINKS IN TUBING USING HEAT AS RECOMMENDED

LENGTHS, AS DIRECTLY AS POSSIBLE TO REMOTE MANIFOLD WITH MINIMUM

SHALL BE SPACED AT 32" MINIMUM HORIZONTALLY AND 60" VERTICALLY AND

BY MANUFACTURER. TUBING SHALL BE INSTALLED IN MAXIMUM PRACTICAL

FITTINGS. TUBING SHALL BE SUPPORTED IN A MATTER THAT DOES NOT

WITHIN 6" OF FITTINGS OR BENDS. USE BEND SUPPORTS AT 90 DEGREE

PLATES WHERE TUBING PENETRATES STUDS AT FACE OF STUDS. REMOTE

WHERE TUBING IS TERMINATED (MODIFIED HOME-RUN INSTALLATION TYPE).

CONNECTION OF TUBING TO FITTINGS. DO NOT OVER EXPAND TUBING. PIPE

SHALL BE SUPPORTED AT FITTINGS AND FIXTURES AS RECOMMENDED BY

MANUFACTURER. PIPING SHALL BE INSTALLED WITH MINIMUM AMOUNT OF

FITTINGS. USE MANUFACTURER APPROVED VALVES, FITTINGS, HOSE BIBS

 $\hbox{d. CONTROL VALVES SHALL BE MANUFACTURED BY OR APPROVED BY PIPING}\\$ 

f. PROVIDE HOT WATER RETURN PUMP EQUAL TO BELL AND GOSSETT SERIES

g. PROVIDE AUTOMATIC TIMER KIT EQUAL TO BELL AND GOSSETT MODEL TC-1

AND PROGRAM PUMP TO OPERATE TO ACCOMMODATE THE OWNER'S

a. PROVIDE VALVE AND TAB METERS TO ISOLATE WATER USAGE FOR EACH

OF METER AND LOCATE IN AN ACCESSIBLE LOCATION.

b. BACKFLOW PREVENTERS FOR 2" AND SMALLER WATER

SHALL BE CONBRACO AND WILKINS.

DWELLING UNIT AND TENANT SPACE. PROVIDE SHUT-OFF VALVE UPSTREAM

a. PROVIDE REDUCED PRESSURE BACKFLOW PREVENTER ON WATER SERVICE

SERVICES - PROVIDE REDUCED PRESSURE BACKFLOW PREVENTER ON THE

WATER SERVICE MAIN WHERE THE WATER SERVICE ENTERS THE BUILDING.

MANUFACTURER

MODEL

WATER CLOSET DESCRIPTION | FIXTURE MANUFACTURER |

WC1 | FLOOR-SET TANK

HEIGHT

REDUCED PRESSURE BACKFLOW PREVENTER TO BE EQUAL TO WATTS

SERIES LF919QT. APPROVED MANUFACTURERS OF EQUAL PRODUCTS

100 OR EQUAL PUMP MANUFACTURED BY ARMSTRONG, GRUNDFOS, OR

e. ADJUST ALL STOPS AND VALVES PROPERLY PRIOR TO PROJECT

MANUFACTURER.

HOURS OF OPERATION.

7. TAB METERS FOR DOMESTIC WATER

COMPLETION.

DAMAGE TUBING AND ALLOWS FOR THERMAL EXPANSION. SUPPORTS

BENDS. PROTECT INSTALLED TUBING FROM DAMAGE. INSTALL METAL

MANIFOLD TYPE FITTINGS SHALL BE UTILIZED AT BRANCHES IN ROOMS

UTILIZE EXPANDER TOOLS RECOMMENDED BY MANUFACTURER FOR

COMPOUNDS, FIREWALL PENETRATION SEALING COMPOUNDS, AND

PETROLEUM BASED SEALANTS. DO NOT ALLOW TUBING TO COME

WITHIN 6" OF GAS APPLIANCE VENTS OR 12" OF RECESSED LIGHT

ASTM F441 AND THE MARKING ON THE FITTINGS MEETS THE REQUIREMENTS

INSTALLED IN RETURN AIR PLENUMS. TEST REPORTS FROM A THIRD PARTY

WITH POTABLE WATER. DIMENSIONS, TOLERANCES AND PHYSICAL

FITTINGS ARE MANUFACTURED IN NORTH AMERICA AND MEET OR EXCEED

- a. PROVIDE FROST-PROOF EXTERIOR WALL HYDRANTS ON EACH ELEVATION
- OF THE BUILDING. b. WALL HYDRANTS TO BE EQUAL TO 3/4" WOODFORD MODEL B-67, WITH CHROME FINISH ON BRASS CASTING, WITH BOX AND HINGED DOOR, AND LOOSE-TEE KEY. CONCEAL WITHIN INTERIOR PARTITIONS AND/OR INSTALL IN A MANNER THAT PREVENTS FREEZING. FURNISH TO OWNER, ONE VALVE KEY FOR EACH KEY OPERATED WALL HYDRANT INSTALLED. APPROVED MANUFACTURERS OF EQUAL PRODUCTS SHALL BE ZURN, WADE, JOSAM, SMITH, OR WATTS.

- 10. SANITARY AND VENT SYSTEMS a. CONNECT NEW SANITARY PIPING TO THE EXISTING SANITARY STACKS AND/OR UNDERGROUND SANITARY BUILDING SEWER. CONTRACTOR SHALL CLEAN AND INSPECT EXISTING UNDERGROUND BUILDING SEWER, SEWER LATERAL AND ALL PIPING INTENDED TO BE REUSED TO DETERMINED CONDITION FOR REUSE. PROVIDE INSPECTION REPORT AND
- RECOMMENDATION TO OWNER. b. CUT AND PATCH BASEMENT SLAB AS REQUIRED TO INSTALL NEW SANITARY 17. VALVES FOR DOMESTIC WATER

#### c. INTERIOR SANITARY, WASTE, AND VENT PIPING:

- i. WHERE NOT INSTALLED IN A PLENUM, SANITARY, WASTE, AND VENT PIPING WITHIN BUILDING TO BE SCHEDULE 40 PVC PIPING AND FITTINGS CONFORMING TO ASTM D 2665, SOLID-WALL DRAIN PIPING WITH PVC SOCKET SOLVENT WELD FITTINGS CONFORMING TO ASTM D2665, MADE TO ASTM D3311, DRAIN, WASTE, AND VENT PATTERNS
- ii. WHERE PIPING SHALL BE INSTALLED IN A PLENUM, SANITARY, WASTE, AND VENT PIPING WITHIN BUILDING TO BE NO-HUB, CAST-IRON PIPE WITH NO-HUB COUPLINGS CONSISTING OF A STAINLESS STEEL SHIELD, CLAMP. AND NEOPRENE GASKET. COUPLINGS SHALL BE TESTED AND CERTIFIED TO CISPI 310, ASTM C1277, ASTM C564, AND NSF. IDEAL CLAMP PRODUCTS' HEAVY DUTY POW'R GEAR (RED SHIELD) COUPLINGS ARE ALSO APPROVED AND ACCEPTABLE. THESE COUPLINGS ARE LISTED WITH NSF
- INTERNATIONAL AND CONFORM WITH ASTM C1540 PERFORMANCE REQUIREMENTS (SHEAR, DEFLECTION AND UNRESTRAINED THRUST TESTS). d. COORDINATE WITH LOCAL AUTHORITIES FOR DRAINAGE REQUIREMENTS FOR EQUIPMENT DESIGNATED WITH INDIRECT WASTE TO FLOOR DRAINS. PROVIDE PIPED DRAIN TO SANITARY IF REQUIRED BY LOCAL JURISDICTION.
- a. PROVIDE FLOOR DRAINS IN ALL TOILET ROOMS THAT HAVE MORE THAN ONE WATER CLOSET OR URINAL.
- b. PROVIDE FLOOR DRAINS FOR ALL EQUIPMENT PRODUCING CONDENSATE AND THAT HAVE DRAIN CONNECTIONS.
- c. FLOOR DRAINS IN FINISHED AREAS TO BE PVC BODY, DOUBLE DRAINAGE FLANGE, WEEP HOLES, WITH 6" DIAMETER NICKEL BRONZE STRAINER. d. FLOOR DRAINS IN MECHANICAL SPACE TO BE PVC BODY, DOUBLE DRAINAGE FLANGE, WEEP HOLES, WITH 9" DIAMETER HEAVY-DUTY DUCTILE IRON
- e. PROVIDE CAST IRON BODIED FLOOR DRAINS WHERE DRAINS ARE INSTALLED IN A PLENUM (MECHANICAL ROOMS THAT ARE USED AS

#### 12. TRAP SEAL PROTECTION

STRAINER.

- a. TRAP SEALS SUBJECT TO EVAPORATION SHALL BE PROTECTED BY ONE OF THE METHODS BELOW, AS APPROVED BY THE LOCAL PLUMBING AUTHORITY HAVING JURISDICTION:
- b. BARRIER-TYPE TRAP SEAL PROTECTION DEVICE A BARRIER-TYPE TRAP SEAL PROTECTION DEVICE MUST PROTECT THE TRAP SEAL FROM EVAPORATION. BARRIER-TYPE TRAP SEAL PROTECTION DEVICES MUST CONFORM TO ASSE 1072. THE DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

## a. CONNECT NEW STORM PIPING TO EXISTING SEWER LATERAL.

- b. CUT AND PATCH BASEMENT SLAB AS REQUIRED TO INSTALL NEW STORM c. PROVIDE NEW PRIMARY AND SECONDARY ROOF DRAINS AND ASSOCIATED PRIMARY AND SECONDARY STORM PIPING SYSTEMS WHERE INTERIOR
- DRAINS ARE SHOWN ON ARCHITECTURAL ROOF PLAN. SECONDARY ROOF DRAINS SHALL BE PIPED INDEPENDENTLY FROM THE PRIMARY SYSTEM AND MUST DISCHARGE THROUGH DOWNSPOUT NOZZLES LOCATED IN THE EXTERIOR WALL AT GRADE. d. INTERIOR STORM PIPING:
- i. WHERE NOT INSTALLED IN A PLENUM, ABOVEGROUND STORM PIPING WITHIN BUILDING SHALL BE SCHEDULE 40 PVC PIPING AND FITTINGS CONFORMING TO ASTM D 2665. SOLID-WALL DRAIN PIPING WITH PV0 SOCKET SOLVENT WELD FITTINGS CONFORMING TO ASTM D2665, MADE TO ASTM D3311, DRAIN, WASTE, AND VENT PATTERNS.

#### 14. STORM PIPING SPECIALTIES

CONNECTION

GALLON

- a. PRIMARY ROOF DRAINS MUST HAVE PVC BODY AND POLYETHYLENE DOME. b. SECONDARY ROOF DRAINS MUST HAVE PVC BODY, POLYETHYLENE DOME, AND INTERNAL WATER DAM/EXTENSION COLLAR.
- c. DOWNSPOUT NOZZLES FOR SECONDARY DRAINAGE DISCHARGING TO GRADE MUST HAVE NICKEL-BRONZE BODY AND REMOVABLE STAINLESS-STEEL SCREEN EQUAL TO ZURN Z199-SS.

WATER HEATER SCHEDULE

KW INPUT

FLUSH VALVE

MANUFACTURER

FIXTURE MODEL#

CADET 3 WITH CONCEALED TRAPWAY NOT APPLICABLE

FLUSH VALVE MODEL

NOT APPLICABLE

MATERIAL

USE

|GENERAL/ADA |FLOOR

MOUNTING

a. PROVIDE FLOOR AND WALL CLEANOUTS WHERE REQUIRED IN ALL SOIL, WASTE. DRAIN AND STORM PIPING. IN AREAS WITH CERAMIC TILE OR CARPETED FLOORING, PROVIDE CLEANOUTS WITH SQUARE, ADJUSTABLE NICKEL BRONZE TOP. IN AREAS WITH RESILIENT FLOORING, PROVIDE CLEANOUTS WITH SQUARE, ADJUSTABLE, NICKEL BRONZE TOP WITH TILE RECESS, CLEANOUTS SHALL BE SAME SIZE AS PIPE EXCEPT THAT CLEANOUTS LARGER THAN 4" WILL NOT BE REQUIRED. WHERE CLEANOUTS OCCUR IN WALLS OF FINISHED AREAS, THEY SHALL BE CONCEALED BEHIND CHROME PLATED ACCESS COVERS.

#### 16. VALVES - GENERAL

- a. PLUMBING CONTRACTOR MUST PROVIDE VALVES AS NECESSARY FOR PROPER SYSTEM OPERATION AND COMPONENT ISOLATION. INSTALL VALVES FOR EACH ISOLATED FIXTURE OR GROUP OF FIXTURES, AND EACH CONNECTION TO EQUIPMENT.
- b. LOCATE SHUT-OFF VALVES ADJACENT TO EQUIPMENT FOR EASY ACCESS SUCH THAT VALVES CAN BE REACHED WITHOUT MOVING EQUIPMENT.

- a. VALVES FOR DOMESTIC WATER MUST MEET THE REQUIREMENTS OF THE LEAD-FREE LAW S.3874. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE LEAD-FREE PRODUCTS AS MANDATED BY THE LAW AND AS REQUIRED/INTERPRETED BY THE AUTHORITY HAVING JURISDICTION.
- b. PROVIDE VALVES FOR WORKING PRESSURE IN WATER PIPING OF 125 PSI OR
- c. GENERAL DUTY SHUT-OFF BALL VALVES
- . PROVIDE TWO-PIECE, FULL PORT, SILICON BRONZE BALL VALVES WITH THE CAPABILITY OF ACCEPTING EXTENDED OPERATING HANDLES (FOR INSULATED PIPING). VALVES SHALL BE NIBCO MODEL T/S/PC-595-Y-66-LF (-NS) OR EQUAL PRODUCT MANUFACTURED BY AMERICAN VALVE CO, CRANE, HAMMOND, MILWAUKEE, RED-WHITE VALVE CORPORATION, OR
- d. BALANCING VALVES
- . BALANCING VALVES SHALL BE EQUAL TO CIRCUITSOLVER, THERMOSTATIC, SELF-ACTUATING BALANCING VALVES WITH UNIONS, THERMOMETER AND TWO INTEGRATED BALL VALVES. e. THERMOSTATIC MIXING VALVES i. TEMPERED WATER SHALL BE DELIVERED FROM PUBLIC HAND-WASHING
- FACILITIES (LAVATORIES AND SINKS) THROUGH AN APPROVED WATER-TEMPERATURE LIMITING DEVICE THAT CONFORMS TO ASSE 1070. SET OUTLET TEMPERATURE OF THERMOSTATIC MIXING VALVE TO 110 DEGREES F. POINT-OF-USE THERMOSTATIC MIXING VALVES SHALL BE EQUAL TO WATTS SERIES USG-B. ROUTE TEMPERED WATER TO HOT WATER SIDE OF SINK/LAVATORY. ACCEPTABLE MANUFACTURERS INCLUDE SYMMONS, LAWLER, LEONARD, POWERS, BRADLEY, AND WATTS.

#### 18. EXPANSION COMPENSATION

- a. PROVIDE EXPANSION COMPENSATION ON ALL PIPING PER PIPING MANUFACTURER'S RECOMMENDATIONS. ACCOUNT FOR PIPE MATERIAL PIPE SIZE, PIPE LENGTHS, TEMPERATURE OF FLUIDS, AND ALL OTHER VARIABLES PERTAINING TO THE INSTALLATION.
- b. INSTALL PIPING TO PREVENT STRAINS AND STRESSES THAT EXCEED THE STRUCTURAL STRENGTH OF THE PIPE. WHERE NECESSARY, PROVISIONS SHALL BE MADE TO PROTECT PIPING FROM DAMAGE RESULTING FROM
- EXPANSION, CONTRACTION, AND STRUCTURAL SETTLEMENT. c. EXPANSION JOINT FITTINGS SHALL BE USED ONLY WHERE NECESSARY TO PROVIDE EXPANSION AND CONTRACTION OF THE PIPES. EXPANSION JOINT FITTINGS SHALL BE OF THE TYPICAL MATERIAL SUITABLE FOR USE WITH THE TYPE OF PIPING IN WHICH SUCH FITTINGS ARE INSTALLED
- d. IN LIEU OF PROVIDING EXPANSION JOINTS, PIPING OFFSETS SHALL BE PERMITTED WHEN INSTALLED PER THE PIPING MANUFACTURER'S RECOMMENDATIONS.

#### 19. HANGERS & SUPPORTS

a. THE PLUMBING CONTRACTOR MUST FURNISH ALL PIPE SUPPORTS REQUIRED FOR THEIR WORK. ALL PIPING SHALL BE SUPPORTED PER CODE. ADDITIONAL SUPPORTS SHALL BE PROVIDED WHERE REQUIRED TO PREVENT SAGGING, WHERE ALTERNATIVE PIPING MATERIALS ARE USED. HANGER SPACING CAN BE REDUCED AS RECOMMENDED BY THE MANUFACTURER AND WHERE ALLOWED BY CODE.

GPH @ 90

- a. PROVIDE THERMAL INSULATION ON ALL METALLIC DOMESTIC COLD WATER, DOMESTIC HOT WATER, DOMESTIC HOT WATER RETURN PIPING WITH SELE-SEALING CLOSED CELL ELASTOMERIC FOAM PROVIDE A CONTINUOUS VAPOR TIGHT SEAL. INSULATION SHALL BE CONTINUOUS THRU ALL WALLS AND FLOORS. NFPA FIRE HAZARD RATING FOR INSULATION. ADHESIVES. SEALERS, AND COATINGS MUST NOT EXCEED 25 FOR FLAME SPREAD AND 50 FOR SMOKE DEVELOPED, UNLESS OTHERWISE REQUIRED BY THE LOCAI AUTHORITY OR ENERGY CODES. THE MINIMUM INSULATION LEVELS SHALL BE AS FOLLOWS:
- . PROVIDE 1" THICK ELASTOMERIC INSULATION ON HOT AND HOT WATER RETURN PIPING.

ADDITIONAL INFORMATION

b. PROVIDE INSULATION ON ALL PEX PIPING WHEN USED IN PLENUMS AND WHERE REQUIRED TO MAINTAIN THE REQUIRED FLAME AND SMOKE RATINGS. MOST PEX PIPING 3/4" AND SMALLER SHALL BE INSULATED TO MAINTAIN ITS PLENUM RATED PROPERTY IF 18" SEPARATION BETWEEN THE

### 21. INSULATION FOR HANDICAP ACCESSIBLE FIXTURES (WHERE NOT PROTECTED

- a. ALL HANDICAP LAVATORY P-TRAP AND ANGLE STOP ASSEMBLIES SHALL BE INSULATED WITH TRAP WRAP PROTECTIVE KIT MANUFACTURED BY PROFLO MODEL PF200 SERIES OR EQUAL. PROVIDE OFFSET TRAPS FOR HANDICAP ACCESSIBLE FIXTURES WHERE REQUIRED. ABRASION RESISTANT ANTI-MICROBIAL VINYL EXTERIOR COVER SHALL BE SMOOTH. FOR TRAPS THE INSULATION MUST HAVE A CLEANOUT NUT CAP TO ALLOW SERVICE TO THE TRAP WITHOUT DISASSEMBLY. FOR STOPS, THE INSULATION MUST HAVE A LOCK LID THAT PREVENTS TAMPERING BUT ALLOWS ACCESS WITHOUT REMOVAL OF THE INSULATION. FASTENERS MUST REMAIN SUBSTANTIALLY OUT OF SIGHT. ACCEPTABLE MANUFACTURERS INCLUDE PROFLO, TRUEBRO, PLUMBEREX, AND DEARBORN.
- 22. CONCRETE HOUSEKEEPING PADS

24. ACCESS PANELS

- a. ALL FLOOR-MOUNTED EQUIPMENT SHALL BE INSTALLED LEVEL AND PLUMB ON 4" THICK CONCRETE HOUSEKEEPING PAD.
- 23. ESCUTCHEON PLATES a. INSTALL ONE-PIECE CHROME PLATED BRASS WALL PLATE EQUIPPED WITH

## SET SCREW AROUND ALL EXPOSED PIPE PASSING THROUGH WALLS IN

- a. LOCATE VALVES IN READILY ACCESSIBLE LOCATIONS. WHERE VALVES SHALL BE INSTALLED ABOVE NON-ACCESSIBLE CEILINGS, PROVIDE ACCESS PANELS. ACCESS PANELS SHALL BE PAINTABLE METAL. COORDINATE ACCESS PANEL SIZES AND LOCATIONS WITH THE ARCHITECT.
- 25. FIRE STOPPING a. PROVIDE FIRE STOPPING AT ALL PENETRATIONS THROUGH RATED
- SEPARATIONS PER LOCAL CODES & REGULATIONS & PER UL RECOMMENDATIONS FOR ASSEMBLIES ENCOUNTERED IN PROJECT. b. THE FIRE STOPPING MATERIAL MUST MEET THE INTEGRITY OF THE FIRE RATED WALL, FLOOR, CEILING & ROOF BEING PENETRATED. REFER TO ARCHITECT'S DRAWINGS FOR WALL, FLOOR, CEILING & ROOF FIRE RATINGS

#### PRIOR TO BIDDING WORK. 26. FLASHING & COUNTERFLASHING

a. PROVIDE ROOF FLASHING AND COUNTERFLASHING FOR ALL ROOF PENETRATIONS. b. OBTAIN APPROVAL FROM GENERAL CONTRACTOR, CONSTRUCTION

MANAGER, OWNER AND/OR ROOFING CONTRACTOR PRIOR TO MAKING ANY

## PENETRATIONS SO THAT WARRANTIES ARE NOT COMPROMISED OR

27. CATHODIC PROTECTION a. PROVIDE DIELECTRIC INSULATION AT POINTS WHERE COPPER OR BRASS PIPE COMES IN CONTACT WITH FERROUS PIPING, REINFORCING STEEL OR

#### OTHER DISSIMILAR METAL IN STRUCTURE.

- 28. EXCAVATION, TRENCHING & BACKFILL a. DO ALL EXCAVATION, TRENCHING & BACKFILL REQUIRED FOR THE INSTALLATION OF PLUMBING WORK.
- b. ALL BACKFILL SHALL BE COMPACTED & BROUGHT TO FINISHED GRADE AND MUST MATCH SURROUNDING CONDITIONS
- c. RESTORE ALL DISTURBED FLOORING TO ORIGINAL CONDITION. d. ALL PIPING SHALL BE LAID ON A BED OF SAND. 6" THICK MINIMUM. BACKFILI UNDER BUILDING AND ALL DRIVES, ROADS AND WALKS WITH BANK-RUN

#### 29. CUTTING AND PATCHING

- a. CUT AND PATCH WALLS AND FLOORS TO MATCH BUILDING CONSTRUCTION WHERE REQUIRED TO INSTALL ALL PLUMBING.
- a. INSTALL UNIONS AT FINAL CONNECTION TO EACH PIECE OF EQUIPMENT INSTALL DIELECTRIC COUPLINGS TO CONNECT PIPING MATERIALS OF DISSIMILAR METALS

#### 31. INSTALLATION

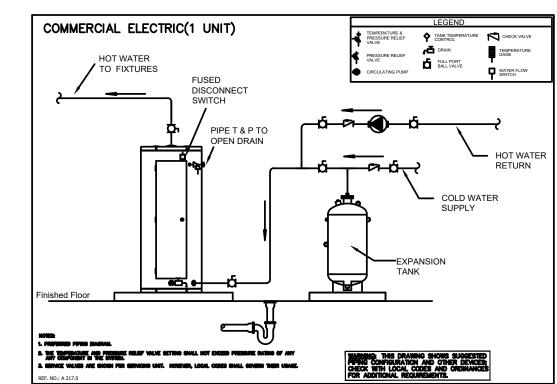
a. INSTALL PIPING FREE OF SAGS AND BENDS. INSTALL FITTINGS FOR CHANGES IN DIRECTION AND BRANCH CONNECTIONS. INSTALL SLEEVES FOR PIPES PASSING THROUGH CONCRETE AND MASONRY WALLS, GYPSUM-BOARD PARTITIONS, CONCRETE FLOOR, AND ROOF SLABS. SEAL PIPE PENETRATIONS THROUGH RATED CONSTRUCTION WITH FIRESTOPPING SEALANT MATERIAL. UNDERGROUND WATER AND SEWER LINES SHALL BE LAID IN SEPARATE TRENCHES WITH A MINIMUM HORIZONTAL SPACING AS REQUIRED BY CODE, EXCAVATED TO THE PROPER DEPTH AND GRADED TO PRODUCE THE REQUIRED FALL.

a. ALL PLUMBING WORK SHALL BE TESTED & APPROVED BY INSPECTOR PRIOR TO BEING BACKFILLED, CONCEALED & PUT INTO SERVICE. AFTER TESTING IS COMPLETE & APPROVED, THE PLUMBING CONTRACTOR MUST DISINFECT THE POTABLE WATER SYSTEM AS REQUIRED BY LOCAL AUTHORITY. TEST WATER PURITY ACCORDING TO LOCAL REQUIREMENTS AND SUBMIT CERTIFIED TEST RESULTS TO OWNER FOR REVIEW AND APPROVAL.

- a. SUBMIT TO THE ARCHITECT PDF FILE COPIES OF COMPLETE & CERTIFIED SHOP DRAWINGS, DESCRIPTIVE DATA, PERFORMANCE DATA & RATINGS, DIAGRAMS AND SPECIFICATIONS ON ALL SPECIFIED EQUIPMENT, INCLUDING ACCESSORIES, AND MATERIALS FOR REVIEW.
- b. THE MAKE, MODEL NUMBER, TYPE, FINISH & ACCESSORIES OF ALL EQUIPMENT AND MATERIALS SHALL BE REVIEWED & APPROVED BY THE PLUMBING CONTRACTOR & GENERAL CONTRACTOR PRIOR TO SUBMITTING TO THE ARCHITECT FOR THEIR REVIEW & APPROVAL.
- c. REVIEW OF SHOP DRAWINGS DOES NOT RELIEVE THE PLUMBING CONTRACTOR/VENDOR FROM COMPLIANCE WITH THE REQUIREMENTS OF THE CONTRACT DRAWINGS, SPECIFICATIONS & APPLICABLE CODES.
- 34. OWNER'S INSTRUCTIONS
- a. PROVIDE TWO SETS OF COMPLETE OPERATING AND MAINTENANCE INSTRUCTIONS WITH DRAWINGS, TYPEWRITTEN INSTRUCTIONS AND OPERATING SEQUENCES AND DESCRIPTIVE DATA SHEETS. ASSEMBLE EACH SET IN A HARD-BOUND COVER.

- a. THE PLUMBING CONTRACTOR MUST UNCONDITIONALLY WARRANT ALL WORK TO BE FREE OF DEFECTS IN EQUIPMENT, MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE BY OWNER AND THE PLUMBING CONTRACTOR WILL REPAIR OR REPLACE ANY DEFECTIVE WORK PROMPTLY AND WITHOUT CHARGE TO
- b. RESTORE ANY OTHER EXISTING WORK DAMAGED IN THE COURSE OF REPAIRING DEFECTIVE EQUIPMENT, MATERIALS AND WORKMANSHIP. **END OF DIVISION 22 - PLUMBING**

	PLUMBING LEGEND
SYMBOL	DESCRIPTION
s	SANITARY/WASTE PIPING BELOW FLOOR
—-s—	SANITARY/WASTE PIPING ABOVE CEILING
v	VENT PIPING
CW	COLD WATER PIPING
——HW——	HOT WATER PIPING
——HWR——	HOT WATER RETURN PIPING
—— G——	NATURAL GAS PIPING
——sт——	STORM PIPING
FD●	FLOOR DRAIN
<u>RD</u> <b>©</b>	ROOF DRAIN
<u>od</u> <b>©</b>	OVERFLOW DRAIN
<b>─</b> ₩─	BALL VALVE
	CHECK VALVE
—— <i>&amp;</i> ——	BALANCING VALVE
CO <b>•</b>	CLEANOUT
WH <b>H</b>	FROST PROOF WALL HYDRANT
#	VENT THROUGH ROOF RISER INDICATOR
O	HOT WATER RETURN PUMP
	LEGEND



	·					MIS	CELLANEOUS FIXT	URE SCHEDUL	E					
MARK	FIXTURE DESCRIPTION	FIXTURE IV	IANUFACTURER	FIXTURE MO	DEL FAI	UCET MANUFACTURER	FAUCET MODEL	APPROVE	D FIXTUR	E MANUFACT	URERS	APPROVED FAUCET MANUFACTURER		ADDITIONAL INFORMATION
													PROVIDE W	/ITH LOUVERED FACEPLATE # 37534.
AAV1	AIR ADMITTANCE VALVE	OATEY	l <sub>N</sub>	ИODA	N/A	4	N/A	ACCOR, GUY	GRAY, SIG	OUX CHIEF, OA	ATEY	N/A	PROVIDE F	IRE-RATED BOX IF INSTALLED IN FIRE-RATED
													WALL	
													PROVIDE FI	IRE-RATED BOX IF INSTALLED IN FIRE-RATED
IB1	ICE MAKER WATER SUPPLY BOX	OATEY		AODA WITH SURE-\	VENT N/A	4	N/A	ACCOR, GUY	GRAY, SIG	OUX CHIEF, OA	ATEY	N/A	WALL	
	SHOWER CONTROLS AND SHOWER	₹										KOHLER, AMERICAN STANDARD,		
SH1	PAN	` KOHLER	K	(-8459-0 LEFT - K845	58-0 RIGHT   PER	RRLESS	PTT188782-BL	N/A				SYMMONS, POWERS, DELTA	1.75 GPM N	NATTE BLACK FINISH
	SHOWER CONTROLS AND SHOWER	₹										KOHLER, AMERICAN STANDARD,		
l SH2	PAN	` KOHLER	K	(-8639-0 LEFT - K863	38-0 RIGHT PEE	RLESS	PTT188782-BL	N/A				SYMMONS, POWERS, DELTA	1.75 GPM N	NATTE BLACK FINISH
	1711											KOHLER, AMERICAN STANDARD,		
BT1	BATH TUB	AMERICAN	STANDARD P	RINSTON 60"	PEE	RLESS	PTT188792-BL	N/A				SYMMONS, POWERS, DELTA	MATTE B;A	CK FINSH
												STIVILIONS, I GWENS, BEETA	PLILL DOWI	N HEAD STAINLES STEEL FINISH 1.5 GPM
KS1	KITCHENETTE SINK	PROFLO	P	LOMOSA 24"	PEE	RLESS	P188152LF	ELKAY, JUST				ELKAY, JUST, MOEN, DELTA		CUP STRAINER
													1	IRE-RATED BOX IF INSTALLED IN FIRE-RATED
WB1	WASHER SUPPLY/DRAIN BOX	OATEY	l.	ИODA	N/A	4	N/A	SYMMONS, G	GUY GRAY	, SIOUX CHIEF	, OATEY	N/A		INE-NATED BOX IF INSTALLED IN FIRE-NATED
													WALL	
							DRAIN SCHED	JLE						
MARK	DESCRIPTION		BASE MANUFACTUR	FR MOI	DEL#		FINISH				ΔΓ	ODITIONAL FEATURES		ACCEPTABLE MANUFACTURERS
DN1			ZURN		9-SS		L-BRONZE BODY					BLE STAINLESS STEEL SCREEN		ZURN, SMITH, WATTS, WADE, JOSAM, MIFAB
FD1	ON-GRADE FLOOR DRAIN (UNFINI		OATEY	TRUE SET ON-G		PVC BODY, 5" NICKEL-						RE STRAINER IF INSTALLED IN TILE FLOOR		SIOUX CHIEF, OATEY, NSF, JUMBO
FD2	ABOVE-GRADE FLOOR DRAIN (UNFII		OATEY	TRUE SET FLAN		PVC BODY, 5" NICKEL-		THRING	FL	•		R, SQUARE STRAINER IF INSTALLED IN TILE FLOC	OR	SIOUX CHIEF, OATEY, NSF, JUMBO
OD1	OVERFLOW ROOF DRAI	IN	SIOUX CHIEF		S-U-STP2	· · · · · · · · · · · · · · · · · · ·	OLYETHYLENE DOME					ROOF SUMP, UNDERDECK CLAMP		SIOUX CHIEF, OATEY, NSF, JUMBO
RD1	ROOF DRAIN		SIOUX CHIEF	868-1	E-S-U	PVC BODY,P	OLYETHYLENE DOME			EX	TENSION, R	ROOF SUMP, UNDERDECK CLAMP		SIOUX CHIEF, OATEY, NSF, JUMBO

VOLTAGE

PHASE

	LAVATORY SCHEDULE														
MARK	LAVATORY DESCRIPTION	FIXTURE MANUFACTURER	FIXTURE MODEL	FAUCET MANUFACTURER	FAUCET MODEL	MATERIAL	USE	MOUNTING	STYLE	CONTROL	FLOW RATE	DRAIN	APPROVED FIXTURE MANUFACTURERS	APPROVED FAUCET MANUFACTURERS	ADDITIONAL INFORMATION
LV1	UNDERMOUNT	KOHLER	K-2000	DELTA	MODERN BLACK FINISH	CHINA	GENERAL	UNDERMOUNT	UNDERMOUNT	MANUAL	1 F	POP-UP	AMERICAN STANDARD, KOHLER, ZURN	AMERICAN STANDARD, KOHLER, ZURN, BRADLEY, CHICAGO FAUCET, SPEAKMAN, T&S, SYMMONS, POWERS, MOEN, DELTA	INSULATE SUPPLIES & DRAIN WHERE NOT PROTECTED WITH SHROUD
LV2	UNDERMOUNT	DURAVIT	316530017	DELTA	MODERN BLACK FINISH	CHINA	ADA	UNDERMOUNT	N/A	MANUAL	1	GRID	AMERICAN STANDARD, KOHLER, ZURN	AMERICAN STANDARD, KOHLER, ZURN, BRADLEY, CHICAGO FAUCET, SPEAKMAN, T&S, SYMMONS, POWERS, MOEN, DELTA	INSULATE SUPPLIES & DRAIN WHERE NOT PROTECTED WITH SHROUD
									WA	TER CLOSET SCHEDULE					

STYLE

**LELONGATED** 

| FLUSH VALVE TYPE |

CONTROL

| FLOW RATE

SEAT-TYPE

ACCEPTABLE MANUFACTURERS

AMERICAN STANDARD, KOHLER, ZURN

PLUMBING DETAILS

APPROVED FLUSH VALVE MANUFACTURERS | ADDITIONAL INFORMATION

Progress Dates 05/05/2023 BID P/E/FP 08/30/2024 BID SET 2

Checked By: SSS

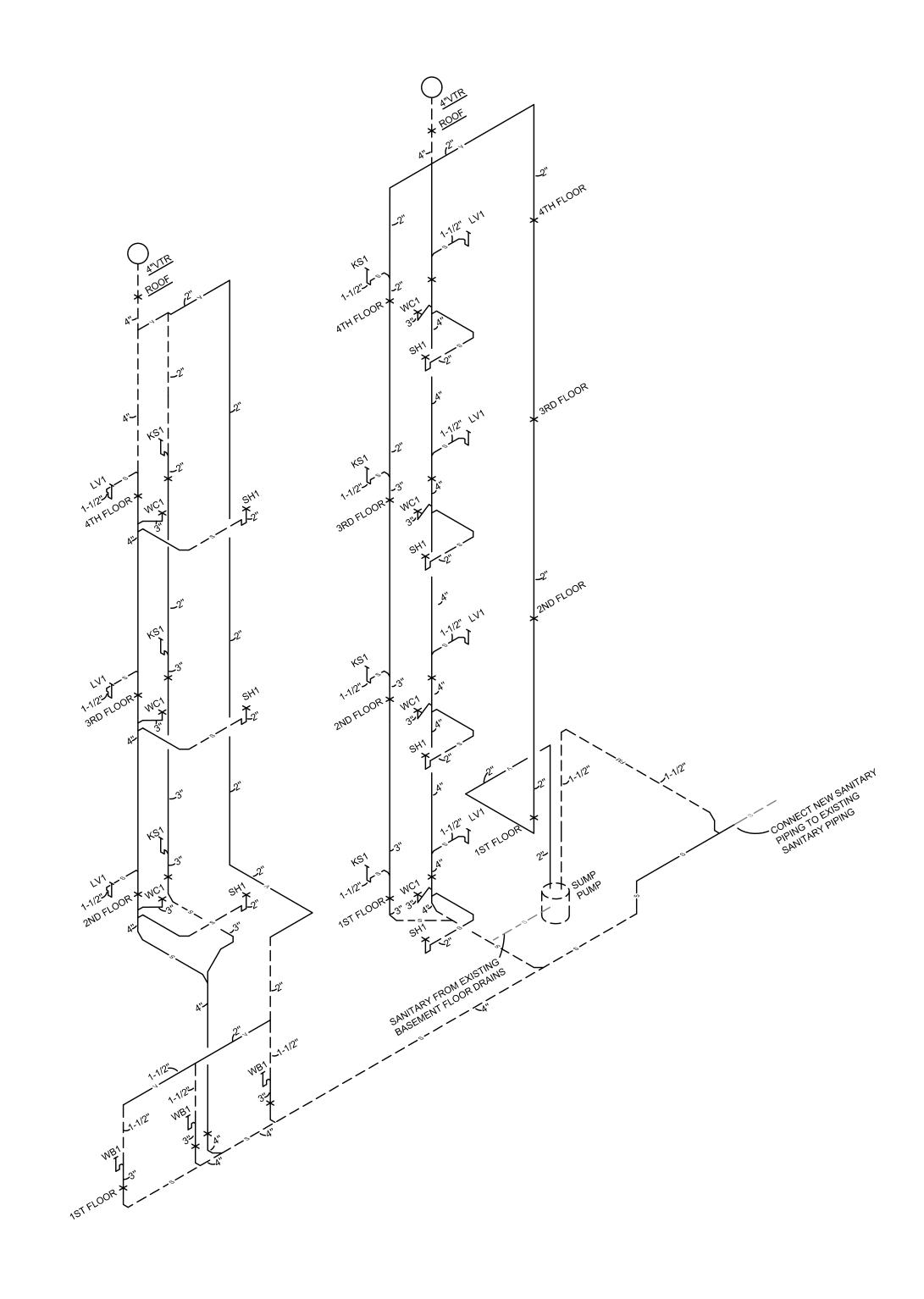


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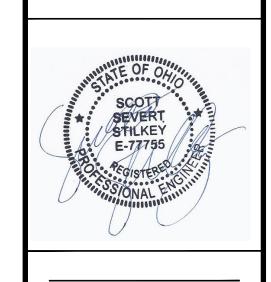
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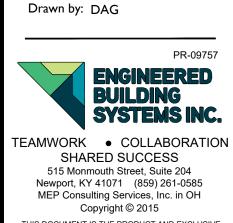
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Revision

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Drawn by: DAG



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P2.01

Z:\~Project Directories\9700-9799\9757 - Findlay Flats Findlay Parkside (Willkommen ? Phase II)\~Construction Documents\~Phase 2 (3 Buildings)\1804 REPUBLIC\9757-P2-01-PLUMBING-DETAILS.dwg-EBS. Plot Date/Time: Aug 29, 2024-3:24pm - By: \$(++)
THESE DRAWINGS AND SPECIFICATIONS ARE NOT AUTHORIZED TO BE USED AS CONTRACT DOCUMENTS. THESE DRAWINGS HAVE BEEN PREPARED TO DEMONSTRATE COMPLIANCE WITH APPLICABLE CODES, AND ARE INSTALLING SONTRACTOR IS RESPONSIBLE TO ENSURE THAT MEANS, AND MATERIALS USED IN CONSTRUCTION ARE INSTALLED IN ACCORDANCE WITH ANY CONTRACTOR IS RESPONSIBLE TO ENSURE THAT MEANS, AND MATERIALS USED IN CONTRACTOR, ETC.