

SCALE: 1/8" = 1'-0" EGRESS DIAGRAMS 3

PROPOSED BUILDING RENOVATION

1. LOCATION: 1804 REPUBLIC STREET CINCINNATI, OH 45202

2. DESCRIPTION: THIS PROJECT IS THE REHABILITATION/RENOVATION OF AN EXISTING HISTORIC RESIDENTIAL BUILDING. 1804 REPUBLIC IS A 4 STORY BUILDING WITH A FULL BASEMENT AND ATTIC. THE BASEMENT WILL REMAIN UNOCCUPIED WITH THE EXCEPTION OF MECHANICAL EQUIPMENT. ALL FLOORS 1-4 WILL REMAIN R-2 USE. THE ATTIC WILL REMAIN UNOCCUPIED.

THE PROJECT HAS BEEN SUBMITTED FOR HISTORIC TAX CREDITS WITH THE STATE HISTORIC PRESERVATION OFFICE AND NATIONAL PARK SERVICE. AND THEREFORE WILL BE DICTATED BY CHAPTER 34, SECTIONS 3-11 AND SUPPORTING SECTIONS OF THE OBC.

PLUMBING, ELECTRIC, SPRINKLER + FIRE ALARM SYSTEMS WILL BE SUBMITTED UNDER A SEPARATE PERMIT.

3. GOVERNING CODE: 2017 OBC (OHIO BUILDING CODE) CINCINNATI BUILDING CODE/ CINCINNATI ZONING CODE

4. ZONING DESIGNATION: CC-P URBAN PARKING OVERLAY DISTRICT - NO PARKING REQUIRED.

5. CONSTRUCTION TYPE: EXISTING TYPE III-B CONSTRUCTION MASONRY / 2HR INTERIOR BEARING: MASONRY / WOOD INTERIOR NON-BEARING: WOOD NON-BEARING FLR/ROOF: WOOD/0HR *SEE CHAP. 10 FIRE RESISTANCE RATINGS AND PARTITION/ASSEMBLY TYPES SHEET WITHIN ARCH. SET

6. USE GROUP/OCCUPANCY: BASEMENT / 991 SF (TOTAL) UNOCCUPIED PROPOSED S-1/UNOCCUPIED #OCCUPANCY LANDLORD ACCESS ONLY FIRST FLOOR / 936 SF (TOTAL) R-2 R-2 415 SF/200 = 2 388 SF/100 = 4 2ND FLOOR / 991 SF (TOTAL) R-2 R-2 727 SF/200 = 4 3RD FLOOR / 993 SF (TOTAL) R-2 R-2 727 SF/200 = 4 3RD FLOOR / 993 SF (TOTAL) R-2 R-2 727 SF/200 = 4 ATTIC / 1137 SF (TOTAL) UNOCCUPIED UNOCCUPIED LANDLORD ACCESS ONLY

7. HEIGHT + AREA: EXISTING III-B CONSTRUCTION - EXISTING HEIGHT TO REMAIN UNCHANGED. USE HEIGHT - ALLOWABLE/PROPOSED STORIES ABV GRADE - ALLOWABLE/PROPOSED R-2 75' / 55'-11" S-1 53' / 55'-11"

8. INTERIOR FINISH RATINGS: SPRINKLERED/ TABLE 803.1.1 CORRIDORS/ EXIT ACCESS, USE S, R-2 ROOMS & ENCLOSED SPACES, USES B, M, A, R-2 REQUIRED C C

9. FIRE RESISTANCE RATINGS: THE LAUNDRY MAT FOR TENANTS ("B" USE GROUP) WILL BE SEPARATED BY A 1-HR FIRE-RATED ASSEMBLY FROM THE DWELLING UNITS ABOVE PER SECTIONS 420.3 AND 508.4. STAIR ENCLOSURE 2HR (OBC1023.2) 2 HR

EGRESS DIAGRAMS GENERAL NOTES:

A. HORIZONTAL FLOOR/CEILING + ROOF ASSEMBLIES ARE INDICATED ON THIS PAGE AND IN THE NEW WORK PLANS.

B. RATED PARTITIONS ARE INDICATED IN NEW WORK PLANS.

C. SEE SHEET A6.00 FOR ASSEMBLIES + PARTITION TYPES DETAILS.

EGRESS DIAGRAMS GRAPHIC KEY:

EXIT → BUILDING EXIT

HATCH INDICATES FIRE-RATED EXIT STAIR/PATH

SPACE NAME # OCCUPANTS -OR- SF

max path common egress remote point

EGRESS PATH

FIRE EXTINGUISHER GRAPHIC KEY:

FE-K TYPE 2-A-K FIRE EXTINGUISHER W/ SURFACE MOUNTED BRACKET

FE-2A(S) TYPE 2-A-20-B-C FIRE EXTINGUISHER W/ SURFACE MOUNTED BRACKET

FE-2A(C) TYPE 2-A-20-B-C FIRE EXTINGUISHER W/ SURFACE MOUNTED CABINET

FE-2A(C-SR) TYPE 2-A-20-B-C FIRE EXTINGUISHER W/ SEMI-RECESSED CABINET

10. EXIT REQUIREMENTS: TABLE 1017.2 UNSPRINKLERED, 2 EXITS ALLOWABLE (FT) PROVIDED (MAX)(FT) B 300' 32'-5" R-2 250' 32'-5"

ONE EXIT S-1 100' 33'-10"

11. FIRE PROTECTION: THE BUILDING IS NOT CURRENTLY SPRINKLERED. A NEW SPRINKLER SYSTEM IN ACCORDANCE WITH 903.3.1.1 WILL BE INSTALLED.

AN ALTERNATE ENGINEERED DESIGN (106.5 IN THE OBC) IS PROPOSED TO PROVIDE A WATER CURTAIN AS AN ALTERNATE TO THE FIRE-RATING REQUIREMENTS AT THE NORTH FIRE ESCAPE WINDOWS. THESE SPRINKLER HEADS WILL PROVIDE COVERAGE AT EXG. OR REPLACEMENT WINDOWS ALONG THE FIRE ESCAPE & AT WINDOWS WITHIN 10'-0" OF THE FIRE ESCAPE. THE WATER CURTAIN WOULD SUPPRESS THE FIRE AT THE WINDOW FOR THE LENGTH OF TIME DESIGNED TO PROTECT THE OCCUPANTS. SMOKE DETECTORS WILL BE IN THE ROOMS THAT HAVE THE OPENINGS PROTECTIVES. THEY WILL BE WIRED WITH THE FIRE ALARM. THERE WILL NOT BE EXPOSED PLASTIC PIPE IN THE PROJECT. WHEN SPRINKLER DRAWINGS ARE SUBMITTED FOR PERMIT, A DRAWING WILL BE PROVIDED BY THE CONTRACTOR THAT WILL PROVIDE DOCUMENTATION THAT SUCH HEADS PROVIDE 100% COVERAGE OF THE ADJACENT WINDOWS. AN APPROPRIATE ALTERNATE ENGINEERED DESIGN LETTER WILL BE SUBMITTED WITH THESE DRAWINGS AT THAT TIME BY THE SPRINKLER ENGINEER.

FIRE EXTINGUISHERS WILL BE PROVIDED IN EACH DWELLING UNIT AND AS OTHERWISE REQUIRED BY SECTION 906 IN COORDINATION WITH THE LOCAL FIRE DEPARTMENT. GC TO COORDINATE.

12. FIRE ALARM: 907.2.9.1 R-2 A FIRE ALARM AND DETECTION SYSTEM W/ OCCUPANT NOTIFICATION DEVICES WILL BE PROVIDED FOR R-2 AND APPLIED FOR UNDER A SEPARATE PERMIT.

A MANUAL PULL STATION FOR THE FIRE ALARM WILL BE PROVIDED AT THE BOTTOM OF THE STAIRWELL NEAR THE BUILDING ENTRY.

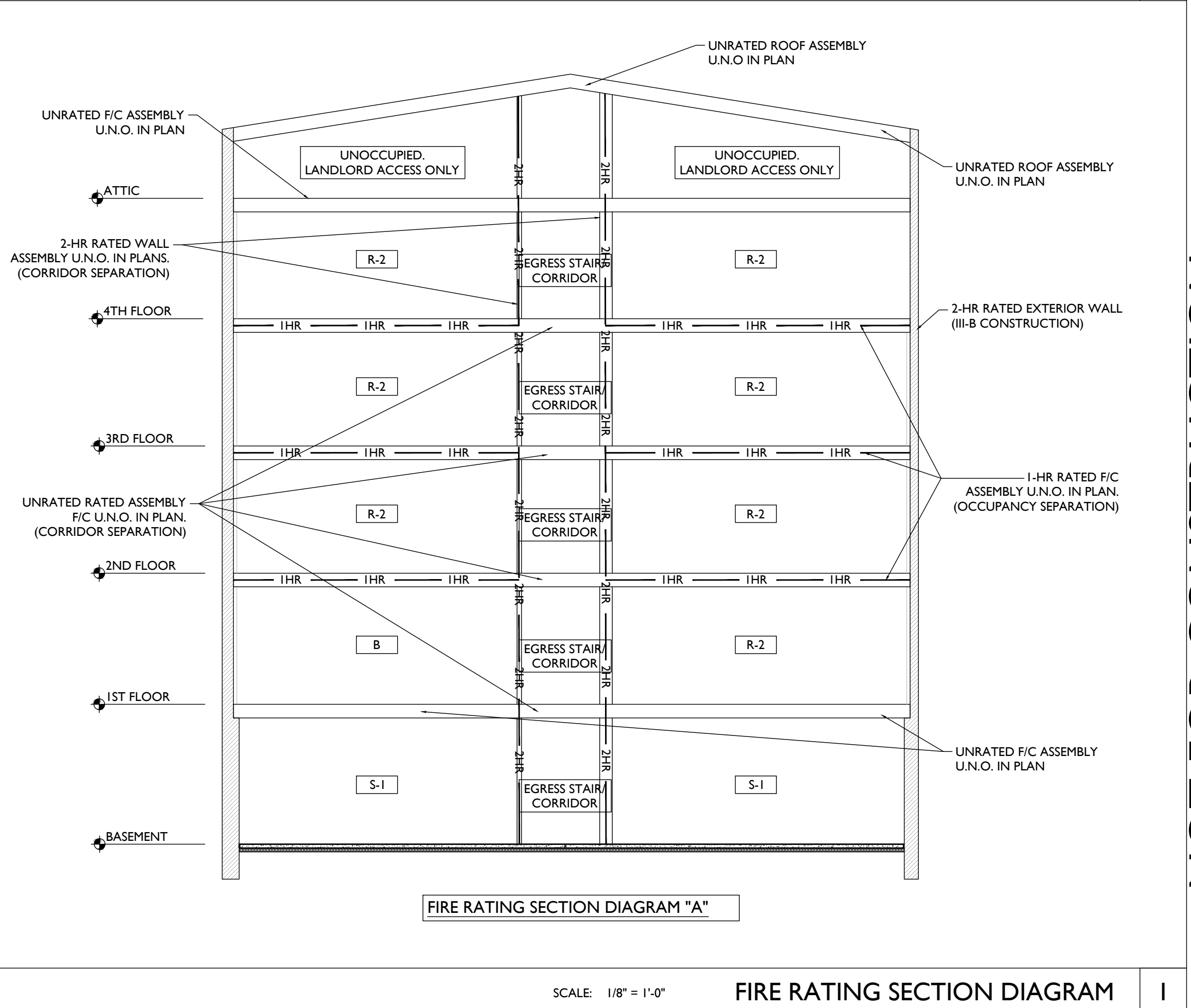
A SINGLE-STATION SMOKE ALARM SYSTEM WILL PROVIDED WITH NOTIFICATION FROM THE FIRE ALARM SYSTEM PROVIDING FULL AUDIBLES INSIDE ALL DWELLING UNITS SIMULTANEOUSLY. THESE WILL BE ADDRESSABLE SMOKE DETECTORS WITH A SOUNDER BASE. A SINGLE SMOKE DETECTOR WILL BE PROVIDED AT THE TOP OF THE STAIRWELL.

13. ACCESSIBILITY: ALL FIRST FLOOR COMMERCIAL SPACES SHALL BE ACCESSIBLE TO THE EXTENT FEASIBLE. PLATTE ARCHITECTURE + DESIGN IN CONJUNCTION WITH OUR CONSULTANTS AND THE OWNER WILL ATTEMPT TO IMPROVE THE ACCESSIBILITY OF HISTORIC BUILDINGS TO THE EXTENT FEASIBLE AND WITHOUT ALTERING THE BUILDING STRUCTURE OR HISTORIC CHARACTER. BUILDING ELEMENTS THAT DO NOT FULLY MEET THE REQUIREMENTS OF ICC A117.1 AS REFERENCED IN THE 2017 OBC WILL NOT BE INDICATED OR IDENTIFIED AS ACCESSIBLE.

14. EXTERIOR WALL OPENINGS: OPENINGS AT EXTERIOR WALLS LIMITED TO PERCENTAGES PER TABLE 705.8. EXCEPT AT EXISTING NON-CONFORMING CONDITION WHERE NO NEW OPENINGS ADDED.

ELEVATION	FSD	ALLOWABLE	PROVIDED
NORTH	5'-0"	5'-X<10' = 25%	16%
SOUTH	0'-0"	X<3' = 0%	3% (EXG NON-CONFORM. CONDITION)
WEST	15'-0"	15'-X<20' = 75%	16%
EAST	10'-11" 5'-8"	10'-X<15' = 45% X>30' = UNLIMIT.	11% 7%

CODE NOTES 2



SCALE: 1/8" = 1'-0" FIRE RATING SECTION DIAGRAM 1

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2024.08.30 - BID SET 2

Revisions

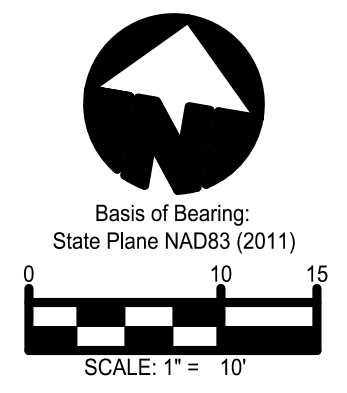
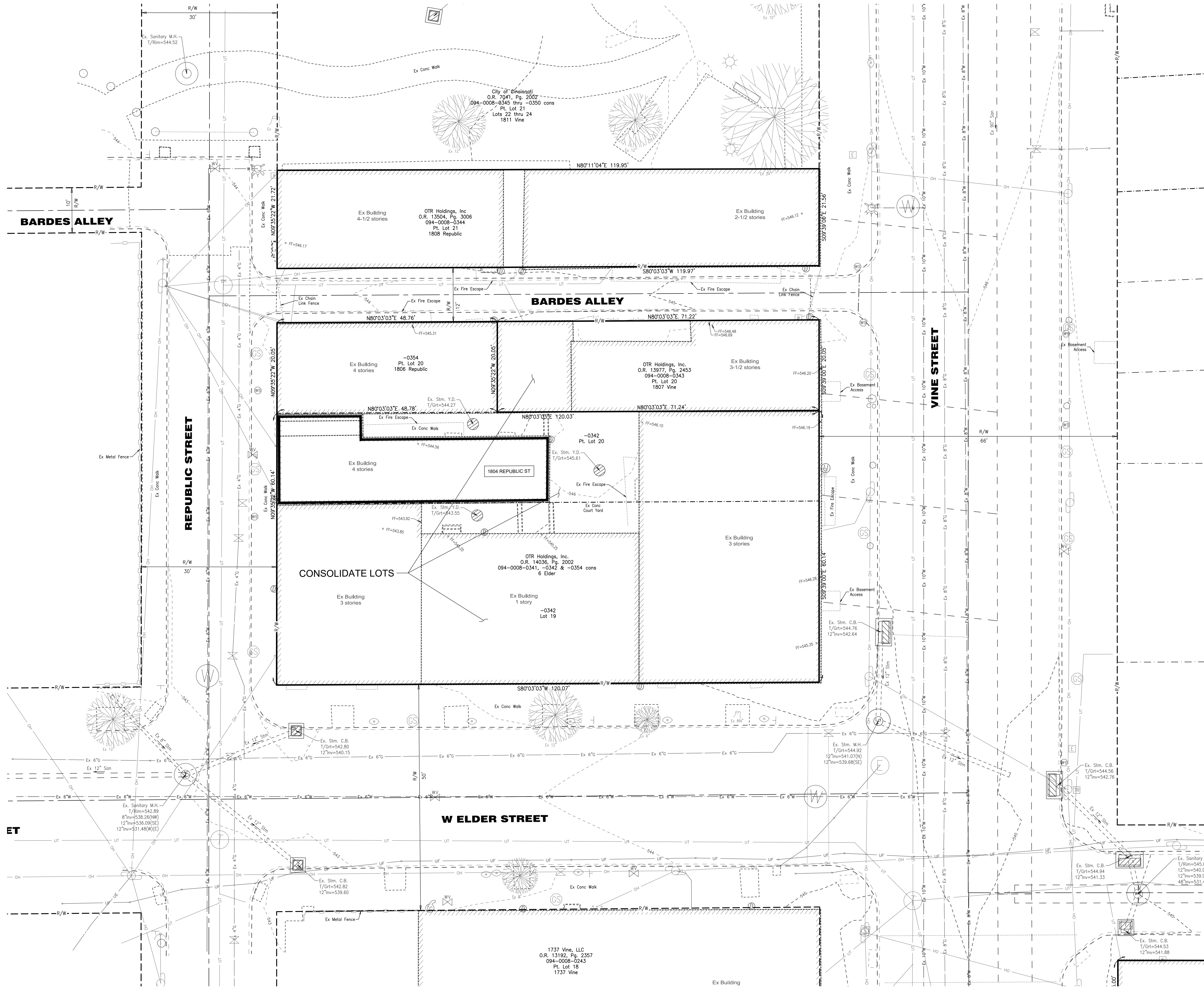
Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
TB, AM

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PROPOSED PROJECT:
RENOVATION FOR
1804 REPUBLIC
CINCINNATI, OH 45202
FINDLAY FLATS

Job No: 22042 08.30.2023

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LOCATION OF ALL EXISTING UTILITIES TO BE
DETERMINED IN THE FIELD PRIOR TO CONSTRUCTION

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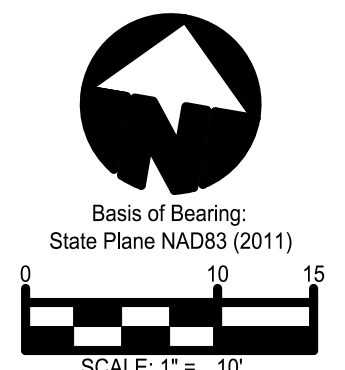
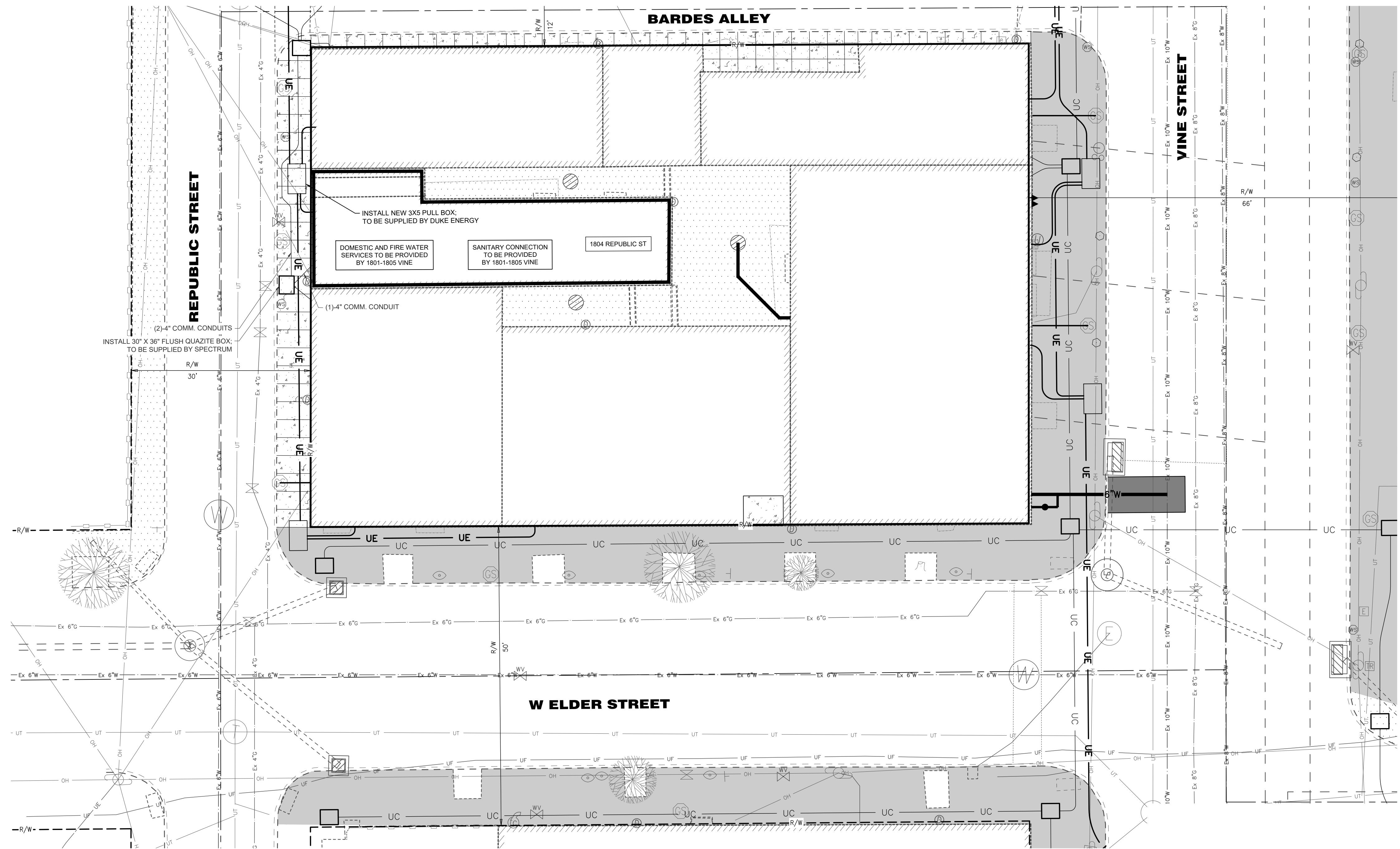
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MAINTENANCE OF TRAFFIC NOTES

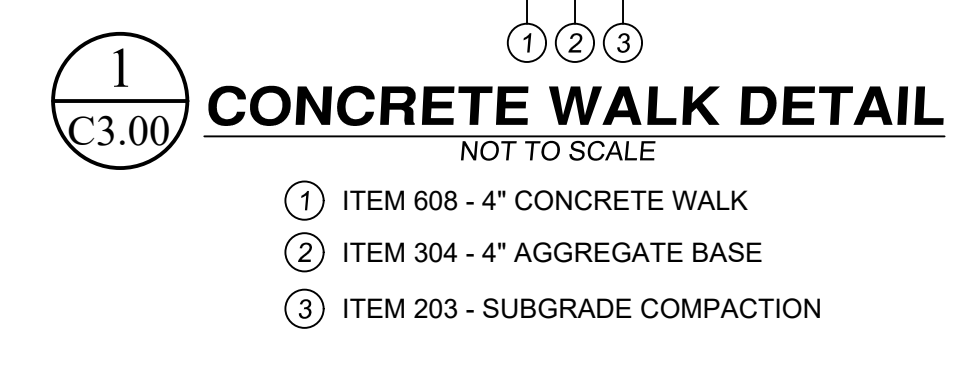
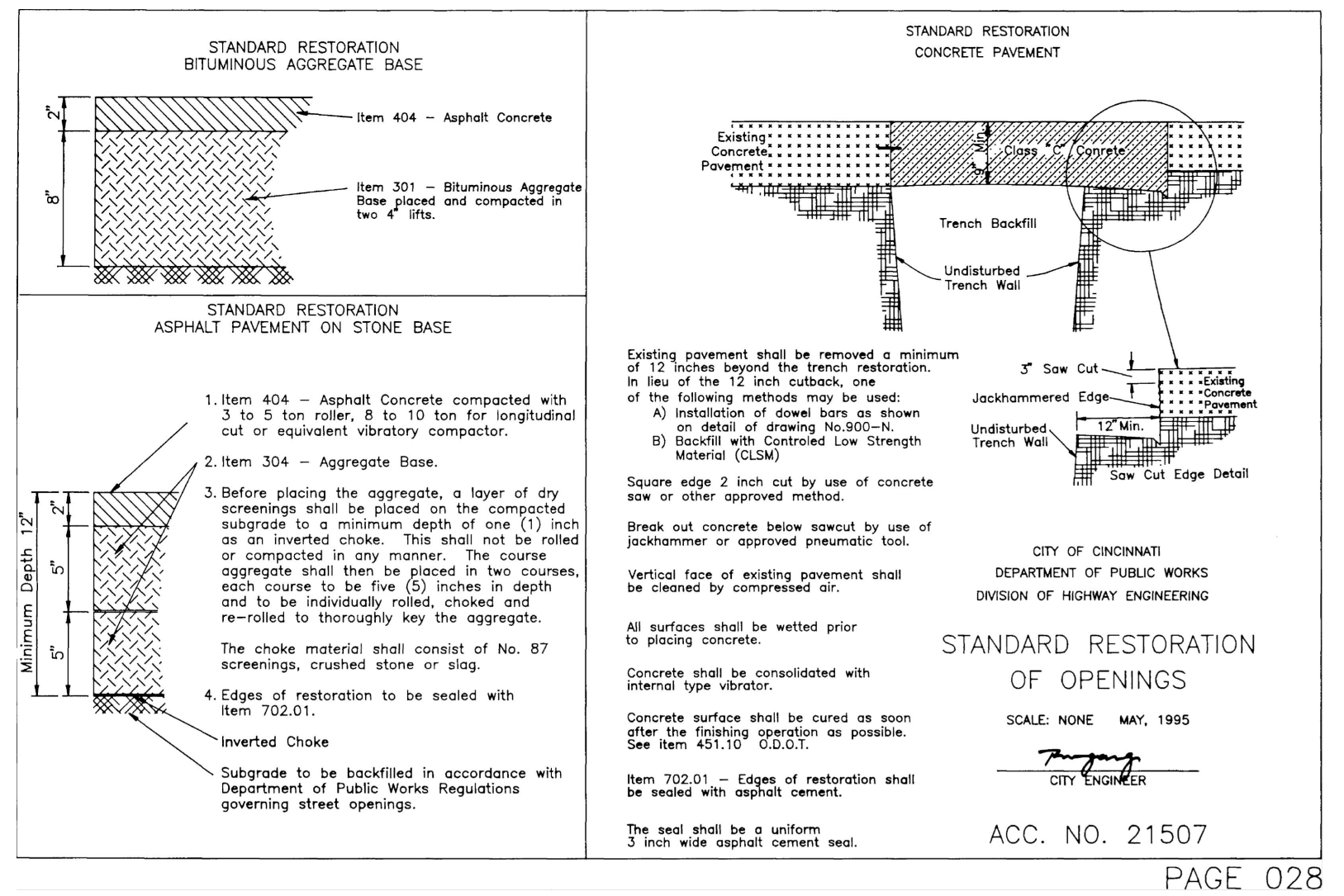
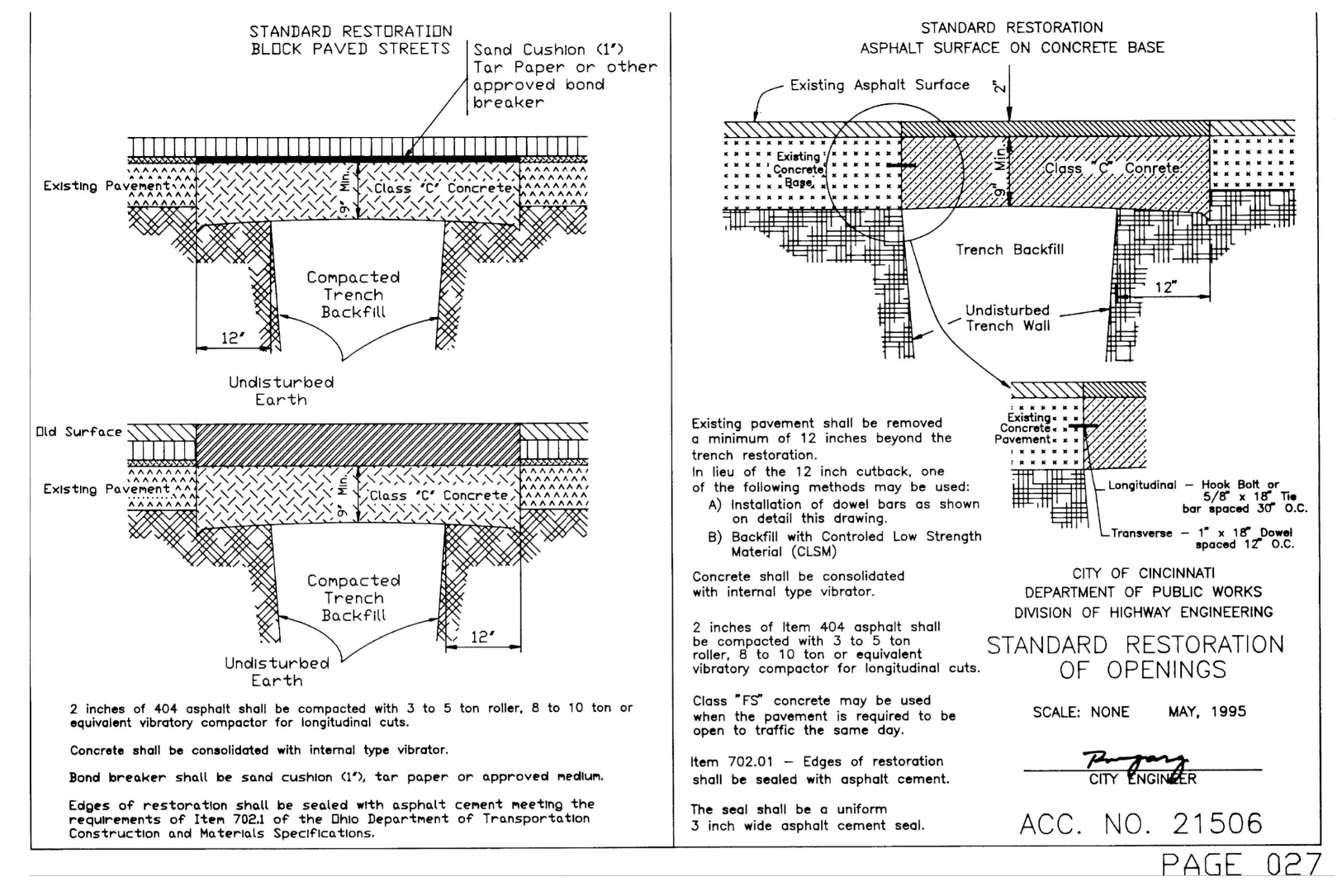
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT STATE OF OHIO DEPARTMENT OF TRANSPORTATION, CONSTRUCTION AND MATERIAL SPECIFICATIONS, AND CURRENT STANDARD DRAWINGS, UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ITEM 614 AND OTHER APPLICABLE PORTIONS OF THE C&M SPECIFICATIONS AS WELL AS IN ACCORDANCE WITH PART 7 OF OMUTCD. LANE CLOSURES SHALL BE IN ACCORDANCE WITH STANDARD CONSTRUCTION DRAWINGS MT-97.10, MT-99.10.
3. LOCAL TRAFFIC SHALL BE MAINTAINED AT ALL TIMES THROUGH THE USE OF FLAGGERS AND SAFETY CONES, AS DIRECTED BY THE CITY ENGINEER.
4. THE CONTRACTOR MUST COORDINATE THE WORK SO AS TO NOT INTERRUPT INGRESS AND EGRESS FROM AFFECTED PROPERTIES.
5. IF THE CONTRACTOR SO ELECTS, HE MAY SUBMIT ALTERNATE METHODS FOR THE MAINTENANCE OF TRAFFIC, PROVIDED THAT THE INTENT OF THE ABOVE PROVISIONS IS FOLLOWED AND NO ADDITIONAL INCONVENIENCE TO THE TRAVELING PUBLIC RESULTS THEREFROM. NO ALTERNATE PLAN WILL BE PUT INTO EFFECT UNTIL THE APPROVAL HAS BEEN GRANTED, IN WRITING, BY THE CITY OF CINCINNATI DOT.
6. THE OPEN TRENCH SHALL BE ADEQUATELY MAINTAINED AND PROTECTED WITH DRUMS OR BARRICADES AT ALL TIMES.
7. NO TRENCH SHALL BE LEFT OPEN OVERNIGHT. IN CASE WORK MUST BE SUSPENDED BECAUSE OF INCLEMENT WEATHER OR OTHER REASONS, THE TRENCH FOR THE UNCOMPLETED WORK SHALL BE PLATED OR BACKFILLED AT THE DIRECTION OF THE COUNTY ENGINEER.
8. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES LOCATED PRIOR TO BEGINNING CONSTRUCTION.

SITE PERMITS NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL CITY OF CINCINNATI PERMITS FOR PROPOSED SITE WORK, INCLUDING (BUT NOT LIMITED TO): GCWW BRANCH APPLICATION, MSD TAP PERMIT, DOTE RIGHT-OF-WAY PERMIT (FOR UTILITY CONNECTIONS, STREET/WALK CLOSURE, AND PAVEMENT INSTALLATION), DOTE BARRICADE PERMIT, DOTE REVOCABLE STREET PERMIT (IF APPLICABLE).

LEGEND

- EXISTING CONCRETE WALK OR DRIVE (TO REMAIN)
- PROPOSED CONCRETE WALK (SEE DETAIL 1/C2.00)
- REMOVE & REPLACE EX PAVEMENT IN KIND PER DOTE STANDARDS (SEE SHEET C2.00 FOR DETAILS)
- STREETSCAPE PROJECT BY OTHERS



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Design Team:

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EFS

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RENOVATION FOR 1804 REPUBLIC ST
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 04/28/2023

C2.00

- 1. GENERAL**
- 2. EXG CONDITIONS**
 - 2.1 REMOVE GATE AND/OR FENCE.
 - 2.2 REMOVE BEAM PER STRUCTURAL. PROVIDE SHORING AS REQ.
 - 2.3 EXG. WINDOW WELL. REMOVE METAL GRATE & TRASH / DEBRIS. PREPARE OPENING FOR LEAN CONCRETE INFILL. SEE NEW WORK PLANS AND STRUCT.
 - 2.4 REMOVE FRAMING & SHEATHING/DECKING IN THIS AREA. SEE STRUCTURAL DWGS & NEW WORK PLANS.
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- KEYNOTE
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- EXG INTERIOR WALL TO REMAIN
- EXG WALLELEMENT TO BE REMOVED
- EXG DOOR & FRAME TO BE REMOVED
- EXG WINDOW TO BE REMOVED
- EXG FLOOR OR WALL CONSTRUCTION TO BE REMOVED

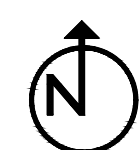
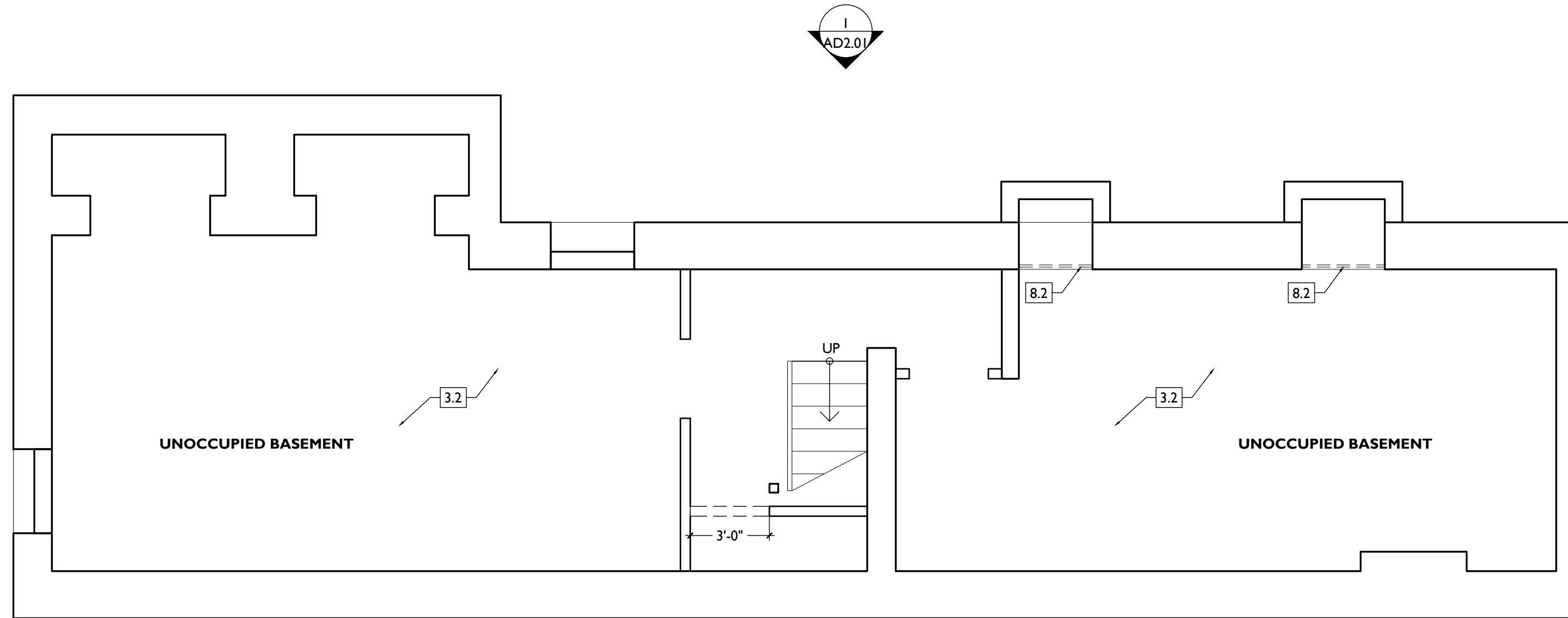
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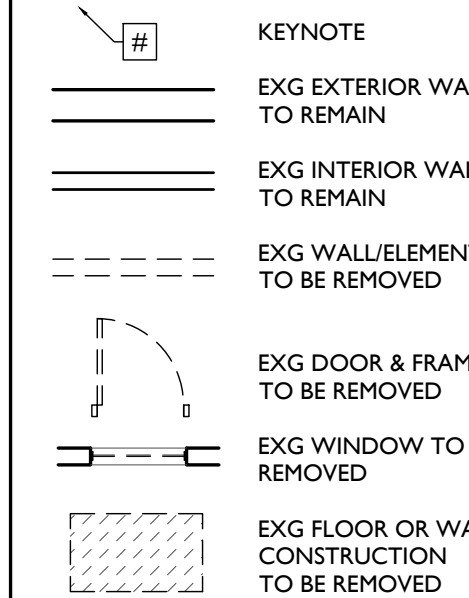
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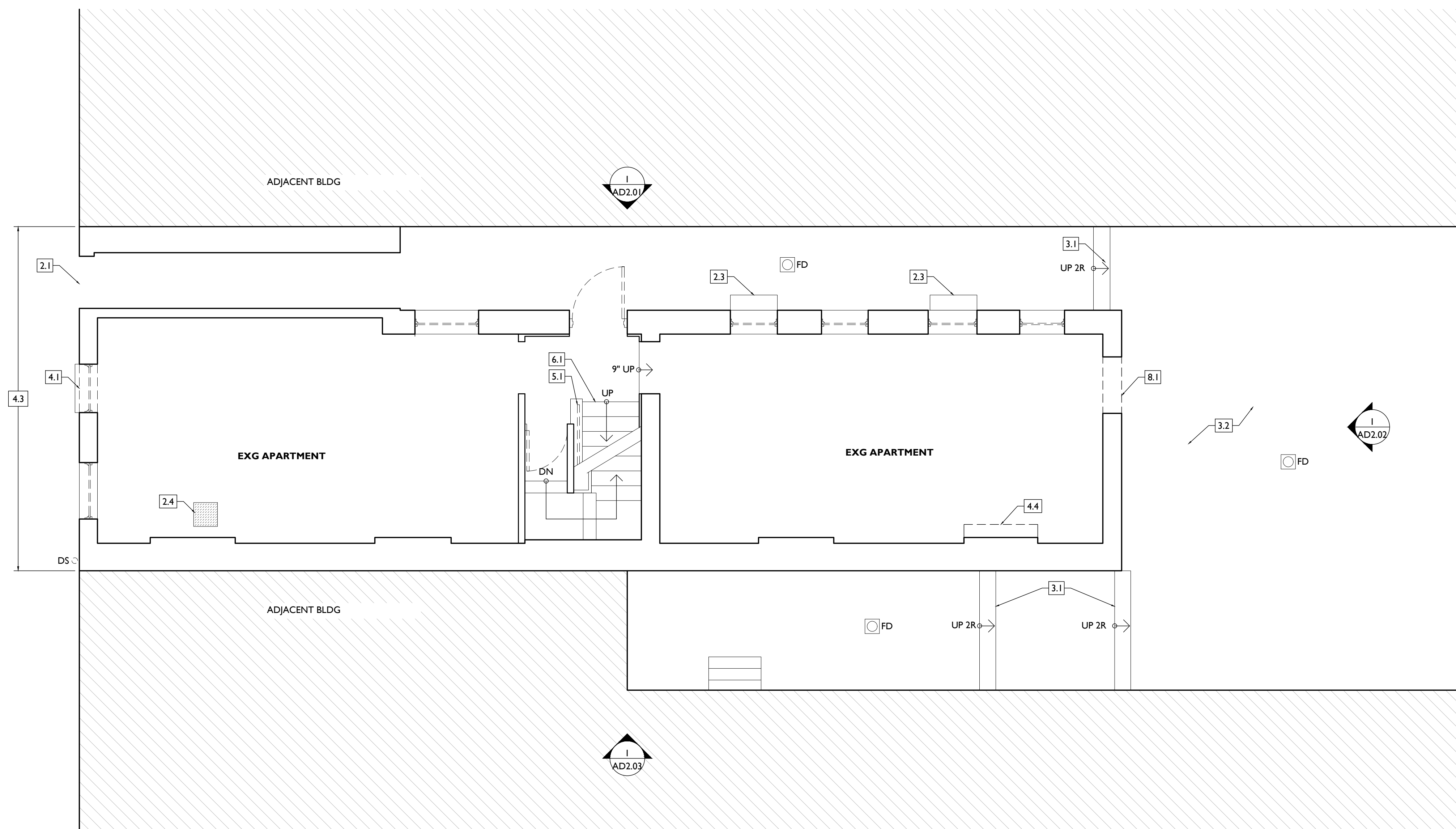
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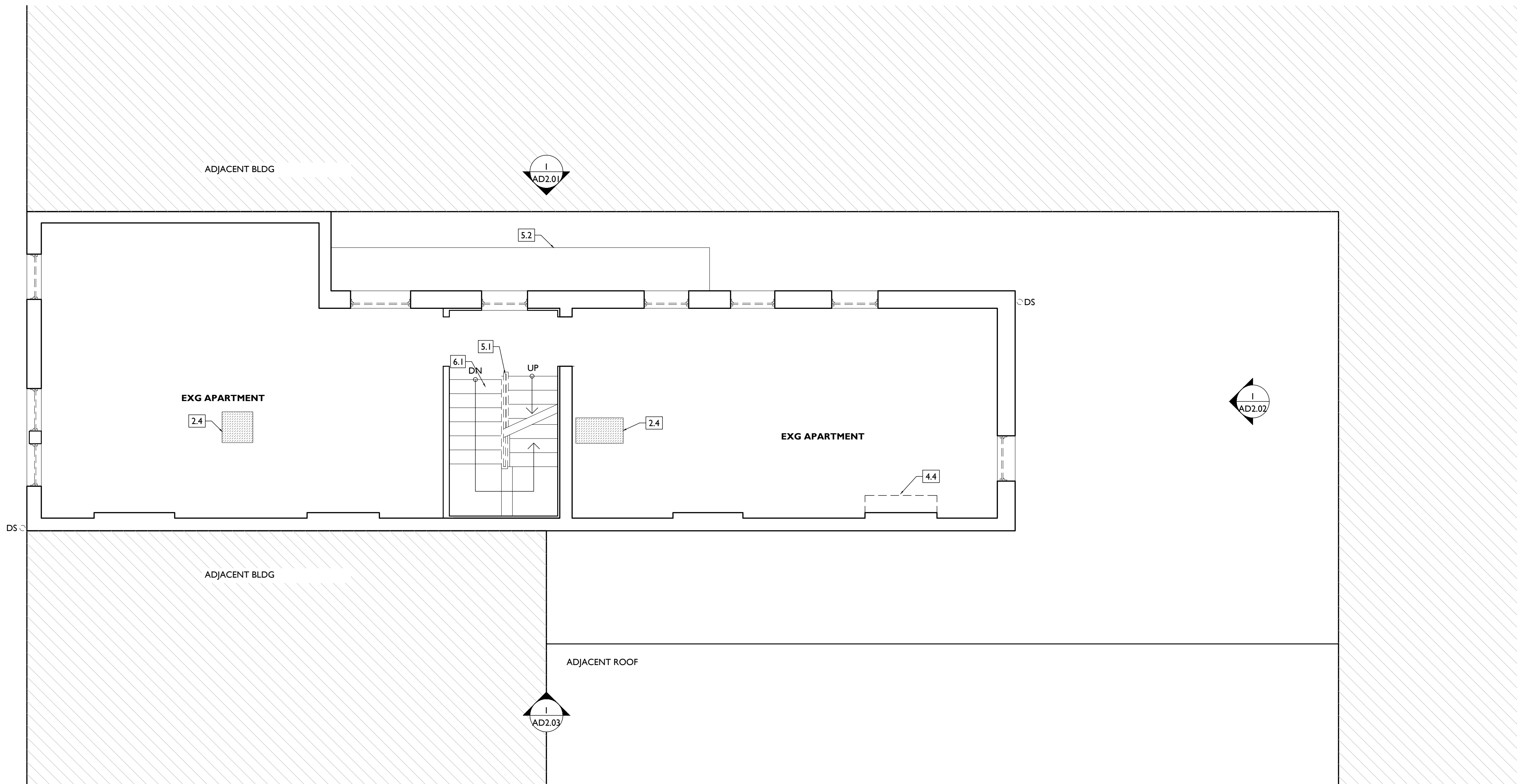
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- 6.2 REMOVE NON-HISTORIC STAIR & GUARDHANDRAILS ENTIRELY. PROVIDE SHORING AS REQ'D. SEE STRUCT DWGS.
- 7. THERMAL AND MOISTURE PROTECTION**
- 7.1 BOX GUTTER TO REMAIN.
- 7.2 REMOVE ROOF ACCESS HATCH.
- 7.3 REMOVE EXG MEMBRANE ROOF. CONTRACTOR TO INSPECT EXG ROOF DECKING AND REPAIR AS NEEDED

- 7.4 AREA OF ROOF FRAMING TO BE REMOVED FOR NEW ATTIC ACCESS HATCH. SEE NEW WORK PLANS.
- 8. OPENINGS**
- 8.1 REMOVE PORTION OF EXG WALL FOR NEW WINDOW/DOOR. SEE PROPOSED DWGS.
- 8.2 EXG BASEMENT WINDOW OPENING. REMOVE PLEXIGLASS GLAZING AND PREPARE OPENING FOR CMU INFILL. SEE NEW WORK PLANS AND STRUCT.
- 8.3 REMOVE NON-HISTORIC WINDOW. RETAIN & DO NOT DAMAGE EXG HISTORIC FRAME/ BRICK MOULD. ALL WINDOWS, THIS ELEVATION, U.N.O.
- 8.4 HISTORIC CORNICE WINDOWS TO REMAIN.

- KEYNOTE
- EXG EXTERIOR WALL TO REMAIN
- EXG INTERIOR WALL TO REMAIN
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- EXG WINDOW TO BE REMOVED
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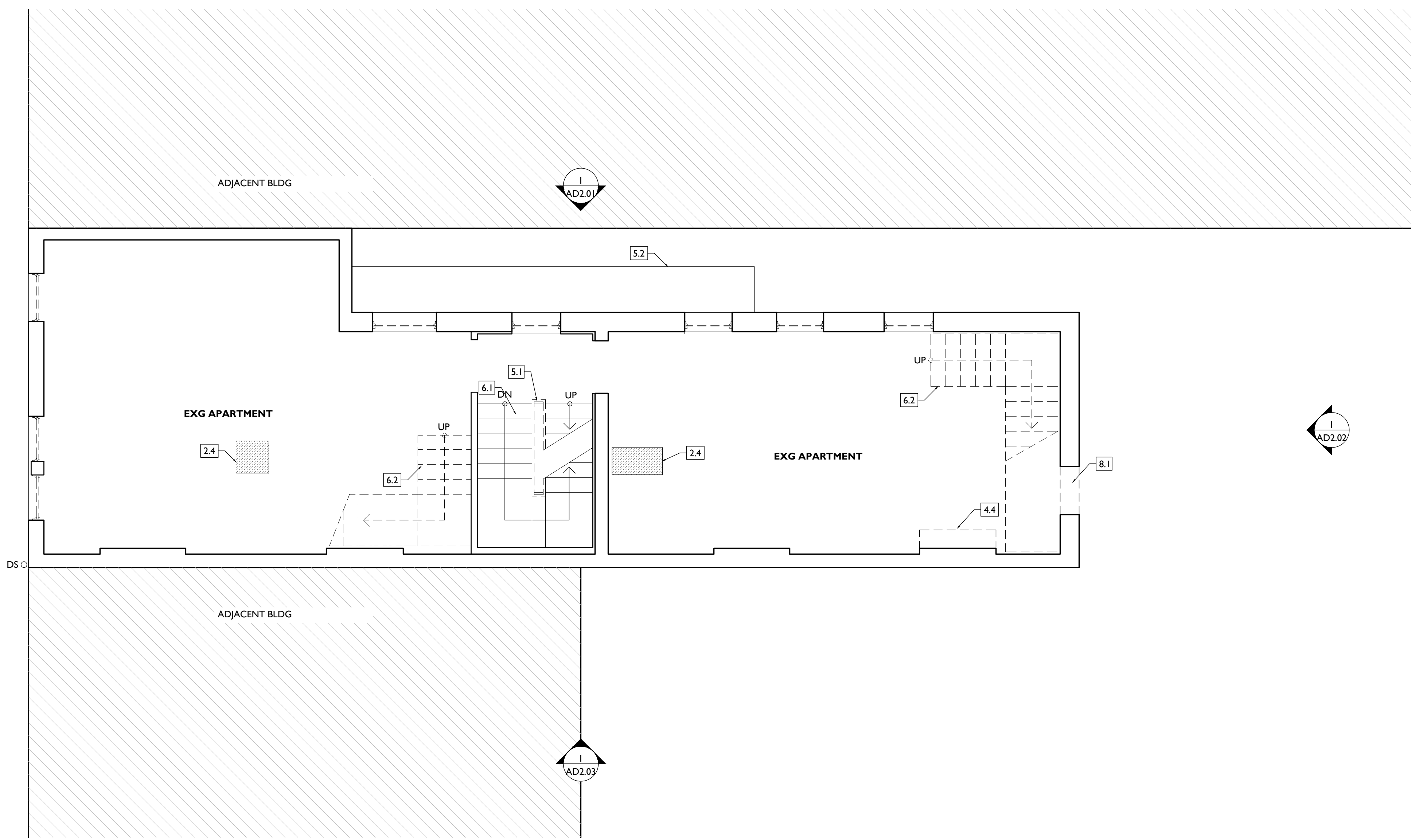
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Progress Dates
2023.04.28 - BID/PERMIT
2024.08.30 - BID SET 2

Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
TB, AM



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PROPOSED PROJECT:
RENOVATION FOR
1804 REPUBLIC
CINCINNATI, OH 45202
FINDLAY FLATS

Job No: 22042 08.30.2023

ADI.03

- 1. GENERAL**
- 2. EXG CONDITIONS**
- 2.1 REMOVE GATE AND/OR FENCE. PROVIDE SHORING AS REQ.
- 2.2 REMOVE BEAM PER STRUCTURAL. PROVIDE SHORING AS REQ.
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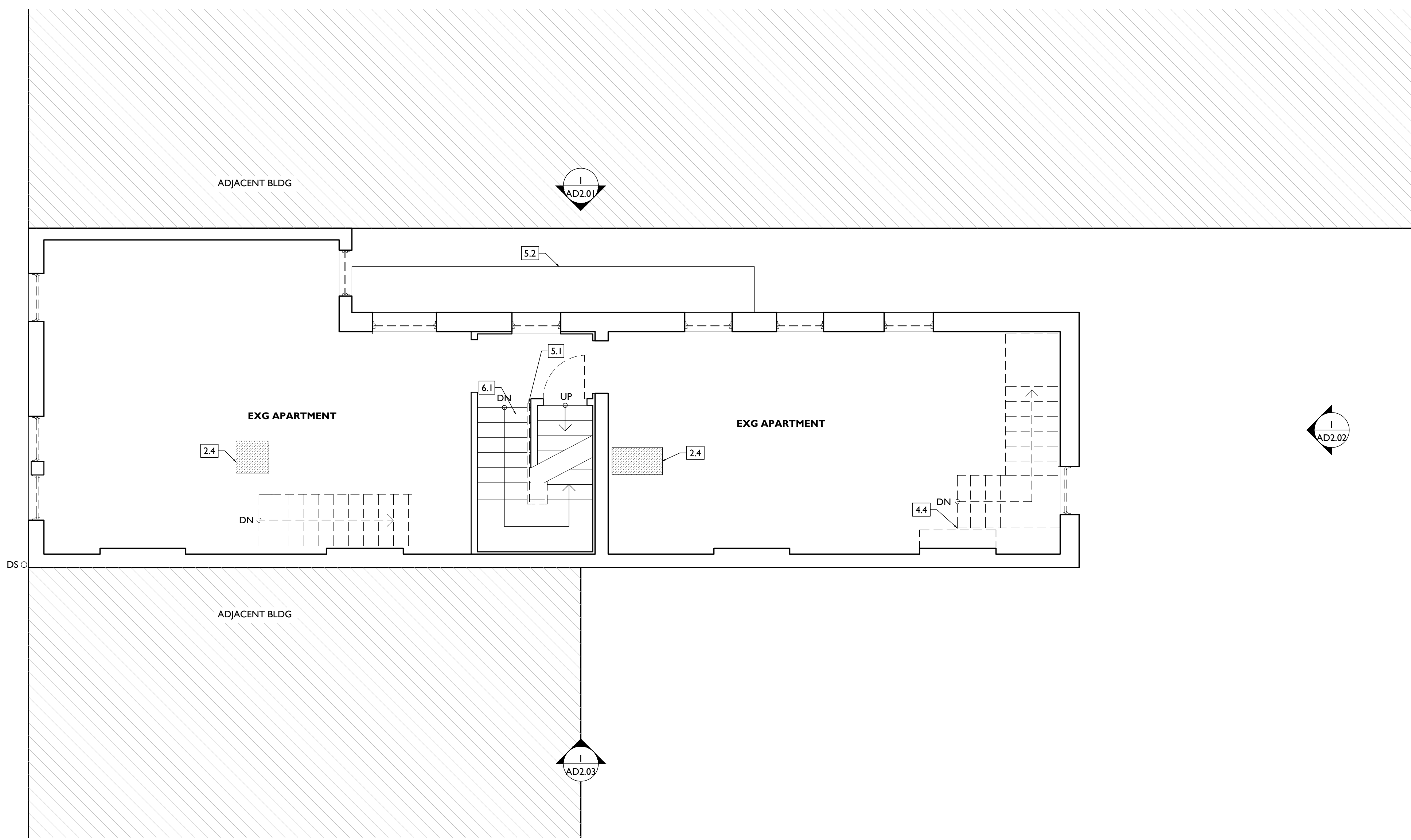
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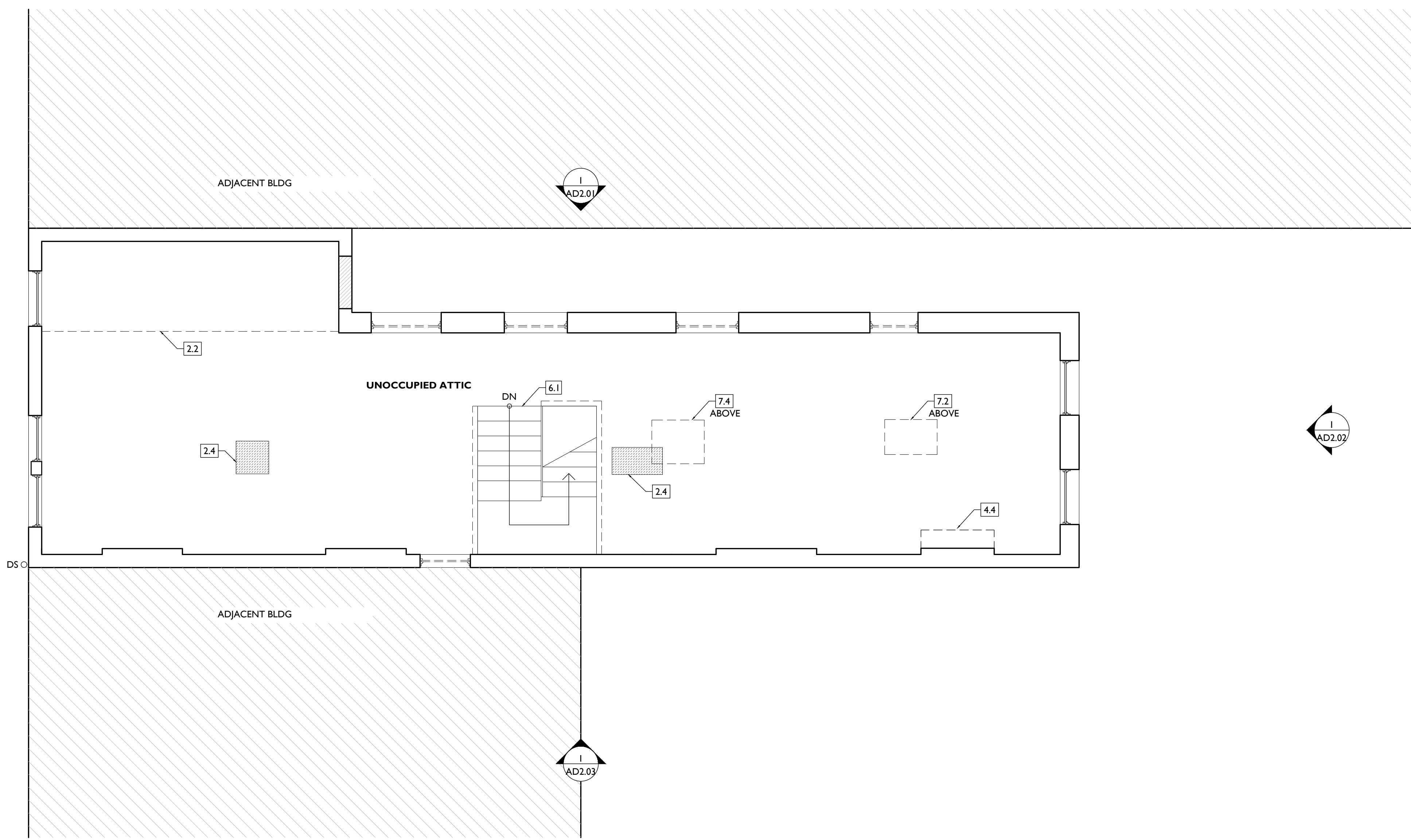
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ADI.04

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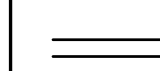
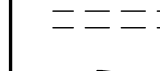


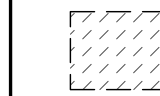
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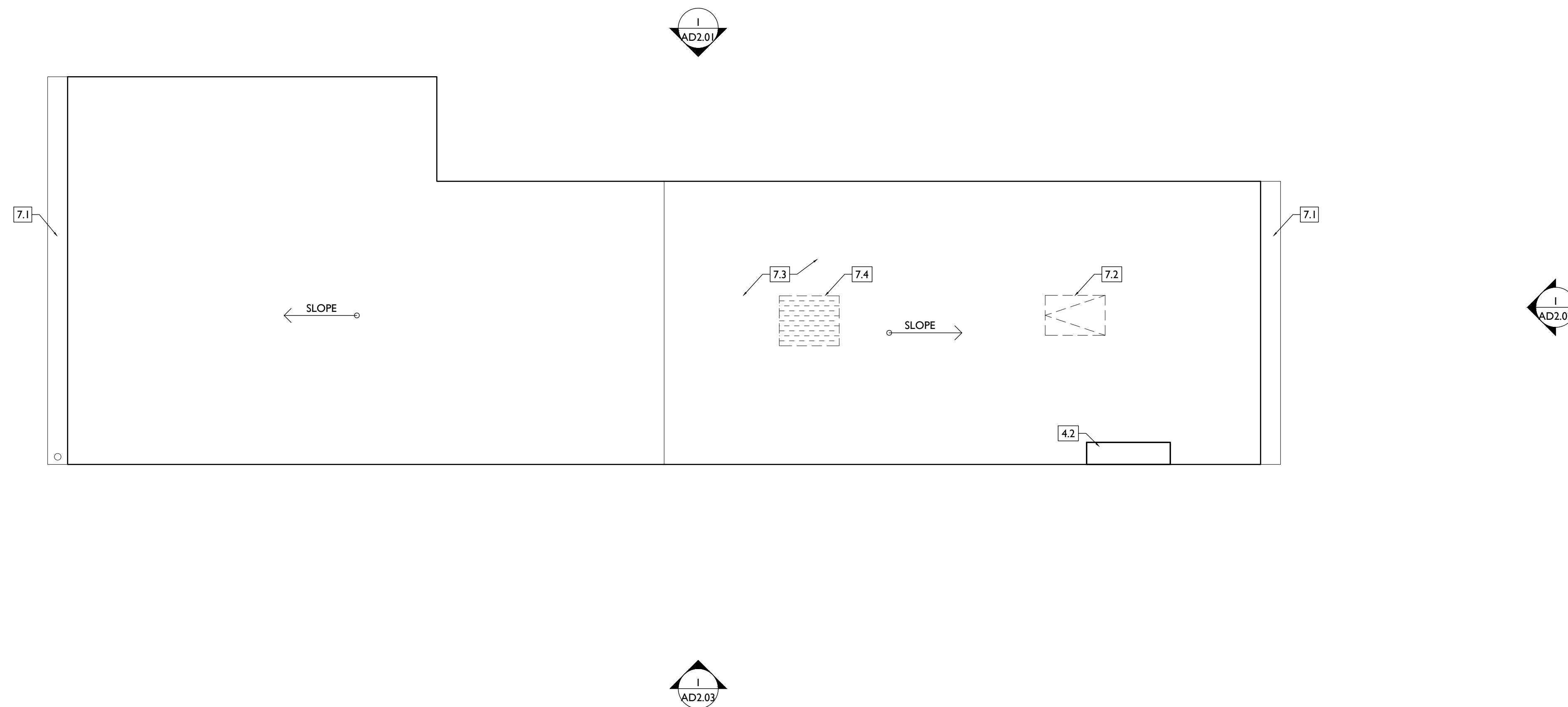
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Revisions

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PROPOSED PROJECT:
**RENOVATION FOR
1804 REPUBLIC**
CINCINNATI, OH 45202
FINDLAY FLATS

Job No: 22042 08.30.2023

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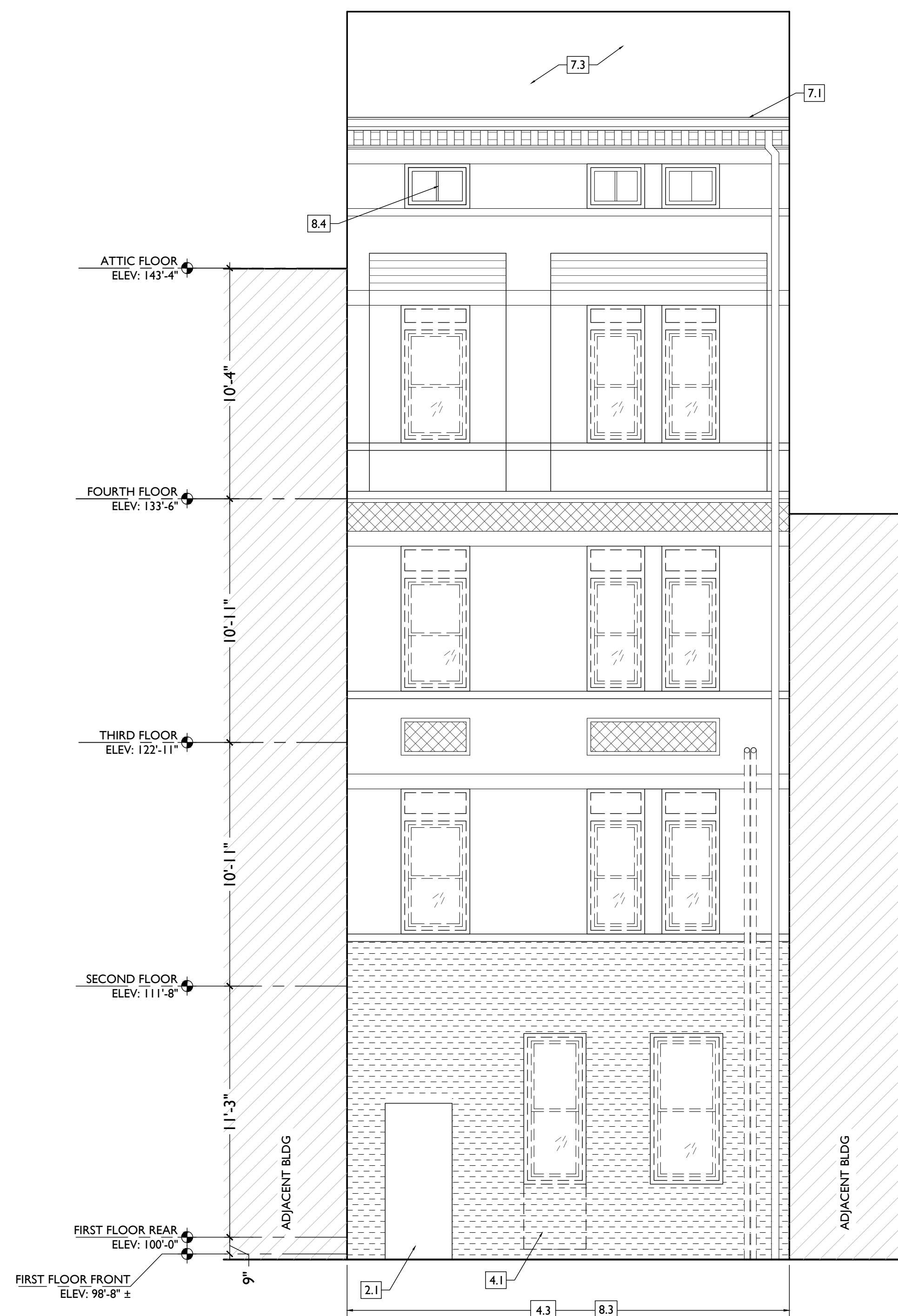
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PROPOSED PROJECT:
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1804 REPUBLIC**
CINCINNATI, OH 45202
FINDLAY FLATS

Job No: 22042 08.30.2023

AD2.00

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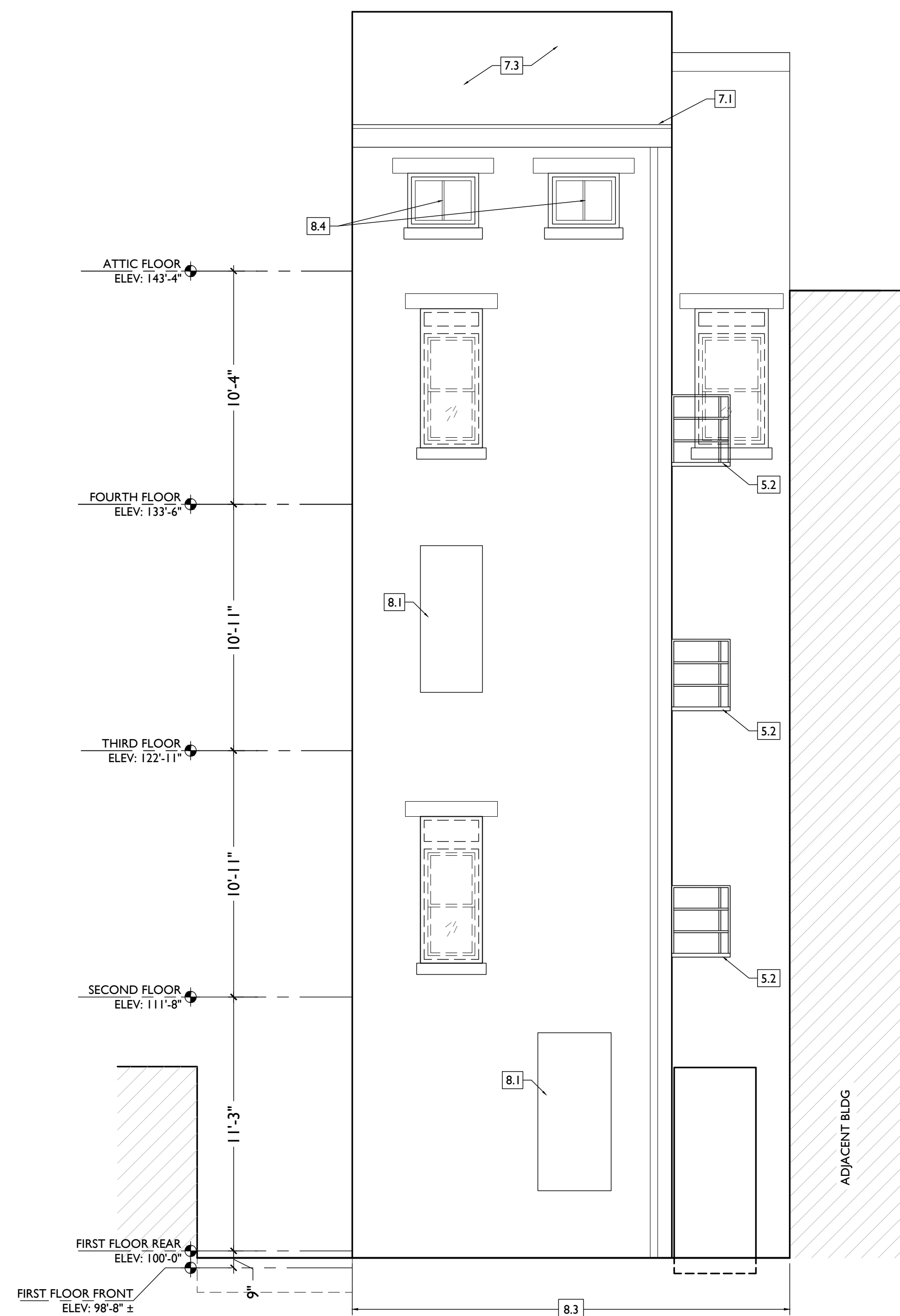
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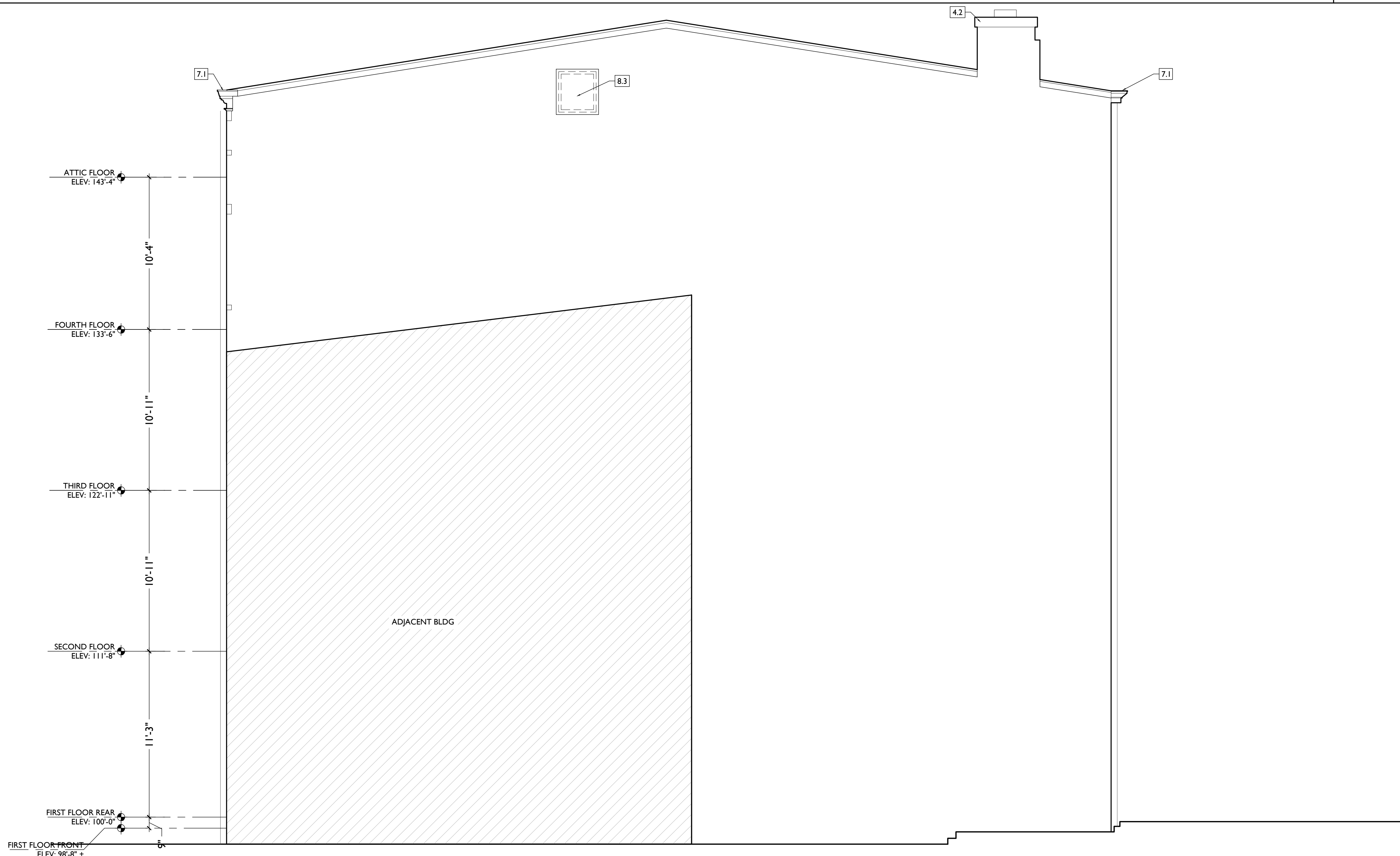
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- 5.2 FIRE ESCAPE TO REMAIN.
- 6. WOOD, PLASTICS, AND COMPOSITES**
- 6.1 WOOD STAIR TO REMAIN IN PLACE. REMOVE NON-HISTORIC BANISTER/GAURDRAIL. REMOVE NON-HISTORIC FINISH ON TREADS.
- 6.2 REMOVE NON-HISTORIC STAIR & GUARDHANDRAILS ENTIRELY. PROVIDE SHORING AS REQ'D. SEE STRUCT DWGS.
- 7. THERMAL AND MOISTURE PROTECTION**
- 7.1 BOX GUTTER TO REMAIN.
- 7.2 REMOVE ROOF ACCESS HATCH.
- 7.3 REMOVE EXG MEMBRANE ROOF. CONTRACTOR TO INSPECT EXG ROOF DECKING AND REPAIR AS NEEDED

- 7.4 AREA OF ROOF FRAMING TO BE REMOVED FOR NEW ATTIC ACCESS HATCH. SEE NEW WORK PLANS.
- 8. OPENINGS**
- 8.1 REMOVE PORTION OF EXG WALL FOR NEW WINDOW/DOOR. SEE PROPOSED DWGS.
- 8.2 EXG BASEMENT WINDOW OPENING. REMOVE PLEXIGLASS GLAZING AND PREPARE OPENING FOR CMU INFILL. SEE NEW WORK PLANS AND STRUCT.
- 8.3 REMOVE NON-HISTORIC WINDOW. RETAIN & DO NOT DAMAGE EXG HISTORIC FRAME/ BRICK MOULD. ALL WINDOWS, THIS ELEVATION, U.N.O.
- 8.4 HISTORIC CORNICE WINDOWS TO REMAIN.

- KEYNOTE
- EXG EXTERIOR WALL TO REMAIN
- EXG INTERIOR WALL TO REMAIN
- EXG WALL/ELEMENT TO BE REMOVED
- EXG DOOR & FRAME TO BE REMOVED
- EXG WINDOW TO BE REMOVED
- EXG FLOOR OR WALL CONSTRUCTION TO BE REMOVED

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Progress Dates
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2024.08.30 - BID SET 2

Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
TB, AM

NOT FOR CONSTRUCTION

PROPOSED PROJECT:
**RENOVATION FOR
1804 REPUBLIC**
CINCINNATI, OH 45202
FINDLAY FLATS

Job No: 22042 08.30.2023

GENERAL NOTES:

1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND INFORMATION IN THESE DRAWINGS.
2. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, INCLUDING SITE CONDITIONS. ALL ERRORS, OMISSIONS, AND INCONSISTENCIES ARE TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. FAILURE TO DO SO WILL RELEASE THE ARCHITECT OF ALL RESPONSIBILITY. ANY CHANGES FROM THESE DOCUMENTS ARE THE RESPONSIBILITY OF THE CONTRACTOR. THESE DRAWINGS ARE NOT TO BE SCALED. IF INSUFFICIENT INFORMATION EXISTS, CONTACT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK. EACH CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS AS MAY EFFECT HIS OWN WORK, DESIGN/BUILD OR OTHERWISE.
3. BEST MANAGEMENT PRACTICES SHALL BE USED BY THE CONTRACTOR DURING DEMOLITION TO PREVENT RELEASE OF LEAD-CONTAMINATED DUST FROM DEMOLITION ACTIVITIES. ALL PAINT CHIPS AND OTHER DEBRIS OR RESIDUE SHALL BE REMOVED FROM THE PROJECT SITE AT THE COMPLETION OF DEMOLITION, STORAGE AND TRANSPORT OF MATERIALS KNOWN OR ASSUMED TO CONTAIN LEAD BASED PAINT SHALL BE COVERED TO PREVENT ACCESS TO OR RELEASE OF LEAD-CONTAMINATED DUST OR DEBRIS.
4. IT SHALL BE THE RESPONSIBILITY OF THE BUILDING OWNER TO SUPERVISE CONSTRUCTION AND INSURE THAT THESE DRAWINGS ARE COMPLIED IN THE EVENT THAT THIS ARCHITECT IS NOT RETAINED FOR SUCH SERVICES.
5. ALL WORK SHALL COMPLY WITH STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS, INCLUDING THE AMERICANS WITH DISABILITIES ACT, HAVING AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK, AND SHALL BE DONE TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY EACH RESPECTIVE TRADE.
6. GUARANTEES SHALL BE REQUIRED OF ALL BRANCHES OF THE WORK. CONTRACTORS TO REMEDY ANY DEFECTS IN THEIR WORK AND PAY FOR ANY RESULTANT DAMAGES TO OTHER WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.
7. CONTRACTOR SHALL SUPERVISE THE WORK DURING PROGRESS AND SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION SAFETY, COMPLIANCE TO BE IN ACCORDANCE WITH ALL STATE, FEDERAL AND O.S.H.A. REGULATIONS.
8. CONTRACTOR AND ALL SUB-CONTRACTORS SHALL MAINTAIN THE JOB CLEAR OF TRASH AND DEBRIS. ALL WASTE MATERIAL, TOOLS, CONSTRUCTION EQUIPMENT AND SURPLUS MATERIAL SHALL BE REMOVED FROM THE SITE PRIOR TO THE SUBSTANTIAL COMPLETION AND FINAL ACCEPTANCE.
9. CONTRACTOR SHALL PRESENT THE PROJECT TO THE OWNER FOR ACCEPTANCE, CLEAN AND READY FOR USE. ALL GLASS TO BE CLEANED, FLOORS SWEEP BROOM CLEAN, FIXTURES WASHED AND LABELS REMOVED FROM ALL ITEMS.
10. ANY CONTRACTOR OR SUBCONTRACTOR WHO PERFORMS ANY WORK KNOWING IT TO BE CONTRARY TO APPLICABLE LAWS, ORDINANCES OR REGULATION, AND WITHOUT WRITTEN NOTICE TO THE ARCHITECT SHALL ASSUME FULL RESPONSIBILITY AND SHALL BEAR ALL ATTRIBUTABLE COSTS.
11. IN THE EVENT OF ANY CONFLICT BETWEEN ARCHITECTURAL DRAWINGS OR SPECIFICATIONS AND STRUCTURAL DRAWINGS OR SPECIFICATIONS, STRUCTURAL SHALL GOVERN.
12. PROJECT IS TO RECEIVE HISTORIC TAX CREDITS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE WELL VERSED IN THE APPROVED PART 2 AND SUBSEQUENT AMENDMENTS, AND TO INFORM SUBCONTRACTORS OF ANY CHANGES /APPROVALS DURING THE BIDDING AND THE CONSTRUCTION PHASES.

GENERAL NOTES: ALL TRADES

1. FURNISH ALL LABOR, MATERIAL AND APPURTENANCES NECESSARY FOR A COMPLETE AND OPERATIONAL SYSTEM AS SHOWN OR REQUIRED.
2. ALL WORK SHALL CONFORM TO APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. EACH CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, TESTS AND INSPECTIONS FOR HIS OWN WORK AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
3. PERFORM ALL TESTS, ADJUSTMENTS, ETC. AS REQUIRED BY EQUIPMENT MANUFACTURER OR AUTHORITIES HAVING JURISDICTION.
4. CONTRACTORS SHALL VISIT SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS AS MAY EFFECT HIS OWN WORK. EACH CONTRACTOR SHALL COORDINATE HIS OWN WORK WITH THAT OF OTHER TRADES.
5. EACH CONTRACTOR SHALL FURNISH ALL CUTTING AND PATCHING REQUIRED FOR HIS OWN WORK. NO CUTTING SHALL BE PERFORMED WITHOUT PRIOR APPROVAL OF GENERAL CONTRACTOR.
6. WORKMANSHIP SHALL REPRESENT THE HIGHEST STANDARD OF THE INDUSTRY. GUARANTEE ALL MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE.

GENERAL CONDITIONS

CONTRACT DOCUMENTS: INCLUDE THESE GENERAL CONDITIONS FOR CONSTRUCTION, DRAWINGS, SCHEDULES, AND SPECIFICATIONS PREPARED BY THE ARCHITECT AND CONTAINED HEREIN, AND ALL WRITTEN ADDENDA OR OTHER MODIFICATIONS ISSUED SUBSEQUENTLY BY THE ARCHITECT. THE CONTRACT DOCUMENTS SHALL NOT BE CONSTRUED TO CREATE ANY CONTRACTUAL RELATIONSHIP OF ANY KIND BETWEEN THE ARCHITECT AND THE CONTRACTOR.

CONTRACT MODIFICATIONS: THESE CONTRACT DOCUMENTS SHALL NOT BE FURTHER MODIFIED BY ANY TERMS OR CONDITIONS OTHER THAN THOSE LISTED HEREIN OR IN THE SPECIFICATIONS, OR IN ANY WRITTEN AGREEMENTS EXECUTED BY THE OWNER, CONTRACTOR AND SUBCONTRACTORS.

NOTES WRITTEN IN THE IMPERATIVE MOOD REFER TO ACTION TO BE PERFORMED BY THE CONTRACTOR. THE WORDS "THE CONTRACTOR SHALL" ARE ALWAYS IMPLIED. IF NOT STATED, UNLESS OTHERWISE NOTED, THE TERM "CONTRACTOR" SHALL ALSO APPLY TO ALL SUBCONTRACTORS OF THE CONTRACTOR.

THE CURRENT EDITION OF AIA DOCUMENT A101 SHALL BE THE FORM OF AGREEMENT TO BE SIGNED BY THE OWNER AND GENERAL CONTRACTOR. UNLESS THE OWNER AND CONTRACTOR MUTUALLY AGREE OTHERWISE, GENERAL CONDITIONS CONTAINED IN AIA DOCUMENT A201 SHALL APPLY.

BEST MANAGEMENT PRACTICES SHALL BE EMPLOYED TO CONTROL EROSION DURING CONSTRUCTION AND UNTIL FINAL COVER IS ESTABLISHED.

THE CONTRACTOR SHALL BE NOTIFIED, BOTH VERBALLY AND THROUGH NOTATIONS ON THE FINAL CONST. DWG, THAT WORK SHALL BE HALTED AT A LOT IF INDICATORS OF CONTAMINATION (FILL OTHER THAN "CLEAN FILL", DISCOLORED SOILS OR CHEMICAL/PETROLEUM ODORS) ARE IDENTIFIED DURING CONST. TO ALLOW FOR A QUALIFIED ENVIRONMENTAL PROFESSIONAL TO INSPECT THE LOT AND MAKE RECOMMENDATIONS REGARDING APPROPRIATE ACTIONS.

ANY WATER WELLS OR SEPTIC SYSTEMS IDENTIFIED DURING SITE DEVELOPMENT SHALL BE ABANDONED AS REQUIRED BY OAC 3745-9.10 OR 3701-29-21, AS APPLICABLE, AND AFTER CONSULTATION W/ THE LOCAL HEALTH DEPARTMENT.

DEFINITIONS:

"CONTRACTOR": THE PERSON OR ENTITY CONSTRUCTING THE DESIGNATED WORK.

"OWNER": THE PERSON OR ENTITY THAT OWNS THE BUILDING BEING RENOVATED. THE TERM "OWNER" INCLUDES HIS DESIGNATED AND AUTHORIZED AGENTS AND REPRESENTATIVES.

"WORK": THE TERM "WORK" MEANS OBLIGATIONS UNDERTAKEN BY THE CONTRACTOR PURSUANT TO THE CONTRACT DOCUMENTS. WORK INCLUDES THE FURNISHING OF ALL MATERIAL, LABOR, EQUIPMENT, SUPPLIES, TOOLS, SCAFFOLDING, SUPERVISION, TRANSPORTATION, INSURANCE, TAXES AND ALL OTHER SERVICES, INCIDENTALS AND EXPENSES NECESSARY FOR THE FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

"PROJECT": THE PROJECT IS THE TOTAL CONSTRUCTION OF WHICH THE WORK PERFORMED UNDER THE CONTRACT DOCUMENTS MAY BE THE WHOLE OR A PART.

"CONTRACT DOCUMENTS": THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS REQUIRED FOR COMPLETION OF THE WORK, INCLUDING DRAWINGS AND SPECIFICATIONS. ALTHOUGH THE CONTRACT DOCUMENTS HAVE BEEN PREPARED WITH DUE CARE AND DILIGENCE, PERFECTION CANNOT BE GUARANTEED. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF THE VARIOUS PARTS OF THE WORK SO THAT NO PART SHALL BE IN AN UNFINISHED OR INCOMPLETE CONDITION.

DRAWINGS PREPARED BY OTHERS:

ARCHITECTURAL, CIVIL, STRUCTURAL, MECHANICAL AND ELECTRICAL DWGS SHALL BE WORKED TOGETHER, INCLUDING THE LOCATION OF DEPRESSED SLABS, SLOPES, DRAINS, REGLETS, BOLT SETTINGS, ETC. ANY DISCREPANCY SHALL BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

SHOP DWGS PREPARED BY OTHER CONTRACTORS MAY BE REQUIRED TO SUPPLEMENT THE CONTRACT DOCUMENTS, SUCH DWGS ARE FURNISHED FOR THE CONTRACTOR'S INFORMATION AND COORDINATION ONLY.

GENERAL NOTES: PROPOSED WORK

- A. THIS IS A HISTORIC TAX CREDIT PROJECT. WORK MUST COMPLY W/ APPROVED PART 2, INCLUDING AMENDMENTS.
- B. NO HISTORIC ELEMENTS SHALL BE REMOVED/MODIFIED UNLESS SPECIFICALLY INDICATED IN ARCH PLANS.
- C. REPAIR OR REPLACE EXG DAMAGED OR DETERIORATED FLOOR FRAMING &/OR WOOD SUBFLOOR - PER STRUCT DWGS
- D. HISTORIC TRIM TO BE RETAINED. U.N.O. SEE DEMO & PROPOSED PLANS.
- E. RETAIN ANY REMAINING HISTORIC WOOD WINDOW SASH, FRAMES, BRICKMOLD & SHUTTER HARDWARE, U.N.O. SEE DEMO & EXTERIOR ELEVATIONS.
- F. REPAIR MATERIALS THAT ARE DETERIORATED OR HAVE MOISTURE/FIRE DAMAGE AS REQ. IF DAMAGE IS SEVERE AND HISTORIC ELEMENTS ARE NON-SALVAGEABLE, COORDINATE REPLACEMENT ELEMENTS WITH ARCHITECT.
- G. SEE CODE SHEETS FOR ROOF/FLOOR/CEILING ASSEMBLY LOCATIONS & PARTITION SCHEDULE FOR TYPES.
- H. PENETRATIONS OF RATED ASSEMBLIES TO BE PROTECTED PER SECTION 713.3 & 713.4 OBC. COORD W/ MEP DWGS.
- I. PROVIDE FIRE BLOCKING PER 717.2 OBC.
- J. PROVIDE DRAFTSTOPPING IN FLOORS, CLGS/ROOFS & ATTICS PER OBC.
- K. PROVIDE BLOCKING FOR SHELVING, CABINETS AND BATHROOM ACCESSORIES AND GRAB BARS. SEE PLANS AND INTERIOR ELEVATIONS.
- L. USE PRESSURE TREATED WOOD IN THE FOLLOWING LOCATIONS:
 - EXTERIOR APPLICATIONS.
 - IN BASEMENTS.
 - WOOD IN CONTACT WITH MASONRY, STONE, OR CONCRETE.
 - AT ANY NEW FRAMING IN CONTACT W/ MASONRY OR FOUNDATION WALL, PROVIDE SEPARATION/ JOIST & BEAM END WRAPS.
- M. EXTERIOR TRIM, SOFFITS, CORNICE AND STOREFRONT ELEMENTS TO BE REPAIRED/RETAINED/REPLACED AND PAINTED AS NOTED IN DRAWINGS. EXG. UN-PAINTED BRICK AND STONE TO REMAIN UNPAINTED. SEE EXTERIOR ELEVATIONS FOR SCOPE OF WORK. COORD COLORS DIRECTLY W/ ARCHITECT.
- N. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR LOCATION AND CONNECTIONS OF ALL MEP EQUIPMENT.
- O. PROVIDE SLEEVES THROUGH EXG. BRICK WALL IN ATTIC AS REQUIRED FOR HVAC LINE-SET INSTALLATION.
- P. ADDITIONAL OPENINGS IN EXTERIOR WALLS WILL BE REQUIRED FOR VARIOUS MEP DUCTS/PIPES/ETC., AND ARE NOT SHOWN ON ARCH & STRUCT PLANS. COORD W/ MEP PLANS. CONTACT ARCHITECT FOR PLACEMENT.
- Q. PROVIDE FIRE EXTINGUISHERS PER CODE SUMMARY & NFPA REQS. COORD W/ FIRE MARSHALL.
- R. FASTENERS INTO EXISTING HISTORIC MASONRY WALLS ARE TO BE FASTENED INTO MORTAR JOINTS.
- S. EXTERIOR STEEL TO BE DUPLEX-FINISH (GALVANIZED, WITH HIGH-PERFORMANCE COMPATIBLE EPOXY PAINT).
- T. REPAIR & RESEAL AROUND EXG. CHIMNEYS, TYP. AS REQ. PROVIDE NEW ALUM CAP, TYP.
- U. EXTERIOR WOOD TO BE PRESSURE TREATED.
- V. WHERE INFILLING EXISTING OPENINGS IN, OR EXTENDING THE LENGTH OF AN EXISTING WOOD FRAMED PARTITION, FINISH FACES OF THE NEW CONSTRUCTION ARE TO ALIGN WITH ADJACENT EXISTING FINISH FACES ON BOTH SIDES.
- W. SHEET METAL WORK TO COMPLY WITH SPACNA ARCHITECTURAL SHEET METAL MANUAL.
- X. FLASH AND SEAL NEW ROOF PENETRATIONS THROUGH EXISTING ROOF. EMPLOY INSTALLERS ACCEPTABLE TO EXISTING ROOF MANUFACTURER AND COMPLY WITH EXISTING ROOF MANUFACTURER REQUIREMENTS TO MAINTAIN EXISTING ROOF WARRANTY.
- Y. BASEMENTS TO BE TESTED FOR RADON EXPOSURE. PROVIDE VAPOR MITIGATION SYSTEM BELOW BASEMENT SLAB AS REQUIRED. CONNECT TO VERTICAL VENTS INDICATED IN FLOOR PLANS.
- Z. MASONRY WORK: REFER TO PART 2 SHPO NARRATIVES AND STRUCTURAL DRAWINGS FOR FULL EXTENT AND SCOPE FOR MASONRY CLEANING, TUCK-POINTING, REPAIR, REPLACEMENT, AND PAINTING.
- AA. MASONRY CLEANING: CONTRACTOR SHALL PERFORM MASONRY CLEANING WORK IN ACCORDANCE WITH PRESERVATION BRIEF 6 - "DANGERS OF ABRASIVE CLEANING TO HISTORIC BUILDINGS". CONTRACTOR SHALL CLEAN EXISTING MASONRY THROUGHOUT USING THE GENTLEST MEANS POSSIBLE AND SHALL START EACH NEW METHOD OF CLEANING (E.G. BY BRUSH, WITH DETERGENT, WITH WATER PRESSURE, ETC.) IN DISCRETE AREA OF EACH WALL. CONTRACTOR SHALL BEGIN BY CLEANING WITH WATER AND NATURAL BRISTLE BRUSHES. CONTRACTOR SHALL THEN CLEAN ANY AREAS THAT REQUIRE FURTHER CLEANING USING NON-ABRASIVE, NON-ACIDIC DETERGENTS WITH NATURAL BRISTLE BRUSHES. CONTRACTOR SHALL THEN CLEAN ANY AREAS THAT REQUIRE FURTHER CLEANING USING NON-ABRASIVE, NON-ACIDIC DETERGENTS WITH LOW PRESSURE WATER (STARTING AT 20 PSI AT TIP). UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE PRESSURE WASHING WITH GREATER THAN 40 PSI AT TIP. CLEANING SHALL BE PERFORMED EVENLY THROUGHOUT THE ENTIRETY OF EACH WALL. WALLS WHERE STUCCO / PARGING IS TO REMAIN SHALL NOT BE CLEANED WITH PRESSURE WASHING. REMOVE EXISTING LOOSE STUCCO / PARGING BY HAND WITH BRUSHES. PRESERVATION BRIEF 6 - "DANGERS OF ABRASIVE CLEANING TO HISTORIC BUILDINGS: HTTPS://WWW.NPS.GOV/TPS/HOW-TO-PRESERVE/BRIEFS/6-DANGERS-ABRASIVE-CLEANING.HTM
- AB. PARGING: CONTRACTOR TO TEST AND ASSESS THE INTEGRITY OF EXISTING STUCCO / PARGING ON EXISTING MASONRY WALLS. ANY STUCCO / PARGING TO REMAIN MUST BE SECURELY HELD TO EXISTING MASONRY WALL. ANY STUCCO / PARGING THAT IS NOT SECURELY HELD TO MASONRY WALL SHALL BE REMOVED THROUGH GENTLEST MEANS POSSIBLE (SEE MASONRY CLEANING ABOVE). NEW STUCCO / PARGING SHALL BE INSTALLED WHERE EXISTING STUCCO / PARGING HAS BEEN REMOVED, AND AS INDICATED ON THE DRAWINGS, INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S HIGHEST RECOMMENDATIONS USING ALL ASSOCIATED COMPONENTS FOR FLASHING, PENETRATIONS, ETC. STUCCO / PARGING SHALL BE INSTALLED ON MASONRY JAMB SURFACES OF NEW DOOR AND WINDOWS OPENINGS UP TO THE WINDOW / DOOR UNIT. NEW STUCCO/ PARGING SHALL MATCH EXISTING IN TEXTURE AND COLOR. NEW STUCCO / PARGING SHALL BE A THREE-COAT SYSTEM (SCRATCH COAT, BROWN COAT AND FINISH COAT) WITH A GLASS FIBER REINFORCED LATH. BASIS-OF-DESIGN IS "SENERGY" BRAND, "SENERGY SENTRY STUCCO WALL SYSTEM PERMALATH 1000" WITH PRE-MIXED "SENTRY STUCCO BASE" AND "SENERGASTIC" FINISH COAT WITH TEXTURE TO MATCH EXISTING. CONTROL JOINTS TO BE ALIGNED WITH OPENINGS.
- AC. GYPSUM BOARD: SEE PARTITION SCHEDULE. MOLD & MOISTURE RESISTANT GYPSUM BOARD IN ALL WET AREAS - RESTROOMS, KITCHENS, LAUNDRY, BASEMENTS.
- AD. STORM WINDOWS: FRAME WIDTH CANNOT REDUCE THE DAYLIGHT OPENING OF THE WINDOW & THE CENTER CHECK RAIL MUST ALIGN WITH THE WINDOW CENTER CHECK RAIL. NO SCREENS.
- AE. PROVIDE UNIT ENTRY SIGNAGE PER FINISH SCHEDULE AT EACH RESIDENTIAL UNIT ENTRY. FINAL LOCATION TO BE DETERMINED BY OWNER. IF MOUNTING ON DOOR, ENSURE INSTALLATION DOES NOT VOID RATING OF DOOR ASSEMBLY.
- AF. PROVIDE BLINDS AT RESIDENTIAL UNITS PER FINISH SCHEDULE. QUANTITY AND LOCATIONS BY OWNER.
- AG. SUBCONTRACTOR TO PROVIDE RECOMMENDED ALLOWANCE FOR PLASTER REPAIR.
- AH. ALL NEW WORK DIMENSIONS ARE TAKEN FROM FACE OF STUD, U.N.O. DIMENSIONS FROM EXG WALLS TO REMAIN ARE TAKEN FROM FINISH FACE OF PLASTER, U.N.O.

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Design Team: CO, JK, MR, MR, RK, RO, SO, TB Drawn by: TB, AM

NEW WORK PLANS & ELEVATIONS [KEYED] NOTES:

THIS IS A HISTORIC TAX CREDIT PROJECT. ALL WORK MUST COMPLY W/ APPROVED PART 2, INCLUDING AMENDMENTS. THESE DOCUMENTS ARE PART OF THE PROJECT CONTRACT DOCUMENTS.

KEYED NOTES
KEYED NOTES ARE CATEGORIZED FOR ORGANIZATIONAL PURPOSES ONLY. NOTES MAY REQUIRE MATERIALS OR WORK IN CATEGORIES OTHER THAN WHERE THEY OCCUR. THE CONTRACTOR IS RESPONSIBLE FOR THE WORK DESCRIBED IN ALL APPLICABLE NOTES REGARDLESS OF THE CATEGORY IN WHICH THEY OCCUR.
ALL KEYED NOTES LISTED MAY NOT APPLY TO THIS SHEET.

3. CONCRETE
3.1 SLAB TO REMAIN. SCOPE & VERIFY FLOOR DRAINS CONNECT TO SEWER. REPAIR AS REQUIRED.
3.2 EXG OPENING TO BASEMENT TO BE CAPPED WITH CONCRETE AT GRADE. WALL TO BE INFILLED W/ CMU. SEE STRUCTURAL FOR INFILL AND CIVIL FOR CONCRETE FLATWORK ABOVE OPENING.

4. MASONRY
4.1 NEW OR EXPANDED OPENING IN EXG MASONRY WALL. PROVIDE NEW CAST STONE LINTEL AND SILL. SEE STRUCTURAL DWGS.

5. METALS
5.1 NEW CONTINUOUS STEEL PIPE HANDRAIL. SEE DETAILS.
5.2 NEW STEEL GUARDRAIL. SEE DETAILS.
5.3 NEW ALUM. BREEZEWAY GATE. SEE DOOR SCHEDULE.
5.4 EXG. FIRE ESCAPE TO REMAIN.

6. WOOD, PLASTICS, AND COMPOSITES
6.1 REPAIR DAMAGED TREADS &/OR RISERS OF WOOD STAIRS.
6.2 NEW FLOOR FRAMING (SEE STRUCT DWGS).
6.3 NOT USED
6.4 NEW BAKE TRIM & GUTTERBOARD TO MATCH EXISTING - SEE ELEVATIONS.
6.5 NEW WOOD FRAME BEARING WALL. SEE STRUCTURAL DRAWINGS.
6.6 EXG HISTORIC CORBEL AND TRIM TO BE CLEANED, PRIMED, AND REPAINTED.

7. THERMAL AND MOISTURE PROTECTION
7.1 REPAIR AND RELINE EXG BOX GUTTER. NEW PRE-FINISHED ALUMINUM DOWNSPOUT. TIE INTO EXIST. STORM SYSTEM. NEW PVC AT LOWER 6' OF DOWNSPOUT. PAINT TO MATCH ADJACENT WALL.
7.2 NEW FULLY ADHERED MEMBRANE ROOF W/ CRICKETS WHERE REQUIRED FOR POSITIVE DRAINAGE AND W/ TERMINATION BARS & METAL COUNTERFLASHING - SEE ROOF DETAILS. INSULATION PER SCHEDULE. 8, O.D. - 60 MIL WHITE TPO, FULLY ADHERED ROOF SYSTEM. 20 YEAR WARRANTY, BY CARLSISLE SYNTec, CARLSISLE, PA, OR EQUIVALENT.
7.3 NEW ROOF ACCESS HATCH. INSTALL PER MANUFS INSTRUCTS. BASIS OF DESIGN = BILCO E50TB, 36"x36".
7.4 NEW DARK BRONZE METAL CAP @ CHIMNEY. TYP @ CHIMNEYS.

8. OPENINGS
8.1 NOT USED
8.2 NOT USED
8.3 NEW EXTERIOR BUILDING ENTRY DOOR AND FRAME - SEE DOOR SCHEDULE.

9. FINISHES
9.1 FIRE-RATING TO BE CONTINUOUS BEHIND PLUMBING/CHASE/ FURRING WALL. FIRE RATING TO BE CONTINUOUS AT INTERSECTION W/ NON-RATED WALL.
9.2 SUPPORTING CONSTRUCTION TO BE RATED. SEE DETAILS 4 & 5 /A6.02.

10. SPECIALTIES
10.1 LOCKABLE & RECESSED MAILBOXES. BOXES TO MEET USFS-4C STANDARDS & ACCESSIBILITY REQUIREMENTS. PROVIDE CONT FIRE-RATING BEHIND MAILBOXES, WHEN REQ.
10.2 ENTRY SYSTEM CALLBOX 8, O.D. = "2IN ACCESS CONTROL"
10.3 CLOSETS W/ BLOCKING AT RODS & BRACKETS. PROVIDE 12" MELAMINE SHELF & CLOTHES ROD @ 66" A.F.F.; TYP U.N.O.:
A. TYP. REACH-IN CLOSET
B. WALK-IN CLOSET.
C. ABOVE W/D.
10.4 PROVIDE "NO SMOKING" SIGN AT EXTERIOR WALL
10.5 FIRE EXTINGUISHER. COORDINATE FINAL LOCATION WITH LOCAL FIRE MARSHAL.

A. SURFACE MOUNTED.
B. IN SINK CABINET IN RESIDENTIAL UNIT. TYPICAL.
RECESSED MEDICINE CABINET. SEE INT. ELEV. S.
PROVIDE DRAIN PAN BENEATH WASHING MACHINE/ WATER HEATER. SEE PLUMBING DWGS.
NOT USED.
SHOWER NICHE. SEE ENLARGED PLANS, INTERIOR ELEVATIONS AND DETAIL 11/A5.00
RECESSED KEY LOCK BOX - BASIS OF DESIGN KNOXBOX 3200. INSTALL PER MANUFS INSTRUCTS. COORDINATE WITH FIRE DEPT.
FIRE ESCAPE ACCESS WINDOW.

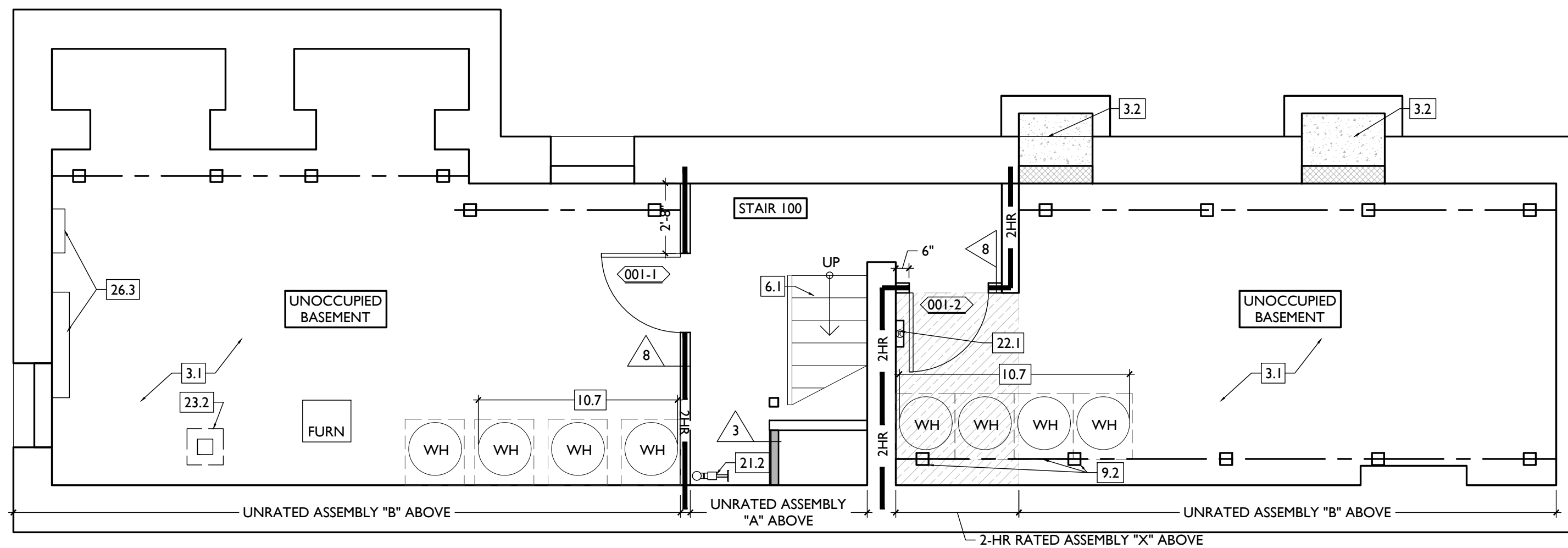
21. FIRE SUPPRESSION
21.1 APPROX LOCATION OF FDC CONNECTION - COORDINATE W/ FIRE DEPT.
21.2 PROPOSED SPRINKLER RISER LOCATION. COORDINATE WITH FIRE SUPPRESSION CONTRACTOR.
21.3 EXTERIOR TAMPER/FLOW NOTIFICATION DEVICE - COORDINATE WITH ELECTRICAL AND FIRE PROTECTION SYSTEMS

22. PLUMBING
22.1 PROVIDE RADON RISER, AS REQ'D BY OWNER'S CONSULTANT. RISER TO EXTEND FROM BASEMENT TO ATTIC. SEE CONSULTANT DESIGN FOR LOCATIONS OF RISERS. COORDINATE WITH PLUMBING.
22.2 PLUMBING CHASE (OR WALL) - VERIFY LOCATIONS IN FIELD TO ALIGN CONCEALMENT BETWEEN FLOORS.
22.3 HOSEBIB LOCATION. SEE PLUMBING.

26. ELECTRICAL
26.1 ELECTRIC PANEL RECESSED IN WALL W/ 30"W X 36"D CLEAR IN FRONT. PAINT TO MATCH ADJACENT WALL W APPROPRIATE PAINT TYPE FOR PANEL.
26.2 NEW EXTERIOR LIGHTING. NO EXPOSED CONDUIT ON FACE OF BUILDING.
26.3 LOCATION OF ELEC. EQUIPMENT. SEE ELEC.

NEW WORK GRAPHIC KEY:

- PARTITION TYPE - SEE A6.00.
- KEYNOTE.
- EXISTING WALL
- NEW PARTITION WALL.
- NEW MASONRY WALL.
- OBJECT OVERHEAD.
- 1-HR FIRE RATING.
- 2-HR FIRE RATING.
- NEW FLOOR & FRAMING TO MATCH ADJ - SEE STRUCT DWGS.
- NEW GYP BD SOFFIT/ BULKHEAD/ DROPPED CLG - SEE RCPS.
- AREA OF ATYPICAL FIRE-RATED ASSEMBLY ABOVE. SEE A0.01 & A6.01.
- AREA OF TUCKPOINTING - SEE ELEV'S & STRUCT DWGS.
- DOOR TAG. SEE SCHEDULE / A6.10-13.
- WINDOW DESIGNATION. SEE A6.20-25.
- STOREFRONT DESIGNATION. SEE A6.13.
- EMERGENCY EGRESS EXIT.
- OPG CONTAINS SAFETY GLAZING.
- SINGLE HUNG OPG - UPPER SASH TO BE FIXED WITHIN 3'-0" OF EXHAUST.
- ELEVATION TAG.



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RENOVATION FOR
1804 REPUBLIC
CINCINNATI, OH 45202
FINDLAY FLATS

Job No: 22042 08.30.2023

AI.10

SCALE: 1/4" = 1'-0"

PROPOSED PLAN - BASEMENT

1

PLATTE
architecture + design

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NEW WORK PLANS & ELEVATIONS [KEYED] NOTES:

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3. CONCRETE
3.1 SLAB TO REMAIN. SCOPE & VERIFY FLOOR DRAINS CONNECT TO SEWER. REPAIR AS REQUIRED.
3.2 EXG OPENING TO BASEMENT TO BE CAPPED WITH CONCRETE AT GRADE. WALL TO BE INFILLED W/ CMU. SEE STRUCTURAL FOR INFILL AND CIVIL FOR CONCRETE FLATWORK ABOVE OPENING.

4. MASONRY
4.1 NEW OR EXPANDED OPENING IN EXG MASONRY WALL. PROVIDE NEW CAST STONE LINTEL AND SILL. SEE STRUCTURAL DWGS

5. METALS
5.1 NEW CONTINUOUS STEEL PIPE HANDRAIL. SEE DETAILS.
5.2 NEW STEEL GUARDRAIL. SEE DETAILS.
5.3 NEW ALUM. BREEZEWAY GATE. SEE DOOR SCHEDULE.
5.4 EXG. FIRE ESCAPE TO REMAIN.

6. WOOD, PLASTICS, AND COMPOSITES
6.1 REPAIR DAMAGED TREADS &/OR RISERS OF WOOD STAIRS.
6.2 NEW FLOOR FRAMING (SEE STRUCT DWGS).
6.3 NOT USED
6.4 NEW BAKE TRIM & GUTTERBOARD TO MATCH EXISTING - SEE ELEVATIONS.
6.5 NEW WOOD FRAME BEARING WALL. SEE STRUCTURAL DRAWINGS.
6.6 EXG HISTORIC CORBEL AND TRIM TO BE CLEANED, PRIMED, AND REPAINTED.

7. THERMAL AND MOISTURE PROTECTION
7.1 REPAIR AND RELINE EXG BOX GUTTER. NEW PRE-FINISHED ALUMINUM DOWNSPOUT. TIE INTO EXIST. STORM SYSTEM. NEW PVC AT LOWER 6' OF DOWNSPOUT. PAINT TO MATCH ADJACENT WALL.
7.2 NEW FULLY ADHERED MEMBRANE ROOF W/ CRICKETS WHERE REQUIRED FOR POSITIVE DRAINAGE AND W/TERMINATION BARS & METAL COUNTERFLASHING - SEE ROOF DETAILS. INSULATION PER SCHEDULE. B.O.D - 60 MIL WHITE TPO. FULLY ADHERED ROOF SYSTEM. 20 YEAR WARRANTY, BY CARLSISL SYNTec, CARLSISL, PA. OR EQUIVALENT.
7.3 NEW ROOF ACCESS HATCH. INSTALL PER MANUFS INSTRUCTS. BASIS OF DESIGN = BILCO E50TB. 36"x36".
NEW DARK BRONZE METAL CAP @ CHIMNEY. TYP @ CHIMNEYS.

8. OPENINGS
8.1 NOT USED
8.2 NOT USED
8.3 NEW EXTERIOR BUILDING ENTRY DOOR AND FRAME - SEE DOOR SCHEDULE.

9. FINISHES
9.1 FIRE-RATING TO BE CONTINUOUS BEHIND PLUMBING/CHASE/ FURRING WALL. FIRE RATING TO BE CONTINUOUS AT INTERSECTION W/ NON-RATED WALL.
9.2 SUPPORTING CONSTRUCTION TO BE RATED. SEE DETAILS 4 & 5 /A6.02.

10. SPECIALTIES
10.1 LOCKABLE & RECESSED MAILBOXES. BOXES TO MEET USPS-4C STANDARDS & ACCESSIBILITY REQUIREMENTS. PROVIDE CONT FIRE-RATING BEHIND MAILBOXES, WHEN REQ.
10.2 ENTRY SYSTEM CALLBOX B.O.D. = "2IN ACCESS CONTROL"
10.3 CLOSETS W/ BLOCKING AT RODS & BRACKETS. PROVIDE 12" MELAMINE SHELF & CLOTHES ROD @ 66" A.F.F.; TYP U.N.O.:
A. TYP. REACH-IN CLOSET
B. WALK-IN CLOSET.
C. ABOVE W/D.
10.4 PROVIDE "NO SMOKING" SIGN AT EXTERIOR WALL
10.5 FIRE EXTINGUISHER. COORDINATE FINAL LOCATION WITH LOCAL FIRE MARSHAL.

A. SURFACE MOUNTED.
B. IN SINK CABINET IN RESIDENTIAL UNIT. TYPICAL.
RECESSED MEDICINE CABINET. SEE INT. ELEV. S.
PROVIDE DRAIN PAN BENEATH WASHING MACHINE/ WATER HEATER. SEE PLUMBING DWGS.
NOT USED.
SHOWER NICHE. SEE ENLARGED PLANS, INTERIOR ELEVATIONS AND DETAIL I/A5.00
RECESSED KEY LOCK BOX - BASIS OF DESIGN KNOXBOX 3200. INSTALL PER MANUFS INSTRUCTS. COORDINATE WITH FIRE DEPT.
FIRE ESCAPE ACCESS WINDOW.

21. FIRE SUPPRESSION
21.1 APPROX LOCATION OF FDC CONNECTION - COORDINATE W/ FIRE DEPT.
21.2 PROPOSED SPRINKLER RISER LOCATION. COORDINATE WITH FIRE SUPPRESSION CONTRACTOR.
21.3 EXTERIOR TAMPER/FLOW NOTIFICATION DEVICE - COORDINATE WITH ELECTRICAL AND FIRE PROTECTION SYSTEMS

22. PLUMBING
22.1 PROVIDE RADON RISER, AS REQ'D BY OWNER'S CONSULTANT. RISER TO EXTEND FROM BASEMENT TO ATTIC. SEE CONSULTANT DESIGN FOR LOCATIONS OF RISERS. COORDINATE WITH PLUMBING.
22.2 PLUMBING CHASE (OR WALL) - VERIFY LOCATIONS IN FIELD TO ALIGN CONCEALMENT BETWEEN FLOORS.
22.3 HOSEBIB LOCATION. SEE PLUMBING.

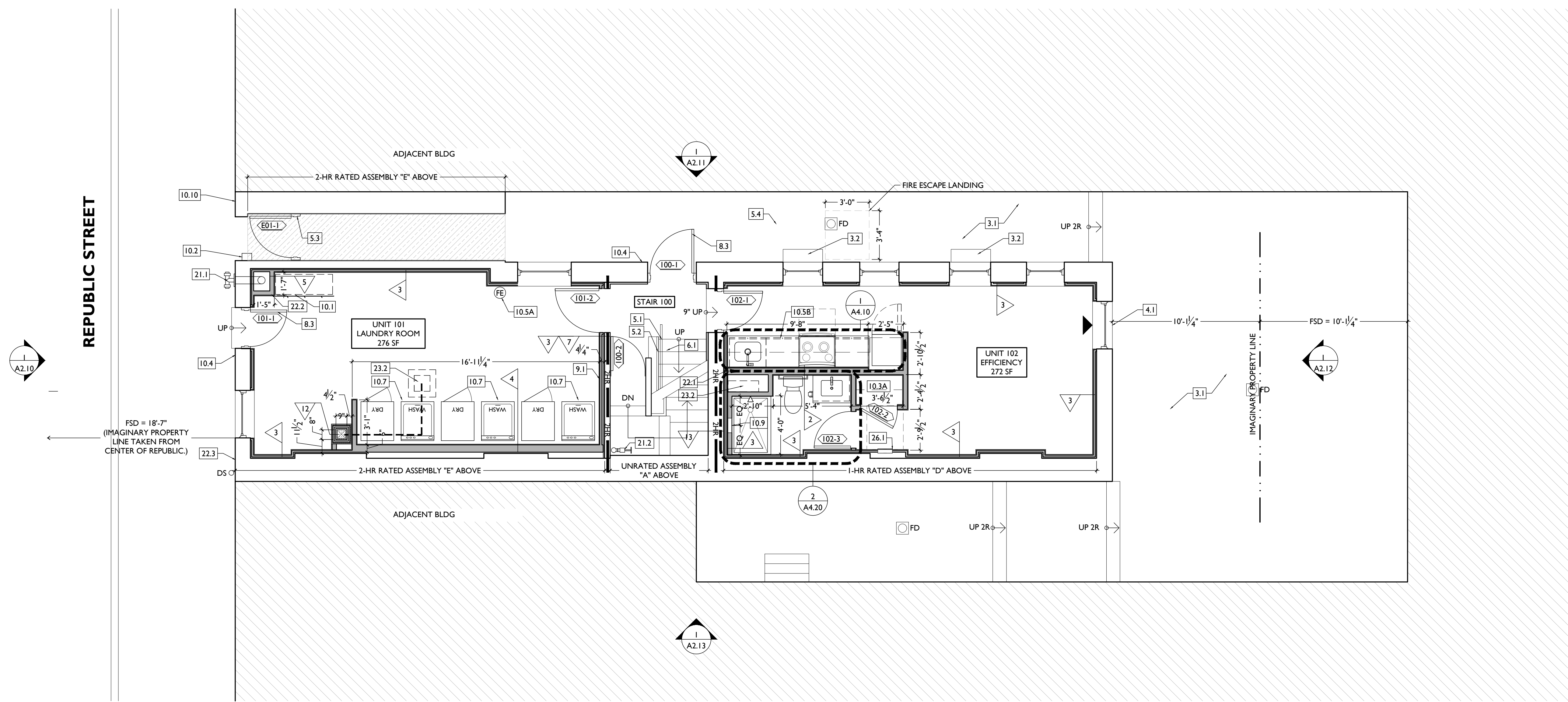
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23.2 NEW FIRE-RATED SHAFT FOR LINESETS, ABOVE. SEE 10-11/A6.02 AS REQ'D.
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26. ELECTRICAL
26.1 ELECTRIC PANEL RECESSED IN WALL W/ 30"W X 36"D CLEAR IN FRONT. PAINT TO MATCH ADJACENT WALL W APPROPRIATE PAINT TYPE FOR PANEL.
26.2 NEW EXTERIOR LIGHTING. NO EXPOSED CONDUIT ON FACE OF BUILDING.
26.3 LOCATION OF ELEC. EQUIPMENT. SEE ELEC.

NEW WORK GRAPHIC KEY:

- PARTITION TYPE - SEE A6.00.
- KEYNOTE.
- EXISTING WALL
- NEW PARTITION WALL
- NEW MASONRY WALL
- OBJECT OVERHEAD.
- 1-HR FIRE RATING.
- 2-HR FIRE RATING.
- NEW FLOOR & FRAMING TO MATCH ADJ - SEE STRUCT DWGS.
- NEW GYP BD SOFFIT/ BULKHEAD/ DROPPED CLG - SEE RCPS.
- AREA OF ATYPICAL FIRE-RATED ASSEMBLY ABOVE. SEE A0.01 & A6.01.
- AREA OF TUCKPOINTING - SEE ELEV'S & STRUCT DWGS.
- 100A DOOR TAG. SEE SCHEDULE / A6.10-13.
- A WINDOW DESIGNATION. SEE A6.20-25.
- SFA STOREFRONT DESIGNATION. SEE A6.13.
- E EMERGENCY EGRESS EXIT.
- SG OPG CONTAINS SAFETY GLAZING.
- SH SINGLE HUNG OPG - UPPER SASH TO BE FIXED WITHIN 3'-0" OF EXHAUST.
- "X-X" ELEVATION TAG.

REPUBLIC STREET



NOT FOR CONSTRUCTION

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PROPOSED PLAN - FIRST FLOOR

Progress Dates
2023.04.28 - BID/PERMIT
2024.08.30 - BID SET 2

Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
TB, AM

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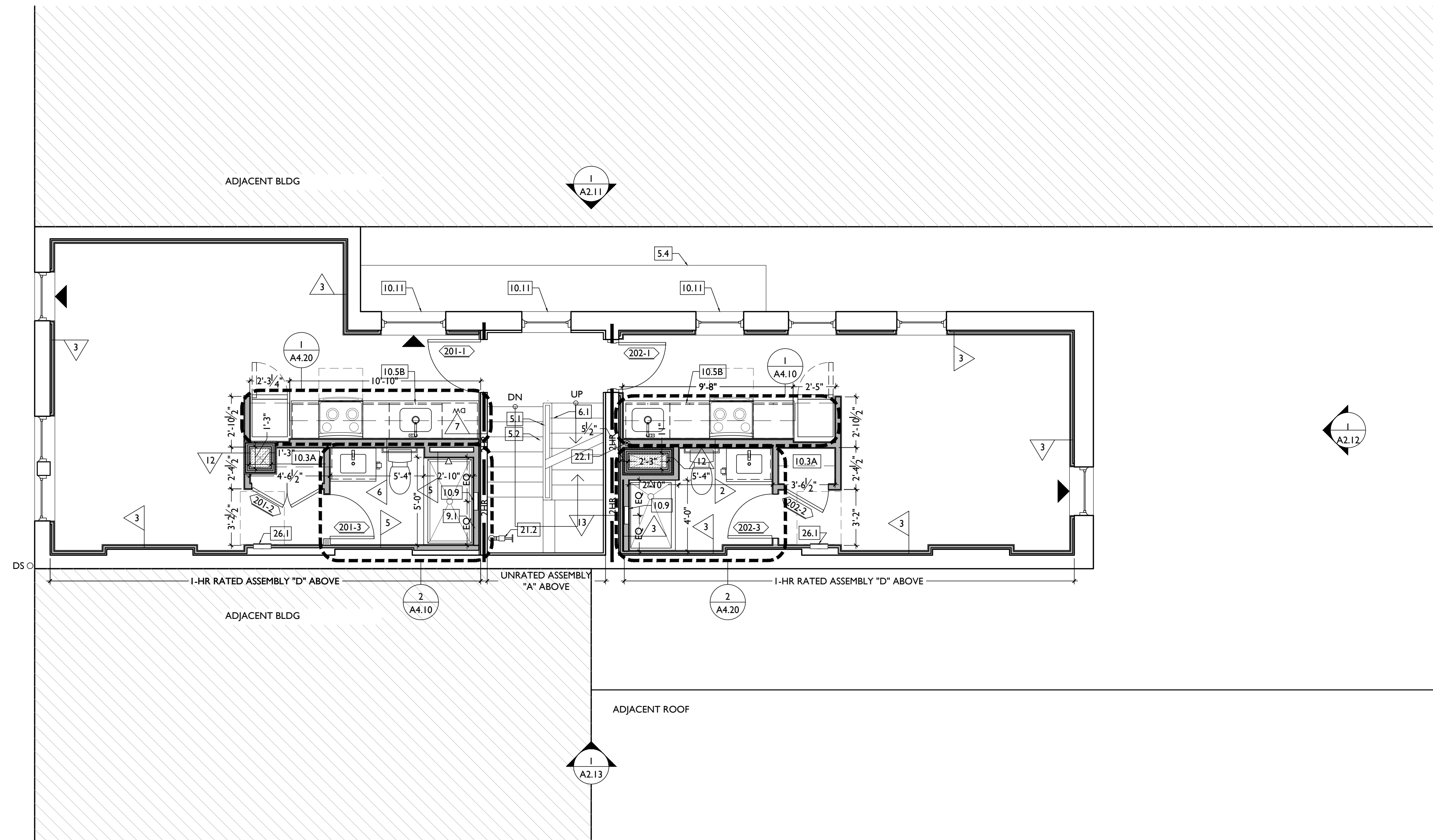
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Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
TB, AM

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CINCINNATI, OH 45202
FINDLAY FLATS

Job No: 22042 08.30.2023

A1.12

SCALE: 1/4" = 1'-0"

PROPOSED PLAN - SECOND FLOOR

1

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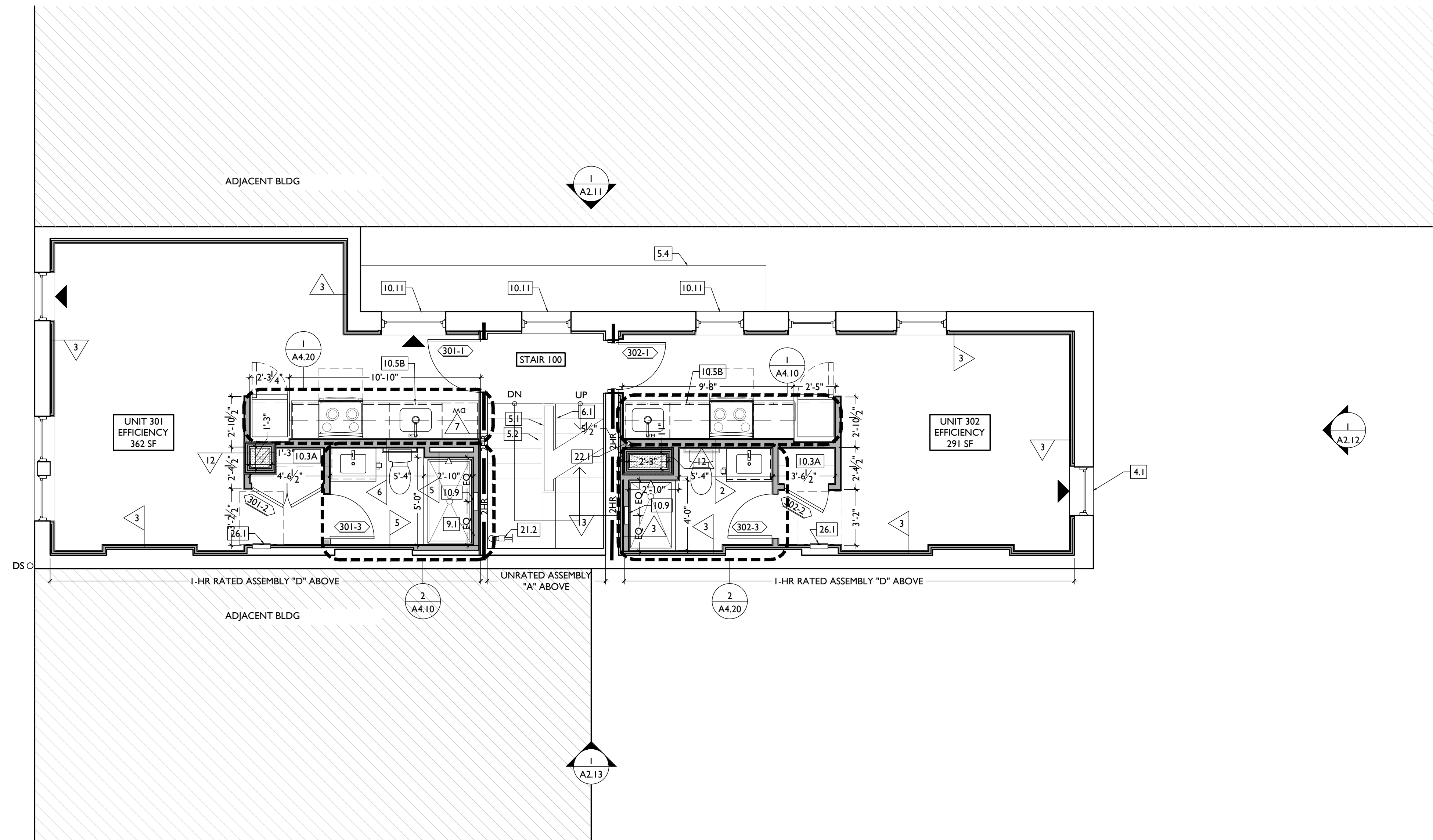
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3.2 EXG OPENING TO BASEMENT TO BE CAPPED WITH CONCRETE AT GRADE. WALL TO BE INFILLED W/ CMU. SEE STRUCTURAL FOR INFILL AND CIVIL FOR CONCRETE FLATWORK ABOVE OPENING.

4. MASONRY
4.1 NEW OR EXPANDED OPENING IN EXG MASONRY WALL. PROVIDE NEW CAST STONE LINTEL AND SILL. SEE STRUCTURAL DWGS.

5. METALS
5.1 NEW CONTINUOUS STEEL PIPE HANDRAIL. SEE DETAILS.
5.2 NEW STEEL GUARDRAIL. SEE DETAILS.
5.3 NEW ALUM. BREEZEWAY GATE. SEE DOOR SCHEDULE.
5.4 EXG. FIRE ESCAPE TO REMAIN.

6. WOOD, PLASTICS, AND COMPOSITES
6.1 REPAIR DAMAGED TREADS &/OR RISERS OF WOOD STAIRS.
6.2 NEW FLOOR FRAMING (SEE STRUCT DWGS).
6.3 NOT USED
6.4 NEW BAKE TRIM & GUTTERBOARD TO MATCH EXISTING - SEE ELEVATIONS.
6.5 NEW WOOD FRAME BEARING WALL. SEE STRUCTURAL DRAWINGS.
6.6 EXG HISTORIC CORBEL AND TRIM TO BE CLEANED, PRIMED, AND REPAINTED.

7. THERMAL AND MOISTURE PROTECTION
7.1 REPAIR AND RELINE EXG BOX GUTTER. NEW PRE-FINISHED ALUMINUM DOWNSPOUT. TIE INTO EXIST. STORM SYSTEM. NEW PVC AT LOWER 6' OF DOWNSPOUT. PAINT TO MATCH ADJACENT WALL.
7.2 NEW FULLY ADHERED MEMBRANE ROOF W/ CRICKETS WHERE REQUIRED FOR POSITIVE DRAINAGE AND W/TERMINATION BARS & METAL COUNTERFLASHING - SEE ROOF DETAILS. INSULATION PER SCHEDULE. B.O.D - 60 MIL WHITE TPO. FULLY ADHERED ROOF SYSTEM. 20 YEAR WARRANTY, BY CARLSLE SYNTEC, CARLSLE, PA. OR EQUIVALENT.
7.3 NEW ROOF ACCESS HATCH. INSTALL PER MANUFS INSTRUCTS. BASIS OF DESIGN = BILCO E50TB. 36"x36".
NEW DARK BRONZE METAL CAP @ CHIMNEY. TYP @ CHIMNEYS.

8. OPENINGS
8.1 NOT USED
8.2 NOT USED
8.3 NEW EXTERIOR BUILDING ENTRY DOOR AND FRAME - SEE DOOR SCHEDULE.

9. FINISHES
9.1 FIRE-RATING TO BE CONTINUOUS BEHIND PLUMBING/CHASE/ FURRING WALL. FIRE RATING TO BE CONTINUOUS AT INTERSECTION W/ NON-RATED WALL.
9.2 SUPPORTING CONSTRUCTION TO BE RATED. SEE DETAILS 4 & 5 /A6.02.

10. SPECIALTIES
10.1 LOCKABLE & RECESSED MAILBOXES. BOXES TO MEET USPS-4C STANDARDS & ACCESSIBILITY REQUIREMENTS. PROVIDE CONT FIRE-RATING BEHIND MAILBOXES, WHEN REQ.
10.2 ENTRY SYSTEM CALLBOX B.O.D. = "2N ACCESS CONTROL"
10.3 CLOSETS W/ BLOCKING AT RODS & BRACKETS. PROVIDE 12" MELAMINE SHELF & CLOTHES ROD @ 66" A.F.F.; TYP U.N.O.:
A. TYP. REACH-IN CLOSET
B. WALK-IN CLOSET.
C. ABOVE W/D.
10.4 PROVIDE "NO SMOKING" SIGN AT EXTERIOR WALL.
10.5 FIRE EXTINGUISHER. COORDINATE FINAL LOCATION WITH LOCAL FIRE MARSHAL.

A. SURFACE MOUNTED.
10.6 B. IN SINK CABINET IN RESIDENTIAL UNIT. TYPICAL.
10.7 RECESSED MEDICINE CABINET. SEE INT. ELEV. S.
10.8 PROVIDE DRAIN PAN BENEATH WASHING MACHINE/ WATER HEATER. SEE PLUMBING DWGS.
10.9 NOT USED.
10.10 SHOWER NICHE. SEE ENLARGED PLANS, INTERIOR ELEVATIONS AND DETAIL 1/A5.00
10.11 RECESSED KEY LOCK BOX - BASIS OF DESIGN KNOXBOX 3200. INSTALL PER MANUFS INSTRUCTS. COORDINATE WITH FIRE DEPT.
10.12 FIRE ESCAPE ACCESS WINDOW.

21. FIRE SUPPRESSION
21.1 APPROX LOCATION OF FDC CONNECTION - COORDINATE W/ FIRE DEPT.
21.2 PROPOSED SPRINKLER RISER LOCATION. COORDINATE WITH FIRE SUPPRESSION CONTRACTOR.
21.3 EXTERIOR TAMPER/FLOW NOTIFICATION DEVICE - COORDINATE WITH ELECTRICAL AND FIRE PROTECTION SYSTEMS

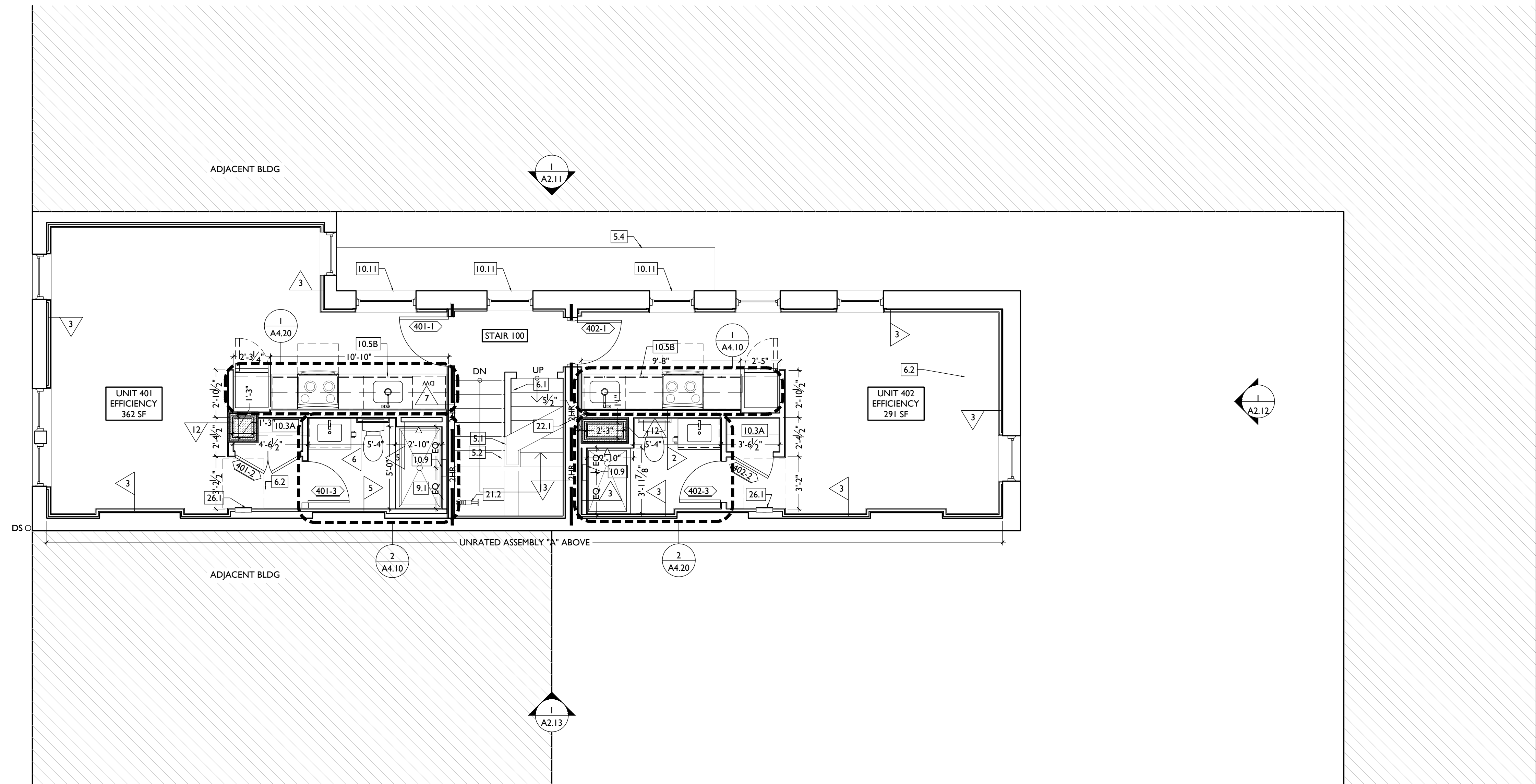
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22.2 PLUMBING CHASE (OR WALL) - VERIFY LOCATIONS IN FIELD TO ALIGN CONCEALMENT BETWEEN FLOORS.
22.3 HOSEBIB LOCATION. SEE PLUMBING.

23. HEATING, VENTILATING, AND AIR CONDITIONING
23.1 MECHANICAL UNIT(S) - HATCHED AREA SHOWS APPROXIMATE LOCATION OF NEW FIXED ROOF WALKWAY PADS. GUARDRAIL REQUIRED IF EQUIPMENT <10' FROM ROOF EDGE. PROVIDE OVER-FRAMED PLATFORM PER 11/A5.00. SEE HVAC & STRUCTURAL DWGS.
23.2 NEW FIRE-RATED SHAFT FOR LINESETS, ABOVE. SEE 10-11/A6.02 AS REQ'D.
23.3 NEW EXHAUST / INTAKE VENT COVER. PAINT TO MATCH ADJACENT WALL SURFACE.

26. ELECTRICAL
26.1 ELECTRIC PANEL RECESSED IN WALL W/ 30"W X 36"D CLEAR IN FRONT. PAINT TO MATCH ADJACENT WALL W APPROPRIATE PAINT TYPE FOR PANEL.
26.2 NEW EXTERIOR LIGHTING. NO EXPOSED CONDUIT ON FACE OF BUILDING.
26.3 LOCATION OF ELEC. EQUIPMENT. SEE ELEC.

NEW WORK GRAPHIC KEY:

- 2 PARTITION TYPE - SEE A6.00.
- 4 KEYNOTE.
- EXISTING WALL
- NEW PARTITION WALL.
- NEW MASONRY WALL.
- OBJECT OVERHEAD.
- 1HR 1-HR FIRE RATING.
- 2HR 2-HR FIRE RATING.
- NEW FLOOR & FRAMING TO MATCH ADJ - SEE STRUCT DWGS.
- NEW GYP BD SOFFIT/ BULKHEAD/ DROPPED CLG - SEE RCPS.
- AREA OF ATYPICAL FIRE-RATED ASSEMBLY ABOVE. SEE A0.01 & A6.01.
- AREA OF TUCKPOINTING - SEE ELEV'S & STRUCT DWGS.
- 100A DOOR TAG. SEE SCHEDULE / A6.10-13.
- A WINDOW DESIGNATION. SEE A6.20-25.
- SFA STOREFRONT DESIGNATION. SEE A6.13.
- ▲ EMERGENCY EGRESS EXIT.
- SG OPG CONTAINS SAFETY GLAZING.
- SH SINGLE HUNG OPG - UPPER SASH TO BE FIXED WITHIN 3'-0" OF EXHAUST.
- X-X" ELEVATION TAG.



SCALE: 1/4" = 1'-0"

PROPOSED PLAN - FOURTH FLOOR | 1

NOT FOR CONSTRUCTION

Progress Dates
2023.04.28 - BID/PERMIT
2024.08.30 - BID SET 2

Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
TB, AM

PROPOSED PROJECT:
RENOVATION FOR
1804 REPUBLIC
CINCINNATI, OH 45202
FINDLAY FLATS

Job No: 22042 08.30.2023

AI.14

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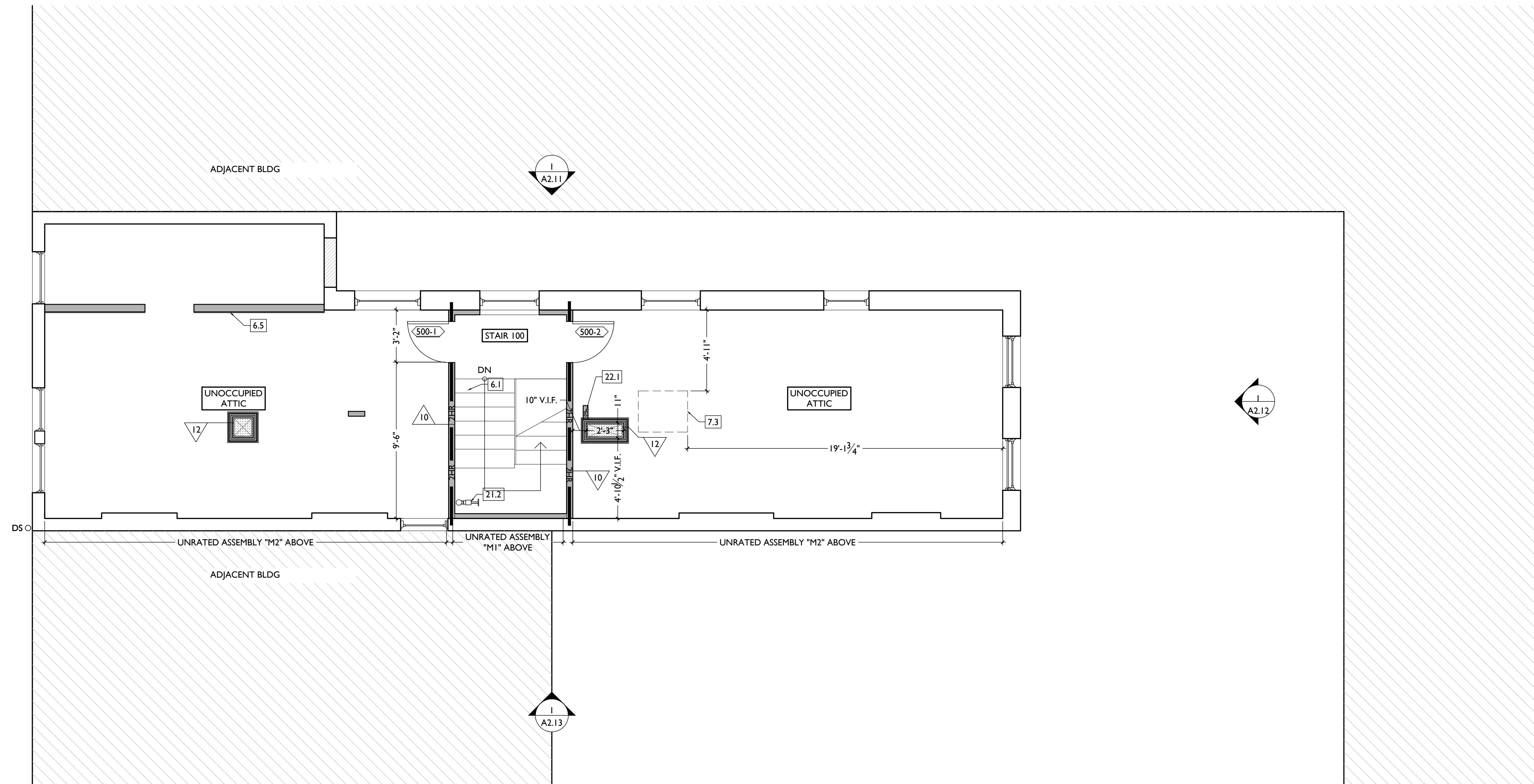
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Revisions

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CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
TB, AM

NOT FOR CONSTRUCTION

PROPOSED PROJECT:
RENOVATION FOR
1804 REPUBLIC
CINCINNATI, OH 45202
FINDLAY FLATS

Job No: 22042 08.30.2023

A1.15

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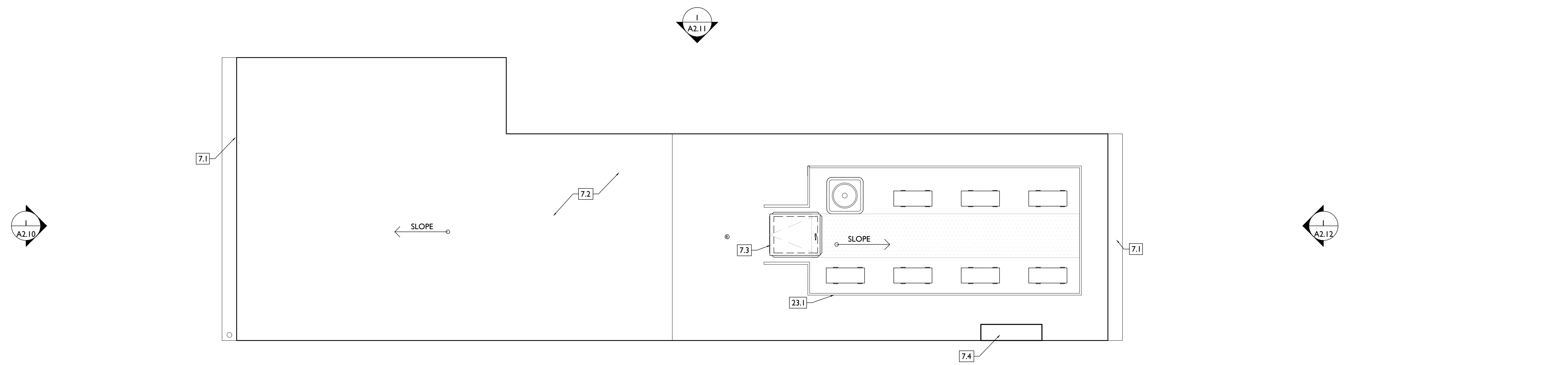
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NOTE: CONTRACTOR TO DESIGN AND INSTALL ROOF VENTING SYSTEM THAT COMPLIES WITH OBC 1203. CONTRACTOR TO DETERMINE SIZE AND LOCATION OF VENTS. TOTAL AMOUNT OF NET FREE VENTILATING AREA SHOULD BE MINIMUM 1/150 OF ATTIC SF.



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PROPOSED PLAN - ROOF | 1

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A1.16

SYMBOL	FIXTURE TYPE	REMARKS
SM1	SURFACE MOUNT LED CAN LIGHT	SM1 - GENERAL LIGHTS. PROVIDE DIMMERS IN RESIDENTIAL UNITS.
SM2		SM2 - DAMP RATED, TYPICAL IN SHOWERS.
SM3		SM3 - ALWAYS ON, TYPICAL IN COMMON STAIRHALLS.
SM13	SURFACE MOUNT ENTRY LIGHT	STAIR HALL ENTRY VESTIBULE, 1ST FLOOR ONLY
SM8	SURFACE MOUNT LINEAR LED	TYPICAL IN COMMERCIAL TURNKEY SPACES
ST1	SURFACE MOUNT UTILITY FIXTURE	TYPICAL IN ATTICS AND IN BASEMENTS
V1	WALL MOUNT VANITY LIGHT	V1 - TYPICAL OVER BATHROOM VANITIES IN TYPICAL RESIDENTIAL UNITS.
V2	WALL MOUNT VANITY LIGHT	V2 - TYPICAL ON SIDES OF BATHROOM VANITIES IN TYPICAL RESIDENTIAL UNITS.
TLI	SURFACE MOUNT TRACK LIGHT	DIMMABLE, TYPICAL IN COMMERCIAL TURNKEY SPACES AND IN LOBBIES
PI	SURFACE MOUNT PENDANT	TYPICAL OVER KITCHEN ISLANDS

REFLECTED CEILING PLAN FIXTURE LEGEND:

SYMBOL	FIXTURE TYPE	REMARKS
F1	CEILING FAN WITH LIGHT	SMALL FAN, TYPICAL IN BEDROOMS AND LIVING ROOMS
F2	CEILING FAN WITH LIGHT	LARGE FAN, TYPICAL IN BEDROOM AND LIVING ROOM
WM1	WALL MOUNT EXTERIOR LIGHT	EXTERIOR ARCHITECTURAL UP-DOWN LIGHT
WM5	WALL MOUNT EXTERIOR LIGHT	EXTERIOR ARCHITECTURAL GOOSENECK LIGHT
ES	EMERGENCY EGRESS LIGHT	EMERGENCY EGRESS EXIT SIGN
ESL	EMERGENCY EGRESS LIGHT	EMERGENCY EGRESS EXIT SIGN W/ LIGHTS
EF1	BATHROOM VENT	TYPICAL BATHROOM EXHAUST FAN/VENT

SYMBOL	FIXTURE TYPE	REMARKS
RH1	EMERGENCY EGRESS LIGHT	LED REMOTE HEAD EMERGENCY EGRESS LIGHT
EM	EMERGENCY EGRESS LIGHT	EMERGENCY EGRESS LIGHT WALL PACK
	FIRE ALARM PULL STATION	MANUAL PULL STATION FOR FIRE ALARM

REFLECTED CEILING PLAN GENERAL NOTES:

A. NOTE: THIS IS A HISTORIC TAX CREDIT PROJECT. ALL WORK MUST COMPLY W/ APPROVED PART 2, INCLUDING AMENDMENTS. NO HISTORIC ELEMENTS SHALL BE REMOVED/MODIFIED UNLESS SPECIFICALLY INDICATED IN ARCH DWGS.

B. IF A FIXTURE APPEARS TO BE CENTERED IN A SPACE, THEN CENTER IT.

C. LOWERED CEILINGS AND SOFFITS SHALL BE 8'-0" HIGH A.F.F., U.N.O.

D. CLG HTS AT EXG FLOORS ARE TO BE W.F.

E. ALL CEILING FINISHES IN OCCUPIED SPACES TO BE SMOOTH PAINTED DRYWALL U.N.O. SEE FINISH SCHEDULE FOR PAINT COLORS.

F. BASEMENTS & UNOCCUPIED ATTICS TO HAVE EXPOSED JOISTS - NO FINISH CLGS U.N.O.

G. ALL SOFFITS OVER KITCHEN CABINETS TO BE 8'-0" AFF AND 2'-1 1/2" WIDE MINIMUM.

H. PROVIDE UNDER-CABINET LIGHTING BENEATH ALL UPPER KITCHEN CABINETS IN RESIDENTIAL UNITS. SEE ELEC DWGS.

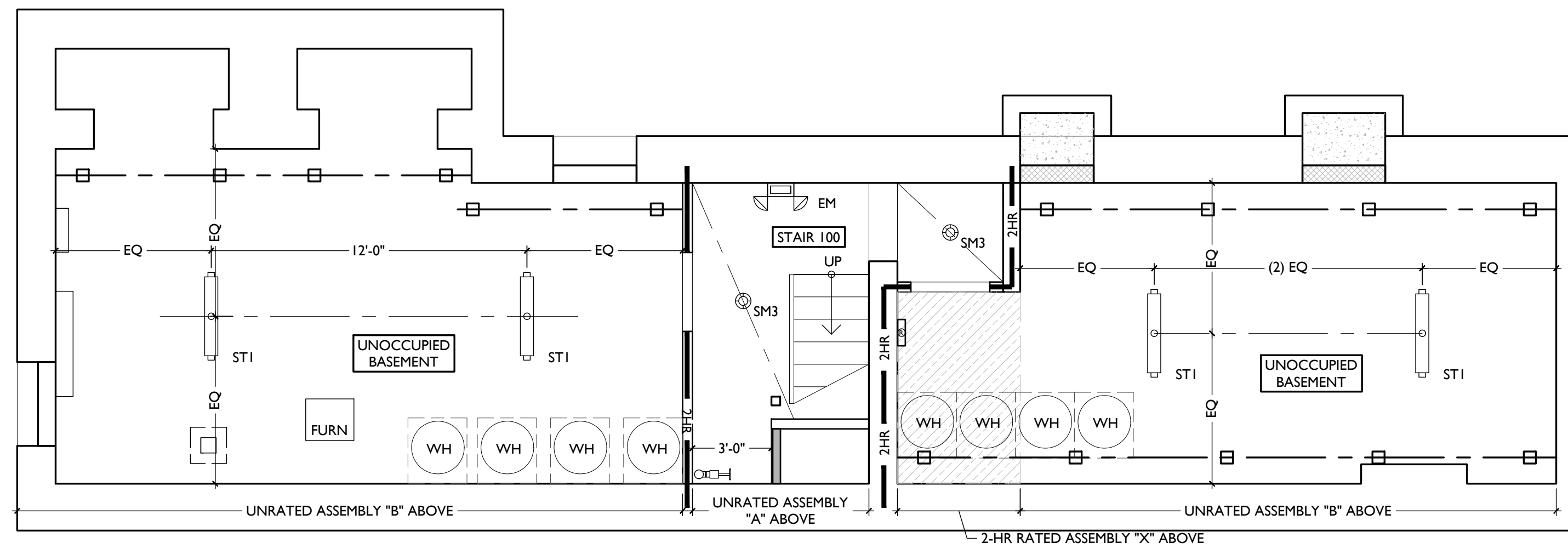
I. SEE EXTERIOR ELEVATIONS FOR MOUNTING HEIGHTS OF EXTERIOR LIGHTS.

J. SEE ELECTRICAL DRAWINGS FOR FIXTURE SPECIFICATIONS.

K. ANY FIXTURES LOCATED IN AREAS WITH REMAINING HISTORIC TIN CEILINGS SHOULD BE CENTERED ON THE CEILING TILES, RATHER THAN PERFECTLY CENTERED IN THE SPACE. ADJUST THE GRID PLACEMENT/DIMENSIONS BY A FEW INCHES AS REQUIRED TO ACCOMMODATE THIS.

REFLECTED CEILING PLAN GRAPHIC KEY:

CH: 8'-0"	CEILING HEIGHT TAG (TYP 8'-0" U.N.O.)
---	SOFFIT/LOWERED GYP BD CEILING
///	AREA OF ATYPICAL FIRE-RATING. SEE PLANS & SHEET A0.01
WC	WATER CURTAIN HEAD TO PROVIDE 100% COVERAGE OF WINDOW. COORD W/ F.P PLANS
(NL)	DENOTES NIGHT LIGHT FIXTURE
(OS)	DENOTES OCCUPANCY SENSOR
SDI	COMBO SMOKE/CARBON MONOXIDE DETECTOR: IONIZATION (TYP BEDROOMS)
SDP	PHOTOELECTRIC
---	CENTER ON ARCHITECTURAL FEATURE
---	STRUCTURAL MEMBER - SEE STRUCTURAL DWGS



SCALE: 1/4" = 1'-0"

REFLECTED CEILING PLAN - BASEMENT



Progress Dates
2023.04.28 - BID/PERMIT
2024.08.30 - BID SET 2

Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
TB, AM

NOT FOR CONSTRUCTION

PROPOSED PROJECT:
RENOVATION FOR
1804 REPUBLIC
CINCINNATI, OH 45202
FINDLAY FLATS

Job No: 22042 08.30.2023

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SYMBOL	FIXTURE TYPE	REMARKS
SM1	SURFACE MOUNT LED CAN LIGHT	SM1 - GENERAL LIGHTS. PROVIDE DIMMERS IN RESIDENTIAL UNITS.
SM2		SM2 - DAMP RATED, TYPICAL IN SHOWERS.
SM3		SM3 - ALWAYS ON, TYPICAL IN COMMON STAIRHALLS.
SM13	SURFACE MOUNT ENTRY LIGHT	STAIR HALL ENTRY VESTIBULE, 1ST FLOOR ONLY
SM8	SURFACE MOUNT LINEAR LED	TYPICAL IN COMMERCIAL TURNKEY SPACES
ST1	SURFACE MOUNT UTILITY FIXTURE	TYPICAL IN ATTICS AND IN BASEMENTS
V1	WALL MOUNT VANITY LIGHT	V1 - TYPICAL OVER BATHROOM VANITIES IN TYPICAL RESIDENTIAL UNITS.
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TLI	SURFACE MOUNT TRACK LIGHT	DIMMABLE, TYPICAL IN COMMERCIAL TURNKEY SPACES AND IN LOBBIES
PI	SURFACE MOUNT PENDANT	TYPICAL OVER KITCHEN ISLANDS

REFLECTED CEILING PLAN FIXTURE LEGEND:

SYMBOL	FIXTURE TYPE	REMARKS
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F2	CEILING FAN WITH LIGHT	LARGE FAN, TYPICAL IN BEDROOM AND LIVING ROOM
WM1	WALL MOUNT EXTERIOR LIGHT	EXTERIOR ARCHITECTURAL UP-DOWN LIGHT
WM5	WALL MOUNT EXTERIOR LIGHT	EXTERIOR ARCHITECTURAL GOOSENECK LIGHT
ES	EMERGENCY EGRESS LIGHT	EMERGENCY EGRESS EXIT SIGN
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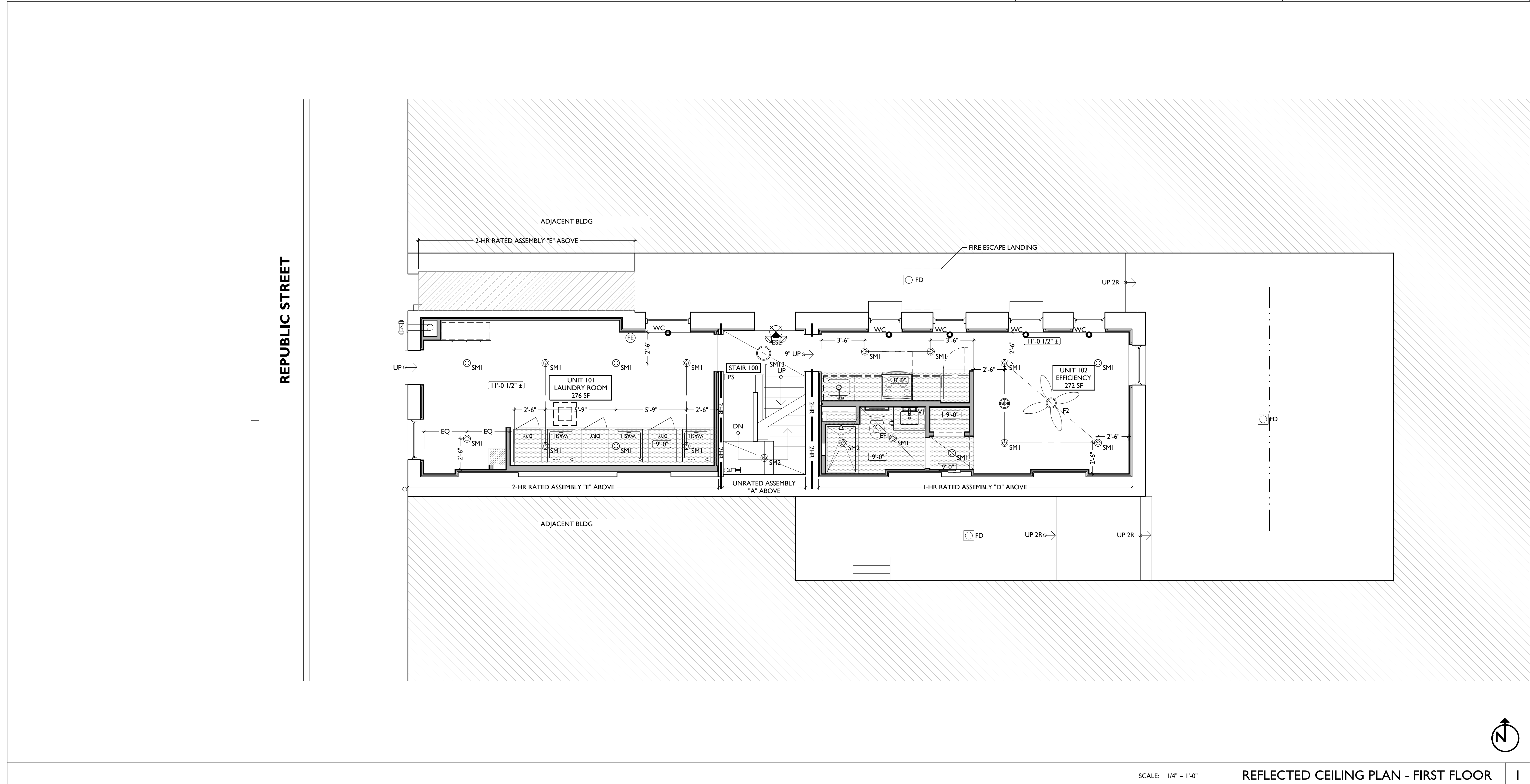
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RH1	EMERGENCY EGRESS LIGHT	LED REMOTE HEAD EMERGENCY EGRESS LIGHT
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- BASEMENTS & UNOCCUPIED ATTICS TO HAVE EXPOSED JOISTS - NO FINISH CLGS U.N.O.
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SDP	PHOTOELECTRIC
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---	STRUCTURAL MEMBER - SEE STRUCTURAL DWGS



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PROPOSED PROJECT:
RENOVATION FOR
1804 REPUBLIC
CINCINNATI, OH 45202
FINDLAY FLATS

Job No: 22042 08.30.2023

A1.21

SYMBOL	FIXTURE TYPE	REMARKS
SM1	SURFACE MOUNT LED CAN LIGHT	SM1 - GENERAL LIGHTS. PROVIDE DIMMERS IN RESIDENTIAL UNITS.
SM2		SM2 - DAMP RATED, TYPICAL IN SHOWERS.
SM3		SM3 - ALWAYS ON, TYPICAL IN COMMON STAIRHALLS.
SM13	SURFACE MOUNT ENTRY LIGHT	STAIR HALL ENTRY VESTIBULE, 1ST FLOOR ONLY
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ES	EMERGENCY EGRESS LIGHT	EMERGENCY EGRESS EXIT SIGN
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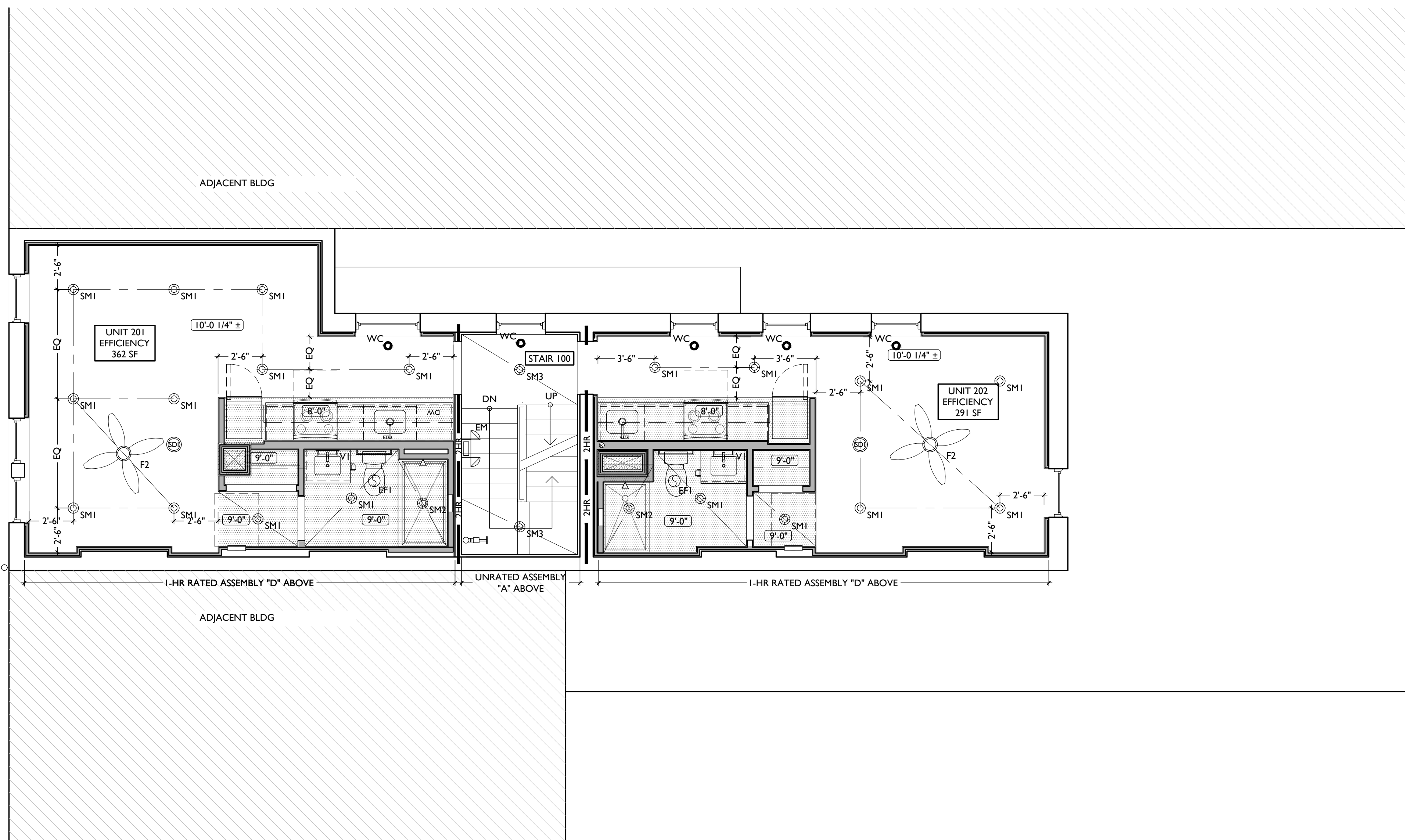
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SDP	PHOTOELECTRIC
---	CENTER ON ARCHITECTURAL FEATURE
---	STRUCTURAL MEMBER - SEE STRUCTURAL DWGS



SCALE: 1/4" = 1'-0"

REFLECTED CEILING PLAN - SECOND FLOOR



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TB, AM

PROPOSED PROJECT:
RENOVATION FOR
1804 REPUBLIC
CINCINNATI, OH 45202
FINDLAY FLATS

Job No: 22042 08.30.2023

A1.22

SYMBOL	FIXTURE TYPE	REMARKS
SM1	SURFACE MOUNT LED CAN LIGHT	SM1 - GENERAL LIGHTS. PROVIDE DIMMERS IN RESIDENTIAL UNITS.
SM2		SM2 - DAMP RATED, TYPICAL IN SHOWERS.
SM3		SM3 - ALWAYS ON, TYPICAL IN COMMON STAIRHALLS.
SM13	SURFACE MOUNT ENTRY LIGHT	STAIR HALL ENTRY VESTIBULE, 1ST FLOOR ONLY
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SYMBOL	FIXTURE TYPE	REMARKS
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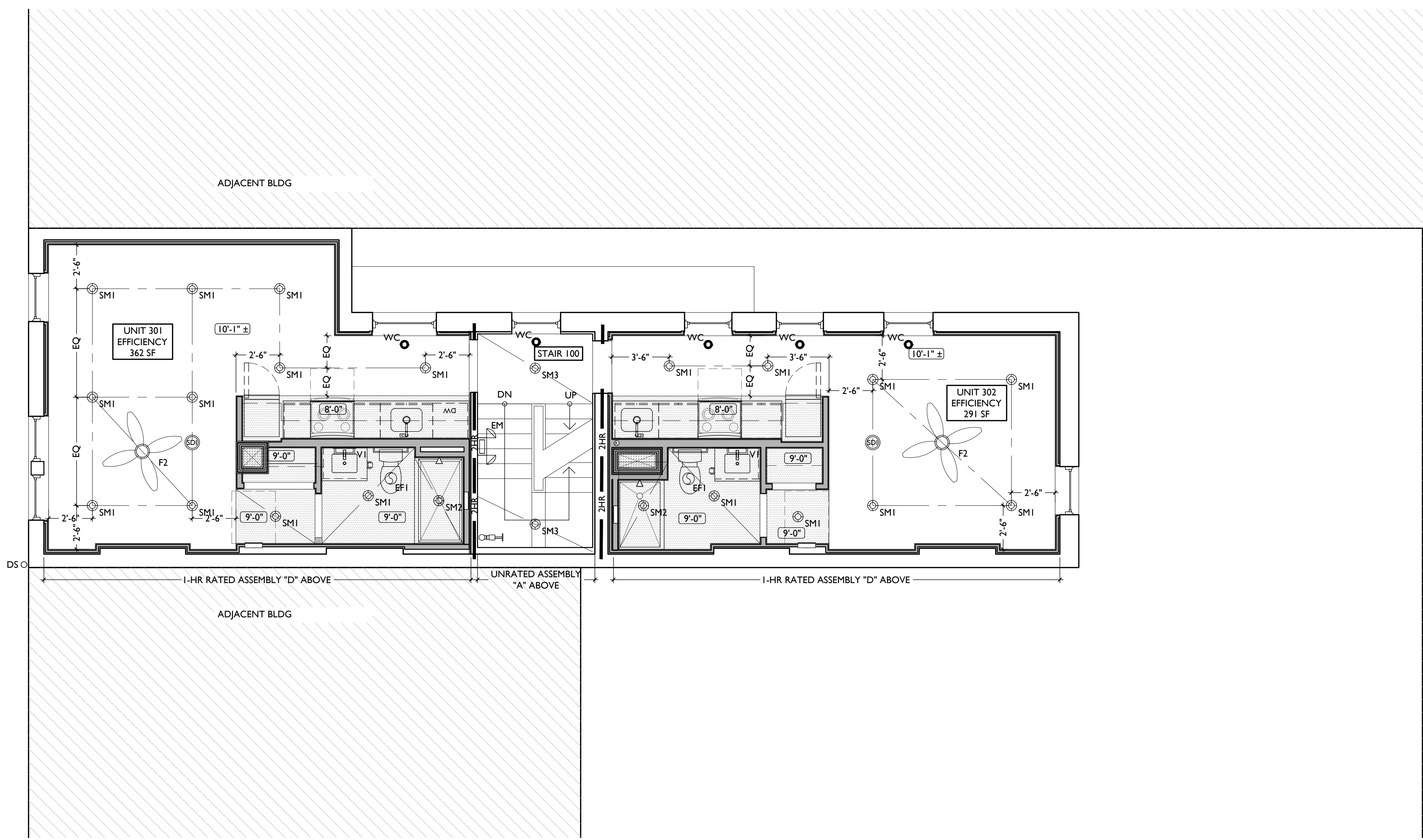
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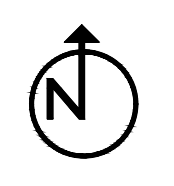
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SCALE: 1/4" = 1'-0"

REFLECTED CEILING PLAN - THIRD FLOOR



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Progress Dates
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Revisions

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CO, JK, MR, MR, RK, RO, SO, TB
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NOT FOR CONSTRUCTION

PROPOSED PROJECT:
RENOVATION FOR
1804 REPUBLIC
CINCINNATI, OH 45202
FINDLAY FLATS

Job No: 22042 08.30.2023

A1.23

SYMBOL	FIXTURE TYPE	REMARKS
SM1	SURFACE MOUNT LED CAN LIGHT	SM1 - GENERAL LIGHTS. PROVIDE DIMMERS IN RESIDENTIAL UNITS.
SM2		SM2 - DAMP RATED, TYPICAL IN SHOWERS.
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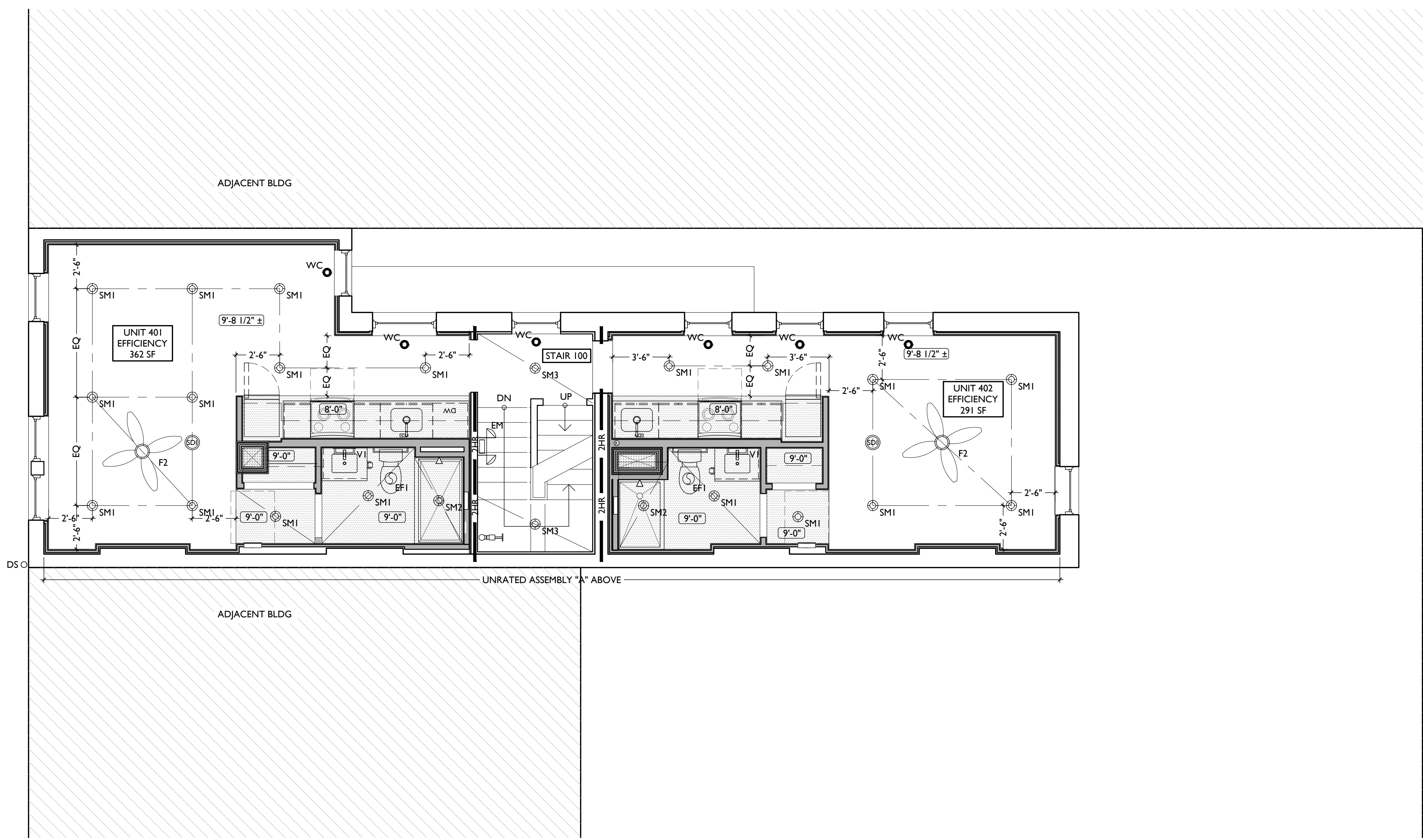
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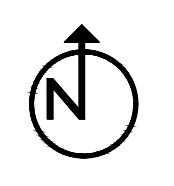
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SCALE: 1/4" = 1'-0"

REFLECTIVE CEILING PLAN - FOURTH FLOOR



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A1.24

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SM2		SM2 - DAMP RATED, TYPICAL IN SHOWERS.
SM3		SM3 - ALWAYS ON, TYPICAL IN COMMON STAIRHALLS.
SM13	SURFACE MOUNT ENTRY LIGHT	STAIR HALL ENTRY VESTIBULE, 1ST FLOOR ONLY
SM8	SURFACE MOUNT LINEAR LED	TYPICAL IN COMMERCIAL TURNKEY SPACES
ST1	SURFACE MOUNT UTILITY FIXTURE	TYPICAL IN ATTICS AND IN BASEMENTS
V1	WALL MOUNT VANITY LIGHT	V1 - TYPICAL OVER BATHROOM VANITIES IN TYPICAL RESIDENTIAL UNITS.
V2	WALL MOUNT VANITY LIGHT	V2 - TYPICAL ON SIDES OF BATHROOM VANITIES IN TYPICAL RESIDENTIAL UNITS.
TLI	SURFACE MOUNT TRACK LIGHT	DIMMABLE, TYPICAL IN COMMERCIAL TURNKEY SPACES AND IN LOBBIES
PI	SURFACE MOUNT PENDANT	TYPICAL OVER KITCHEN ISLANDS

REFLECTED CEILING PLAN FIXTURE LEGEND:

SYMBOL	FIXTURE TYPE	REMARKS
F1	CEILING FAN WITH LIGHT	SMALL FAN, TYPICAL IN BEDROOMS AND LIVING ROOMS
F2	CEILING FAN WITH LIGHT	LARGE FAN, TYPICAL IN BEDROOM AND LIVING ROOM
WM1	WALL MOUNT EXTERIOR LIGHT	EXTERIOR ARCHITECTURAL UP-DOWN LIGHT
WM5	WALL MOUNT EXTERIOR LIGHT	EXTERIOR ARCHITECTURAL GOOSENECK LIGHT
ES	EMERGENCY EGRESS LIGHT	EMERGENCY EGRESS EXIT SIGN
ESL	EMERGENCY EGRESS LIGHT	EMERGENCY EGRESS EXIT SIGN W/ LIGHTS
EF1	BATHROOM VENT	TYPICAL BATHROOM EXHAUST FAN/VENT

SYMBOL	FIXTURE TYPE	REMARKS
RH1	EMERGENCY EGRESS LIGHT	LED REMOTE HEAD EMERGENCY EGRESS LIGHT
EM	EMERGENCY EGRESS LIGHT	EMERGENCY EGRESS LIGHT WALL PACK
	FIRE ALARM PULL STATION	MANUAL PULL STATION FOR FIRE ALARM

REFLECTED CEILING PLAN GENERAL NOTES:

A. NOTE: THIS IS A HISTORIC TAX CREDIT PROJECT. ALL WORK MUST COMPLY W/ APPROVED PART 2, INCLUDING AMENDMENTS. NO HISTORIC ELEMENTS SHALL BE REMOVED/MODIFIED UNLESS SPECIFICALLY INDICATED IN ARCH DWGS.

B. IF A FIXTURE APPEARS TO BE CENTERED IN A SPACE, THEN CENTER IT.

C. LOWERED CEILINGS AND SOFFITS SHALL BE 8'-0" HIGH A.F.F., U.N.O.

D. CLG HTS AT EXG FLOORS ARE TO BE V.F.

E. ALL CEILING FINISHES IN OCCUPIED SPACES TO BE SMOOTH PAINTED DRYWALL U.N.O. SEE FINISH SCHEDULE FOR PAINT COLORS.

F. BASEMENTS & UNOCCUPIED ATTICS TO HAVE EXPOSED JOISTS - NO FINISH CLGS U.N.O.

G. ALL SOFFITS OVER KITCHEN CABINETS TO BE 8'-0" AFF AND 2'-1 1/2" WIDE MINIMUM.

H. PROVIDE UNDER-CABINET LIGHTING BENEATH ALL UPPER KITCHEN CABINETS IN RESIDENTIAL UNITS. SEE ELEC DWGS.

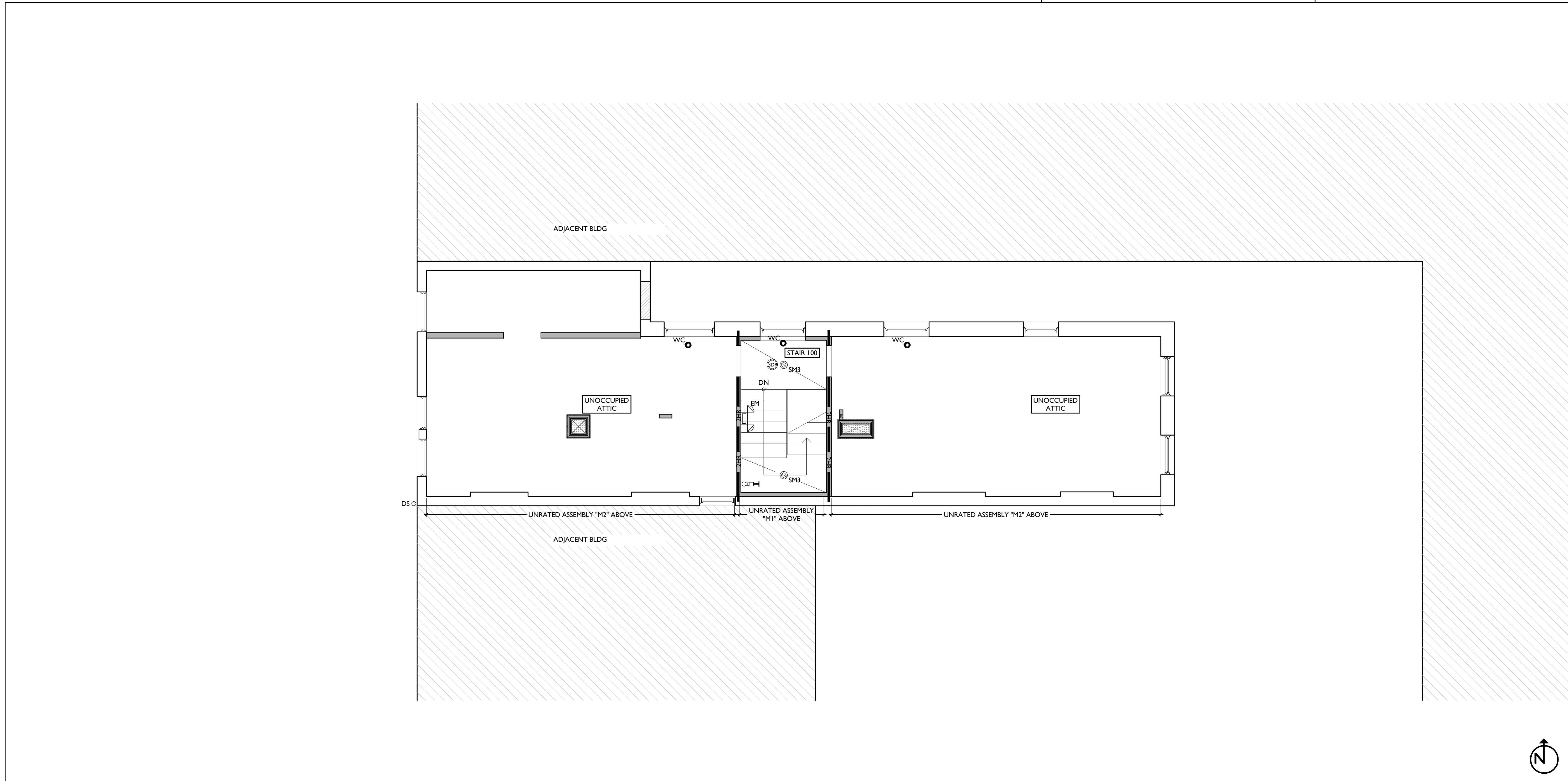
I. SEE EXTERIOR ELEVATIONS FOR MOUNTING HEIGHTS OF EXTERIOR LIGHTS.

J. SEE ELECTRICAL DRAWINGS FOR FIXTURE SPECIFICATIONS.

K. ANY FIXTURES LOCATED IN AREAS WITH REMAINING HISTORIC TIN CEILINGS SHOULD BE CENTERED ON THE CEILING TILES, RATHER THAN PERFECTLY CENTERED IN THE SPACE. ADJUST THE GRID PLACEMENT/DIMENSIONS BY A FEW INCHES AS REQUIRED TO ACCOMMODATE THIS.

REFLECTED CEILING PLAN GRAPHIC KEY:

CH: 8'-0"	CEILING HEIGHT TAG (TYP 8'-0" U.N.O.)
---	SOFFIT/LOWERED GYP BD CEILING
///	AREA OF ATYPICAL FIRE-RATING. SEE PLANS & SHEET A0.01
WC	WATER CURTAIN HEAD TO PROVIDE 100% COVERAGE OF WINDOW. COORD W/ F.P PLANS
(NL)	DENOTES NIGHT LIGHT FIXTURE
(OS)	DENOTES OCCUPANCY SENSOR
SDI	COMBO SMOKE/CARBON MONOXIDE DETECTOR: IONIZATION (TYP BEDROOMS)
SDP	PHOTOELECTRIC
---	CENTER ON ARCHITECTURAL FEATURE
---	STRUCTURAL MEMBER - SEE STRUCTURAL DWGS



SCALE: 1/4" = 1'-0"

REFLECTIVE CEILING PLAN - ATTIC | 1

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Revisions

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CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
TB, AM

NOT FOR CONSTRUCTION

PROPOSED PROJECT:
RENOVATION FOR
1804 REPUBLIC
CINCINNATI, OH 45202
FINDLAY FLATS

Job No: 22042 08.30.2023

A1.25

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3.1 SLAB TO REMAIN. SCOPE & VERIFY FLOOR DRAINS CONNECT TO SEWER. REPAIR AS REQUIRED.
3.2 EXG OPENING TO BASEMENT TO BE CAPPED WITH CONCRETE AT GRADE. WALL TO BE INFILLED W/ CMU. SEE STRUCTURAL FOR INFILL AND CIVIL FOR CONCRETE FLATWORK ABOVE OPENING.

4. MASONRY
4.1 NEW OR EXPANDED OPENING IN EXG MASONRY WALL. PROVIDE NEW CAST STONE LINTEL AND SILL. SEE STRUCTURAL DWGS.

5. METALS
5.1 NEW CONTINUOUS STEEL PIPE HANDRAIL. SEE DETAILS.
5.2 NEW STEEL GUARDRAIL. SEE DETAILS.
5.3 NEW ALUM. BREEZEWAY GATE. SEE DOOR SCHEDULE.
5.4 EXG. FIRE ESCAPE TO REMAIN.

6. WOOD, PLASTICS, AND COMPOSITES
6.1 REPAIR DAMAGED TREADS &/OR RISERS OF WOOD STAIRS.
6.2 NEW FLOOR FRAMING (SEE STRUCT DWGS).
6.3 NOT USED
6.4 NEW BAKE TRIM & GUTTERBOARD TO MATCH EXISTING - SEE ELEVATIONS.
6.5 NEW WOOD FRAME BEARING WALL. SEE STRUCTURAL DRAWINGS.
6.6 EXG HISTORIC CORBEL AND TRIM TO BE CLEANED, PRIMED, AND REPAINTED.

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7.1 REPAIR AND RELINE EXG BOX GUTTER. NEW PRE-FINISHED ALUMINUM DOWNSPOUT. TIE INTO EXIST. STORM SYSTEM. NEW PVC AT LOWER 6' OF DOWNSPOUT. PAINT TO MATCH ADJACENT WALL.
7.2 NEW FULLY ADHERED MEMBRANE ROOF W/ CRICKETS WHERE REQUIRED FOR POSITIVE DRAINAGE AND W/TERMINATION BARS & METAL COUNTERFLASHING - SEE ROOF DETAILS. INSULATION PER SCHEDULE. B.O.D - 60 MIL WHITE TPO. FULLY ADHERED ROOF SYSTEM. 20 YEAR WARRANTY, BY CARLSLE SYNTec, CARLSLE, PA. OR EQUIVALENT.
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C. ABOVE W/D.
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A. SURFACE MOUNTED.
B. IN SINK CABINET IN RESIDENTIAL UNIT. TYPICAL.
10.6 RECESSED MEDICINE CABINET. SEE INT. ELEV.
10.7 PROVIDE DRAIN PAN BENEATH WASHING MACHINE/ WATER HEATER. SEE PLUMBING DWGS.
10.8 NOT USED.
10.9 SHOWER NICHE. SEE ENLARGED PLANS, INTERIOR ELEVATIONS AND DETAIL 1/A5.00
10.10 RECESSED KEY LOCK BOX - BASIS OF DESIGN KNOXBOX 3200. INSTALL PER MANUFPS INSTRUCTS. COORDINATE WITH FIRE DEPT.
10.11 FIRE ESCAPE ACCESS WINDOW.

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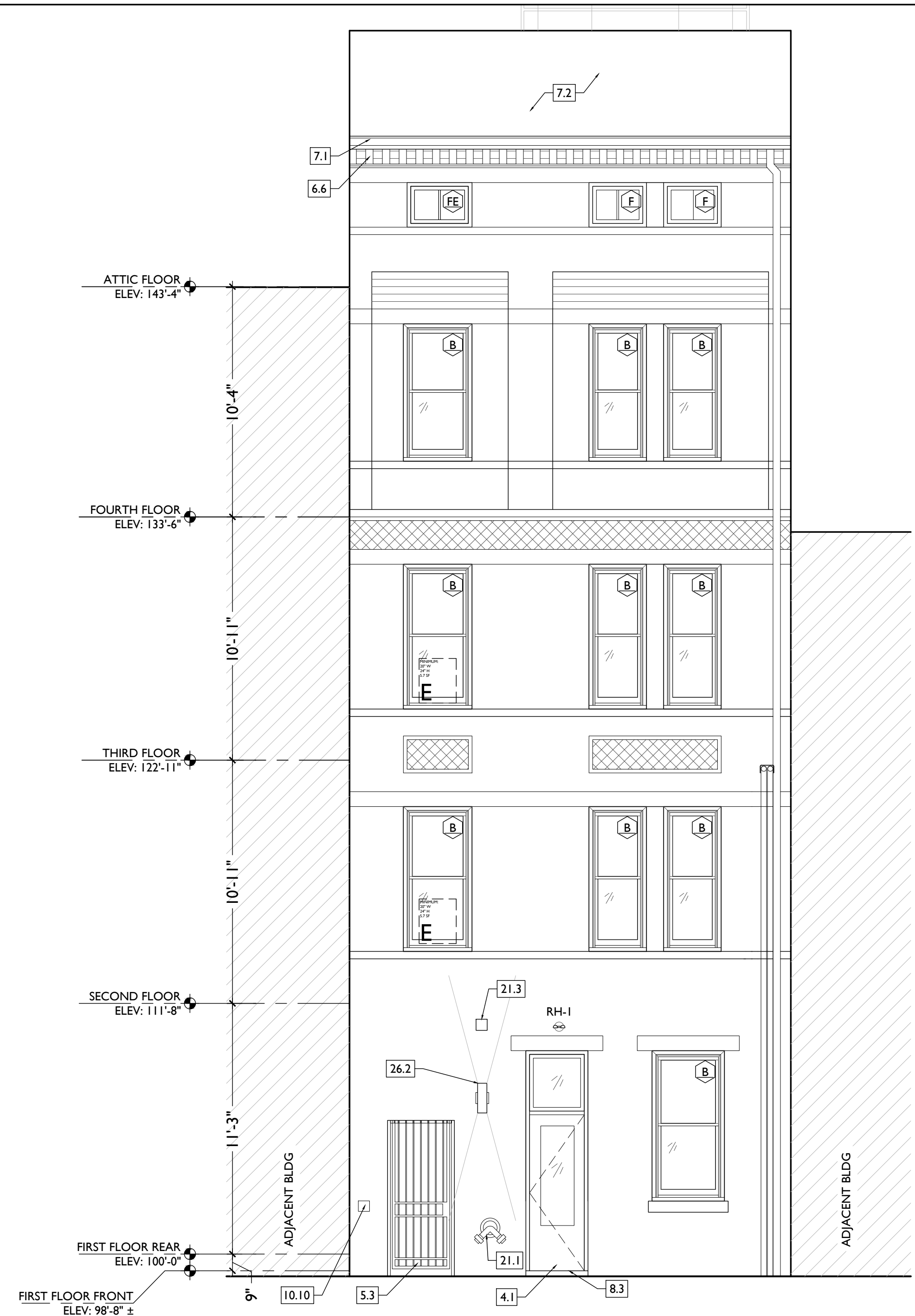
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NEW WORK GRAPHIC KEY:

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- EXISTING WALL
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Revisions

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Drawn by:
TB, AM

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A2.10

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PROPOSED ELEVATION - NORTH

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21.3 EXTERIOR TAMPER/FLOW NOTIFICATION DEVICE - COORDINATE WITH ELECTRICAL AND FIRE PROTECTION SYSTEMS

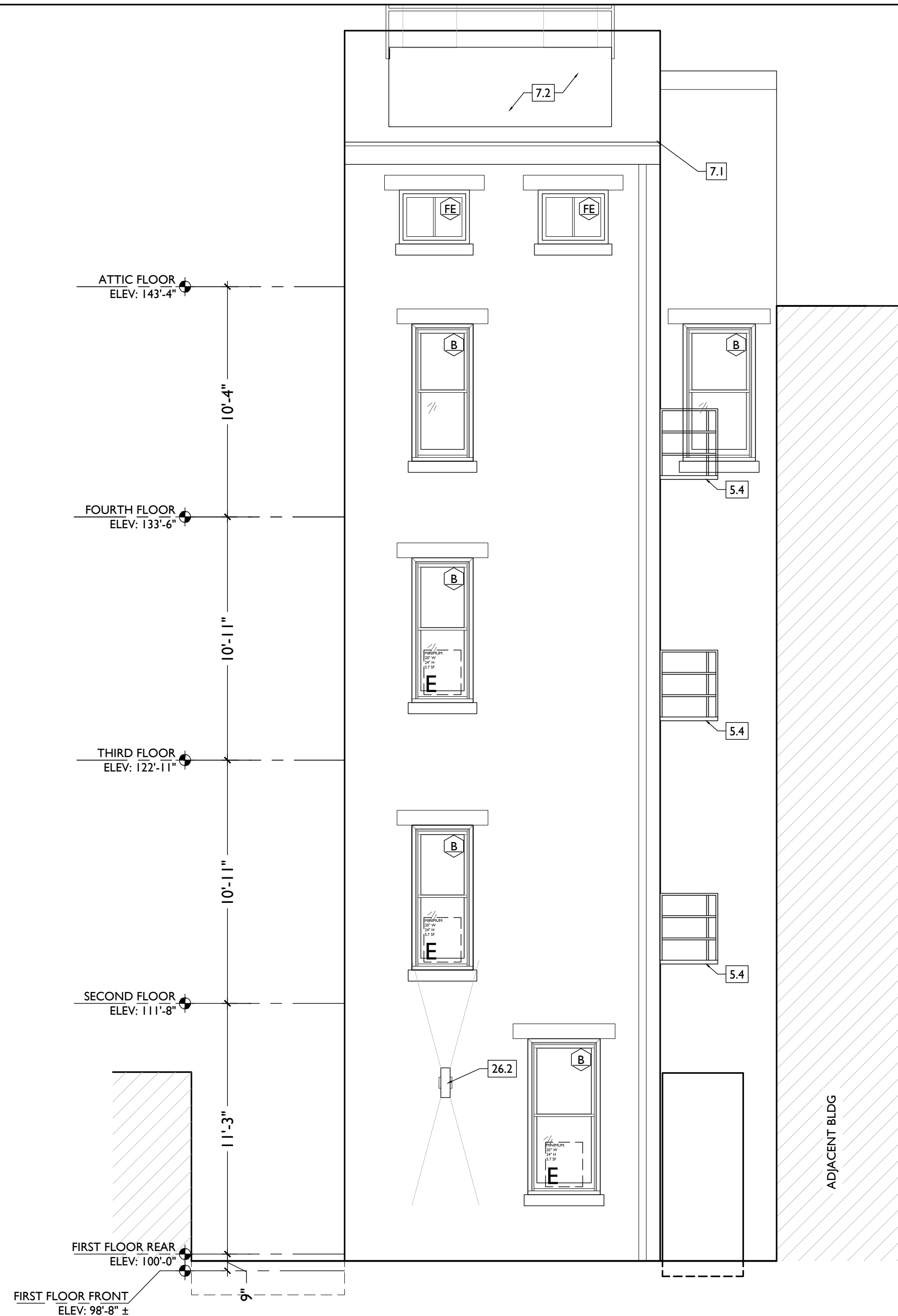
22. PLUMBING
22.1 PROVIDE RADON RISER, AS REQ'D BY OWNER'S CONSULTANT. RISER TO EXTEND FROM BASEMENT TO ATTIC. SEE CONSULTANT DESIGN FOR LOCATIONS OF RISERS. COORDINATE WITH PLUMBING.
22.2 PLUMBING CHASE (OR WALL) - VERIFY LOCATIONS IN FIELD TO ALIGN CONCEALMENT BETWEEN FLOORS.
22.3 HOSEBIB LOCATION. SEE PLUMBING.

23. HEATING, VENTILATING, AND AIR CONDITIONING
23.1 MECHANICAL UNIT(S) - HATCHED AREA SHOWS APPROXIMATE LOCATION OF NEW FIXED ROOF WALKWAY PADS. GUARDRAIL REQUIRED IF EQUIPMENT <10' FROM ROOF EDGE. PROVIDE OVER-FRAMED PLATFORM PER I/A5.00. SEE HVAC & STRUCTURAL DWGS.
23.2 NEW FIRE-RATED SHAFT FOR LINESETS, ABOVE. SEE 10-11/A6.02 AS REQ'D.
23.3 NEW EXHAUST / INTAKE VENT COVER. PAINT TO MATCH ADJACENT WALL SURFACE.

26. ELECTRICAL
26.1 ELECTRIC PANEL RECESSED IN WALL W/ 30"W X 36"D CLEAR IN FRONT. PAINT TO MATCH ADJACENT WALL W APPROPRIATE PAINT TYPE FOR PANEL.
26.2 NEW EXTERIOR LIGHTING. NO EXPOSED CONDUIT ON FACE OF BUILDING.
26.3 LOCATION OF ELEC. EQUIPMENT. SEE ELEC.

NEW WORK GRAPHIC KEY:

- PARTITION TYPE - SEE A6.00.
- KEYNOTE.
- EXISTING WALL
- NEW PARTITION WALL
- NEW MASONRY WALL
- OBJECT OVERHEAD.
- 1-HR FIRE RATING.
- 2-HR FIRE RATING.
- NEW FLOOR & FRAMING TO MATCH ADJ - SEE STRUCT DWGS.
- NEW GYP BD SOFFIT/ BULKHEAD/ DROPPED CLG - SEE RCPS.
- AREA OF ATYPICAL FIRE-RATED ASSEMBLY ABOVE. SEE A0.01 & A6.01.
- AREA OF TUCKPOINTING - SEE ELEV'S & STRUCT DWGS.
- DOOR TAG. SEE SCHEDULE / A6.10-13.
- WINDOW DESIGNATION. SEE A6.20-25.
- STOREFRONT DESIGNATION. SEE A6.13.
- EMERGENCY EGRESS EXIT.
- OPG CONTAINS SAFETY GLAZING.
- SINGLE HUNG OPG - UPPER SASH TO BE FIXED WITHIN 3'-0" OF EXHAUST.
- ELEVATION TAG.



NOT FOR CONSTRUCTION

Progress Dates
2023.04.28 - BID/PERMIT
2024.08.30 - BID SET 2

Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
TB, AM

PROPOSED PROJECT:
RENOVATION FOR
1804 REPUBLIC
CINCINNATI, OH 45202
FINDLAY FLATS

Job No: 22042 08.30.2023

A2.12

NEW WORK PLANS & ELEVATIONS [KEYED] NOTES:

THIS IS A HISTORIC TAX CREDIT PROJECT. ALL WORK MUST COMPLY W/ APPROVED PART 2, INCLUDING AMENDMENTS. THESE DOCUMENTS ARE PART OF THE PROJECT CONTRACT DOCUMENTS.

KEYED NOTES
KEYED NOTES ARE CATEGORIZED FOR ORGANIZATIONAL PURPOSES ONLY. NOTES MAY REQUIRE MATERIALS OR WORK IN CATEGORIES OTHER THAN WHERE THEY OCCUR. THE CONTRACTOR IS RESPONSIBLE FOR THE WORK DESCRIBED IN ALL APPLICABLE NOTES REGARDLESS OF THE CATEGORY IN WHICH THEY OCCUR.
ALL KEYED NOTES LISTED MAY NOT APPLY TO THIS SHEET.

3. CONCRETE
3.1 SLAB TO REMAIN. SCOPE & VERIFY FLOOR DRAINS CONNECT TO SEWER. REPAIR AS REQUIRED.
3.2 EXG OPENING TO BASEMENT TO BE CAPPED WITH CONCRETE AT GRADE. WALL TO BE INFILLED W/ CMU. SEE STRUCTURAL FOR INFILL AND CIVIL FOR CONCRETE FLATWORK ABOVE OPENING.

4. MASONRY
4.1 NEW OR EXPANDED OPENING IN EXG MASONRY WALL. PROVIDE NEW CAST STONE LINTEL AND SILL. SEE STRUCTURAL DWGS.

5. METALS
5.1 NEW CONTINUOUS STEEL PIPE HANDRAIL. SEE DETAILS.
5.2 NEW STEEL GUARDRAIL. SEE DETAILS.
5.3 NEW ALUM. BREEZEWAY GATE. SEE DOOR SCHEDULE.
5.4 EXG. FIRE ESCAPE TO REMAIN.

6. WOOD, PLASTICS, AND COMPOSITES
6.1 REPAIR DAMAGED TREADS &/OR RISERS OF WOOD STAIRS.
6.2 NEW FLOOR FRAMING (SEE STRUCT DWGS).
6.3 NOT USED
6.4 NEW RAKE TRIM & GUTTERBOARD TO MATCH EXISTING - SEE ELEVATIONS.
6.5 NEW WOOD FRAME BEARING WALL. SEE STRUCTURAL DRAWINGS.
6.6 EXG HISTORIC CORBEL AND TRIM TO BE CLEANED, PRIMED, AND REPAINTED.

7. THERMAL AND MOISTURE PROTECTION
7.1 REPAIR AND RELINE EXG BOX GUTTER. NEW PRE-FINISHED ALUMINUM DOWNSPOUT. TIE INTO EXIST. STORM SYSTEM. NEW PVC AT LOWER 6' OF DOWNSPOUT. PAINT TO MATCH ADJACENT WALL.
7.2 NEW FULLY ADHERED MEMBRANE ROOF W/ CRICKETS WHERE REQUIRED FOR POSITIVE DRAINAGE AND W/TERMINATION BARS & METAL COUNTERFLASHING - SEE ROOF DETAILS. INSULATION PER SCHEDULE. 8,0 D - 60 MIL WHITE TPO, FULLY ADHERED ROOF SYSTEM, 20 YEAR WARRANTY, BY CARLSISLE SYNTec, CARLSISLE, PA, OR EQUIVALENT.
7.3 NEW ROOF ACCESS HATCH. INSTALL PER MANUFS INSTRUCTS. BASIS OF DESIGN = BILCO E50TB, 36"x36".
7.4 NEW DARK BRONZE METAL CAP @ CHIMNEY. TYP @ CHIMNEYS.

8. OPENINGS
8.1 NOT USED
8.2 NOT USED
8.3 NEW EXTERIOR BUILDING ENTRY DOOR AND FRAME - SEE DOOR SCHEDULE.

9. FINISHES
9.1 FIRE-RATING TO BE CONTINUOUS BEHIND PLUMBING/CHASE/ FURRING WALL. FIRE RATING TO BE CONTINUOUS AT INTERSECTION W/ NON-RATED WALL.
9.2 SUPPORTING CONSTRUCTION TO BE RATED. SEE DETAILS 4 & 5 /A6.02.

10. SPECIALTIES
10.1 LOCKABLE & RECESSED MAILBOXES. BOXES TO MEET USPS-4C STANDARDS & ACCESSIBILITY REQUIREMENTS. PROVIDE CONT FIRE-RATING BEHIND MAILBOXES, WHEN REQ.
10.2 ENTRY SYSTEM CALLBOX 8,0 D. = "2N ACCESS CONTROL"
10.3 CLOSETS W/ BLOCKING AT RODS & BRACKETS. PROVIDE 12" MELAMINE SHELF & CLOTHES ROD @ 66" A.F.F.; TYP U.N.O.:
A. TYP. REACH-IN CLOSET
B. WALK-IN CLOSET.
C. ABOVE W/D.
10.4 PROVIDE "NO SMOKING" SIGN AT EXTERIOR WALL
10.5 FIRE EXTINGUISHER. COORDINATE FINAL LOCATION WITH LOCAL FIRE MARSHAL.

A. SURFACE MOUNTED.
B. IN SINK CABINET IN RESIDENTIAL UNIT. TYPICAL.
RECESSED MEDICINE CABINET. SEE INT. ELEVS.
10.6 PROVIDE DRAIN PAN BENEATH WASHING MACHINE/ WATER HEATER. SEE PLUMBING DWGS.
10.7 NOT USED.
10.8 SHOWER NICHE. SEE ENLARGED PLANS, INTERIOR ELEVATIONS AND DETAIL 1/A5.00
10.9 RECESSED KEY LOCK BOX - BASIS OF DESIGN KNOXBOX 3200. INSTALL PER MANUFS INSTRUCTS. COORDINATE WITH FIRE DEPT.
10.10 FIRE ESCAPE ACCESS WINDOW.

21. FIRE SUPPRESSION
21.1 APPROX LOCATION OF FDC CONNECTION - COORDINATE W/ FIRE DEPT.
21.2 PROPOSED SPRINKLER RISER LOCATION. COORDINATE WITH FIRE SUPPRESSION CONTRACTOR.
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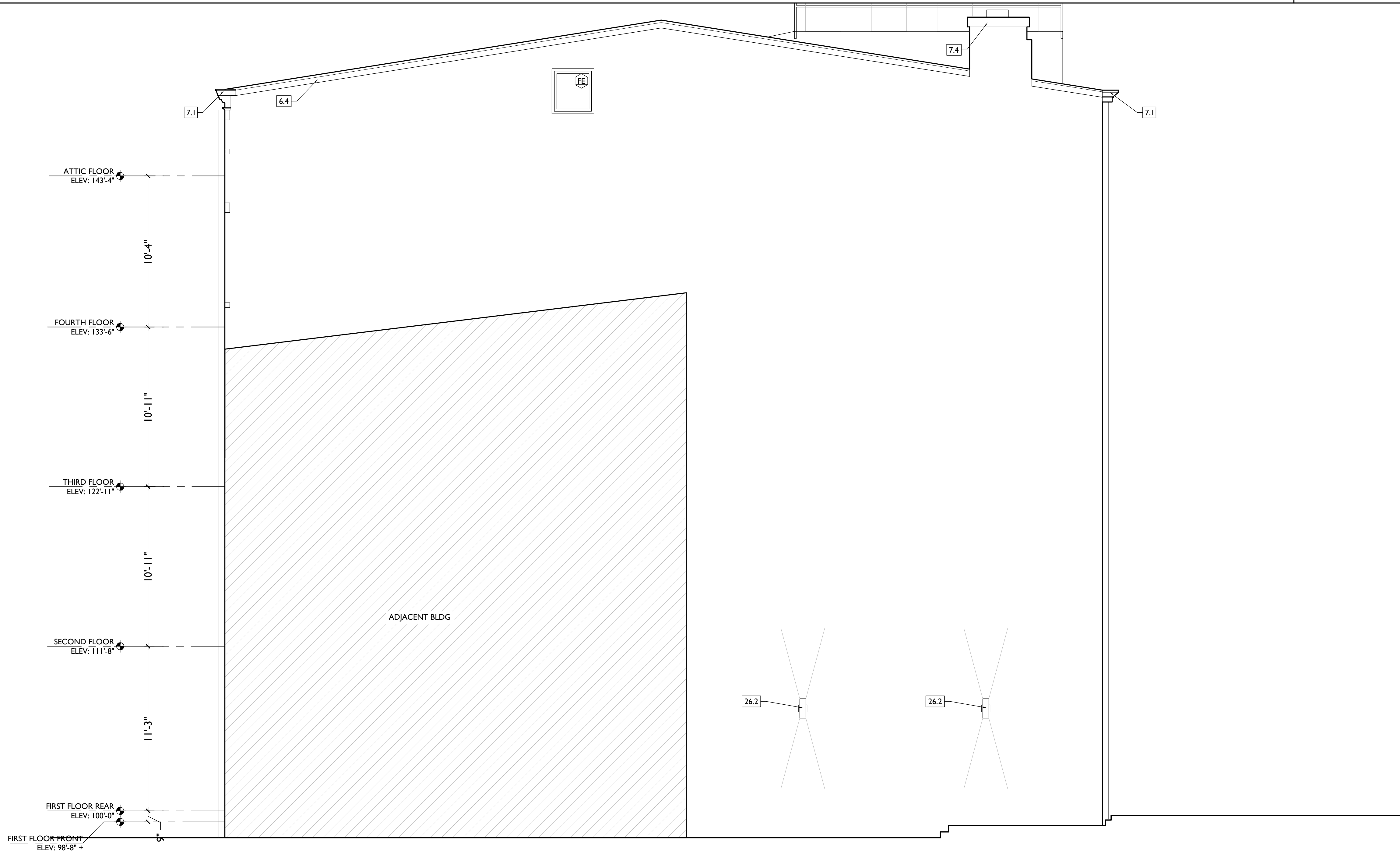
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- EMERGENCY EGRESS EXIT.
- OPG CONTAINS SAFETY GLAZING.
- SINGLE HUNG OPG - UPPER SASH TO BE FIXED WITHIN 3'-0" OF EXHAUST.
- "X-X" ELEVATION TAG.



Progress Dates
2023.04.28 - BID/PERMIT
2024.08.30 - BID SET 2

Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
TB, AM

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1804 REPUBLIC
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FINDLAY FLATS

Job No: 22042 08.30.2023

A2.13

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APPLIANCE/ EQUIPMENT SCHEDULE

Table with columns: ITEM/ LOCATION, CODE, DESCRIPTION, FINISH, NOTES. Lists various appliances like microwaves, ovens, dishwashers, refrigerators, washers, and dryers with their specifications and installation notes.

TYPICAL UNIT FINISHES SCHEDULE

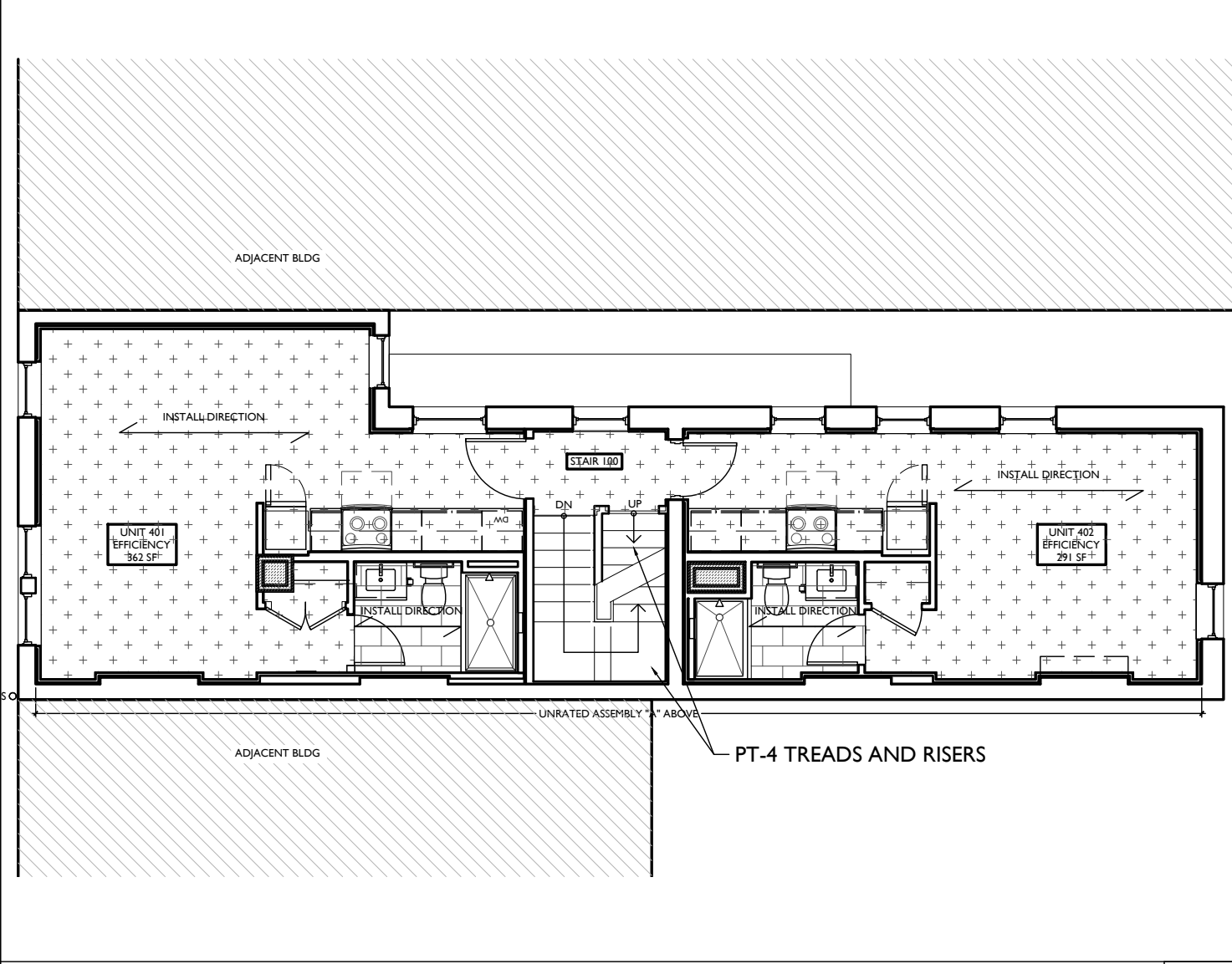
Table with columns: MATERIAL / LOCATION, CODE, DESCRIPTION, NOTES, SOURCE. Details finishes for flooring, wall tile, wall base, and paint, including materials like wood, tile, and various paint products.

Table with columns: CODE, ITEM, MANUFACTURER & PRODUCT #, MOUNTING HEIGHT, REMARKS. Lists bathroom equipment such as grab bars, diaper change stations, medicine cabinets, paper towel dispensers, toilet tissue dispensers, towel hooks, robe hooks, mirrors, toilet partitions, and shower curtain rods.

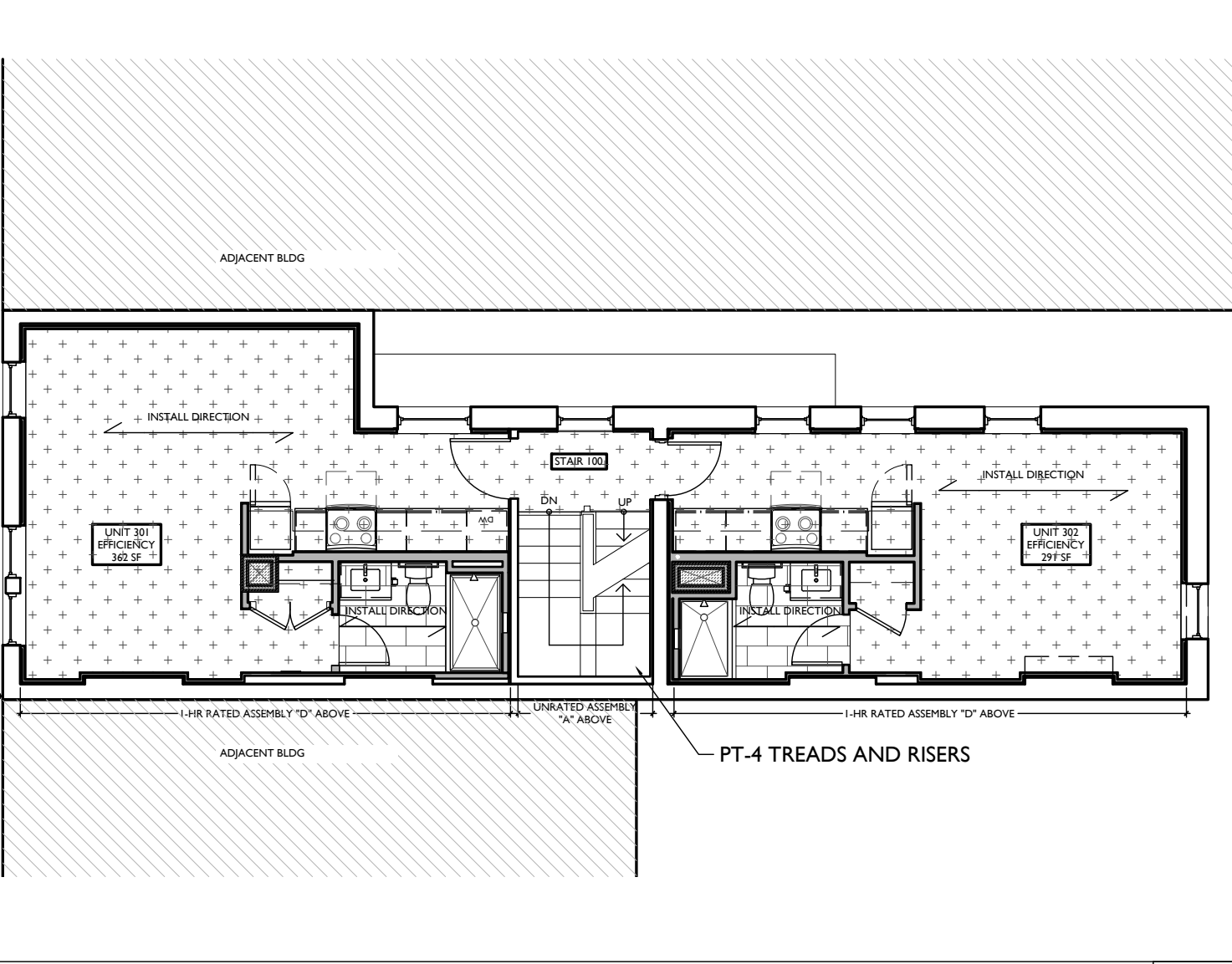
BATHROOM EQUIPMENT SCHEDULE

Table with columns: CODE, ITEM, MANUFACTURER & PRODUCT #, MOUNTING HEIGHT, REMARKS. Lists bathroom equipment such as grab bars, diaper change stations, medicine cabinets, paper towel dispensers, toilet tissue dispensers, towel hooks, robe hooks, mirrors, toilet partitions, and shower curtain rods.

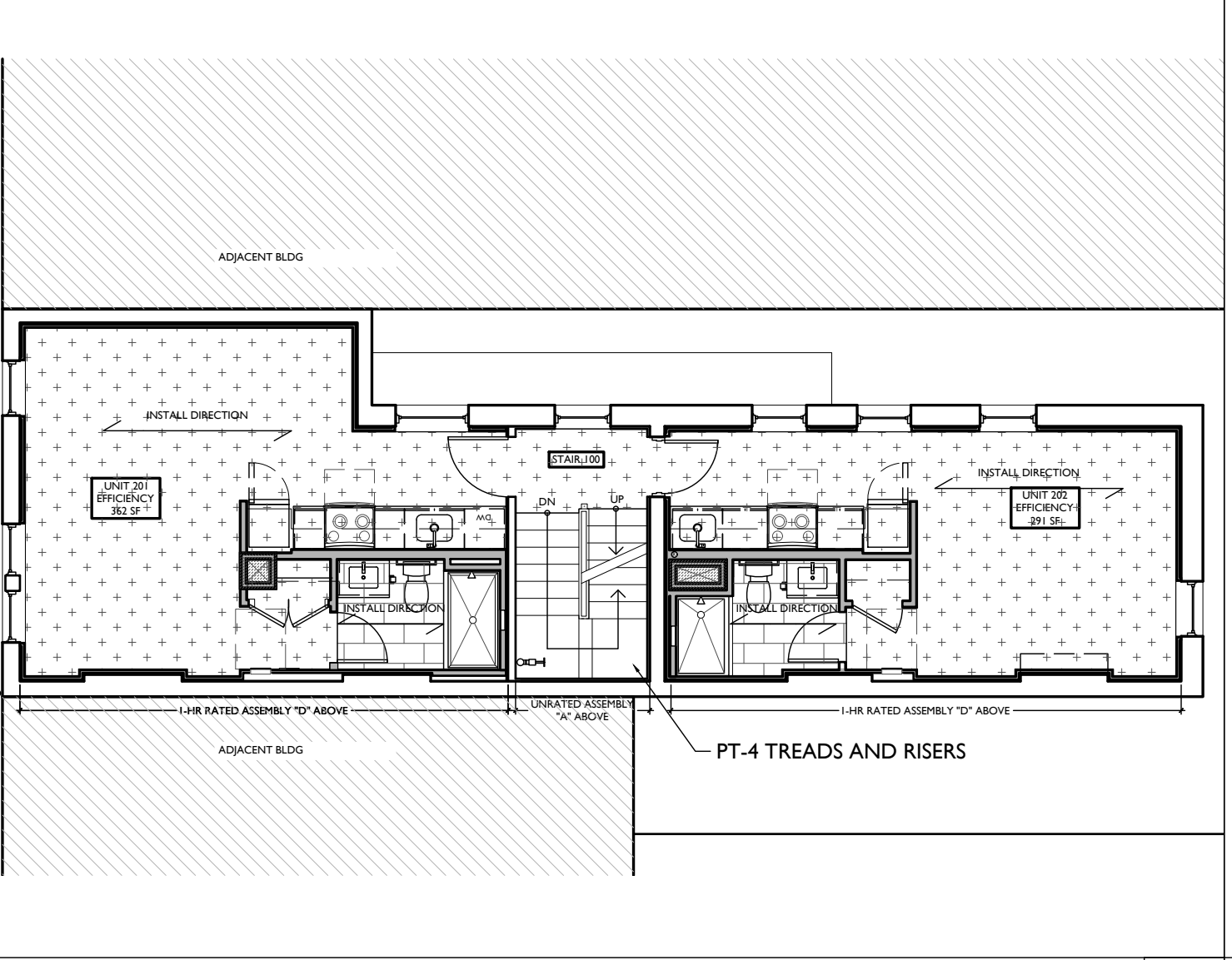
FLOOR GENERAL NOTES and FLOOR FINISH LEGEND. Includes numbered notes on existing conditions and transition types, and a legend with color-coded boxes for different floor finishes like EXG HISTORIC FINISH FLOORS TO REMAIN, NEW WOOD FLOORS, RESTROOMS, and RESIDENTIAL LAUNDRY/MECH ROOMS.



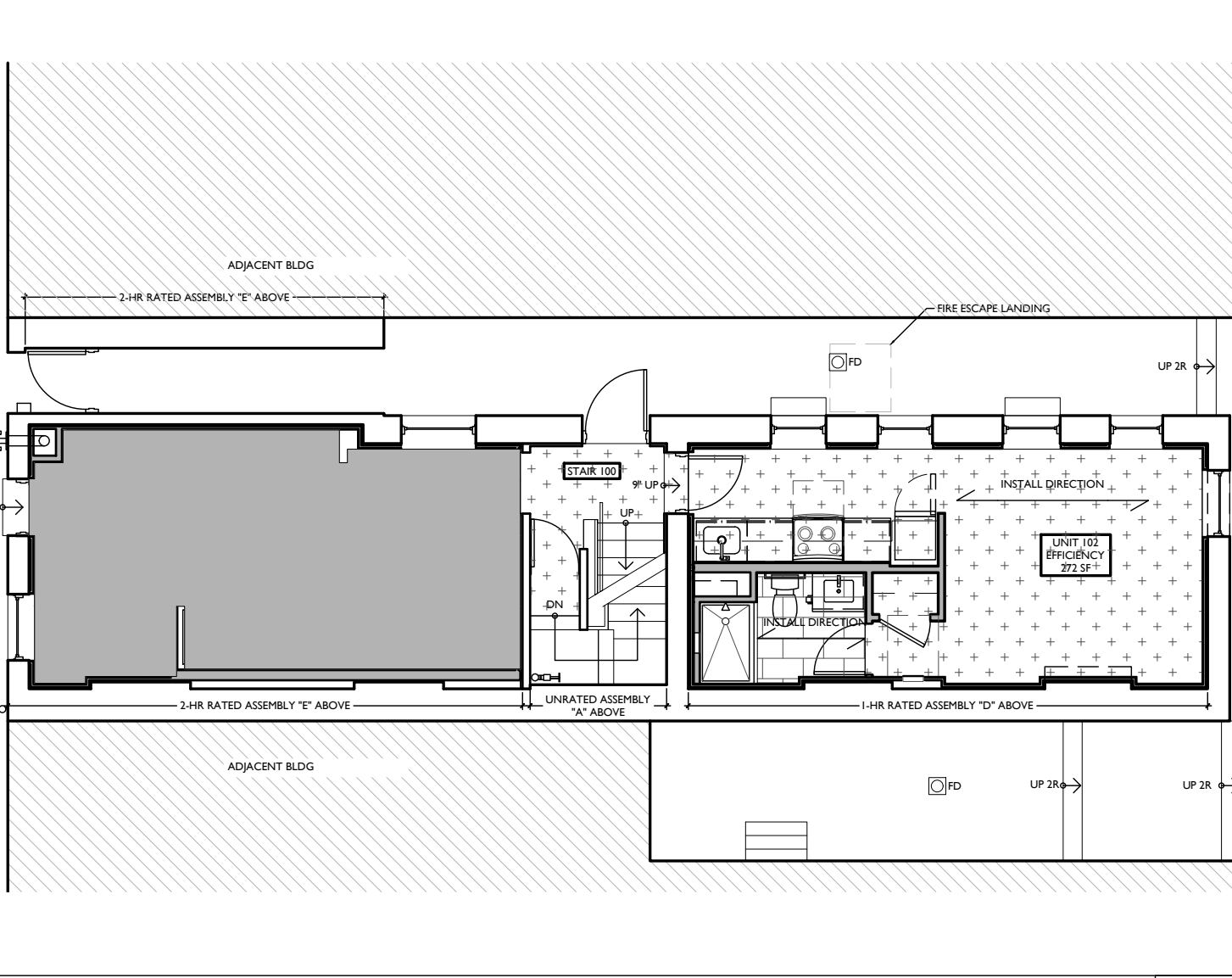
SCALE: 1/8" = 1'-0" FOURTH FLOOR 4



SCALE: 1/8" = 1'-0" THIRD FLOOR 3



SCALE: 1/8" = 1'-0" SECOND FLOOR 2



SCALE: 1/8" = 1'-0" FIRST FLOOR 1

FINISH FLOOR PLANS

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Progress Dates: 2023.04.28 - BID/PERMIT, 2024.08.30 - BID SET 2. Revisions: Design Team: CO, JK, MR, MR, RK, RO, SO, TB. Drawn by: TB, AM.

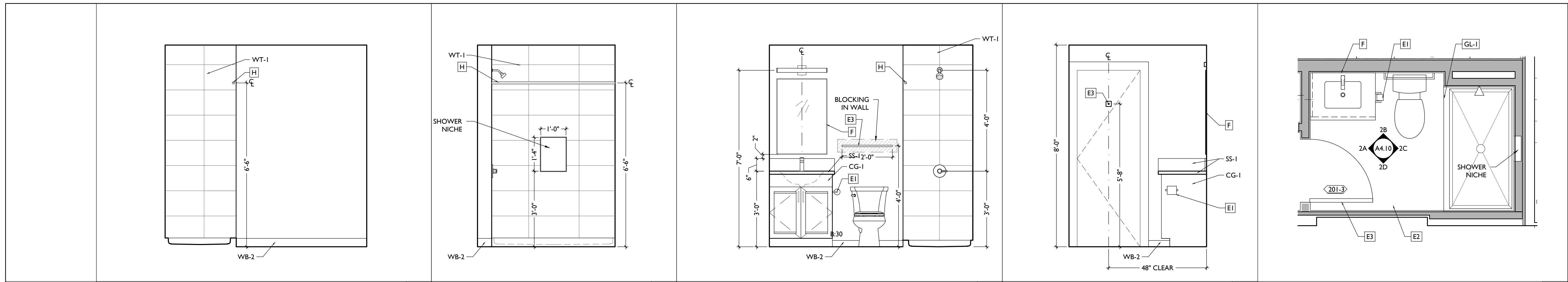
PROPOSED PROJECT: RENOVATION FOR 1804 REPUBLIC CINCINNATI, OH 45202 FINDLAY FLATS

Job No: 22042 08.30.2023

A4.00

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SCALE: 1/2" = 1'-0" INTERIOR ELEVATION 2D

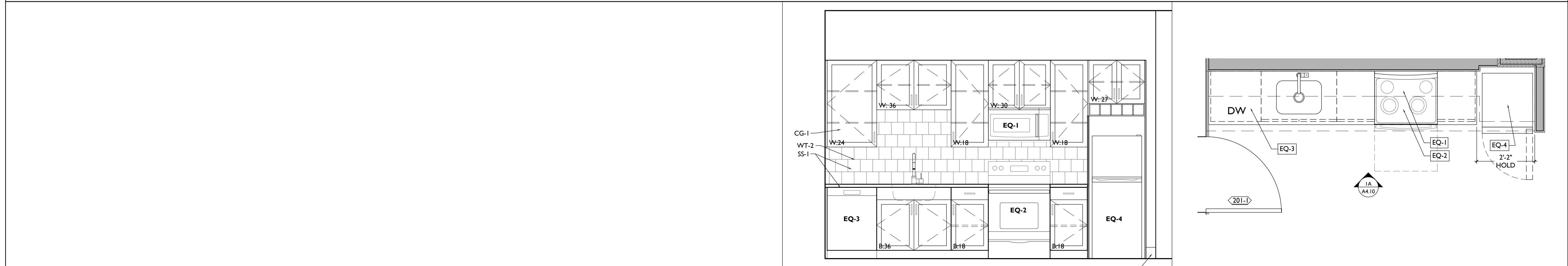
SCALE: 1/2" = 1'-0" INTERIOR ELEVATION 2C

SCALE: 1/2" = 1'-0" INTERIOR ELEVATION 2B

SCALE: 1/2" = 1'-0" INTERIOR ELEVATION 2A

SCALE: 1/2" = 1'-0" ENLARGED PLAN 2

UNIT 201, 301, 401 BATHROOM - ENLARGED PLANS & INT ELEVATIONS



SCALE: 1/2" = 1'-0" INTERIOR ELEVATION 1A

SCALE: 1/2" = 1'-0" ENLARGED PLAN 1

201, 301, 401 KITCHEN - ENLARGED PLANS & INT ELEVATIONS

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PROPOSED PROJECT:
**RENOVATION FOR
 1804 REPUBLIC**
 CINCINNATI, OH 45202
 FINDLAY FLATS

Job No: 22042 08.30.2023

A4.10

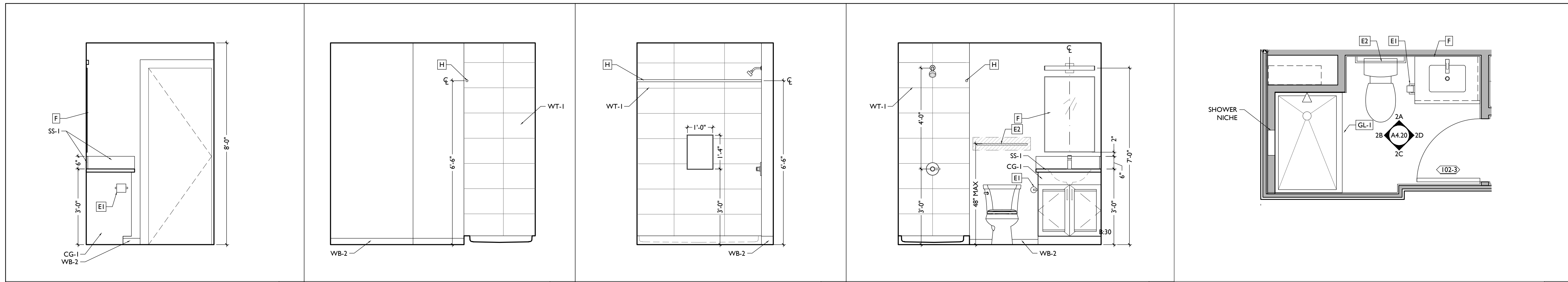
Progress Dates
 2023.04.28 - BID/PERMIT
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Revisions

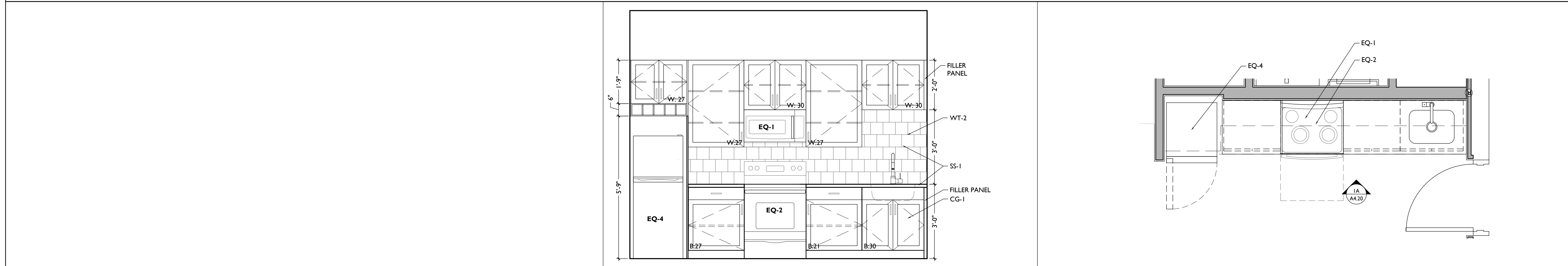
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SCALE: 1/2" = 1'-0" INTERIOR ELEVATION 2D SCALE: 1/2" = 1'-0" INTERIOR ELEVATION 2C SCALE: 1/2" = 1'-0" INTERIOR ELEVATION 2B SCALE: 1/2" = 1'-0" INTERIOR ELEVATION 2A SCALE: 1/2" = 1'-0" ENLARGED PLAN 2
UNIT 102, 202, 302, 402 BATHROOM - ENLARGED PLANS & INT ELEVATIONS



SCALE: 1/2" = 1'-0" INTERIOR ELEVATION IA SCALE: 1/2" = 1'-0" ENLARGED PLAN I
UNIT 102, 202, 302, 402 KITCHEN - ENLARGED PLANS & INT ELEVATIONS

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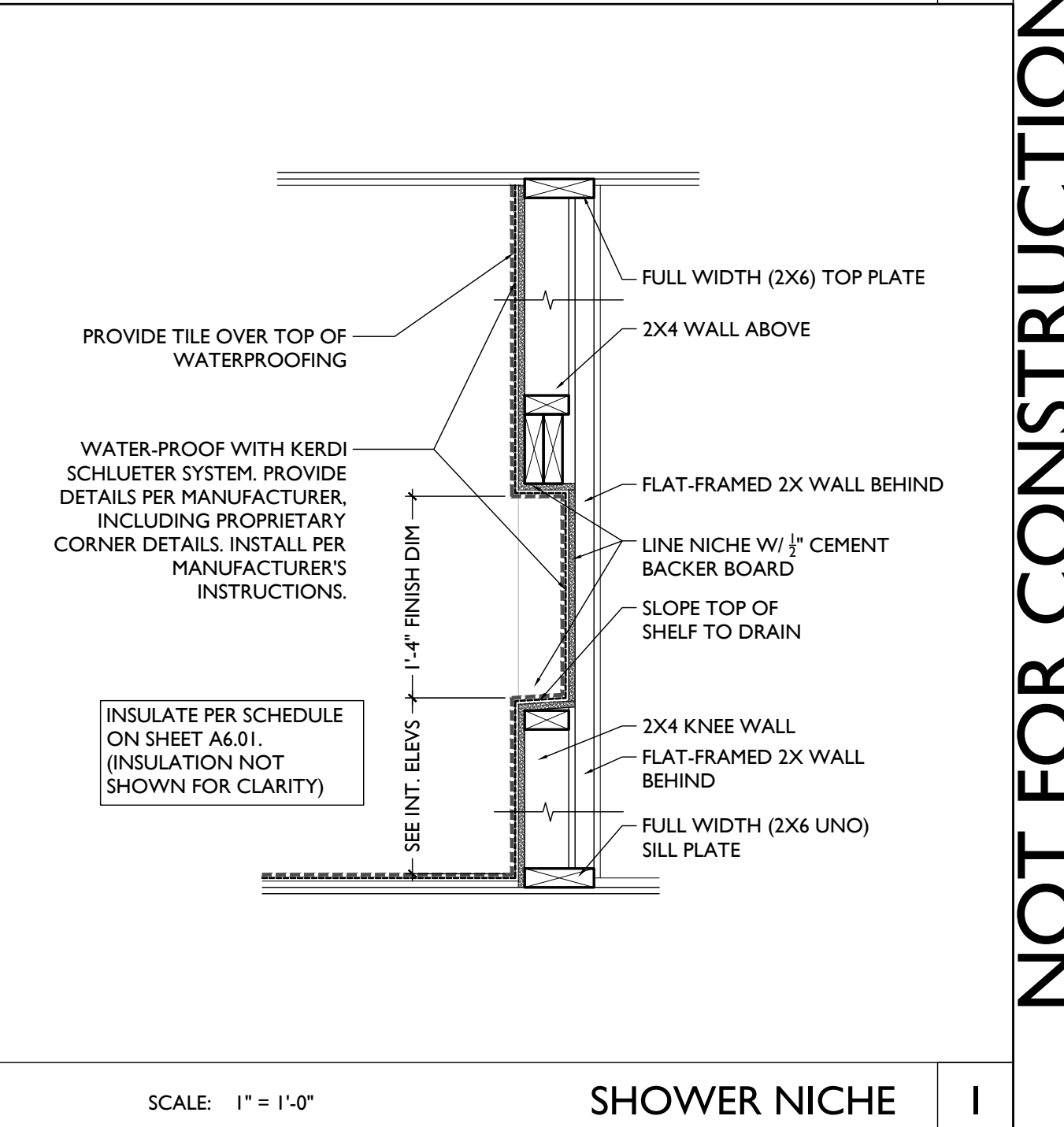
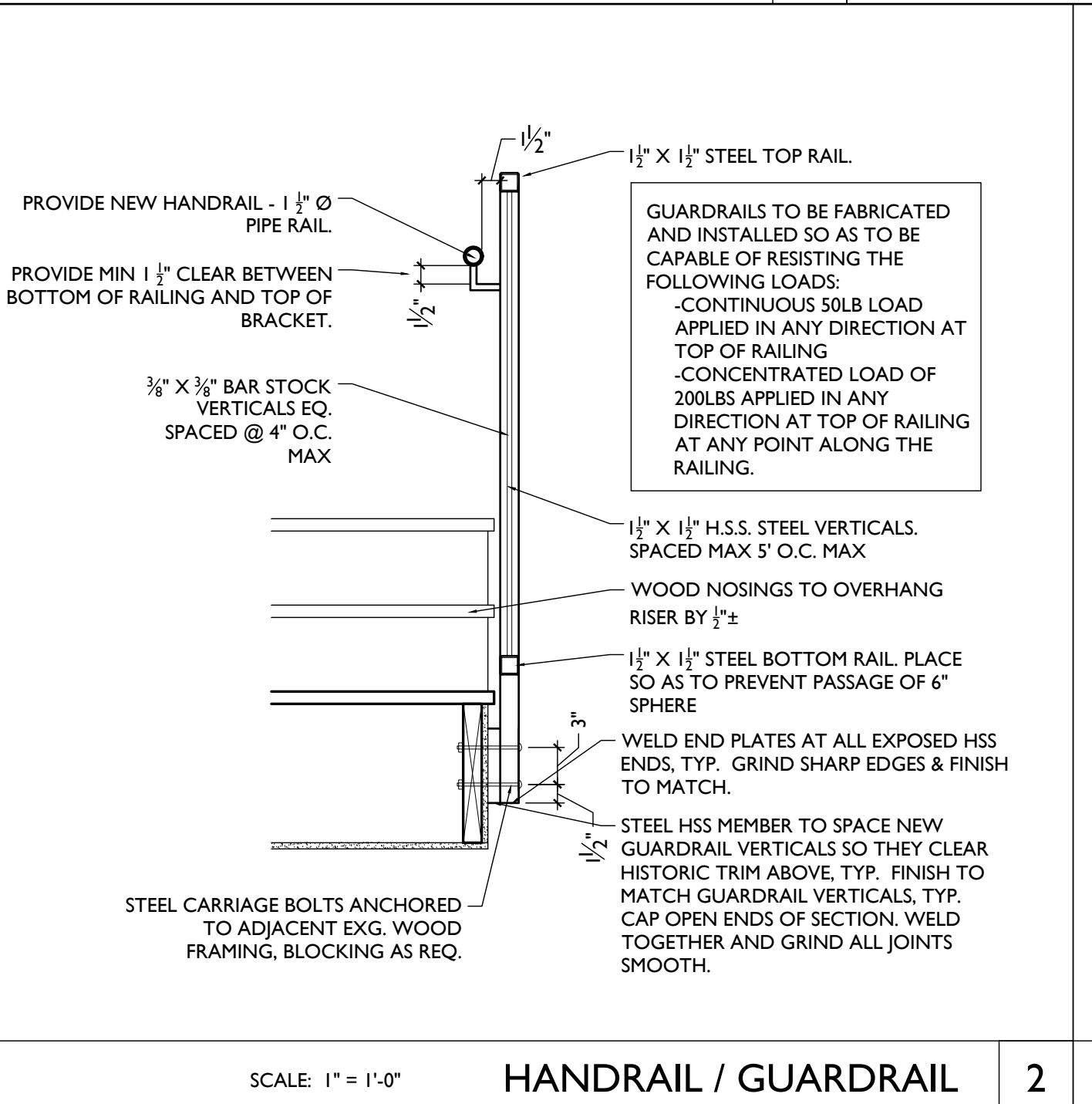
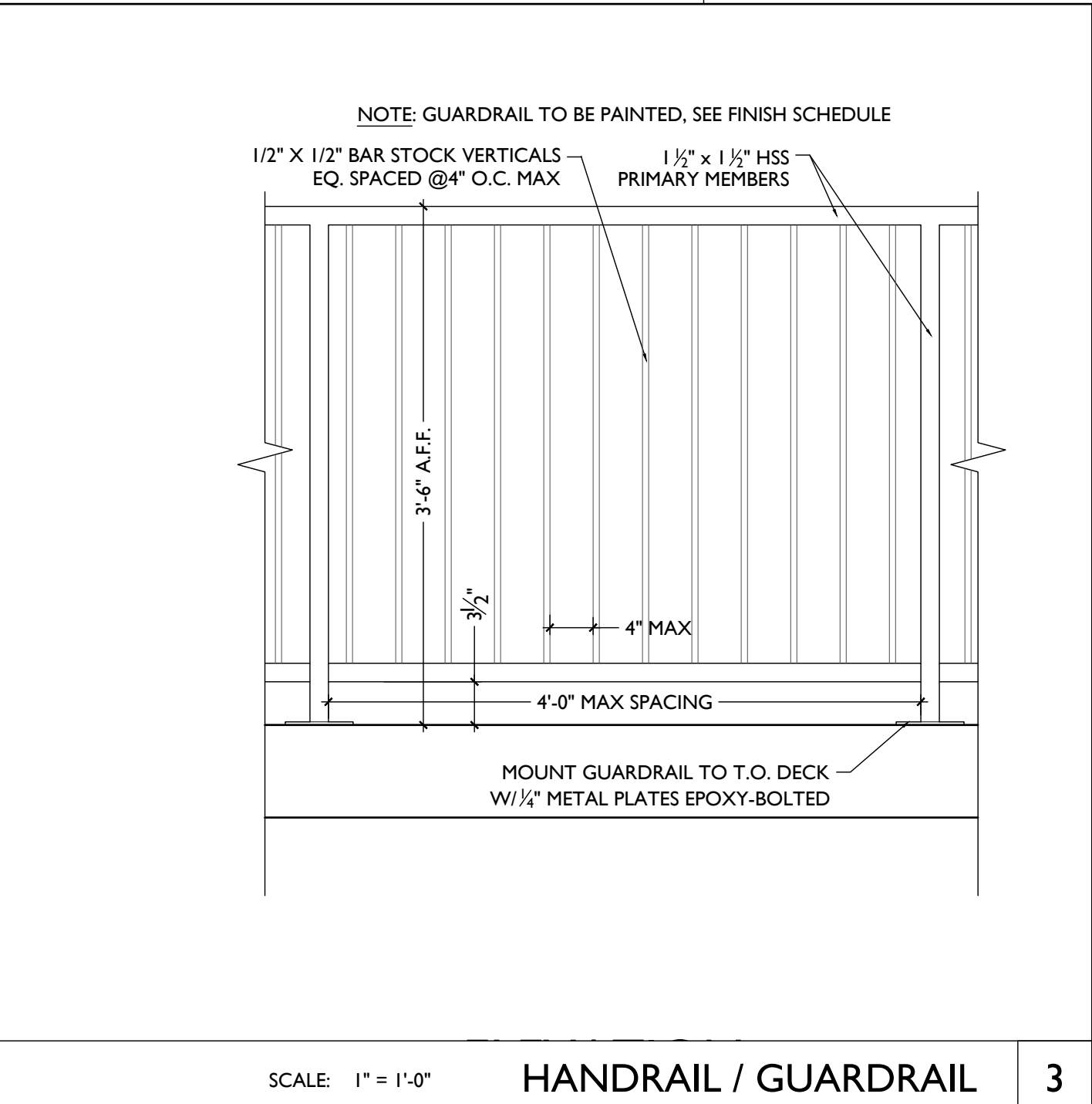
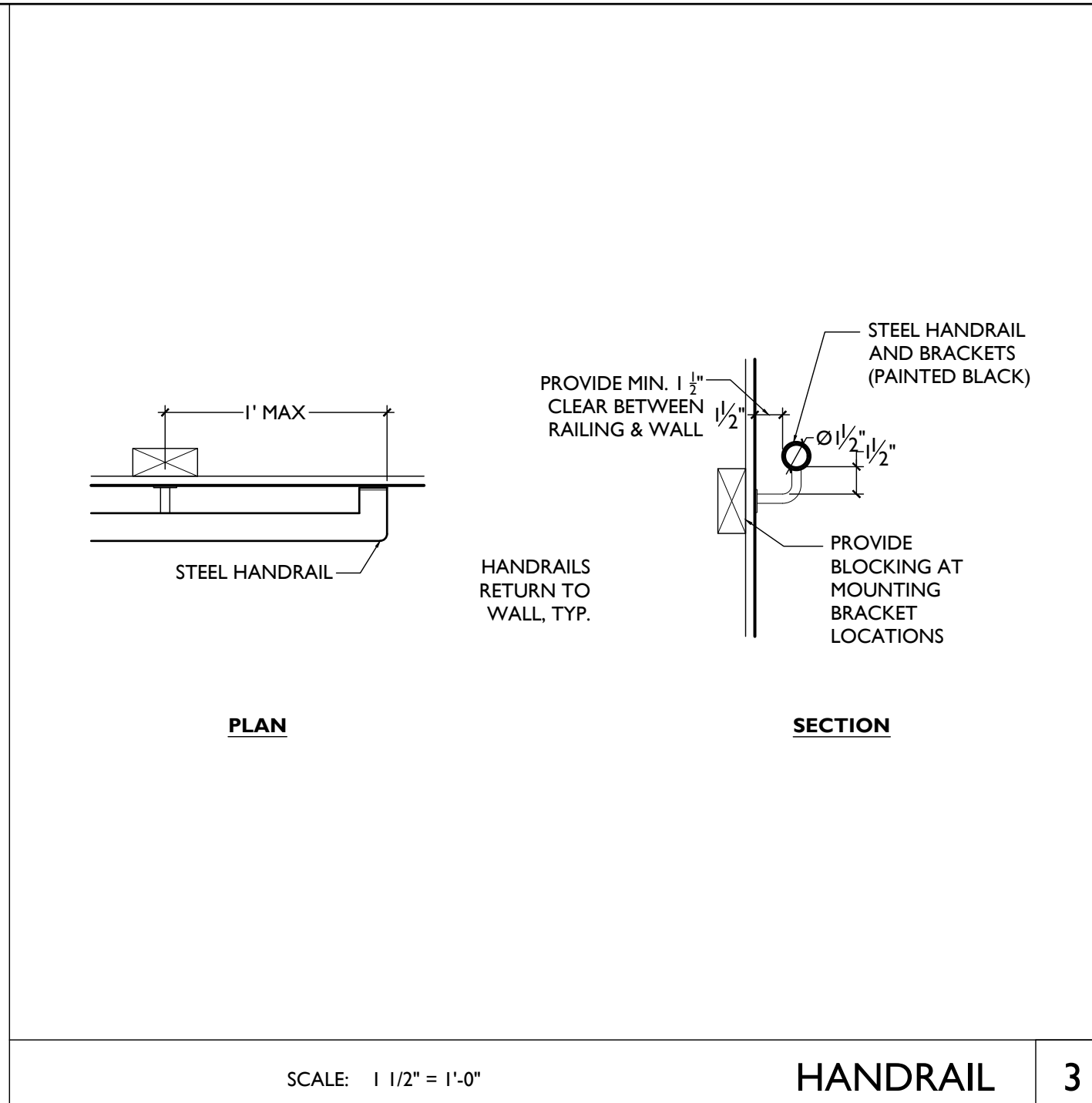
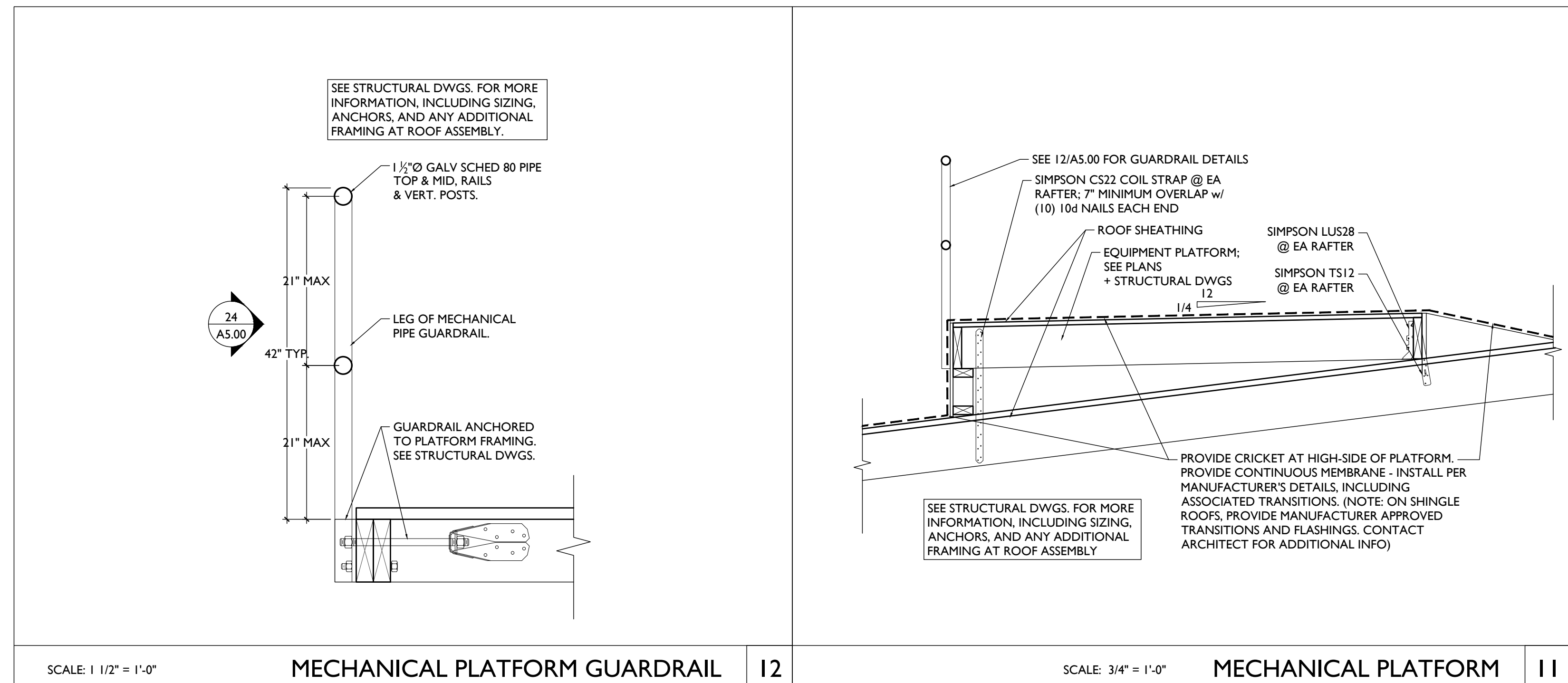
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A5.00

WALL ASSEMBLIES/ PARTITION TYPES

KEYED NOTES:

- FINISHED FLOOR - SEE FINISH SCHEDULE
- SCHEDULED BASE - SEE FINISH SCHEDULE
- WOOD WALL FRAMING
 - 2X4 WALL FRAMING @ 16" O.C.
 - 2X6 WALL FRAMING @ 16" O.C.
 - EXG. FRAMED WALL
- MASONRY WALL
 - EXISTING MASONRY WALL (SEAL WHERE EXPOSED)
 - 8" CMU
 - 6" CMU
 - BRICK VENEER
- METAL WALL FRAMING (NEW OR EXG)
 - 1 5/8" METAL STUD FURRING @ 16" O.C.
 - 3 5/8" METAL STUD @ 16" O.C.
 - 6" METAL STUD @ 16" O.C.
 - 7/8" HAT CHANNEL @ 16" O.C.
- GYPSUM BOARD
 - EXG. GYP/PLASTER
 - 1/2"
 - 5/8" GYP.
 - 5/8" TYPE X
 - 1" NOMINAL GYP. LINER
 - 1/2" TYPE
- AIR GAPS AS REQUIRED PER ASSEMBLY TYPE
- INSULATION PER SCHEDULE
- RESILIENT CHANNELS
 - 1/2" METAL CHANNELS @ 24" O.C. RUN HORIZONTAL
 - 3/8" METAL CHANNELS @ 16" O.C. RUN HORIZONTAL
- EXG. WALL
- J-TRACK
- C-H STUD
 - 2 1/2" C-H @ 24" O.C.
 - 4" C-H @ 24" O.C.
- FLR/CLG FRAMING
 - RATED ASSEMBLY TO BE CONTINUOUS TO RATED PARTITION OR WALL. REFER TO FLR/CLG ASSEMBLIES AND RATING DIAGRAMS FOR DTLS
 - EXTEND RATED ASSEMBLY TO UNDERSIDE OF FLOOR SHEATHING ABOVE
 - WALL STRUCTURE TO BE INDEPENDENT OF AND CONTINUE THROUGH FLR/CLG ASSEMBLY. SEE STRUCTURAL FOR FRAMING OF FLR/CLG ASSEMBLY. SEE FLR/CLG ASSEMBLIES AND RATING DIAGRAMS FOR FLR/CLG ASSEMBLY DTLS.
 - FRAMING TO BEAR ON FLOOR OF EQUAL RATING. SEE FLR/CLG ASSEMBLIES AND RATING DIAGRAMS.
 - SEE FLR/CLG ASSEMBLIES AND RATING DIAGRAMS FOR HORIZONTAL ASSEMBLY DTLS
- HARDIE BOARD SIDING
- 1/2" OSB SHEATHING WITH INTEGRAL AIR/MOISTURE BARRIER
- EXG WALL - CONTRACTOR TO VERIFY
 - BRICK VENEER
 - AIR CAVITY
 - AIR/MOISTURE BARRIER
 - 1/2" APA RATED GYPSUM SHEATHING
 - 2X6 FRTW STUD FRAMING
 - 5/8" TYPE X MAT GYPSUM SHEATHING
 - HARDIE BOARD SIDING
 - 1/2" APA RATED GYPSUM SHEATHING WITH INTEGRAL AIR/MOISTURE BARRIER
 - 2X6 FRTW STUD FRAMING
 - 5/8" TYPE X MAT GYPSUM SHEATHING
 - WEATHER-RESISTANT BARRIER
 - 3-COAT STUCCO SYSTEM

GENERAL NOTES

- A. CONTRACTOR TO ASSUME WALLS NOT CALLED OUT WITH WALLTAG ARE TO BE WALLTYPE 1.

TYPICAL INTERIOR PARTITION WALL 1	TYPICAL PLUMBING WET WALL 2	FURRING AT EXG WALLS 3	PLUMBING FURRING AT EXG WALLS 4	CHASE WALL 5	CHASE WALL 6
N/A GYP/UL # NON RATED RATING	N/A GYP/UL # NON RATED RATING	N/A GYP/UL # NON RATED RATING	N/A GYP/UL # NON RATED RATING	N/A GYP/UL # NON RATED RATING	N/A GYP/UL # NON RATED RATING
NOTES: -PROVIDE PT. SILL PLATE IN BASEMENT	NOTES: - PROVIDE MOISTURE RESISTANT DRYWALL ON BATHROOM/KITCHEN SIDE -PROVIDE PT. SILL PLATE IN BASEMENT	NOTES: - PROVIDE MOISTURE RESISTANT DRYWALL ON BATHROOM/KITCHEN SIDE -PROVIDE PT. SILL PLATE IN BASEMENT	UL #: NOTES: - PROVIDE MOISTURE RESISTANT DRYWALL ON BATHROOM/KITCHEN SIDE -PROVIDE PT. SILL PLATE IN BASEMENT	UL #: NOTES: - PROVIDE MOISTURE RESISTANT DRYWALL ON BATHROOM/KITCHEN SIDE -PROVIDE PT. SILL PLATE IN BASEMENT	NOTES: - PROVIDE MOISTURE RESISTANT DRYWALL ON BATHROOM/KITCHEN SIDE -PROVIDE PT. SILL PLATE IN BASEMENT
EXG. 1HR RATED BARRIER 7	EXG. 2HR RATED BARRIER 8	NEW 1HR RATED BARRIER 9	NEW 2HR RATED BARRIER 10	NEW 1HR SHAFTWALL 11	NEW 2HR SHAFTWALL 12
PERSCRPTIVE_FIRE BARRIER GYP/UL # 1-HR RATING	PERSCRPTIVE_FIRE BARRIER GYP/UL # 2-HR RATING	U309 - FIRE BARRIER GYP/UL # 1-HR RATING	U301 - FIRE BARRIER GYP/UL # 2-HR RATING	U419 A- FIRE BARRIER GYP/UL # 1-HR RATING	U415 B- FIRE BARRIER GYP/UL # 2-HR RATING
FIRE RATING = 50 MIN EXG (20 MIN STUD (16" O.C.) + 30 MIN EXG FINISH (5/8" EXG PLASTER) + 40 MIN NEW (5/8" TYPE X GYP BD) = 90 MIN TOTAL FIRE RATING	FIRE RATING = 50 MIN EXG (20 MIN STUD (16" O.C.) + 30 MIN EXG FINISH (5/8" EXG PLASTER) + 80 MIN NEW (2 LAYERS TYPE X GYP BD @ 40 MIN EA) = 120 MIN TOTAL FIRE RATING - BA - ADD 1/2" RESILIENT CHANNELS 1 SIDE	TYPICAL AT STAIRS	TYPICAL AT STAIRS - 10A - NO RESILIENT CHANNELS		

NOTE: SEE TABLES 721.1(2) AND 722.6 FOR PRESCRIPTIVE FIRE RATINGS. PER 721.1(2) EXCEPTION "E", PLASTER MAY BE SUBSTITUTED FOR GYPSUM WALLBOARD PROVIDED IT IS THE SAME SIZE/THICKNESS/CORE TYPE.

INSULATION SCHEDULE

LOCATION	TYPE	R-VALUE	NOTES
MECHANICAL CLOSET WALLS	SOUND ATTENUATION BATT	-	FILL STUD CAVITY
BATHROOM WALLS	SOUND ATTENUATION BATT	-	FILL STUD CAVITY
PLUMBING CHASE WALLS	FIBERGLASS BATTS STAPLED TO STUDS	R-13 MIN.	CONTINUOUS PIPE INSULATION AT ALL PLUMBING LINES
BETWEEN OFFICE TENANT SPACES	SOUND ATTENUATION BATT	-	FILL CAVITY
BETWEEN DWELLING UNITS	SOUND ATTENUATION BATT	-	FILL CAVITY
FURRING AT EXTERIOR WALLS	SPRAY-APPLIED CELLULOSE	-	FILL CAVITY
STAIR HALL ENCLOSURE WALLS	SOUND ATTENUATION BATTS	-	FILL CAVITY & COORD W/ FIRE-RATING & UL ASSEMBLY
STAIR HALL ENCLOSURE WALLS AT UNCONDITIONED ATTIC	BLOWN-IN CELLULOSE OR FIBERGLASS BATTS	R-19 MIN.	FILL CAVITY
CLG BETWEEN ATTIC FLOOR AND OCCUPIED UNIT BELOW	BLOWN-IN CELLULOSE OR FIBERGLASS BATTS	R-38	INSULATION BETWEEN JOISTS
CEILING BETWEEN BASEMENT/RESIDENTIAL	CLOSED CELL SPRAY FOAM	R-30	COORD W/ UL ASSEMBLY & FIRE RATING
ATTIC CEILING	NONE REQ	---	REQ INSULATION PROVIDED @ ATTIC FLOOR
CEILING OF OCCUPIED ATTIC	CLOSED CELL SPRAY FOAM	R-38	
CEILING B/W BREEZEWAY/OCCUPIED SPACE	FIBERGLASS BATTS	R-30 MIN.	FILL CAVITY & COORD W/ FIRE-RATING & UL ASSEMBLY
CEILING B/W TWO SEPARATE OCCUPIED RESIDENCES	SOUND ATTENUATION BATT	6" MIN SOUND BATT	COORD W/ UL ASSEMBLY & FIRE RATING
CEILING B/W FLOORS OF SAME RESIDENCE	SOUND ATTENUATION BATTS	6" MIN SOUND BATT	

NOTES: COORDINATE ALL W/ FIRE RATING & U.L. ASSEMBLY.

2017 OHIO BUILDING CODE
721 PRESCRIPTIVE FIRE RESISTANCE - TABLE 720.1 (2) RATED FIRE-RESISTANCE FOR WALLS

MATERIAL	ITEM NUMBER	MIN. EQUIV. THICKNESS / RATING
1. CLAY OR SHALE BRICK; SOLID BRICK	1-1.1	4.9" 3.8" 2.7"
2. CONCRETE MASONRY UNIT	3-1.2	4.4" 3.6" 2.6"

EXG. MASONRY WALL 13	NEW 1HR RATED UNIT SEPERATION 14	FURRING AT EXG WALLS 15	NEW 1HR RATED BREEZEWAY WALL 16
PERSCRPTIVE - FIRE BARRIER GYP/UL # 2-HR RATING	U309 - FIRE PARTITIONS GYP/UL # 1-HR RATING	N/A GYP/UL # NON RATED RATING	U305 - FIRE BARRIER GYP/UL # 1-HR RATING
FIRE RATING = 3.8" MIN EXG. SOLID BRICK = 2HR MIN	TYPICAL UNIT SEPERATION/CORRIDOR WALLS	NOTES: - PROVIDE MOISTURE RESISTANT DRYWALL ON BATHROOM/KITCHEN SIDE -PROVIDE PT. SILL PLATE IN BASEMENT	NOTES:
EXG. BRICK VENEER WALL W/ STUD BACKUP 17	NEW BRICK VENEER WALL W/ STUD BACKUP 18	EXG. STUD WALL W/ SIDING 19	NEW STUD WALL W/ SIDING 20
U302 - FIRE BARRIER GYP/UL# 2-HR RATING	U302 - FIRE BARRIER GYP/UL# 2-HR RATING	U301 - FIRE BARRIER GYP/UL# 2-HR RATING	U301 - FIRE BARRIER GYP/UL# 2-HR RATING
CONTRACTOR TO VERIFY EXG CONDITIONS	USE SALVAGED HISTORIC BRICK.	CONTRACTOR TO VERIFY EXG CONDITIONS.	PROVIDE P.T. SILL PLATE IN BASEMENT AND ON CONCRETE SLABS.
			NEW 2HR CMU WALL 21
			TABLE 721.1(2) OBC# 2-HR RATING

SCALE: 1" = 1'-0"

ASSEMBLY TYPES

Progress Dates
2023.04.28 - BID/PERMIT
2024.08.30 - BID SET 2

Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
TB, AM

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TYPICAL FLOOR/CEILING/SHAFT ASSEMBLIES
(LABELED ON PLANS AND SECTION DIAGRAM ON SHEET A0.01)

FLR/CLG ASSEMBLY A		FLR/CLG ASSEMBLY B		1-HR FLR/CLG MEMBRANE C		1-HR FLR/CLG DWELLING SEPERATION D		2 HR FLR/CLG CORRIDOR/USE GROUP SEP. E	
N/A GYP/UL # NON RATED RATING		N/A GYP/UL # NON RATED RATING		GA-FC-5406 GYP/UL # 1-HR RATING		UL#LS14 GYP/UL # 1-HR RATING		UL#LS05 -OR- LS11 GYP/UL # 2-HR RATING	
NOTES: PROVIDE MOISTURE RESISTANT DRYWALL IN BASEMENTS		NOTES: PROVIDE MOISTURE RESISTANT DRYWALL IN BASEMENTS		NOTES: -PROTECTION PROVIDED FROM UNDERSIDE -PROVIDE MOISTURE RESISTANT DRYWALL IN BASEMENTS		NOTES: PROVIDE MOISTURE RESISTANT DRYWALL IN BASEMENTS + EXTERIOR SOFFIT BOARD EXTERIOR APPLICATIONS		NOTES: PROVIDE MOISTURE RESISTANT DRYWALL IN BASEMENTS + EXTERIOR SOFFIT BOARD IN EXTERIOR APPLICATIONS	
2-HR FLR/CLG MEMBRANE F		FLR/CLG ASSEMBLY G		1-HR FLR/CLG MEMBRANE H		2-HR FLR/CLG MEMBRANE J			
GA-FC-5725 GYP/UL # 2-HR RATING		GYP/UL # NON RATED RATING		UL #LS14 GYP/UL # 1-HR RATING		UL #LS05 -OR- LS11 GYP/UL # 2-HR RATING			
NOTES: -PROVIDES PROTECTION FROM UNDERSIDE -PROVIDE MOISTURE RESISTANT DRYWALL IN BASEMENTS				NOTES: - PROVIDE MOISTURE RESISTANT DRYWALL IN BASEMENTS + EXTERIOR SOFFIT BOARD IN EXTERIOR APPLICATIONS - IF INDICATED IN PLAN KEYNOTES, REINSTALL HISTORIC TIN CEILING AT UNDERSIDE OF ASSEMBLY		NOTES: - PROVIDE MOISTURE RESISTANT DRYWALL IN BASEMENTS + EXTERIOR SOFFIT BOARD IN EXTERIOR APPLICATIONS - IF INDICATED IN PLAN KEYNOTES, REINSTALL HISTORIC TIN CEILING AT UNDERSIDE OF ASSEMBLY			

TYPICAL ROOF ASSEMBLIES
(LABELED ON PLANS AND SECTION DIAGRAM ON SHEET A0.01)

INSULATED MEMBRANE ROOF M1		UNINSULATED MEMBRANE ROOF M2		OUTBOARD INSULATED MEMBRANE ROOF M3		INSULATED METAL ROOF MT1		UNSATULATED METAL ROOF MT2	
N/A GYP/UL # RATING		N/A GYP/UL # RATING		N/A GYP/UL # RATING		N/A GYP/UL # RATING		N/A GYP/UL # RATING	
NOTES: - USED WHERE TOP FLOOR IS OCCUPIED		NOTES: - USED WHERE ATTIC/INTERSTITIAL SPACE IS UNOCCUPIED - INSULATION TO BE PROVIDE AT CLG OF OCCUPIED SPACE BELOW		NOTES: - USED WHERE TOP FLOOR IS OCCUPIED		NOTES: - USED WHERE TOP FLOOR IS OCCUPIED		NOTES: - USED WHERE TOP FLOOR IS OCCUPIED	
UNINSULATED SHINGLE ROOF S1		INSULATED SHINGLE ROOF S2							
N/A GYP/UL # RATING		N/A GYP/UL # RATING							
		NOTES: - USED WHERE TOP FLOOR IS OCCUPIED. - COORDINATE W/ INSULATION SCHEDULE							

SCALE: 1/12" = 1'-0" ASSEMBLY TYPES

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HARDWARE SCHEDULE

HDWR	M	DESCRIPTION
EXTERIOR DOORS / GATES		
G01	BREEZEWAY GATE	ENTRY LOCKSET • OUTSIDE KEY LOCK (LOCKED FROM OUTSIDE) • LEVER HANDLES • INSIDE ALWAYS UNLOCKED. MEETS EMERGENCY EGRESS REQUIREMENT. • ELECTRONIC ACCESS CONTROL (INTERCOM OR KEY FOB) • ELECTRIC STRIKE • (3) HINGES • (1) CLOSER • WALL FLOOR STOP
EXISTING DOORS TO REMAIN		
H01	EXISTING TO REMAIN	EXISTING HARDWARE SET TO REMAIN
NEW COMMERCIAL DOORS		
H02	EXTERIOR COMMERCIAL DOOR (TYPICAL)	ENTRY LOCKSET • OUTSIDE KEY LOCK (LOCKED FROM OUTSIDE) • LEVER HANDLES • INSIDE KEY LOCK W/ SINGLE ACTION LEVER RELEASE MECHANISM RELEASES DEADBOLT WHEN INTERIOR HANDLE IS TURNED. MEETS EMERGENCY EGRESS REQUIREMENT. • (3) HINGES • (1) CLOSER • WALL FLOOR STOP • WEATHER SEALS
H06	DOOR TO BASEMENT/MECHANICAL CLOSET	STORAGE LOCKSET • RATED HARDWARE WHERE REQUIRED • OUTSIDE KEY LOCK, INSIDE ALWAYS UNLOCKED • ACCESSIBLE BY LANDLORD ONLY • (3) HINGES • WALL FLOOR STOP
NEW COMMON RESIDENTIAL DOORS		
H09	FIXED DOOR	• FIX DOOR CLOSED • BLANK ESCUTCHEON PLATE ON EXPOSED SIDE • PROVIDE WEATHER STRIPPING WHERE DOOR IS EXPOSED TO THE EXTERIOR.
H10	DOOR FROM STAIR/CORRIDOR TO EXTERIOR	EGRESS LOCKSET W/ ELECTRONIC ACCESS CONTROL • OUTSIDE ALWAYS LOCKED, INSIDE ALWAYS UNLOCKED • LEVER HANDLES • ELECTRONIC ACCESS CONTROL (INTERCOM OR KEY FOB) • ELECTRIC STRIKE • 1 LOCKSET • 1-1/2 PAIR HINGES • (1) CLOSER • WALL FLOOR STOP • WEATHER SEALS
H10AB	DOOR FROM STAIR/CORRIDOR TO ATTIC	STORAGE LOCKSET • RATED HARDWARE • OUTSIDE KEY LOCK, INSIDE ALWAYS UNLOCKED • (3) HINGES • (1) CLOSER • SMOKE SEAL • WALL FLOOR STOP
NEW PRIVATE RESIDENTIAL DOORS		
HR01	RESIDENTIAL UNIT ENTRY DOOR	ENTRY LOCKSET • RATED HARDWARE • 1 LOCKSET • THUMB TURN DEADBOLT. • (3) HINGES • (1) SPRING CLOSER • WIDE ANGLE VIEWER • WALL FLOOR STOP • SMOKE SEAL • DOOR SWEEP • RUBBER THRESHOLD (LOW PROFILE)
HR01A	RESIDENTIAL UNIT ENTRY DOOR (EXTERIOR)	ENTRY LOCKSET • 1 LOCKSET • THUMB TURN DEADBOLT. • (3) HINGES • (1) SPRING CLOSER • WIDE ANGLE VIEWER • WALL FLOOR STOP • WEATHER SEALS • DOOR SWEEP • RUBBER THRESHOLD (LOW PROFILE)
HR02	TYPICAL BEDROOM AND BATHROOM	PRIVACY LOCKSET • (1) LOCKSET • (3) HINGES • WALL FLOOR STOP • WOOD T T THRESHOLD
HR03	DOOR TO MECHANICAL CLOSET	STORAGE LOCKSET • OUTSIDE KEY LOCK, INSIDE ALWAYS UNLOCKED • ACCESSIBLE BY LANDLORD ONLY • (3) HINGES • WALL FLOOR STOP • WOOD T T THRESHOLD
HR04	SINGLE DOOR TO CLOSET/STORAGE/LAUNDRY/ BEDROOM EGRESS	PASSAGE LOCKSET • (3) HINGES • WALL FLOOR STOP
HR04A	DOUBLE SWINGING DOOR TO CLOSET/STORAGE	CLOSET PULLS • DUPPLY LEVER HANDLES • BALL CATCHES • 3 PAIR HINGES

GENERAL HARDWARE NOTES:

- ALL HARDWARE TO BE OPERABLE IN THE DIRECTION OF EGRESS ALWAYS WITHOUT KNOWLEDGE, KEY OR TIGHT PINCHING OR GRASPING THE DEVICE.
- ALL HARDWARE TO BE SATIN CHROME, STAINLESS STEEL AND POWDER COAT TO MATCH. EXIT DEVICES, EXTERIOR HINGES, KICK PLATES TO BE US32D, INTERIOR HINGES, LOCKSETS, WALL STOPS US26D, DOOR CLOSERS TO BE POWDER COAT TO MATCH.
- ALL HARDWARE TO BE AS SPECIFIED OR APPROVED EQUAL.
 - A. LOCKSETS ARE BASED ON BEST CYLINDRICAL GRADE I (MORTISE LOCK FOR TOILETS WITH INDICATOR). COORDINATE KEYING REQUIREMENTS WITH OWNER. APPROVED MANUFACTURERS: BEST (PK3 SERIES), SCHLAGE (ND SERIES), SARGENT (10 LINE), KEY SYSTEM - PROVIDE MASTER SYSTEM (KEY INTO OWNER'S EXISTING SHALL FORMAT KEY SYSTEM), 3 MASTER KEYS, 3 CHANGE KEYS PER CYLINDER.
 - B. EXIT DEVICES ARE BASED ON PRECISION 2100 SERIES GRADE I. APPROVED MANUFACTURERS: PRECISION (2100 SERIES), VON DUPRIN (99 SERIES).
 - C. DOOR CLOSERS ARE BASED ON DORMA 8900 SERIES GRADE I. PROVIDE WITH FULL COVER. APPROVED MANUFACTURERS: DORMA (8900 SERIES), LCN (4040XP SERIES).
- HINGES:
 - A. HINGE SIZE, DOORS UP TO 3 FEET WIDE 4-1/2" X 4-1/2"; DOORS WIDER THAN 3 FEET TO BE 5" X 4-1/2".
 - B. HINGE QUANTITY - 3 HINGES PER DOOR LEAF FOR DOORS UP TO 76". PROVIDE 4 HINGES FOR DOORS TALLER THAN 76".
- COORDINATE KEYING REQUIREMENTS WITH OWNER.
- COORDINATE ELECTRONIC ACCESS CONTROL REQUIREMENTS WITH OWNER

CALL OUT LEGENDS

DOOR FINISHES (ALSO SEE A4.00 AND A8.00-8.01)	
FF	DOOR TO BE FACTORY FINISHED AS PART OF NEW STOREFRONT SYSTEM. SEE STOREFRONT TYPES ON A6.12.
PT	AT EXTERIOR DOORS: SEE EXTERIOR PAINT SCHEDULE ON A8.00-A8.01. AT INTERIOR DOORS: SEE FINISH SCHEDULE ON A4.00.
WL	WOOD LOOK
ST	STAINED

FRAME TYPES (ALSO SEE A6.11)	
F1	HISTORIC FRAME/TRIM TO REMAIN - REPAIR/REPLICATE MISSING PIECES AS REQ
F2	NEW METAL FRAME - SEE DTLS 1-5/A6.11 AND TYPICAL TRIM DTLS A6.11
F3	NEW METAL FRAME - SEE DTLS 1-5/A6.11 - TRIM TO MATCH EXG ADJ, HISTORIC TRIM
F4	NEW WOOD FRAME - SEE DTLS 7-8/A6.11 AND TYPICAL DOOR TRIM DTLS A6.11
F5	NEW WOOD FRAME - SEE DTLS 7-8/A6.11 - TRIM TO MATCH EXG ADJ, HISTORIC TRIM
SF	PART OF STOREFRONT SYSTEM - SEE A6.12

NOTE: FRAMES TO BE PAINTED, UNO. SEE FINISH SCHEDULE AND EXTERIOR PAINT SCHEDULE FOR MORE INFORMATION.

TRANSOM TYPES	
TR1	NEW HOLLOW METAL FRAMED TRANSOM
TR2	HISTORIC TRANSOM TRIM & GLAZING TO REMAIN. REPAIR/REPLICATE MISSING PIECES AS REQ
TR3	NEW WOOD TRANSOM TRIM TO MATCH EXG ADJACENT HISTORIC TRIM OF DOOR - WITH NEW TEMPERED GLAZING
TR4	HISTORIC TRANSOM TRIM TO REMAIN. REPAIR/REPLICATE MISSING PIECES AS REQ'D. INSTALL NEW CLEAR GLAZING
SF	NEW TRANSOM TO BE PART OF STOREFRONT SYSTEM. SEE STOREFRONT TYPES.
GA	NEW TRANSOM TO BE PART OF METAL BREEZEWAY GATE. SEE A6.11

SCHEDULE NOTES

- EXISTING HISTORIC OPENING:
 - I.A. EXISTING HISTORIC DOOR (& TRANSOM, IF APPLICABLE) TO REMAIN IN SITU. REPAIR AS REQ. CONTRACTOR TO PROVIDE ALLOWANCE FOR DOOR REPAIR FOR ALL EXG. DOORS TO REMAIN.
 - I.B. EXISTING HISTORIC DOOR IS TO BE FIXED IN PLACE. SEE PLANS.
 - I.C. OPENING TO HAVE RELOCATED HISTORIC DOOR. SEE EXISTING PLANS FOR PREVIOUS LOCATION AND NEW WORK PLANS FOR NEW LOCATION.
 - I.D. OPENING TO HAVE RELOCATED HISTORIC FRAME/TRIM. SEE EXISTING PLANS FOR PREVIOUS LOCATION AND NEW WORK PLANS FOR NEW LOCATION.
 - I.E. NEW OPERABLE DOOR IN HISTORIC OPENING.
 - I.F. HISTORIC POCKET DOORS TO BE RESTORED TO ORIGINAL FUNCTION AND OPERATION.
- EXISTING TRANSOM TO BE INFILLED BEHIND WITH GYP. BD. TO MAINTAIN FIRE RATING. SEE DETAILS ON A6.02.
- PROVIDE HOLD OPEN FOR THIS DOOR - SEE HARDWARE SCHEDULE.
- PROVIDE HINGES THAT ALLOW FOR EASY DOOR REMOVAL DURING LAUNDRY UNIT INSTALLATION & MAINTENANCE.
- DOOR TO BE UNDERCUT. SEE MECHANICAL DRAWINGS.
- DOOR(S) TO BE FIXED IN PLACE AND INOPERABLE.
- PROVIDE VIEW HOLE AT 48" A.F.F., CENTERED IN DOOR.
- TIME DELAY FOR ELECTRIC STRIKE TRIGGERED BY INTERCOM OR KEY FOB AT EXTERIOR ENTRY.
- GATE TO BE PART OF SPECIFIED FENCE SYSTEM. SEE PLANS FOR KEYNOTE WITH B.O.D.

GENERAL NOTES

THIS IS A HISTORIC TAX CREDIT PROJECT WITH SENSITIVE HISTORIC MATERIALS, INCLUDING DOORS & TRIM. DO NOT REMOVE ANY HISTORIC DOORS OR TRIM UNLESS INDICATED IN THESE DRAWINGS & IN THE SHPO NARRATIVE.

- DOOR FRAMES**
- A. FURNISH AND INSTALL ALL DOOR FRAMES AS SHOWN ON THE DRAWINGS AND IN ACCORDANCE WITH FINAL SHOP DRAWINGS AND MANUFACTURER'S DATA AND INSTRUCTIONS.
 - B. SUBMIT SHOP DRAWINGS FOR FABRICATION AND INSTALLATION OF FRAMES. INCLUDE DETAILS OF EACH FRAME TYPE, CONDITIONS AT OPENINGS, DETAILS OF CONSTRUCTION, LOCATION, AND INSTALLATION REQUIREMENTS OF FINISH HARDWARE AND REINFORCEMENTS, AND DETAILS OF JOINTS AND CONNECTIONS. SHOW ANCHORAGE AND ACCESSORY ITEMS. PROVIDE SCHEDULE OF FRAMES USING SAME REFERENCE FOR DETAILS AND OPENINGS AS THOSE ON CONTRACT DRAWINGS.
 - C. NEW FRAMES SHALL HAVE UL LABELS TO MATCH RATING NOTED IN DOOR SCHEDULE.
 - D. SET AND BRACE ALL DOOR FRAMES. FRAMES SHALL BE PREPARED FOR HARDWARE PER TEMPLATES FURNISHED BY HARDWARE SUPPLIER.
 - E. COORDINATE LOCATIONS FOR OTHER TRADES TO BUILD IN THEIR WORK AS REQUIRED.

- DOORS**
- F. FURNISH AND INSTALL ALL DOORS AS SHOWN ON THE DRAWINGS AND IN ACCORDANCE WITH FINAL SHOP DRAWINGS AND MANUFACTURER'S DATA AND INSTRUCTIONS.
 - G. SUBMIT DOOR MANUFACTURER'S PRODUCT DATA SPECIFICATIONS AND INSTALLATION INSTRUCTIONS FOR EACH TYPE OF DOOR. PROVIDE SCHEDULE OF DOORS USING SAME REFERENCE FOR DETAILS AND OPENINGS AS THOSE ON CONTRACT DRAWINGS.
 - H. EXTERIOR DOORS TO BE INSULATED, WITH WEATHERSTRIPPING, AND PROVIDED WITH ACCESSIBLE THRESHOLD. ALL EXTERIOR STOREFRONT DOORS TO BE INSULATED, THERMALLY BROKEN AND WITH WEATHER STRIPPING AND PROVIDED WITH ACCESSIBLE THRESHOLD.
 - I. GLAZING IN DOOR LITES AND SIDE LITES SHALL BE CLEAR TEMPERED GLASS, 1/4" THICKNESS, UNLESS OTHERWISE NOTED. WIRED GLASS, IS NOT ALLOWED. GLASS FRAMES IN DOORS SHALL HAVE FLUSH STOPS.
 - J. SEE DOOR SCHEDULE FOR REQUIRED FIRE RATINGS.
 - K. FIT DOORS TO FRAMES WITH MINIMUM UNIFORM CLEARANCES AND BEVELS. DOORS SHALL BE PREPARED FOR HARDWARE AS REQUIRED BY HARDWARE SCHEDULE. SEAL DOOR EDGE SURFACES AFFECTED BY FITTING AND MACHINING. PROVIDE DOOR CLEARANCES SO THAT DOOR MAY FREELY MOVE ABOVE FINISH FLOOR MATERIAL.
 - L. VERIFY SIZE OF ALL EXISTING DOORS AND DOOR OPENINGS IN FIELD. WHERE HISTORIC DOORS ARE BEING RELOCATED, VERIFY DOOR FITS IN NEW LOCATION. IF DOOR DOES NOT FIT, CONTACT ARCHITECT.
 - M. ALL MECHANICAL CLOSETS ARE TO BE LOCKED AT ALL TIMES WITH MECHANICAL ACCESS BY LANDLORD ONLY. CLOSET SHALL BE USED FOR MECHANICAL/WATER HEATING EQUIPMENT ONLY. NO STORAGE OF ANY KIND IS TO BE PERMITTED WITHIN.

DOOR SCHEDULE

DOOR NO.	LOCATION	DOOR				FRAME			HDW	REMARKS	
		WIDTH	HEIGHT	TYPE	FINISH	TYPE	TRANSOM	FINISH		RATING	NOTES
BASEMENT											
001-1	W. BASEMENT	EXG OPG. V.I.F	EXG OPG. V.I.F	DM4	PT	F2	-	PT	H06	90 MIN	I.E.
001-2	E BASEMENT	EXG OPG. V.I.F	EXG OPG. V.I.F	DM4	PT	F2	-	PT	H06	90 MIN	I.E.
FIRST FLOOR											
E01-1	BREEZEWAY GATE	EXG OPG. V.I.F	8'-0"	GA	PT	-	-	PT	G01		
100-1	STAIR ENTRY	EXG OPG. V.I.F	7'-0"	DM7	PT	F2	-	PT	H10		I.E.
100-2	BASEMENT STAIR	EXG OPG. V.I.F	EXG OPG. V.I.F	DM4	PT	F2	-	PT	H06		I.E.
101-1	EXT. TO LAUNDRY	EXG OPG. V.I.F	7'-0"	DM7	PT	F2	TR1	PT	H02		I.E.
101-2	LAUNDRY	EXG OPG. V.I.F	EXG OPG. V.I.F	DM4	PT	F2	-	PT	H04A	90 MIN	I.E.
102-1	UNIT ENTRY	EXG OPG. V.I.F	EXG OPG. V.I.F	DM4	PT	F2	-	PT	HR01	90 MIN	I.E.
102-2	CLOSET	2'-6"	6'-8"	DW1	PT	F4	-	PT	HR04		
102-3	BATHROOM	2'-6"	6'-8"	DW1	PT	F4	-	PT	HR02		
SECOND FLOOR											
201-1	UNIT ENTRY	EXG OPG. V.I.F	EXG OPG. V.I.F	DM4	PT	F2	-	PT	HR01	90 MIN	I.E.
201-2	CLOSET	(2) 2'-0"	6'-8"	DW1	PT	F4	-	PT	HR04A		
201-3	BATHROOM	2'-6"	6'-8"	DW1	PT	F4	-	PT	HR02		
202-1	UNIT ENTRY	EXG OPG. V.I.F	EXG OPG. V.I.F	DM4	PT	F2	-	PT	HR01	90 MIN	I.E.
202-2	CLOSET	2'-6"	6'-8"	DW1	PT	F4	-	PT	HR04		
202-3	BATHROOM	2'-6"	6'-8"	DW1	PT	F4	-	PT	HR02		
THIRD FLOOR											
301-1	UNIT ENTRY	EXG OPG. V.I.F	EXG OPG. V.I.F	DM4	PT	F2	-	PT	HR01	90 MIN	I.E.
301-2	CLOSET	(2) 2'-0"	6'-8"	DW1	PT	F4	-	PT	HR04A		
301-3	BATHROOM	2'-6"	6'-8"	DW1	PT	F4	-	PT	HR02		
302-1	UNIT ENTRY	EXG OPG. V.I.F	EXG OPG. V.I.F	DM4	PT	F2	-	PT	HR01	90 MIN	I.E.
302-2	CLOSET	2'-6"	6'-8"	DW1	PT	F4	-	PT	HR04		
302-3	BATHROOM	2'-6"	6'-8"	DW1	PT	F4	-	PT	HR02		
FOURTH FLOOR											
401-1	UNIT ENTRY	EXG OPG. V.I.F	EXG OPG. V.I.F	DM4	PT	F2	-	PT	HR01	90 MIN	I.E.
401-2	CLOSET	(2) 2'-0"	6'-8"	DW1	PT	F4	-	PT	HR04A		
401-3	BATHROOM	2'-6"	6'-8"	DW1	PT	F4	-	PT	HR02		
402-1	UNIT ENTRY	EXG OPG. V.I.F	EXG OPG. V.I.F	DM4	PT	F2	-	PT	HR01	90 MIN	I.E.
402-2	CLOSET	2'-6"	6'-8"	DW1	PT	F4	-	PT	HR04		
402-3	BATHROOM	2'-6"	6'-8"	DW1	PT	F4	-	PT	HR02		
FIFTH FLOOR											
500-1	W. ATTIC	2'-6"	6'-8"	DM4	PT	F2	-	PT	H10AB	90 MIN	
500-2	E. ATTIC	2'-6"	6'-8"	DM4	PT	F2	-	PT	H10AB	90 MIN	

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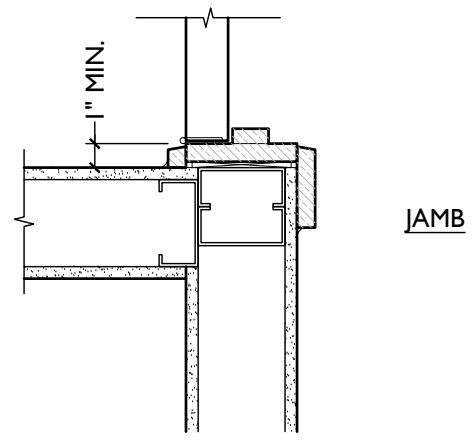
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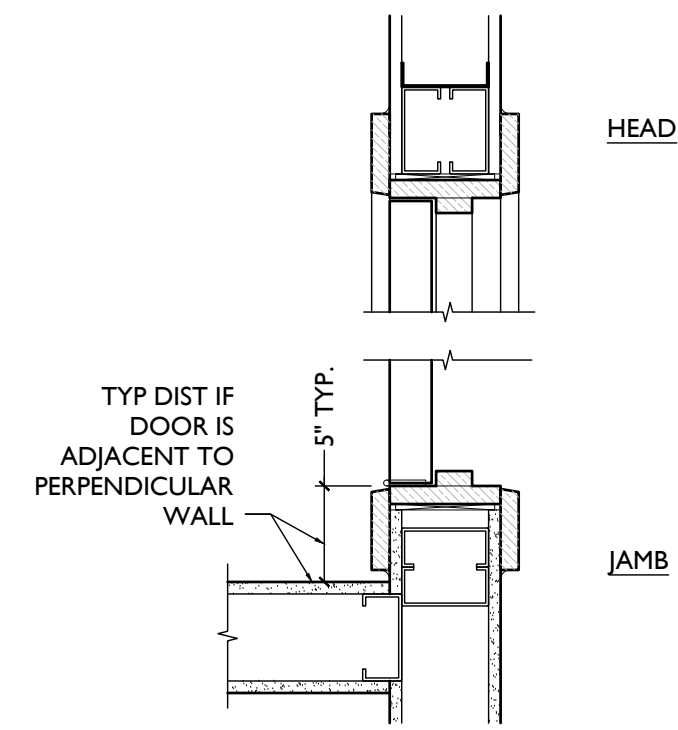
A6.10

DOOR DETAILS NOTE:
SEE NEW PLANS & SHEET A6.00 FOR SPECIFIC
ASSEMBLY INFO AND FIRE-RATINGS.

TYPICAL DOOR DETAILS

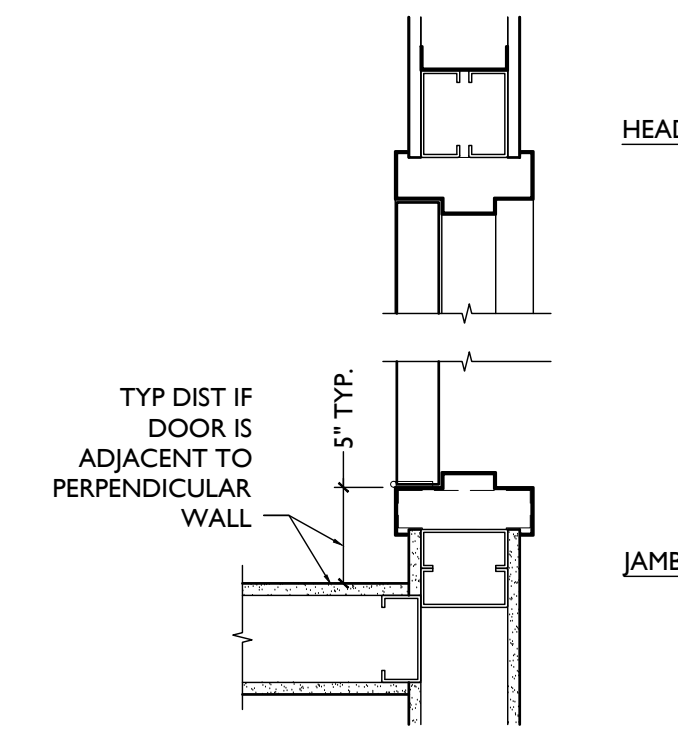


8 WD FRAME JAMB MIN.
SCALE: 1 1/2" = 1'-0"

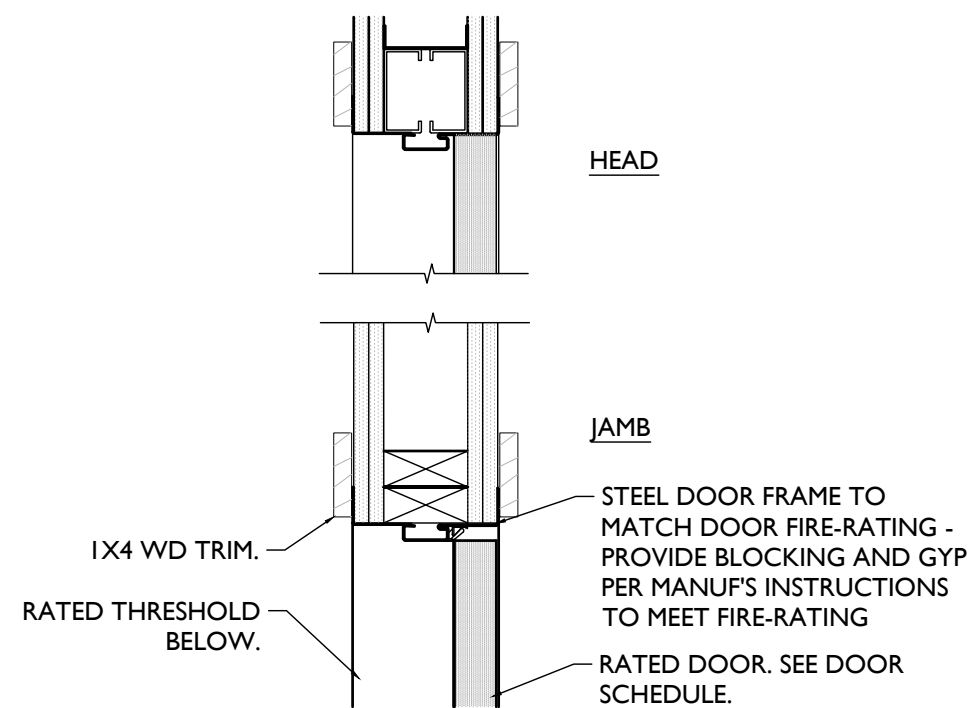


7 WD FRAME HEAD/JAMB
SCALE: 1 1/2" = 1'-0"

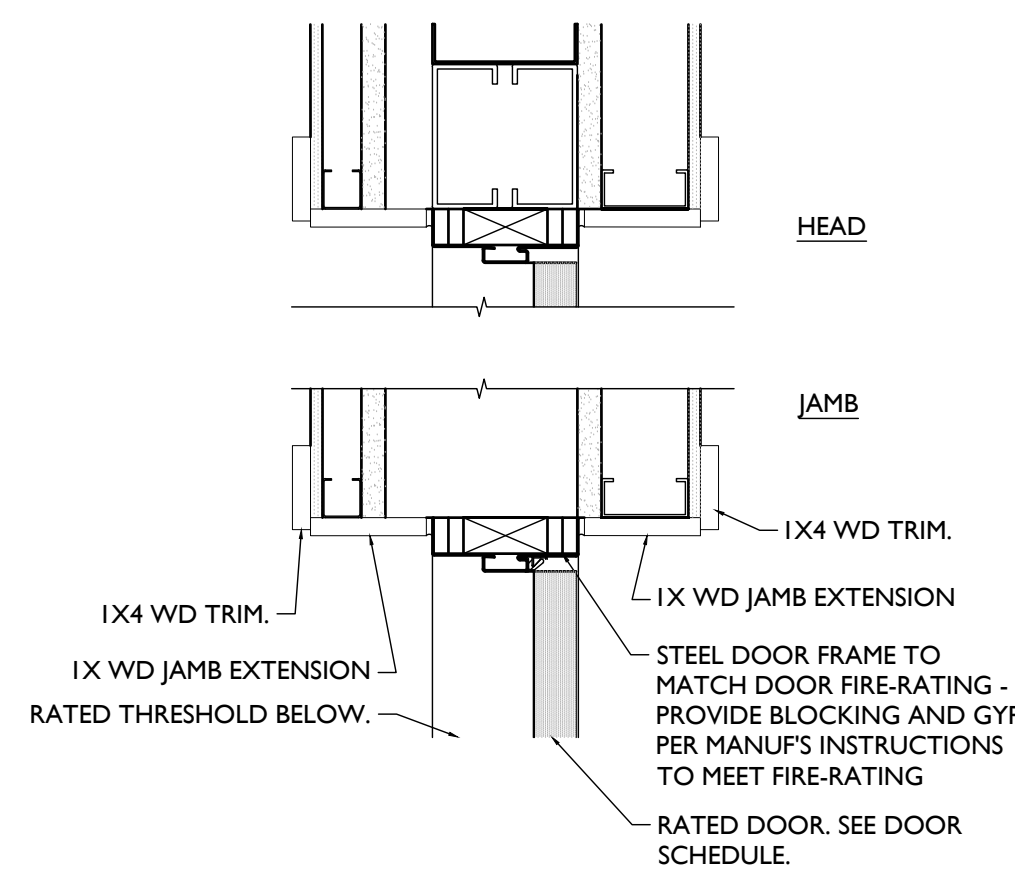
6 NOT USED
SCALE: 1 1/2" = 1'-0"



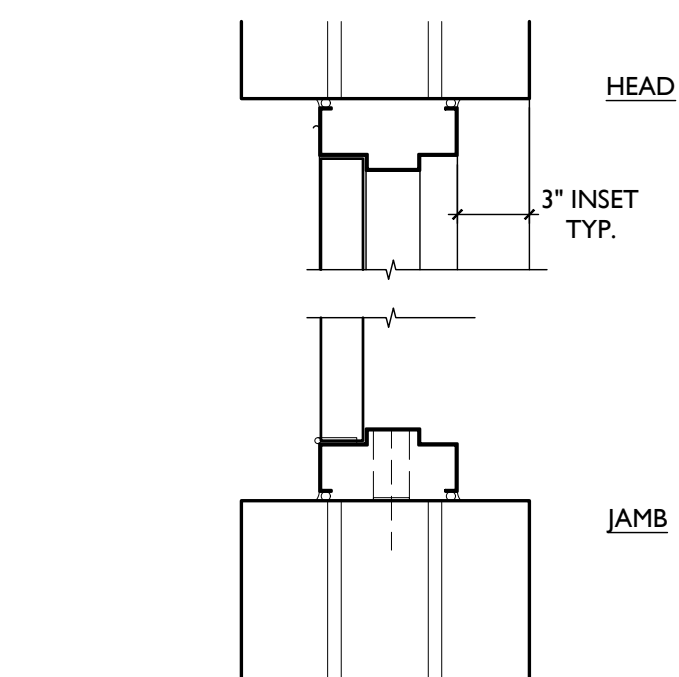
5 MTL FRAME @ STUD WALL
BASEMENT ONLY
SCALE: 1 1/2" = 1'-0"



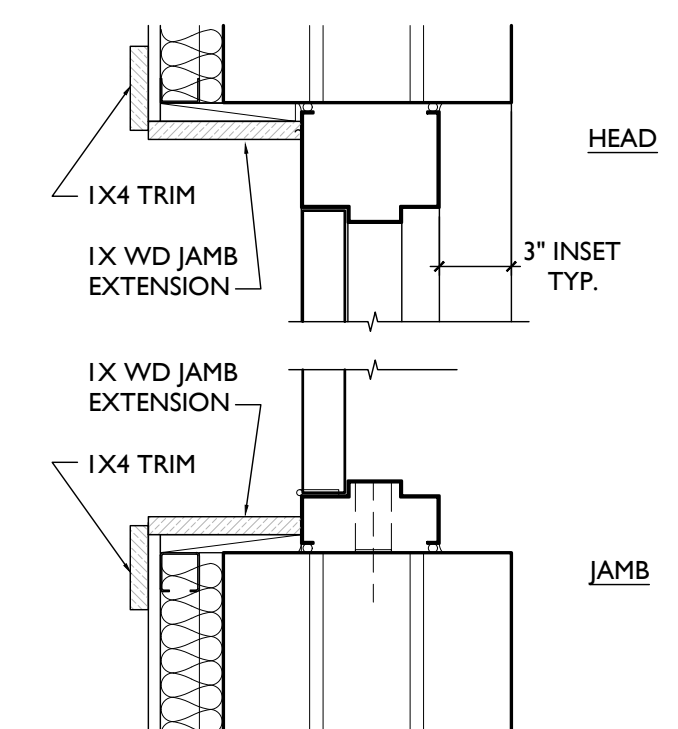
4 MTL FRAME @ STUD WALL
FIRE-RATED ONLY, ABOVE BASEMENT
SCALE: 1 1/2" = 1'-0"



3 MTL FRAME @ MSNRY - INTERIOR
FIRE-RATED ONLY
SCALE: 1 1/2" = 1'-0"

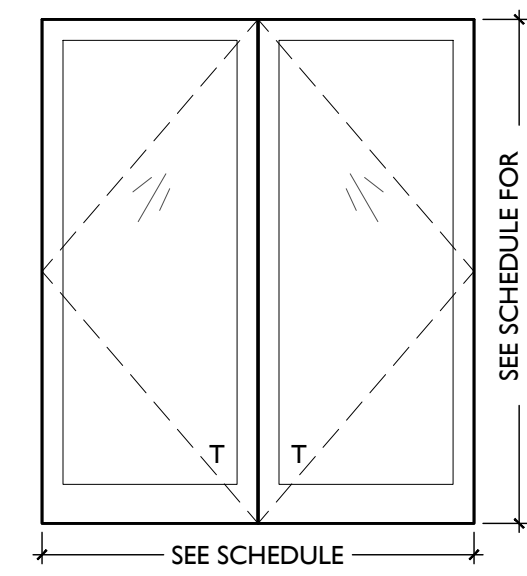


2 MTL FRAME @ MSNRY - INTERIOR
BASEMENT ONLY
SCALE: 1 1/2" = 1'-0"

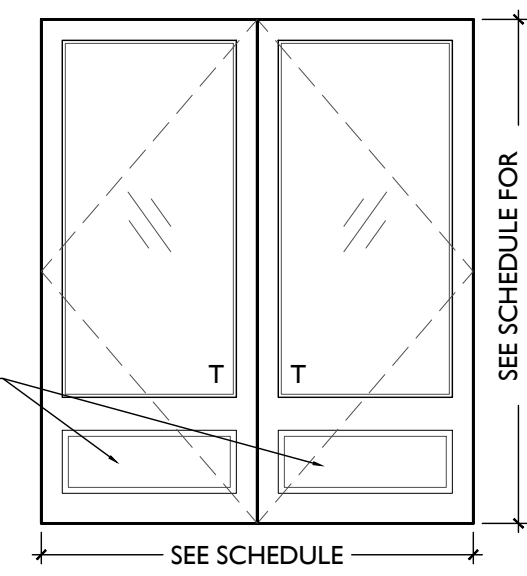


1 MTL FRAME @ MSNRY - EXTERIOR
SCALE: 1 1/2" = 1'-0"

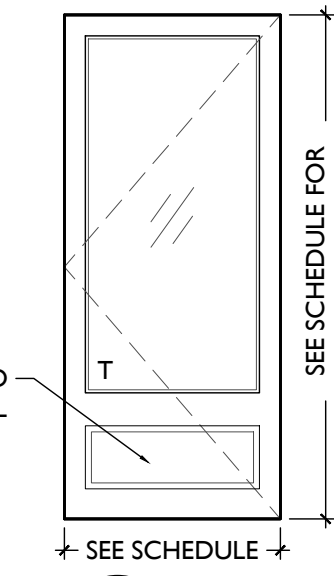
NOTE: SEE A6.12 FOR
STOREFRONT FRAMES



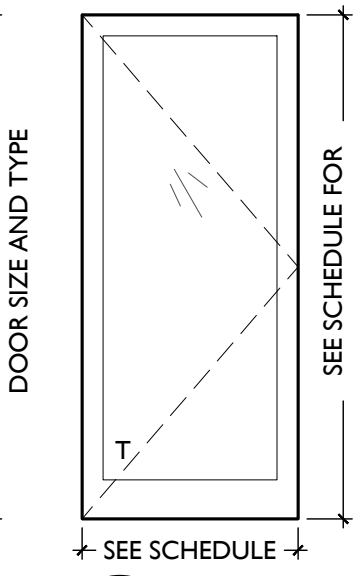
DA4 FULL LITE
ALUMINUM
DOUBLE
DOOR



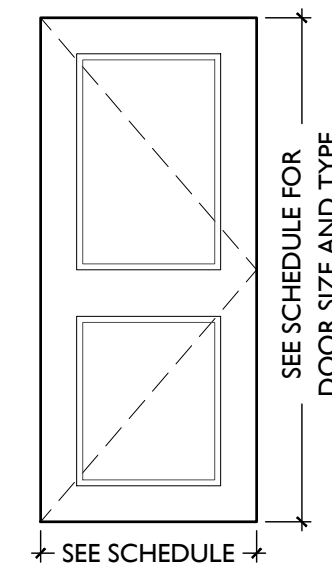
DA3 3/4 LITE
ALUMINUM
DOUBLE DOOR



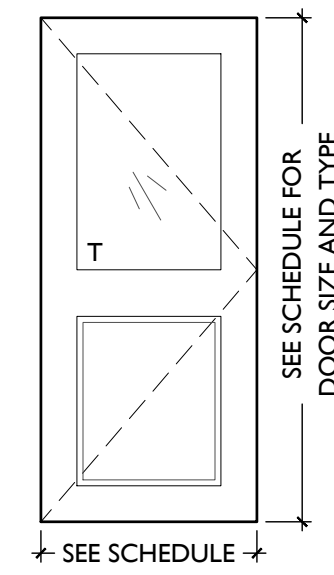
DA2 1/2 LITE
ALUMINUM
DOOR



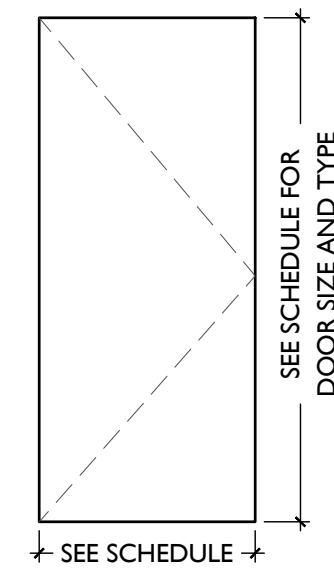
DA1 FULL LITE
ALUMINUM
STOREFRONT
DOOR



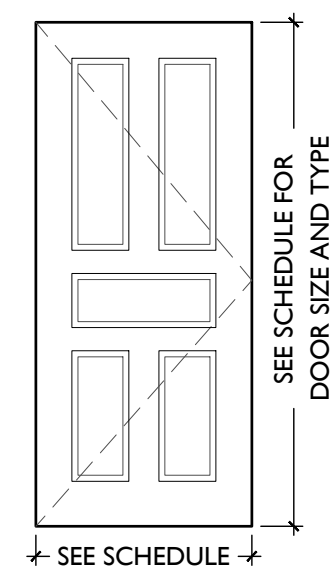
DM8 METAL
2 PANELS



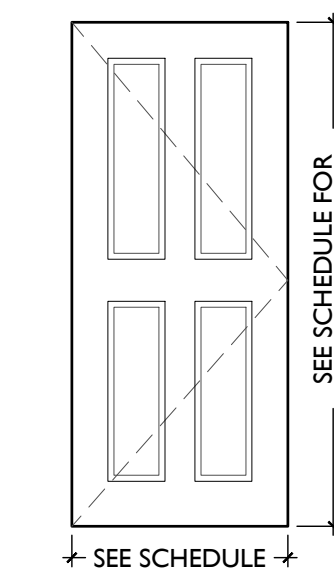
DM7 HALF LITE
METAL
1 PANELS



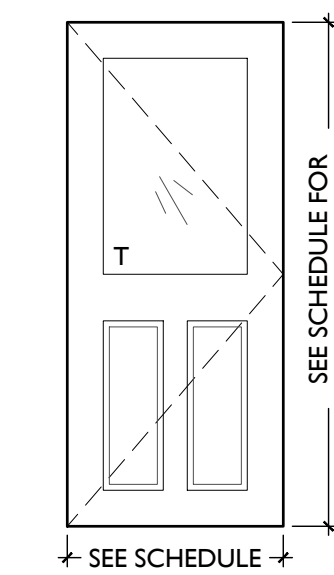
DM6 FLUSH METAL
DOOR



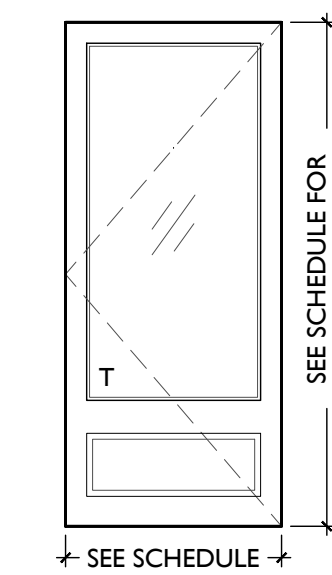
DM5 METAL
5 PANELS



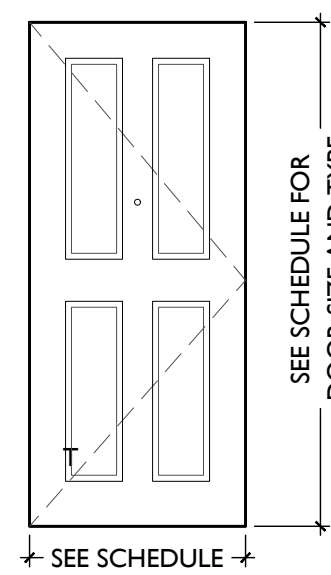
DM4 METAL
4 PANELS



DM3 HALF LITE
METAL
2 PANELS

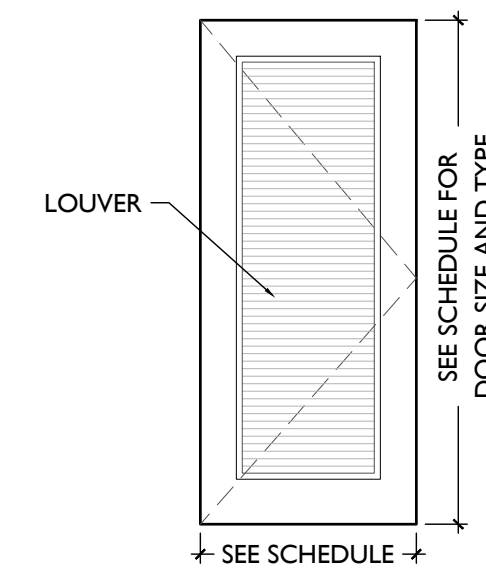


DM2 1/2 LITE
METAL
DOOR

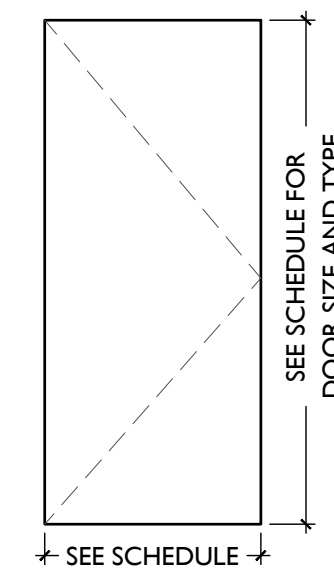


DM1 METAL
4 PANELS
INSULATED

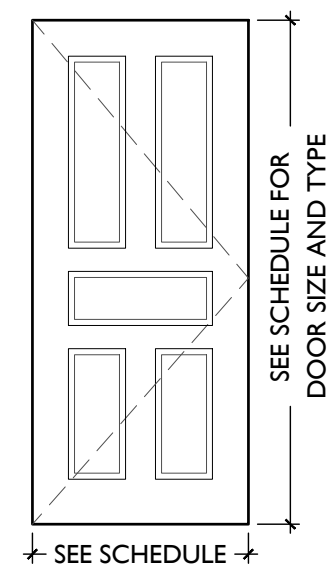
NOT USED
FOR REFERENCE ONLY



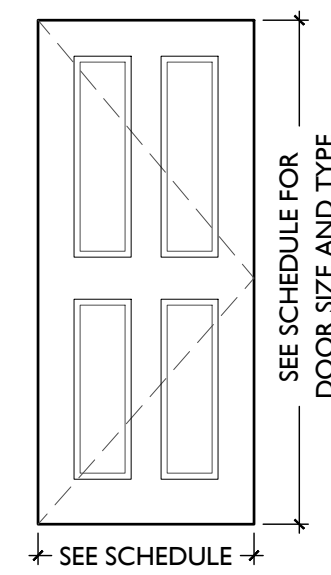
DW4 SOLID CORE
WOOD
1 PANEL
LOUVER



DW3 SOLID CORE
WOOD
FLUSH



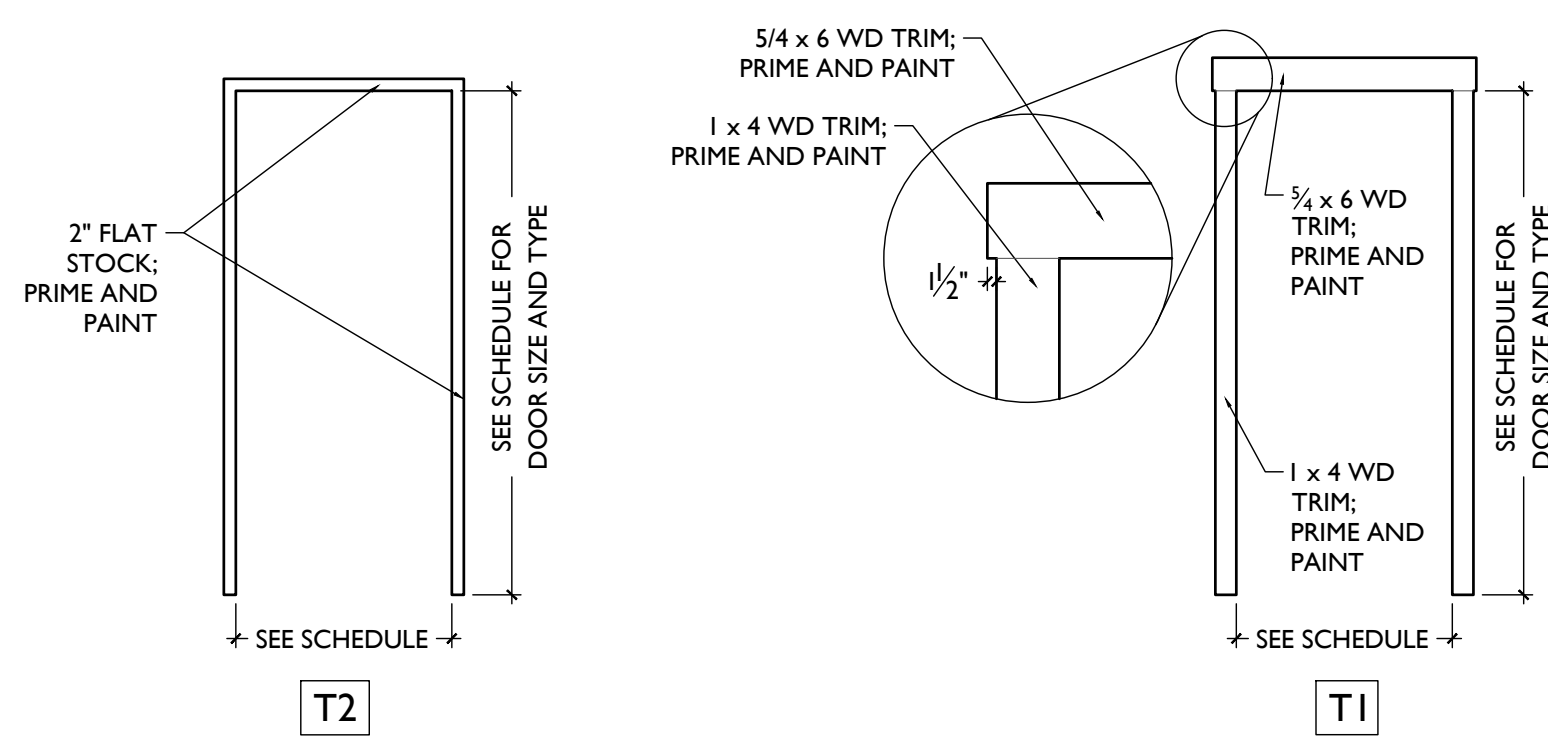
DW2 SOLID CORE
WOOD
5 PANEL



DW1 SOLID CORE
WOOD
4 PANEL

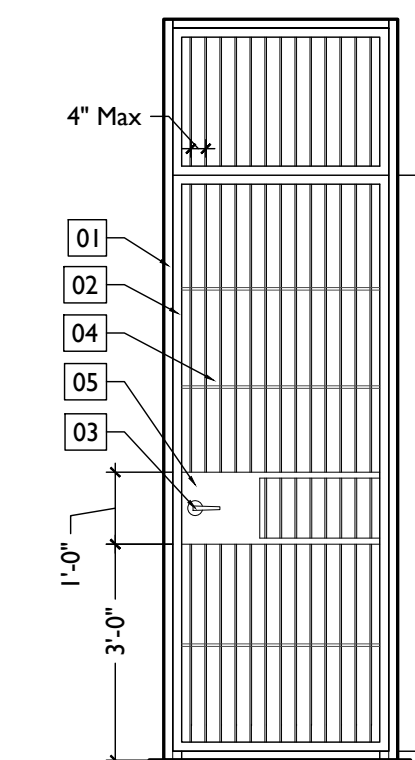
T = TEMPERED GLAZING
I = INSULATED GLAZING

TYPICAL NEW WD DOOR TRIM CASING



NOTES:
1. AT DOORWAYS WITH NEW TRIM CASING, INSTALL PER "T1". IF WALL SPACE IS CONSTRAINED AT JAMBS, INSTALL PER "T2".
2. NO WOOD DOOR TRIM AT BASEMENT, U.N.O.

TYPICAL GATE TYPES



GA BREEZEWAY
GATE

KEYED GATE NOTES:
01. 1/2" x 2" x 2" SQUARE STEEL FRAME ATTACHED TO ADJACENT EXG. MASONRY WALL
02. 1/2" x 2" x 2" POWDER-COATED STEEL TUBE DOOR FRAME MOUNTED ON HINGES
03. TYPICAL GATE HARDWARE - SEE DOOR AND DOOR HARDWARE SCHEDULE
04. STEEL BAR STOCK AT VERTICAL AND HORIZONTAL, TYPICAL
05. 1/6 GA STEEL PLATE WELDED TO ADJACENT FRAME TO HOUSE HARDWARE

NOTE: EXTERIOR STEEL TO BE GALVANIZED, TYP., & PAINTED BLACK.

ALUMINUM

METAL

WOOD

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Progress Dates
2023.04.28 - BID/PERMIT
2024.08.30 - BID SET 2

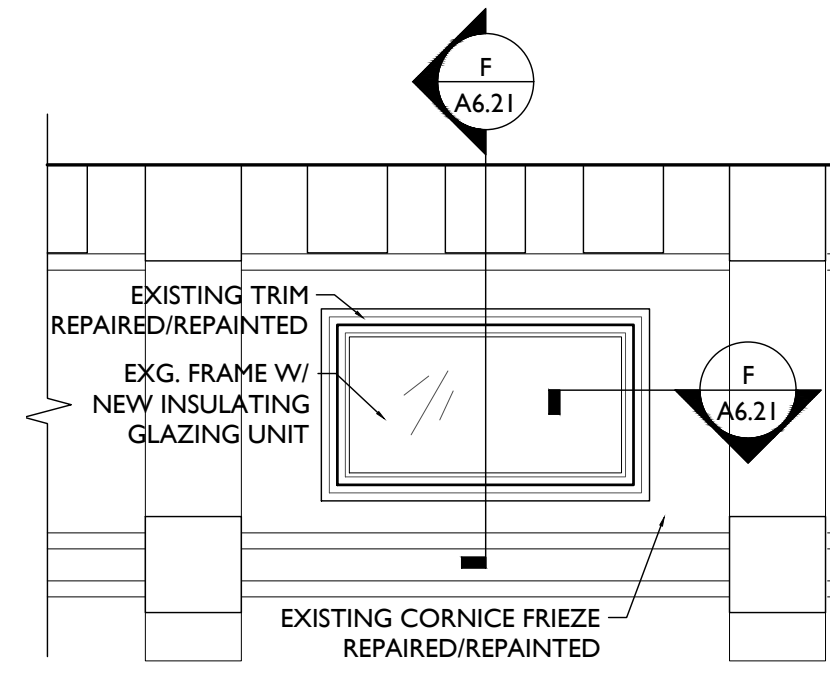
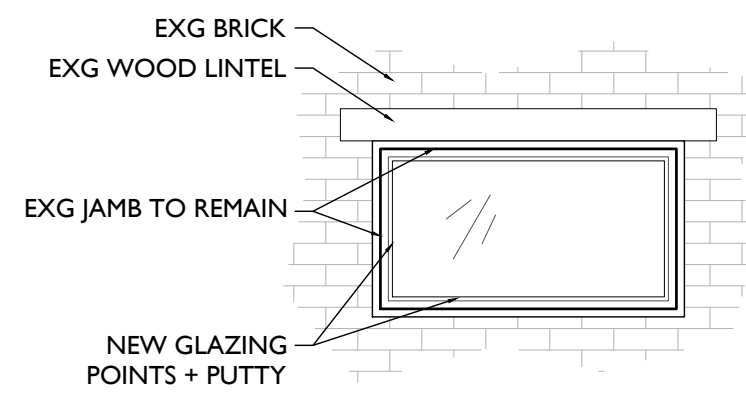
Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
TB, AM

PROPOSED PROJECT:
RENOVATION FOR
1804 REPUBLIC
CINCINNATI, OH 45202
FINDLAY FLATS

Job No: 22042 08.30.2023

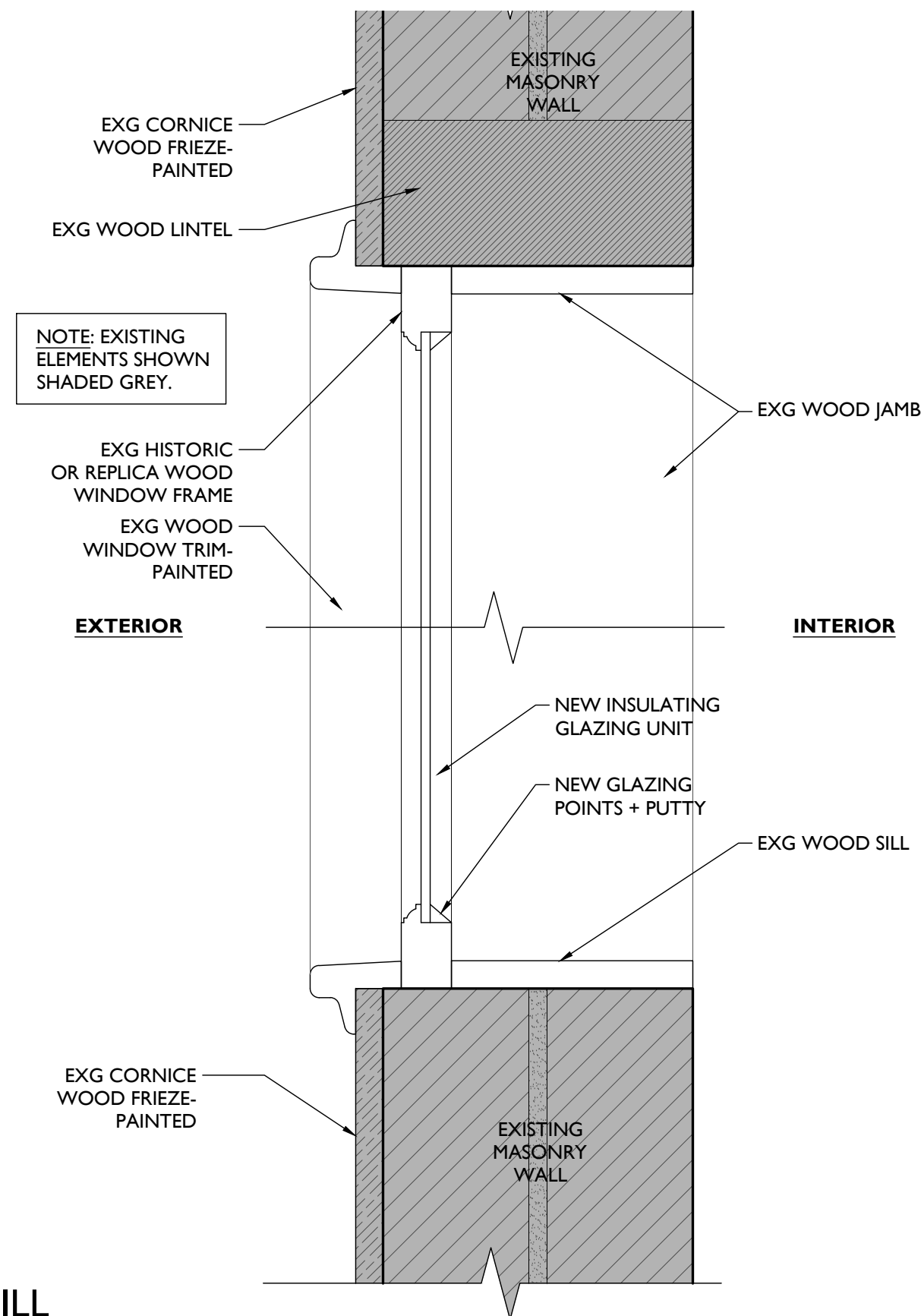
A6.11



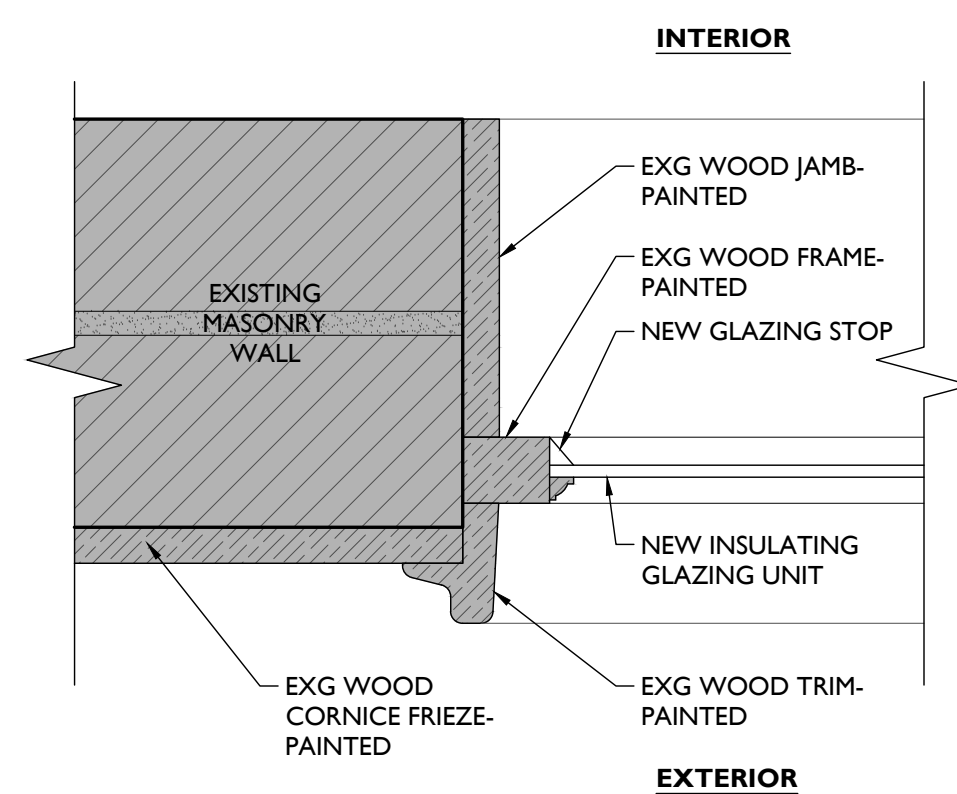
DETAILED ELEVATION

SCALE: 1/2" = 1'-0"

NOTE: SEE ELEVS FOR TEMPERING / SINGLE HUNG LOCATIONS TYP



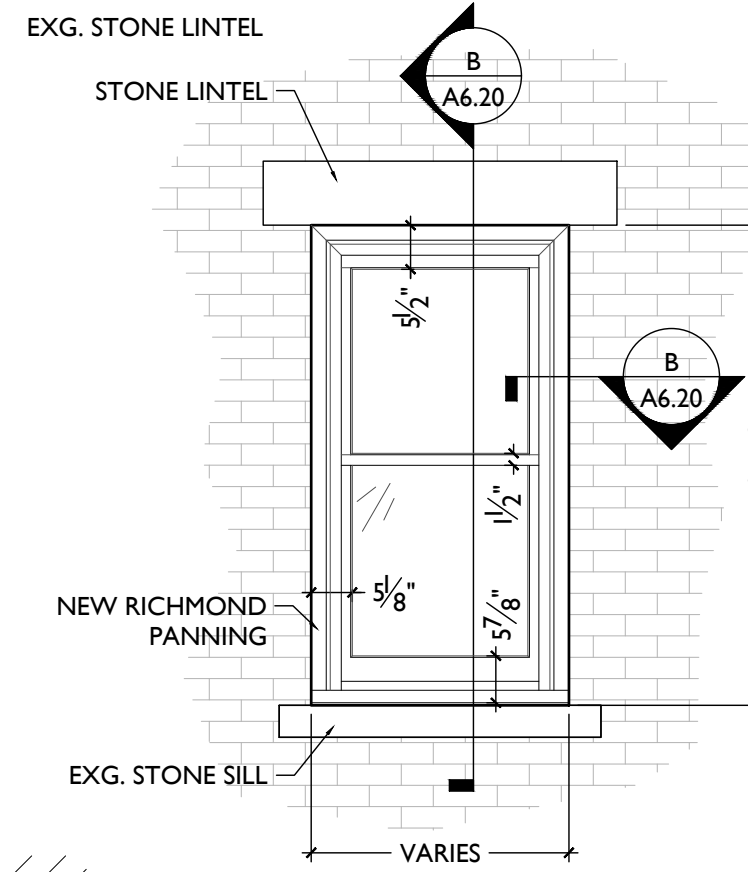
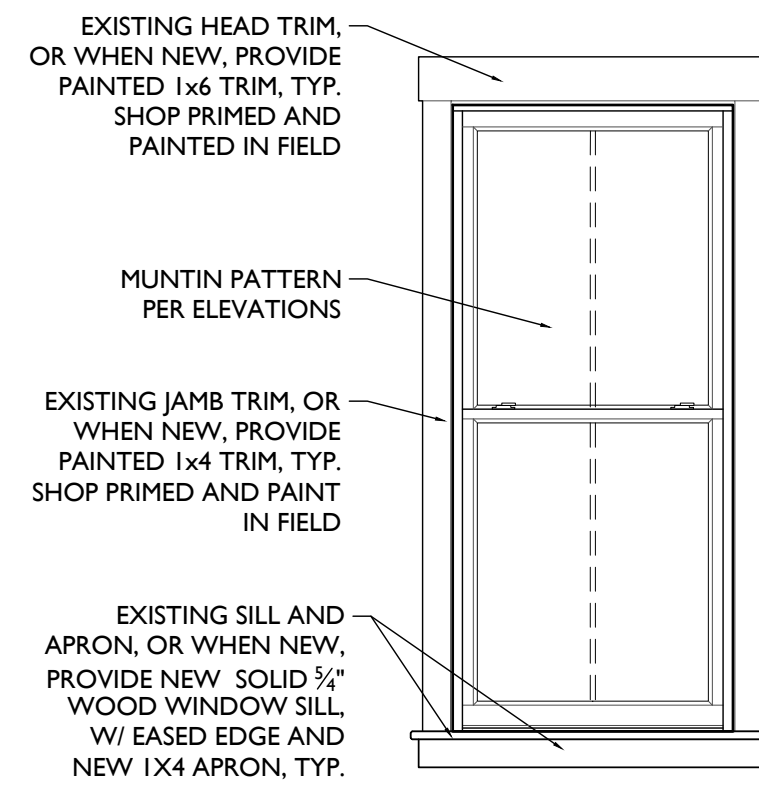
HEAD AND SILL



JAMB

TYPE 'F' - EXG. ATTIC WINDOWS W/ NEW GLASS

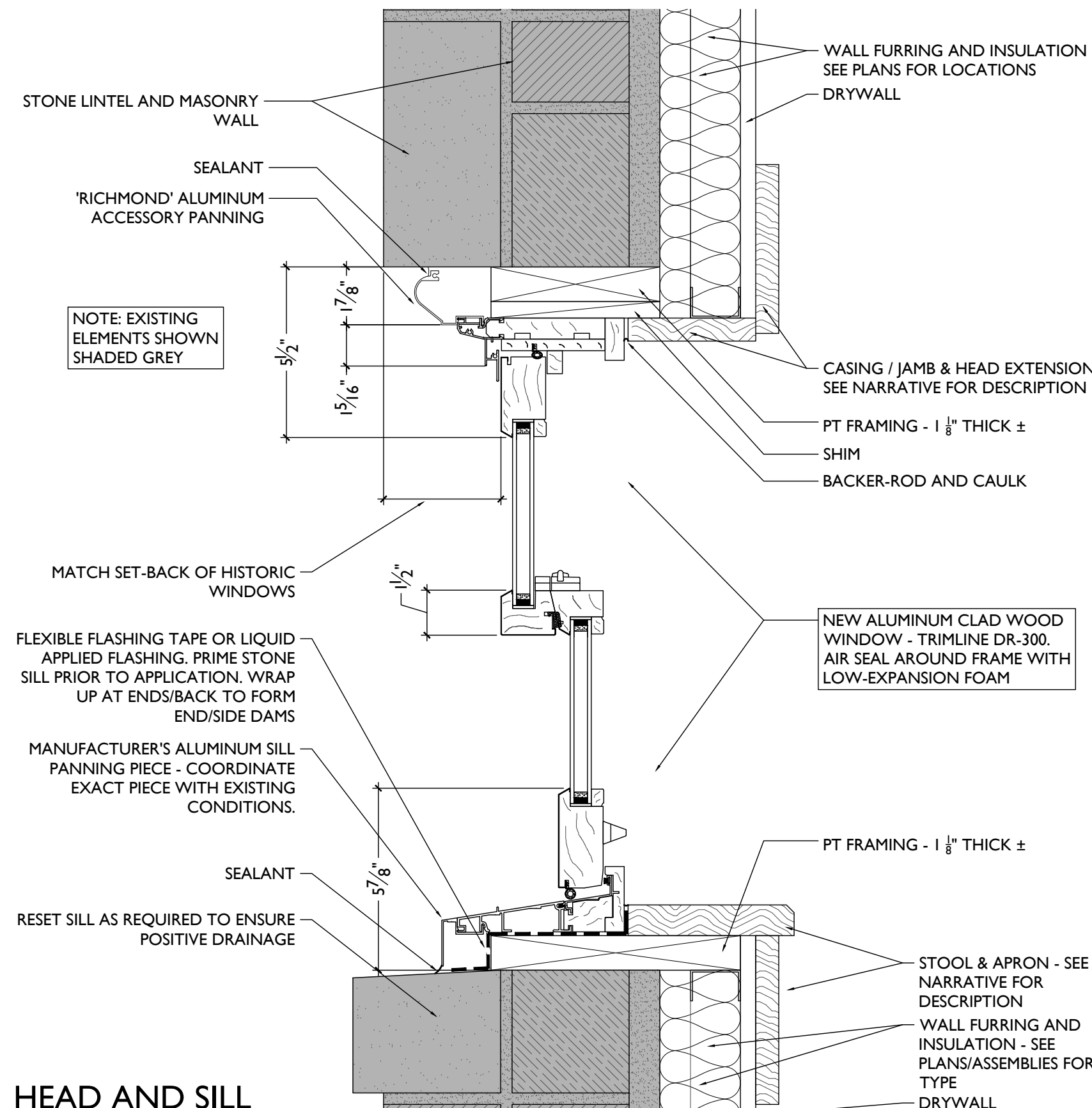
F



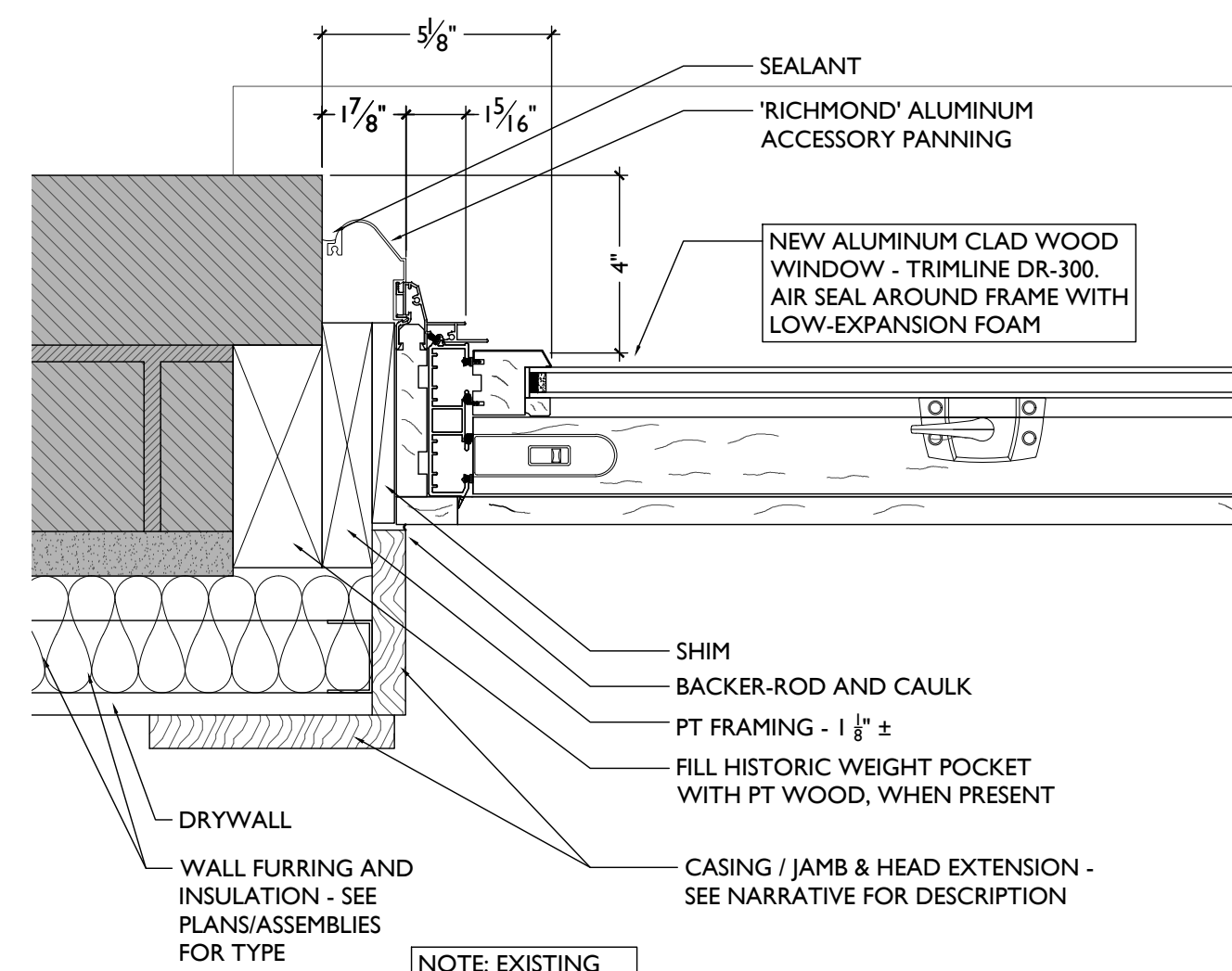
DETAILED ELEVATION

SCALE: 1/2" = 1'-0"

NOTE: SEE ELEVS FOR TEMPERING / SINGLE HUNG LOCATIONS TYP



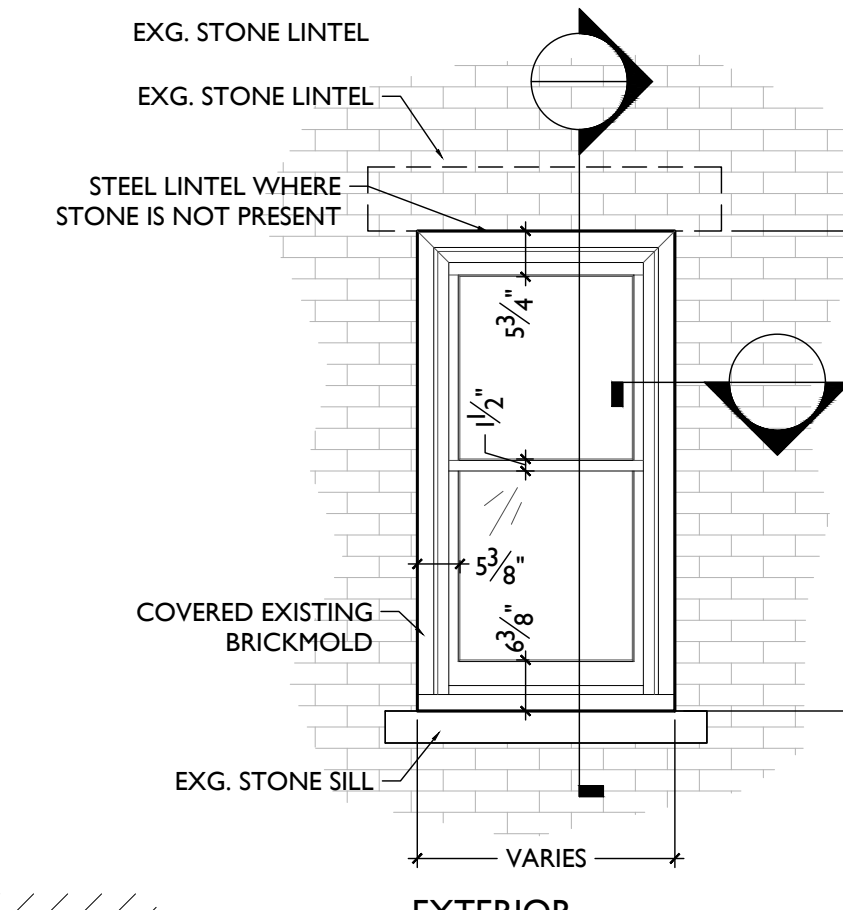
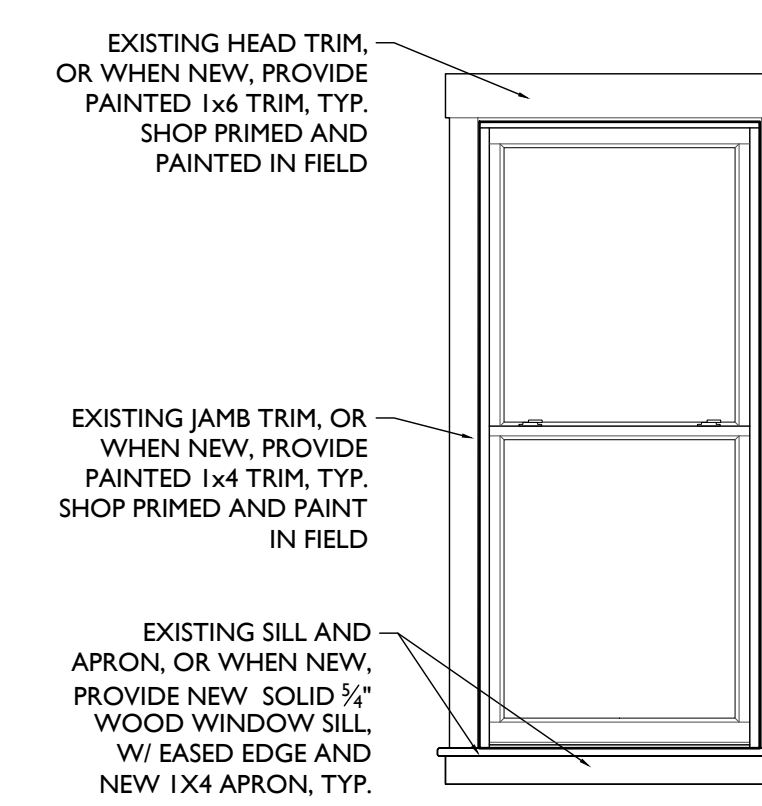
HEAD AND SILL



JAMB

TYPE 'B' - TRIMLINE MODEL DR-300 ALUM CLAD / NEW BRICKMOLD

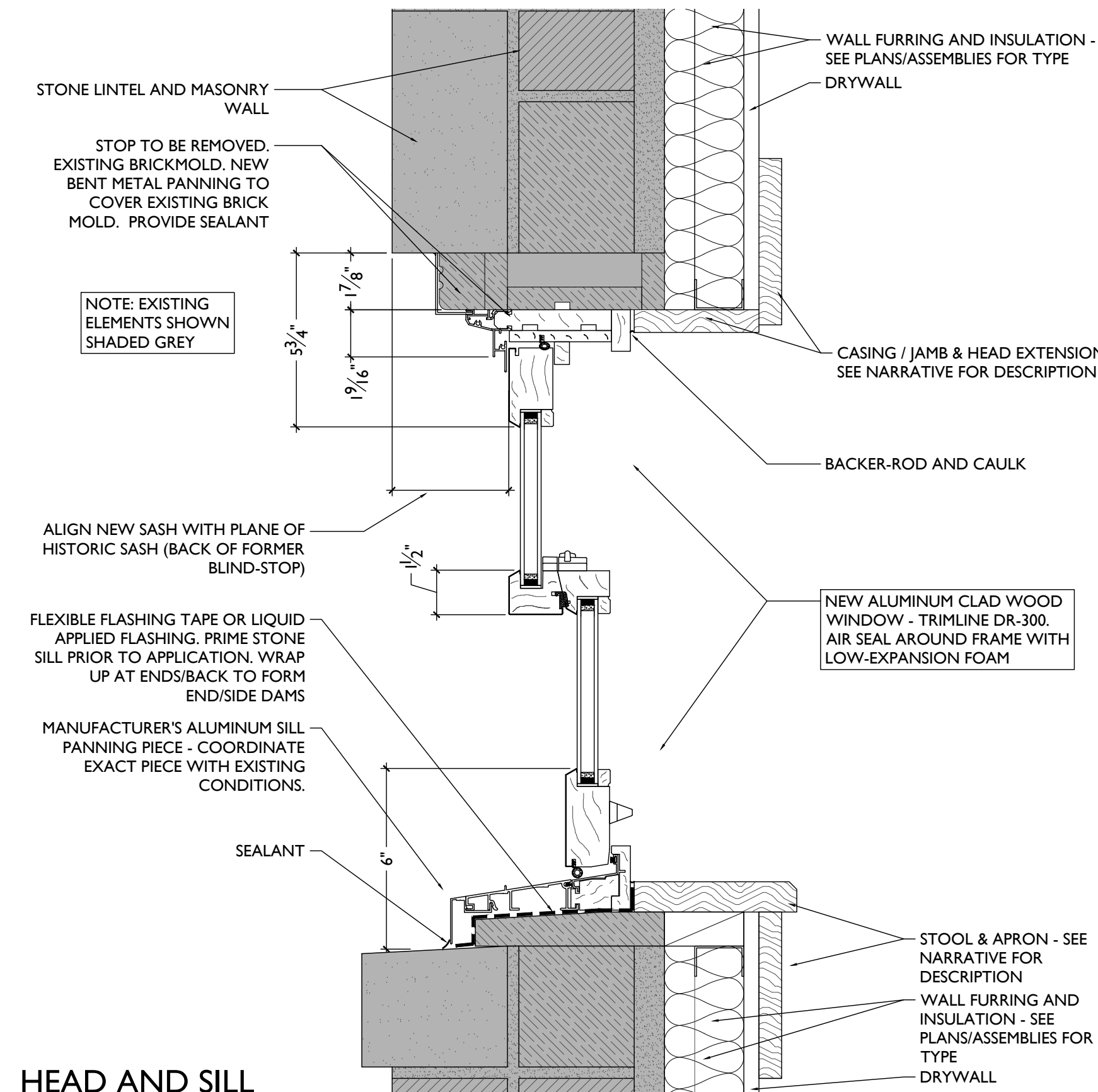
B



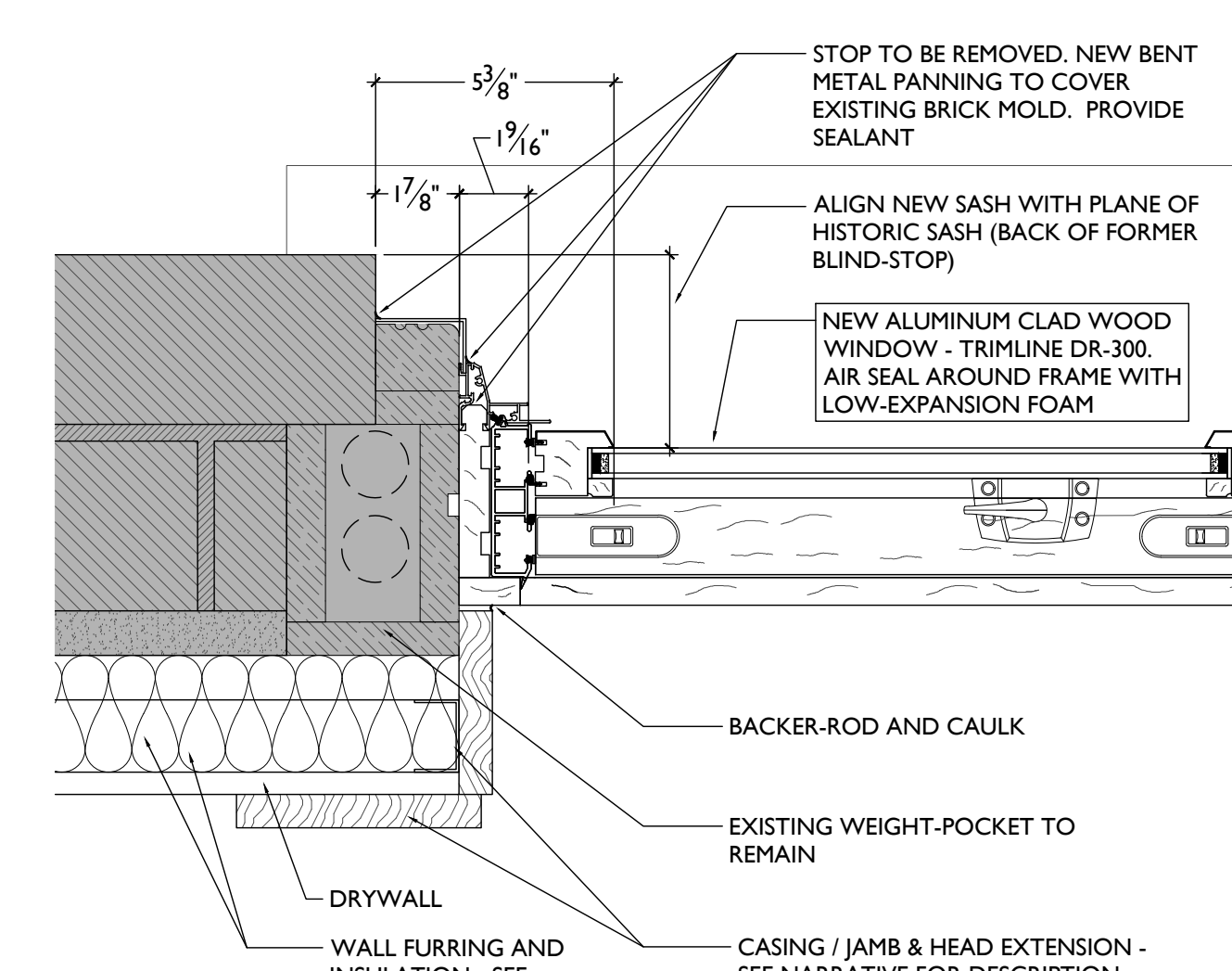
DETAILED ELEVATION

SCALE: 1/2" = 1'-0"

NOTE: SEE ELEVS FOR TEMPERING / SINGLE HUNG LOCATIONS TYP



HEAD AND SILL



JAMB

TYPE 'BE' - TRIMLINE MODEL DR-300 ALUM CLAD / EXG BRICKMOLD

BE

SCALE: 3/8" = 1'-0"

WINDOW TYPES & DETAILS

Progress Dates
2023.04.28 - BID/PERMIT
2024.08.30 - BID SET 2

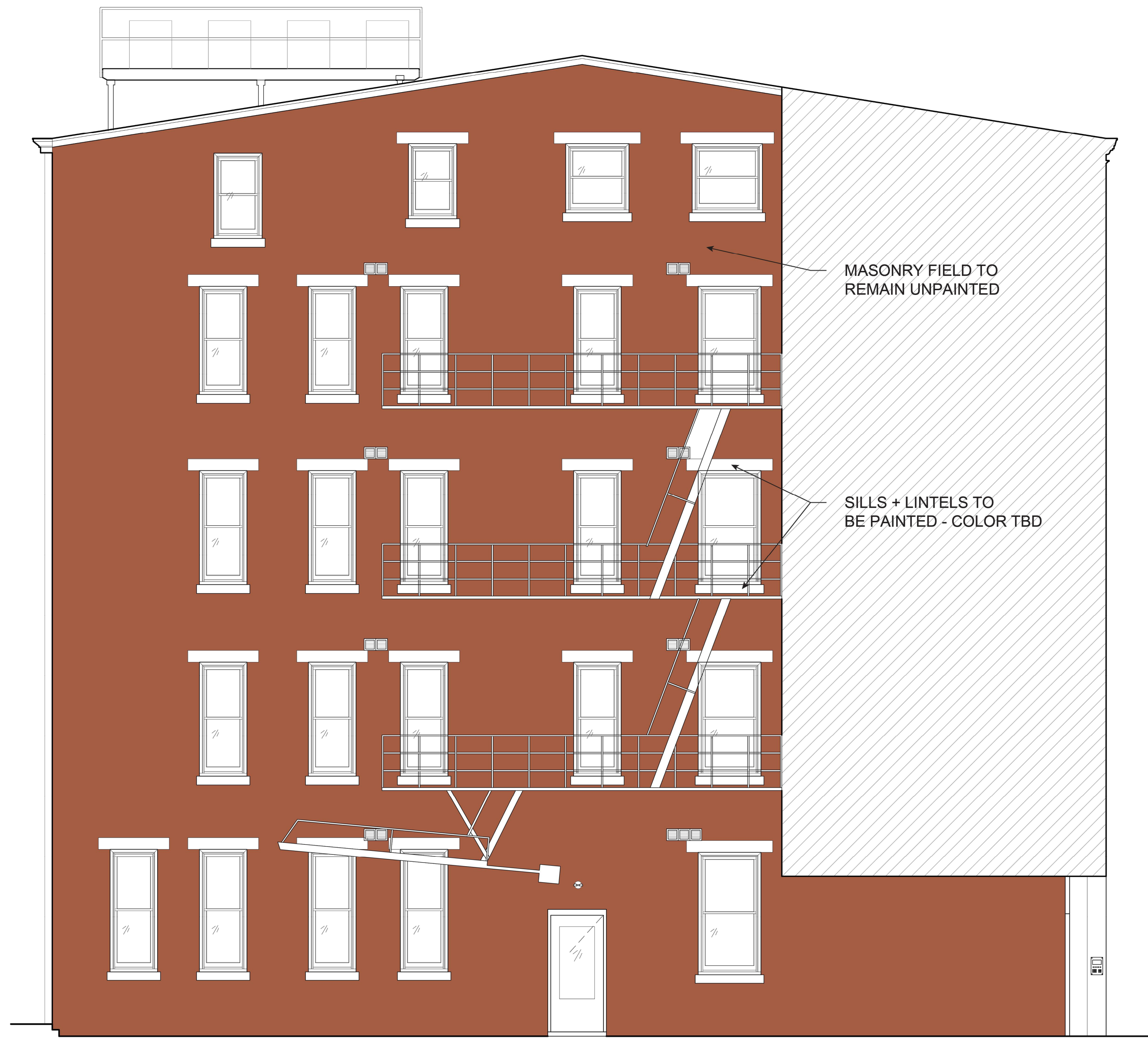
Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
TB, AM

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RENOVATION FOR 1804 REPUBLIC
CINCINNATI, OH 45202
FINDLAY FLATS

Job No: 22042 08.30.2023



PROPOSED NORTH ELEVATION

SCALE: 1/4" = 1'-0"

COLORED ELEVATION |

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Job No: 22042 08.30.2023

A8.00

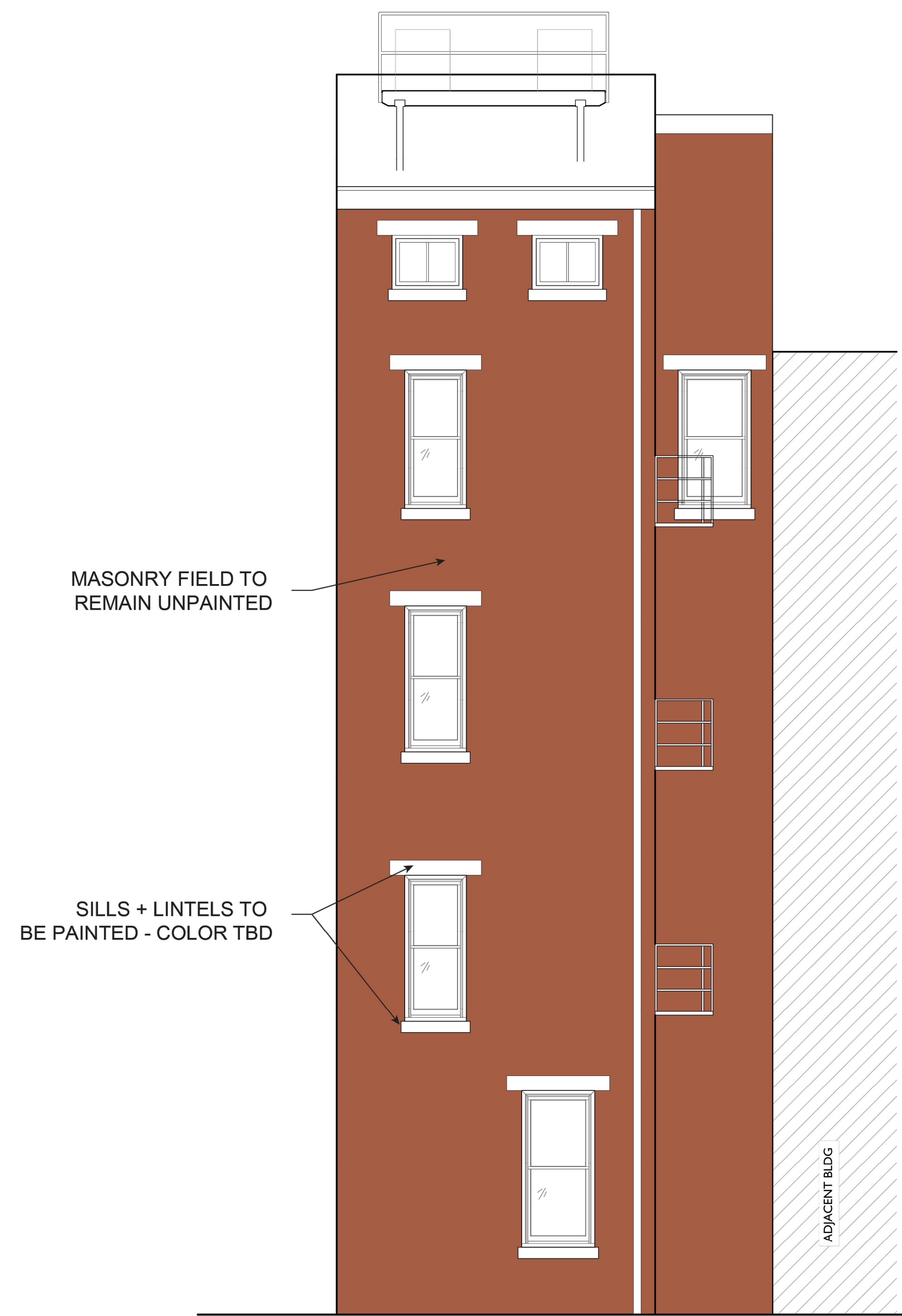
Progress Dates
 2023.04.28 - BID/PERMIT
 2024.08.30 - BID SET 2

Revisions

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PROPOSED EAST ELEVATION



PROPOSED WEST ELEVATION

Progress Dates
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Revisions

Design Team:
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Drawn by:
TB, AM

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RENOVATION FOR
1804 REPUBLIC
CINCINNATI, OH 45202
FINDLAY FLATS

Job No: 22042 08.30.2023

A8.01

GENERAL STRUCTURAL NOTES

COPIES OF PUBLICATIONS REFERENCED IN THESE GENERAL STRUCTURAL NOTES ARE AVAILABLE FOR REVIEW AT ADVANTAGE GROUP ENGINEERS, INC. CONTRACTORS UNFAMILIAR WITH THESE PUBLICATIONS MUST REVIEW THEM PRIOR TO CONSTRUCTION.

GOVERNING CODE

OHIO BUILDING CODE – 2017, BASED ON 2015 IBC

CLASSIFICATION OF THE BUILDING STRUCTURE:
RISK CATEGORY II, TABLE 1604.5

DESIGN LOADS

1. ROOF LOAD:

- A. MINIMUM LIVE LOAD OR SNOW LOAD: 20 PSF*
- B. DEAD LOAD = 20 PSF IN ADDITION TO STRUCTURE SELF WEIGHT

*MINIMUM LIVE / SNOW LOAD GOVERNED BY MINIMUM SNOW LOAD, $P_m = I_s * P_g$

2. SNOW LOAD:

- A. GROUND SNOW LOAD, $P_g = 20$ PSF.
- B. FLAT ROOF SNOW LOAD, $P_f = 14$ PSF MODIFIED BY APPLICABLE BUILDING COEFFICIENTS.
- C. MINIMUM ROOF SNOW LOAD, $P_{min} = 20$ PSF.
- D. SNOW LOAD IMPORTANCE FACTOR, $I_s = 1.0$
- E. SNOW EXPOSURE FACTOR, $C_e = 1.0$
- F. THERMAL FACTOR, $C_t = 1.0$
- G. COORDINATE ROOF FRAMING WITH FINAL SELECTION OF ROOF SUPPORTED MECHANICAL EQUIPMENT AND ASSOCIATED OPENINGS. ITEMS TO BE COORDINATED INCLUDE SIZE, LOCATION, TOTAL WEIGHT, WEIGHT DISTRIBUTION, AND SUPPORT FRAME REQUIREMENTS.

3. FLOOR LOAD:

- A. LIVE LOAD: 100 PSF
- B. DEAD LOAD = 40 PSF AT RESIDENTIAL
- C. DEAD LOAD ALLOWANCE: 20 PSF IN ADDITION TO STRUCTURE SELF WEIGHT
- D. WIND LOAD:
 - A. MAIN WIND FORCE RESISTING SYSTEM: 115 MPH PER ASCE 7-10 (3-SECOND GUST - LOAD AND RESISTANCE FACTOR DESIGN).
 - B. WIND EXPOSURE: B
 - C. BASIC WIND VELOCITY PRESSURE, $q_h = 19.21$ PSF (LRFD), 11,526 PSF (ASD)
 - D. INTERNAL GUST PRESSURE COEFFICIENT, $G_{CP} = 0.18$ (ENCLOSED BUILDING).

5. SPECIAL LOADS:

- A. INTERIOR FINISH: 5 PSF HORIZONTAL LOAD.
- B. HANDRAILS: 200 POUND CONCENTRATED LOAD AT ANY POINT, IN ANY DIRECTION, OR 50 PLF UNIFORM LOAD IN ANY DIRECTION.
- C. GUARDRAILS:
 - a. TOP RAIL: 200 POUNDS CONCENTRATED AT ANY POINT IN ANY DIRECTION, OR 50 PLF UNIFORM LOAD IN ANY DIRECTION.
 - b. IN-FILL AREAS: 50 POUNDS APPLIED OVER A 1 SQUARE FOOT AREA.

SPECIAL INSPECTIONS

PER THE REQUIREMENTS OF CHAPTER 17, SECTION 1704.1, OF THE REFERENCED BUILDING CODE, SPECIAL INSPECTIONS ARE NOT NECESSARY FOR THE PROPOSED BUILDING CONSTRUCTION. STRUCTURAL CONSTRUCTION IN THIS BUILDING IS CONSIDERED MINOR NATURE AND IS ASSUMED TO BE INSPECTED BY THE BUILDING INSPECTOR. SPECIAL INSPECTIONS CAN BE ADDED TO THIS PROJECT AT THE REQUEST OF THE BUILDING DEPARTMENT. BUILDING DEPARTMENT, PLEASE IDENTIFY SPECIFIC MATERIALS THAT WILL REQUIRE SPECIAL INSPECTIONS.

SUBSTITUTIONS, SUBMITTALS, AND RFI'S

1. CONTRACTOR SHALL SUBMIT ALL SUBSTITUTIONS FOR APPROVAL PRIOR TO CONSTRUCTION WITH THE FOLLOWING INFORMATION:
 - A. THE SCOPE, EXTENT, AND ALL LOCATIONS AFFECTED BY THE PROPOSED SUBSTITUTION.
 - B. SPECIFIC DRAWING OR SPECIFICATION REFERENCES FOR THE ORIGINAL PRODUCT OR SYSTEM SPECIFIED.
 - C. THE REASON FOR THE PROPOSED CHANGE.
 - D. COST SAVINGS AND/OR IMPACT ON THE SCHEDULE
 - E. IMPACT ON ANY GUARANTEES OR WARRANTIES ASSOCIATED WITH THE PRODUCT OR SYSTEM.
 - F. COORDINATION REQUIRED WITH OTHER TRADES OR ADJACENT MATERIALS.
 - G. ANY AND ALL DEVIATIONS FROM THE SPECIFIED REQUIREMENTS.
2. SHOP DRAWING SUBMITTALS SHALL BE SUBMITTED BY THE GENERAL CONTRACTOR IN A TIMELY MANNER TO PROVIDE AN ADEQUATE AMOUNT OF TIME FOR REVIEW.
 - A. ALL SUBMITTALS MUST BE REVIEWED BY THE GENERAL CONTRACTOR PRIOR TO SUBMITTING FOR REVIEW. ANY SHOP DRAWINGS RECEIVED DO NOT BEAR THE STAMP OF THE GENERAL CONTRACTOR AS WELL AS CLEAR EVIDENCE THAT THE SUBMITTAL HAS BEEN REVIEWED WILL BE REJECTED WITHOUT REVIEW.
 - B. REVIEW BY STRUCTURAL ENGINEER OF RECORD WILL BE FOR GENERAL COMPLIANCE WITH THE CONTRACT DOCUMENTS AND CONFORMANCE WITH THE DESIGN CONCEPT. THIS REVIEW DOES NOT IN ANYWAY RELIEVE THE CONTRACTOR AND/OR THE CONTRACTOR'S SUBCONTRACTORS FROM RESPONSIBILITY FOR ERRORS OR DEVIATIONS FROM THE CONTRACT REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR ALL DIMENSIONS, PROPER FIT, QUALITIES OF THE MATERIALS, AND COORDINATION WITH OTHER TRADES AND SUPPLIERS.
 - C. IF CHANGES ARE MADE TO A PREVIOUSLY REVIEWED SUBMITTAL, DENOTE ALL REVISED AREAS WITH REVISION CLOUD AND TAGS.
 - D. STRUCTURAL SUBMITTAL REQUIREMENTS:

Submittal/Shop Drawing	Submittal	Calculations	PE/SE Seal & Signature
Concrete Mix – Conforming to ACI 318	For Review	N/a	N/a
Structural Steel	For Review	N/a	N/a
Miscellaneous Steel	For Review	N/a	N/a

- For Review denotes the contractor must submit to the design team for review. The contractor shall not fabricate or install until all design team comments have been resolved in writing.

- For Record denotes the contractor must submit to the design team for record. The contractor's engineer is responsible for all loading and coordination of loads to be resisted by the building's structural elements. Any load resisted by the building's structural elements must be approved by the EOR.

- N/a denotes not applicable.

3. REQUESTS FOR INFORMATION (RFI'S) SHALL BE SUBMITTED IN A TIMELY MANNER WHEN INFORMATION IS MISSING FROM THE CONSTRUCTION DOCUMENTS, INFORMATION IS CONFLICTING WITHIN THE CONSTRUCTION DOCUMENTS, OR IS AMBIGUOUS.
 - A. THE CONTRACTOR MUST USE DUE DILIGENCE IN ATTEMPTING TO FIND ANY ANSWER PRIOR TO SUBMITTING AN RFI.
 - B. IF THE INFORMATION REQUESTED IN AN RFI IS APPARENT FROM FIELD OBSERVATION, IS CONTAINED IN THE CONSTRUCTION DOCUMENTS, OR IS REASONABLY INFERRABLE FROM THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR ALL REASONABLE COSTS CHARGED RELATED TO ADDITIONAL SERVICES INCURRED DUE TO ANSWERING THE RFI.

CONSTRUCTION AND SAFETY

1. THE CONTRACTOR SHALL BRACE ENTIRE STRUCTURE AS REQUIRED TO MAINTAIN STABILITY UNTIL COMPLETE AND FUNCTIONING AS THE DESIGNED UNIT.
2. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF CONSTRUCTION SELECTED BY THE CONTRACTOR.
3. THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, WHEN ON SITE, THE ENGINEER IS RESPONSIBLE FOR HIS OWN SAFETY BUT HAS NO RESPONSIBILITY FOR THE SAFETY OF OTHER PERSONNEL OR SAFETY CONDITIONS AT THE SITE.
4. THE CONTRACTOR SHALL ONLY USE STRUCTURAL PLANS ISSUED AS "FOR CONSTRUCTION" OR ISSUES THEREAFTER. PRIOR ISSUES SHALL ONLY BE USED FOR PERMITTING OR BIDDING PURPOSES.
5. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. SHOULD ANY DISCREPANCY BE FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY OF THE CONDITION.
6. THE CONTRACTOR SHALL BRACE ENTIRE STRUCTURE AS REQUIRED DURING DEMOLITION AND CONSTRUCTION TO MAINTAIN STABILITY UNTIL THE STRUCTURE IS COMPLETE AND FUNCTIONING AS THE DESIGNED UNIT.
7. THE CONTRACTOR SHALL VERIFY ALL INFORMATION IN THESE DRAWINGS AND SHALL REPORT ANY ERRORS, OMISSIONS, OR DISCREPANCIES TO THE OWNER AND ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DEPARTURES FROM THESE PLANS NOT APPROVED IN WRITING BY THE OWNER AND ENGINEER.
8. THE CONTRACTOR SHALL NOT REMOVE ANY ELEMENTS WHICH MAY CAUSE THE STRUCTURE TO BECOME UNSTABLE, OR THAT WILL POSE A RISK TO PERSONS OR PROPERTY, EVEN IF INDICATED IN PLANS. IF ANY ELEMENTS BECOME UNSTABLE, CONTRACTOR IS TO STABILIZE AND SHALL INFORM THE ENGINEER/OWNER IMMEDIATELY.
9. IT IS UP TO THE CONTRACTOR TO CONTINUALLY EVALUATE THE STRUCTURAL STABILITY OF THE BUILDINGS AND THE INTEGRITY OF ALL STRUCTURAL, STRUCTURAL AND NON-STRUCTURAL THAT ARE SHOWN TO REMAIN. IF THE CONTRACTOR DETERMINES THAT SOME OF THESE ELEMENTS SHOULD BE REMOVED, HE/SHE MUST FIRST RECEIVE PERMISSION FROM THE ENGINEER/ OWNER, OR MAY BE FINANCIALLY RESPONSIBLE FOR THE REPLACEMENT OF THESE ELEMENTS.

MISCELLANEOUS STRUCTURAL NOTES

1. THESE STRUCTURAL DRAWINGS DEPICT A STRUCTURAL SYSTEM AND THE MAJOR COMPONENTS OF THAT SYSTEM, MINOR ITEMS, INCLUDING BUT NOT LIMITED TO, POURSTOPS, DECK SUPPORT ANGLES, FRAMES AT FLOOR AND ROOF DECK OPENINGS, CFS AT ARCHITECTURAL FEATURES, ETC. SHALL BE SUPPLIED BY THE CONTRACTOR AS NEEDED TO PROVIDE A COMPLETE SYSTEM.
2. WHERE DETAILS ARE CALLED FOR IN ONE AREA OF THE BUILDING, THEY SHALL BE DUPLICATED AT SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.
3. STRUCTURAL AND ARCHITECTURAL PLANS SHOW DIMENSIONS AND ELEVATIONS TO SIGNIFICANT WORKING POINTS. CONTRACTORS, DETAILERS AND SUPPLIERS ARE RESPONSIBLE FOR THE DETERMINATION OF ALL DIMENSIONS, PITCHES, ELEVATIONS, ETC. BEYOND THOSE NOTED AS NECESSARY TO THOROUGHLY DETAIL/FABRICATE THEIR WORK. CONTACT ARCHITECT WITH ANY DISCREPANCIES FOUND.

FOUNDATIONS

1. SOIL CONDITIONS:
 - A. PER THE CLIENT'S REQUEST, THE FOUNDATION DESIGN AND GENERAL FOUNDATION NOTES ARE BASED ON THE ASSUMPTION OF FAVORABLE SOIL CONDITIONS.
2. THE BOTTOM OF FOUNDATION ELEVATION INDICATED ARE FOR BIDDING PURPOSES AND MAY BE LOWERED TO SUIT SUB-SURFACE SOIL CONDITION. BEARING STRATA SHALL BE APPROVED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACING CONCRETE. PROVIDE ENGINEERED FILL OR FLOWABLE FILL CONCRETE (500 PSF) UNDER FOUNDATIONS AT SOFT SPOTS AND FOR EXTENDING EXCAVATION TO ADEQUATE BEARING MATERIAL. INSTALL FOUNDATIONS AT DESIGNED ELEVATIONS.
3. ALL FOOTINGS SHALL BEAR ON LEVEL (WITHIN 1 IN 12) UNDISTURBED SOIL OR APPROVED ENGINEERED FILL. FOUNDATIONS HAVE BEEN DESIGNED FOR A MAXIMUM SOIL BEARING PRESSURE OF 1500 PSF BELOW STRIP FOOTINGS AND 1500 PSF BELOW ISOLATED COLUMN FOOTINGS.
4. CONTRACTOR SHALL CONTACT UTILITY COMPANIES FOR LOCATING UNDERGROUND SERVICES AND IS RESPONSIBLE FOR THEIR PROTECTION AND SUPPORT.
5. COMPACTION:
 - A. ALL FILL MATERIALS SHALL BE APPROVED BY A GEOTECHNICAL CONSULTANT.
 - B. ENGINEERED FILL BENEATH FOOTINGS: MINIMUM COMPACTION 98% STANDARD PROCTOR DENSITY AT THE OPTIMUM MOISTURE CONTENT.
6. FINISHED GRADE SHALL SLOPE AWAY FROM THE PERIMETER FOUNDATION.

CONCRETE

1. CONCRETE WORK AND TESTING SHALL CONFORM TO ALL REQUIREMENTS OF ACI 301, "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS", EXCEPT AS MODIFIED BY THE SUPPLEMENTAL REQUIREMENTS BELOW. REPORTS FROM TESTS REQUIRED BY SECTION 4 OF ACI 301 SHALL BE SUBMITTED TO STRUCTURAL ENGINEER, ARCHITECT, OWNER, CONTRACTOR, CONCRETE SUPPLIER, AND BUILDING OFFICIAL.
2. CONCRETE WORK IN COLD WEATHER SHALL CONFORM TO ALL REQUIREMENTS OF ACI 306.1 "STANDARD SPECIFICATION FOR COLD WEATHER CONCRETING" AND ACI 306R "COLD WEATHER CONCRETING".

3. CONCRETE WORK IN HOT WEATHER SHALL CONFORM TO ALL REQUIREMENTS OF ACI 306R "HOT WEATHER CONCRETING". THE AIR TEMPERATURE, RELATIVE HUMIDITY, CONCRETE TEMPERATURE, AND WIND VELOCITY SHALL BE ENTERED INTO THE NOMOGRAPH OF THIS REFERENCE TO DETERMINE IF PRECAUTIONS AGAINST PLASTIC SHRINKAGE ARE REQUIRED.
4. CONCRETE MIX DESIGNS SHALL BE SUBMITTED FOR EACH TYPE OF CONCRETE TO THE STRUCTURAL ENGINEER FOR APPROVAL IN ACCORDANCE WITH ACI 301 SECTION 4.2.3.4 FIELD TEST DATA OR TRIAL MIXTURES.
5. SUBMIT SHOP DRAWINGS OF REINFORCING STEEL.
6. MATERIALS (ALSO SEE CONCRETE MIX SCHEDULE):
 - A. REINFORCING STEEL: ASTM A615 OR ASTM 996 (AXLE ONLY) 60 KSI YIELD DEFORMED BARS AND ASTM A1064 MESH, FLAT SHEETS ONLY.
 - B. FLY ASH: ASTM C618, TYPE F OR C. FLY ASH-TO-TOTAL CEMENTITIOUS RATIO SHALL NOT EXCEED 25% MAXIMUM.
 - C. GROUND GRANULATED BLAST FURNACE SLAG: ASTM C989. TOTAL GROUND GRANULATED BLAST FURNACE SLAG-TO-TOTAL CEMENTITIOUS RATIO SHALL NOT EXCEED 50% MAXIMUM.
 - D. HIGH RANGE WATER REDUCER (HRWR) ADMXTURE: ASTM C494.
 - E. CHLORIDE CONTENT OF CONCRETE: LIMIT TOTAL CHLORIDE ION CONTENT TO AMOUNT INDICATED IN TABLE 4.2.2.6 OF ACI 318. ADMIXTURES CONTAINING CHLORIDE ARE NOT PERMITTED IN REINFORCED CONCRETE OR CONCRETE CONTAINING METALS.
7. CONCRETE MIX SCHEDULE:

Application	f_c @ 28 days (psi)	Air Content ¹	Max w/c ratio ²	Max Agg. Size ¹ (in)	F Class	S Class	W Class	C Class
Footings	3000	N/a	0.55	3/4	F0	S0	W0	C0
Interior Floor Slab on Grade	4000	N/a	0.5	3/4	F0	S0	W0	C0
Exterior Flatwork (Plain Concrete)	4500	6% ± 1.5%	0.45	3/4	F3	S0	W1	C1

8. SLUMP SHALL BE MEASURED PRIOR TO THE ADDITION OF HRWR.
9. LAP SPlice REINFORCING BARS 48 BAR DIAMETERS UNLESS NOTED OTHERWISE.
10. BAR CLEARANCES BETWEEN ADJACENT BARS AND FORMWORK SHALL BE AS NOTED ON THE DRAWINGS OR A MINIMUM AS PER ACI REQUIREMENTS.

EXPANSION AND EPOXY ADHESIVE ANCHORS

1. EXPANSION ANCHORS:
 - A. EXPANSION ANCHORS SHALL BE MANUFACTURED BY THE HILTI COMPANY AND SHALL BE THE TYPE, SIZE, AND EMBEDMENT INDICATED ON THE DRAWINGS. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. SUBSTITUTES MAY BE CONSIDERED; SUBMIT MANUFACTURER'S DATA PRIOR TO INSTALLATION.
2. EPOXY ADHESIVE ANCHORS:
 - B. EPOXY ADHESIVE SHALL BE MANUFACTURED BY THE HILTI COMPANY AND SHALL BE THE TYPE, SIZE, AND EMBEDMENT INDICATED ON THE DRAWINGS. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. SUBSTITUTES MAY BE CONSIDERED; SUBMIT MANUFACTURER'S DATA PRIOR TO INSTALLATION.

MASONRY WALL REPAIR

1. EXTERIOR MASONRY AND STONE IS TO BE REPAIRED, REPLACED, AND CLEANED AS NEEDED. CONTRACTOR SHALL PERFORM AN OBSERVATION OF ALL WALLS AND EXISTING LINTELS TO DETERMINE DAMAGED AREAS THAT REQUIRE REPAIR.
2. REPAIR DAMAGED JOINTS IN MASONRY WHERE MORTAR IS SOFT, DAMAGED, OR MISSING. CUT OUT JOINTS TO A DEPTH OF 2X THE WIDTH OF THE JOINT OR UNTIL SOUND MORTAR. REMOVE DUST AND LOOSE MATERIAL BY HAND BRUSHING. MORTAR TO MATCH EXISTING IN COMPOSITION, COLOR, TOOLING, PROFILE AND HARDNESS.
3. REPLACE MISSING, ERODED, SPALLED OR CRACKED MASONRY UNITS. CUT OUT UNITS, INCLUDING ENTIRE MORTAR JOINT AROUND MASONRY UNIT. REMOVE UNITS BY HAND USING CARE SO AS NOT TO DAMAGE ADJACENT MASONRY. TURN EXISTING BRICKS AROUND AND/OR USE SALVAGED BRICK IF POSSIBLE. BUILD-IN NEW MASONRY AND JOINTS TO MATCH EXISTING. ALIGN WITH EXISTING JOINTS AND COURSING TRUE AND LEVEL. FACES PLUMB AND IN-LINE. INSTALL ANY ANCHORS, FLASHING, OR REINFORCEMENTS AS NECESSARY. ALL NEW WORK SHALL MATCH THAT OF THE SURROUNDING MASONRY.
4. REMOVE CRACKED, DAMAGED AND SEVERELY SPALLED STONE LINTELS AND SILLS WITH CARE IN A MANNER TO PREVENT DAMAGE TO ADJACENT REMAINING MATERIALS. BUILD-IN NEW LINTELS AND SILLS. ALIGN WITH EXISTING JOINTS AND COURSING TRUE AND LEVEL. FACES PLUMB AND IN-LINE. INSTALL ANY ANCHORAGES, FLASHINGS, OR REINFORCEMENTS AS NECESSARY. WHERE APPLICABLE, NEW LINTELS AND SILLS TO BE PRECAST CONCRETE TO MATCH EXISTING IN COLOR AND TEXTURE. THE CONTRACTOR SHALL PROVIDE SAMPLES FOR APPROVAL PRIOR TO ORDERING MATERIAL. ALL STONE REPLACEMENT WORK WILL BE DONE WITHOUT DAMAGE. TO MATCH THE EXISTING HISTORIC STONE AND MASONRY.
5. NEW MASONRY CONSTRUCTION FOR WALLS NEEDING TO BE ENTIRELY REBUILT SHALL BE CONSISTED OF AN EXTERIOR WYTHE OF SIMILAR BRICK MATERIAL OF THE ERA. COMPOSITE CONSTRUCTION WITH AN INNER 4" WYTHE OR 8" WYTHE OF CONCRETE MASONRY, TO MATCH EXISTING WALL WIDTH. INTER-CONNECT W/ 9 GAUGE LADDER TYPE JOINT REINFORCING (GALVANIZED) @ 8" O.C. GROUT ALL COLLAR JOINTS SOLID WITH NO VOIDS.
6. SPIRA-LOK TIES ARE MANUFACTURED BY HOHMANN & BARNARD SHALL BE 8MM, 304 STAINLESS STEEL. INSTALL IN MORTAR JOINTS, LENGTH AS NEEDED SO END OF TIE WITH WITHIN 1" OF EXTERIOR AND INTERIOR FACE OF MASONRY. WHERE TIE IS INSTALLED INTO INTERIOR WOOD FRAMING, PENETRATE WOOD A MINIMUM OF 3". ALTERNATES WILL BE CONSIDERED UPON SUBMITTING MANUFACTURER INFORMATION.

WOOD

1. MATERIALS:
 - A. FRAMING LUMBER:
 - a. 2x8 AND LARGER: NO.1 GRADE OR BETTER SOUTHERN PINE KILN DRIED
 - b. 2x4: STUD GRADE OR BETTER SPRUCE PINE FIR KILN DRIED.
 - c. 2x6: NO.2 GRADE OR BETTER SPRUCE PINE FIR KILN DRIED.
 - d. ACQ-C (ALT CA-B OR SBX-DOT) PRESSURE TREAT PIECES IN CONTACT WITH FOUNDATION OR EXPOSED TO WEATHER.
2. SHEATHING AND SUBFLOORING:
 - A. 4824 APA RATED TONGUE AND GROOVE SUBFLOOR EXPOSURE 1.
 - B. 32/16 APA RATED ROOF SHEATHING EXPOSURE 1.
 - C. 24/16 APA RATED STRUCTURAL WALL SHEATHING EXPOSURE 1.
 - D. ALL SHEATHING TO BE NAILED WITH 8d NAILS AT 6" ON CENTER AT PANEL EDGES AND 12" ON CENTER AT INTERMEDIATE SUPPORTS UNLESS NOTED OTHERWISE.
 - E. ROOF AND WALL SHEATHING SHALL BE SPACED A MINIMUM 1/8" AT PANEL EDGES AND ENDS OF SHEETS. USE APPROPRIATE PLYWOOD CLIPS AS RECOMMENDED BY THE APA.
 - F. ALL PLYWOOD SUBFLOORING SHALL BE GLUED AND NAILED.
3. NAIL SIZES AS CALLED OUT IN THE STRUCTURAL DRAWINGS AND FOR SIMPSON CONNECTORS ARE LISTED BELOW. NAIL GUN NAILS SHALL MEET DIAMETER AND LENGTH OF NAILS LISTED BELOW, OR ELSE NAILS SHALL BE DRIVEN WITH A HAMMER.
 - A. 6d NAILS ARE 0.120"Ø x 1 1/4" LONG (MIN 3/8" HEAD)
 - B. 8d NAILS ARE 0.131"Ø x 2 1/2" LONG
 - C. 10d NAILS ARE 0.148"Ø x 3" LONG
 - D. 16d NAILS ARE 0.162"Ø x 3 1/2" LONG
4. SIMPSON HANGERS:
 - A. ALWAYS USE THE NAIL OR FASTENER AS SPECIFIED BY SIMPSON, INCLUDING THE CORRECT DIAMETER AND LENGTH.
 - B. WHEN FASTENING TO A SINGLE PLY 1 1/2" OR 1 3/4" MEMBER, 1 1/2" FLANGE NAILS ARE ACCEPTABLE. USE FULL LENGTH NAILS FOR DIAGONAL NAILS OF DOUBLE SHEAR HANGERS.
5. ADHESIVE FOR PLYWOOD SUBFLOORING SHALL CONFORM TO PERFORMANCE SPECIFICATION AFG-01 DEVELOPED BY APA.
6. UNLESS NOTED OTHERWISE, CONNECTORS SHALL BE MADE PER TABLE 2304.10.1, "RECOMMENDED FASTENING SCHEDULE", IN REFERENCED BUILDING CODE. STAPLES NOT PERMITTED FOR FASTENING APA RATED SHEATHING AND SUBFLOORING.
7. ALL PLYWOOD SUBFLOORING SHALL BE GLUED AND NAILED.
8. ALL CONNECTION HARDWARE SPECIFIED ON THE STRUCTURAL DRAWINGS SHALL BE MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY AND SHALL BE FASTENED AS SPECIFIED IN THE SIMPSON PRODUCT AND INSTRUCTION MANUAL.



PLATTE
Architecture + design

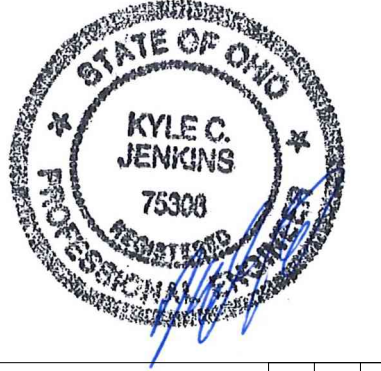
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BID SET / BID PERMIT	REVISION/SUBMISSION	Date
1	#	08/30/2024 / 04/28/2023

Design Team: KC / SJ
Date: 04/28/2023

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PROPOSED PROJECT: PREPARED FOR: PLATTE ARCHITECTURE + DESIGN

RENOVATION FOR
1804 REPUBLIC
CINCINNATI, OH 45202
FINDLAY FLATS

Proj. No.: 22146.21

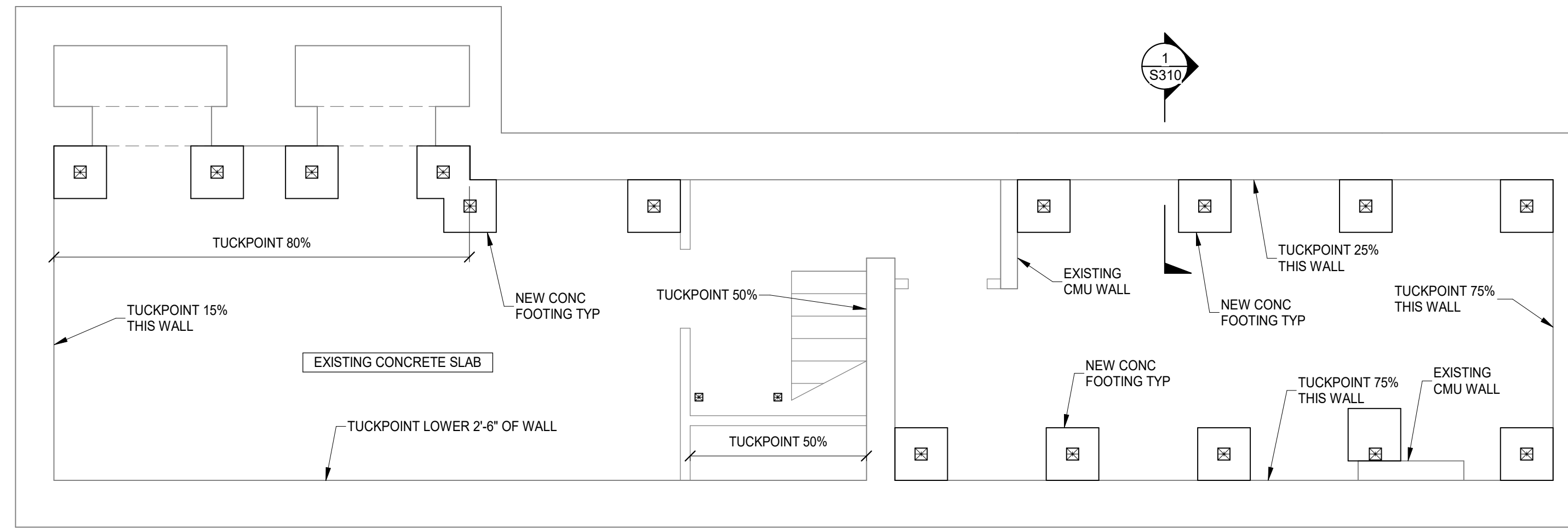
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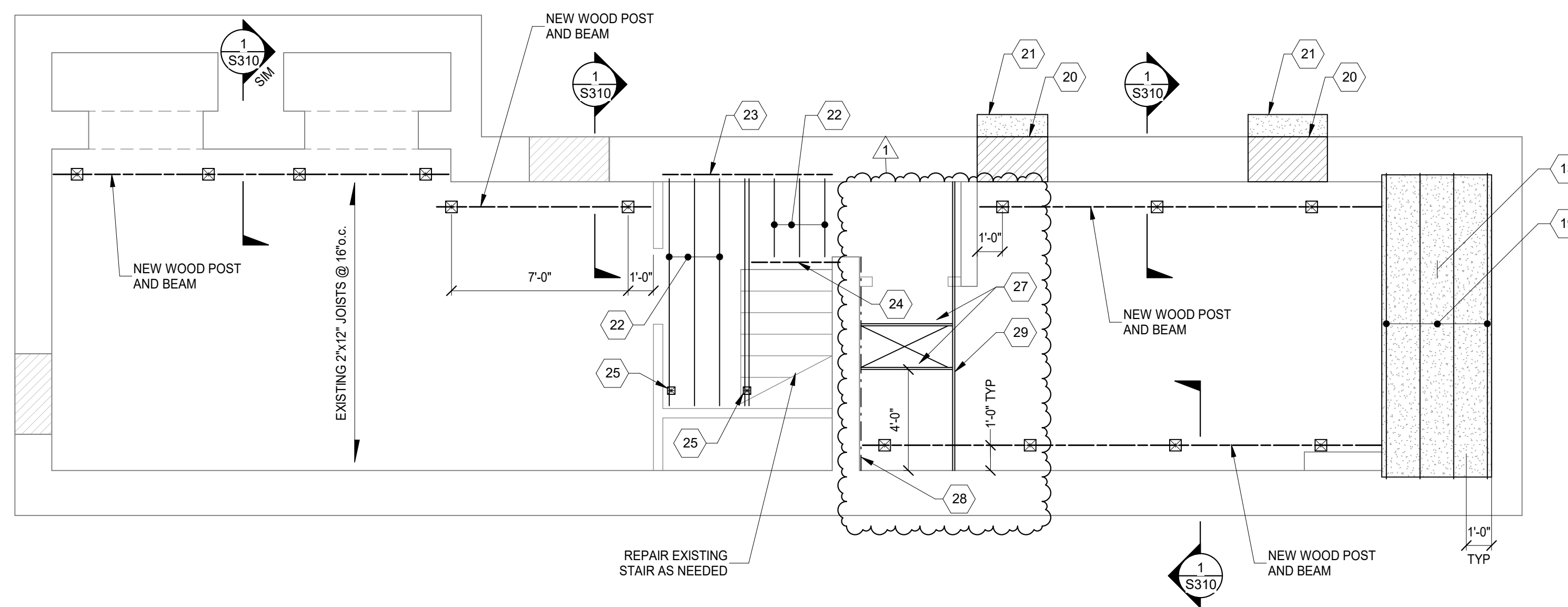
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- 2 EX SISTERS. SHIM BEARING AT WALL. RE-FASTEN PER THE TYPICAL END SISTER DETAIL.
- 3 NEW END SISTER PER TYPICAL DETAIL.
- 4 NEW 1-3/4"x9-1/4" x 16' LONG LVL SISTER. BEAR ON SOUTH MASONRY WALL. FASTEN SISTER w/ (3) 1/2"x3-1/2" SWS EACH END AND PER PLAN NOTE.
- 5 NEW 2x10x10' LONG LVL SISTER. AT SOUTH WALL, BEAR ON MASONRY OR HANG TO LEDGER w/ LUS28 HANGER WHERE APPLICABLE. FASTEN SISTER w/ (3) 1/2"x3-1/2" SWS EACH END AND PER PLAN NOTE.
- 6 NEW 2x10 LEDGER w/ 1/2" SLEEVE ANGLE @ 12" o.c. STAGGERED. CONNECT EACH END OF LEDGER TO NEW CONTINUOUS SISTER w/ SIMPSON L70 ANGLE.
- 7 NEW 2x10 JOISTS @ 12" o.c., POCKET INTO WALL UTILIZING EXISTING JOIST POCKETS. RE-CONSTRUCT POCKETS AS NEEDED.
- 8 NEW 2x10 JOISTS @ 12" o.c. POCKET INTO WALL UTILIZING EXISTING JOIST POCKETS. RE-CONSTRUCT POCKETS AS NEEDED. HANG TO HEADER w/ LUS28 HANGERS.
- 9 NEW (2) 2x10 HEADER w/ LUS28-2 HANGERS EACH END.
- 10 NEW 2x10 JOIST w/ L70 ANGLE EACH END.
- 11 NEW (2) 2x10 BEAM POCKET INTO WALL UTILIZING EXISTING JOIST POCKETS. RE-CONSTRUCT POCKETS AS NEEDED.
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- 13 REMOVE EXISTING SHEATHING AND PROVIDE NEW APA RATED SHEATHING.
- 14 REMOVE EXISTING BEAM. PROVIDE NEW 2x6 STUD WALL w/ 2x6 STUDS AT 16" o.c. SHEATH A MINIMUM OF (1) SIDE WITH DRYWALL, (1) 3' DOOR OPENING w/ (2) 2x8 HEADER, (1) BEARING STUD AND (1) FULL HEIGHT STUD EACH END.
- 15 NEW (2) 1 1/2"x7 1/2" LVL JOIST EACH SIDE OF OPENING, BEAR ON MASONRY WALL EACH END.
- 16 NEW (2) 2x8 HEADER w/ LUS28-2 HANGERS EACH END. CUT EX JOISTS AND CONNECT TO HEADER w/ HU28 HANGERS.
- 17 2x4 WALL FOR CONDENSER PLATFORM SUPPORT.
- 18 PROVIDE NEW LINTELS AT NEW EXTERIOR OPENING PER TYPICAL DETAIL.
- 19 REMOVE EXISTING JOISTS AND PROVIDE NEW PT 2x12 @ 16" o.c.
- 20 INFILL EX OPENING WITH SOLID CMU OR HOLLOW CMU GROUTED SOLID, TO MATCH WALL THICKNESS ABOVE. GROUT/MORTAR TIGHT TO EX STONE FOUNDATION WALLS AND MASONRY ABOVE. REMOVE EX WOOD LINTELS. CUT EXISTING JOISTS BACK AND BEAR JOISTS ON NEW BEAM. REMOVE DEBRIS FROM EXTERIOR WINDOW WELL OR STAIR, AND FILL WITH CDF. TOP WITH 4" CONCRETE SIDEWALK SLAB.
- 21 REMOVE EXISTING DEPRESSED SIDEWALK SLAB AND INVESTIGATE SOIL BELOW. REMOVE LOOSE SOIL AND FILL WITH CDF. REPLACE SIDEWALK WITH NEW 4" CONCRETE SLAB.
- 22 NEW 2x12 PT JOISTS AT 12" o.c. HANG WITH LUS210 HANGERS.
- 23 NEW CONT 2x12 PT LEDGER BEARING ON STONE WALL.
- 24 NEW (2) 2x12 PT HEADER WITH HHUS210-2 HANGER AND BEAR ON WALL.
- 25 NEW 4x4 WOOD POST. MITER BEARING AT CORNER, 45 DEGREES AND BEAR ON POST. CONNECT TO CONCRETE WITH ABA44Z POST BASE TO EXISTING SLAB.
- 26 NEW (2) 2x12 HEADER.
- 27 NEW (2) 2x12 HEADER w/ LUS210-2 EACH END. HANG EX JOISTS TO HDR w/ LU210R-18 HANGERS.
- 28 CONNECT EX JOIST TO MASONRY WALL w/ 5/8" THREADED ROD AND HILTI HIT-HY 270, 4" EMBED, @16" o.c. STAGGERED. (2) @ EACH HEADER LOCATION.
- 29 NEW (2) 2x12 P.T. BEAM. BEAR ON MASONRY EACH END.
- 29 NEW (2) 2x10 BEAM. BEAR ON WALL EACH END.
- 29 NEW (2) 1 1/2" x 9 1/2" LVL BEAM. BEAR ON WALL EACH END.

PLAN NOTES:

1. COORDINATE ALL DIMENSIONS, DOOR AND WINDOW LOCATIONS WITH ARCHITECTURAL DRAWINGS.
2. REMOVE DAMAGED OR SATURATED SHEATHING AND REPLACE WITH NEW APA RATED SHEATHING. REPLACE DAMAGED, SATURATED OR DETERIORATED JOISTS WITH NEW JOISTS OF THE SAME SIZE.
3. LUMBER AT 1ST FLOOR AND BASEMENT SHALL BE PRESSURE TREATED.
4. WOOD LINTELS AT OPENINGS IN MASONRY WALLS WHERE ROTTED SHALL BE REPLACED WITH A STEEL HSS4x4x3/8 (GALVANIZED) LINTEL AT EACH 4" WYTHE. ALTERNATIVELY USE A 4"x8" PRECAST CONCRETE LINTEL WITH #5 TOP AND BOTTOM EACH 4" WYTHE, OR AN L4x3-1/2x5/16" LINTEL LLV, EACH WYTHE.
5. SEE STRUCTURAL ELEVATION DRAWINGS FOR EXTERIOR BRICK REPAIR AND TUCKPOINTING.
6. REPAIR AND TUCKPOINT INTERIOR MASONRY PER THE GENERAL NOTES.
7. FIELD VERIFY ALL EXISTING CONDITIONS, NOTIFY ADVANTAGE GROUP ENGINEERS OF ANY DISCREPANCIES.
8. SWS = STRUCTURAL WOOD SCREW. ALLOWABLE SCREWS ARE 1/4" SIMPSON SDS, 1/4" SPAX POWERLAGS OR 1/4" FASTEN MASTER LEDGER LOK.
9. FASTEN SISTERS WITH 1/4"x3" SWS @ 24" o.c. STAGGERED UNLESS NOTED OTHERWISE.



FOUNDATION PLAN
SCALE 1/4" = 1'-0"

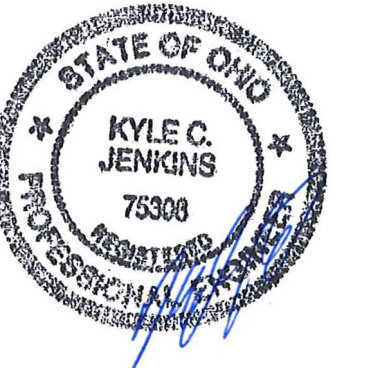


1ST FLOOR FRAMING PLAN
SCALE 1/4" = 1'-0"



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DRAWING TITLE: PLANS



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1	BID SET PERMIT / BID	08/30/2024
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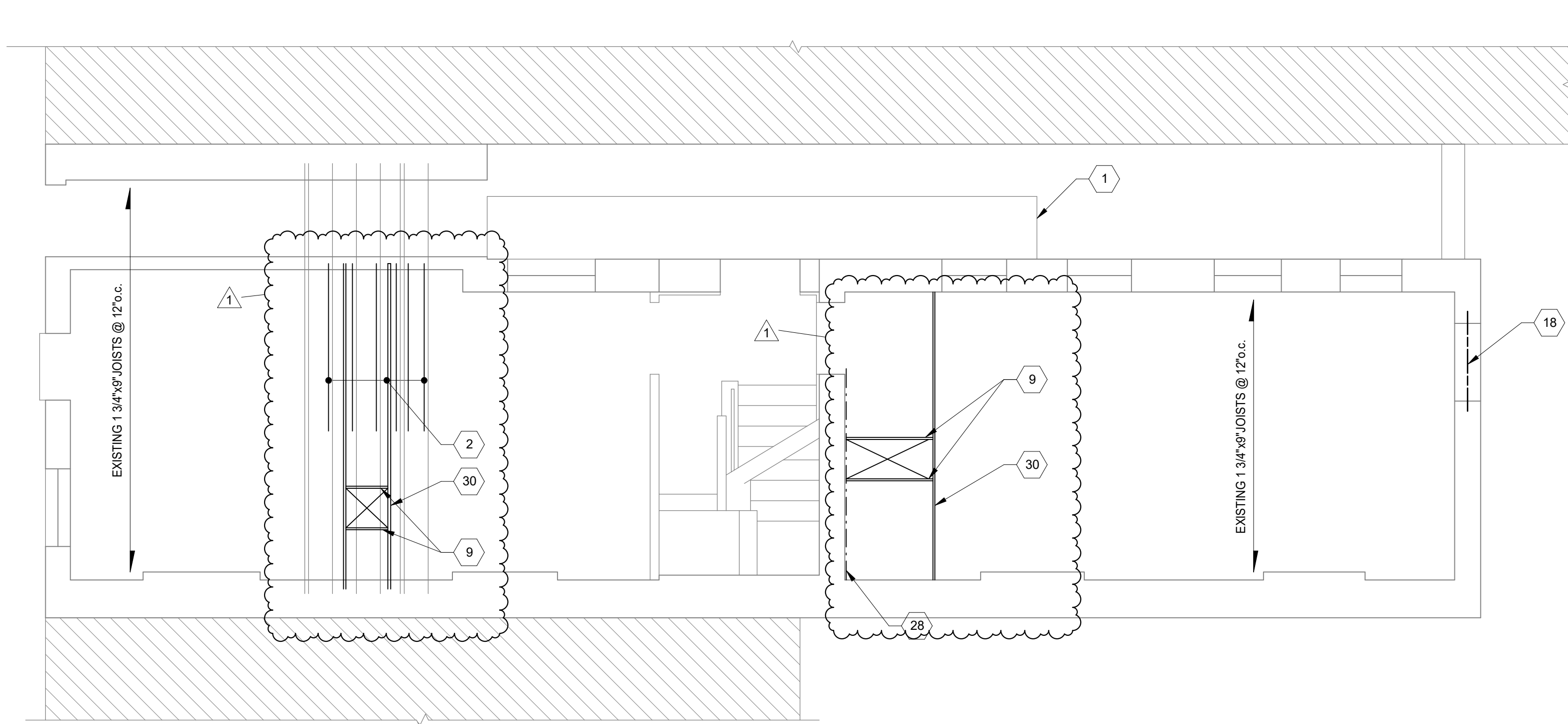
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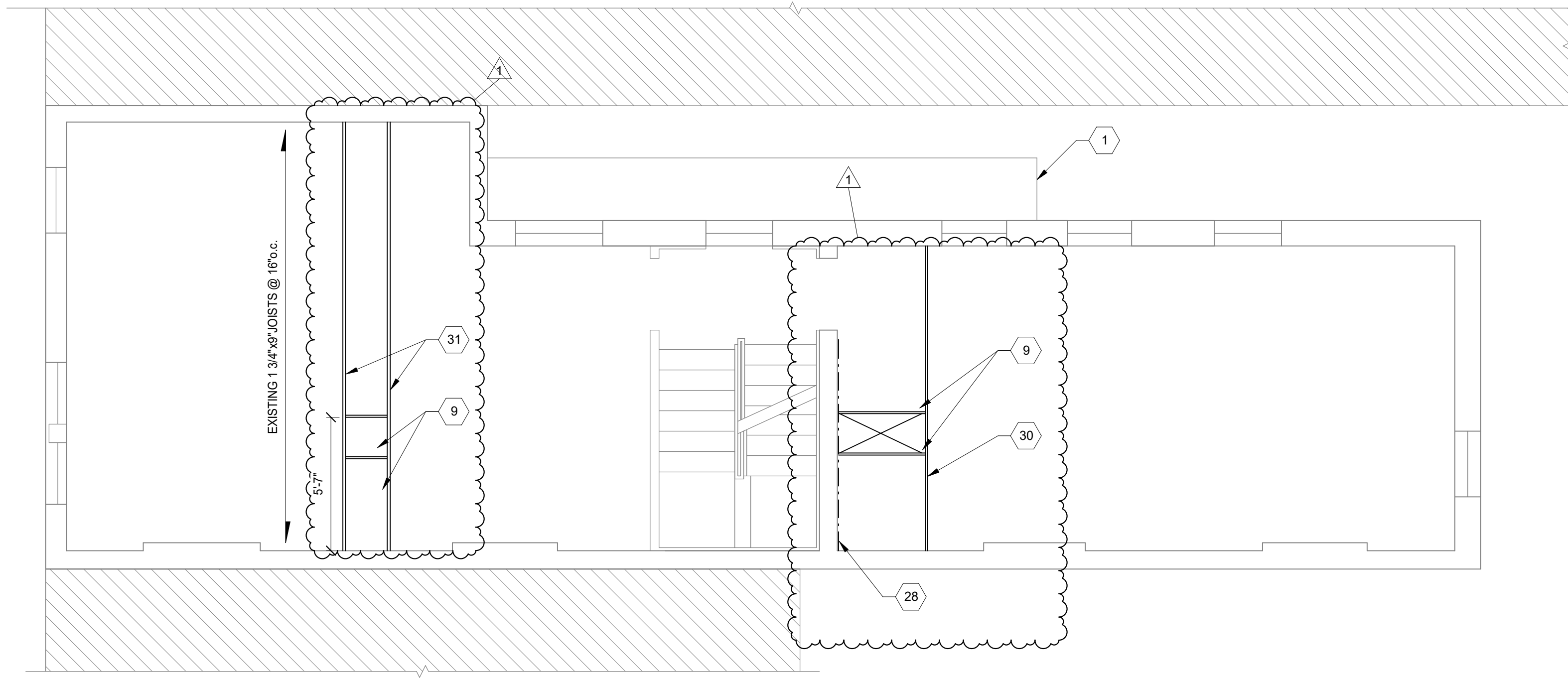
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2ND FLOOR FRAMING PLAN
SCALE 1/4" = 1'-0"
NORTH



3RD FLOOR FRAMING PLAN
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NORTH

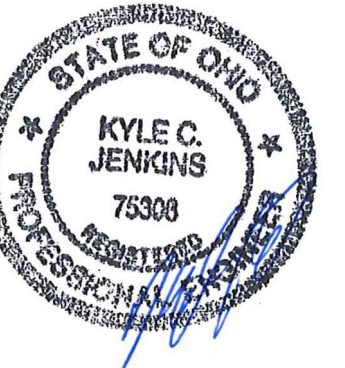
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6. REPAIR AND TUCKPOINT INTERIOR MASONRY PER THE GENERAL NOTES.
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8. SWS = STRUCTURAL WOOD SCREW. ALLOWABLE SCREWS ARE 1/4" SIMPSON SDS, 1/4" SPAX POWERLAGS OR 1/4" FASTEN MASTER LEDGER LOK.
9. FASTEN SISTERS WITH 1/4"x3" SWS @ 24" o.c. STAGGERED UNLESS NOTED OTHERWISE.

STRUCTURAL INFORMATION NOTED IS BASED ON ASSUMPTIONS OF CONDITION OF EXISTING FRAMING & FRAMING HIDDEN FROM VISUAL OBSERVATION. DETAILS OF PROPOSED FRAMING MODIFICATION/REPAIRS ARE SUBJECT TO CHANGE ONCE DEMOLITION IS UNDERWAY



#	REVISION/SUBMISSION	DATE
1	BID SET PERMIT / BID	08/30/2024
	REVISION/SUBMISSION	04/28/2023

Design Team: KCJ / SJ
Date: 04/28/2023

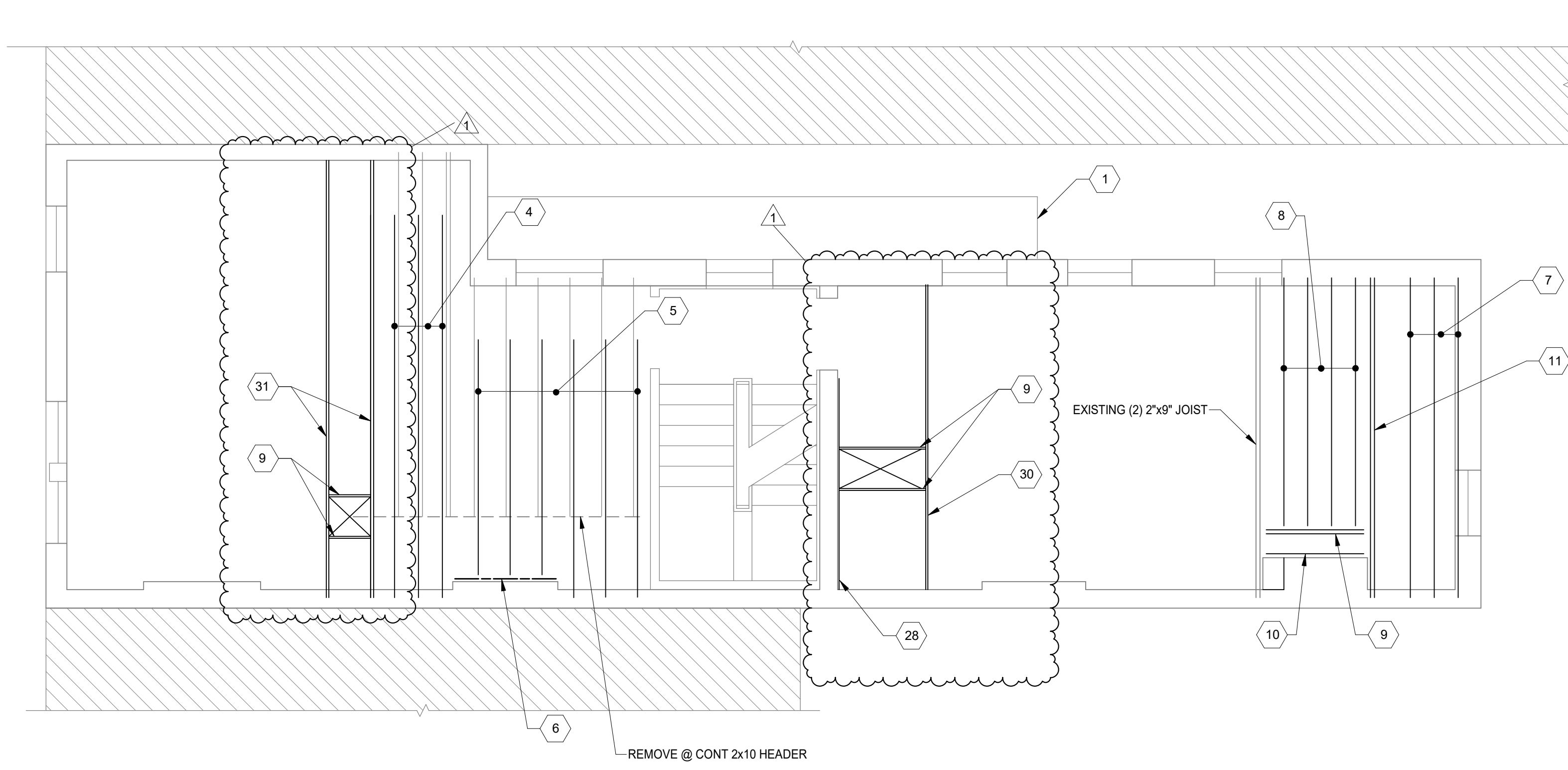
DRAWING TITLE: PLANS
PROPOSED PROJECT: PREPARED FOR: PLATTE ARCHITECTURE + DESIGN

RENOVATION FOR
1804 REPUBLIC
CINCINNATI, OH 45202
FINDLAY FLATS

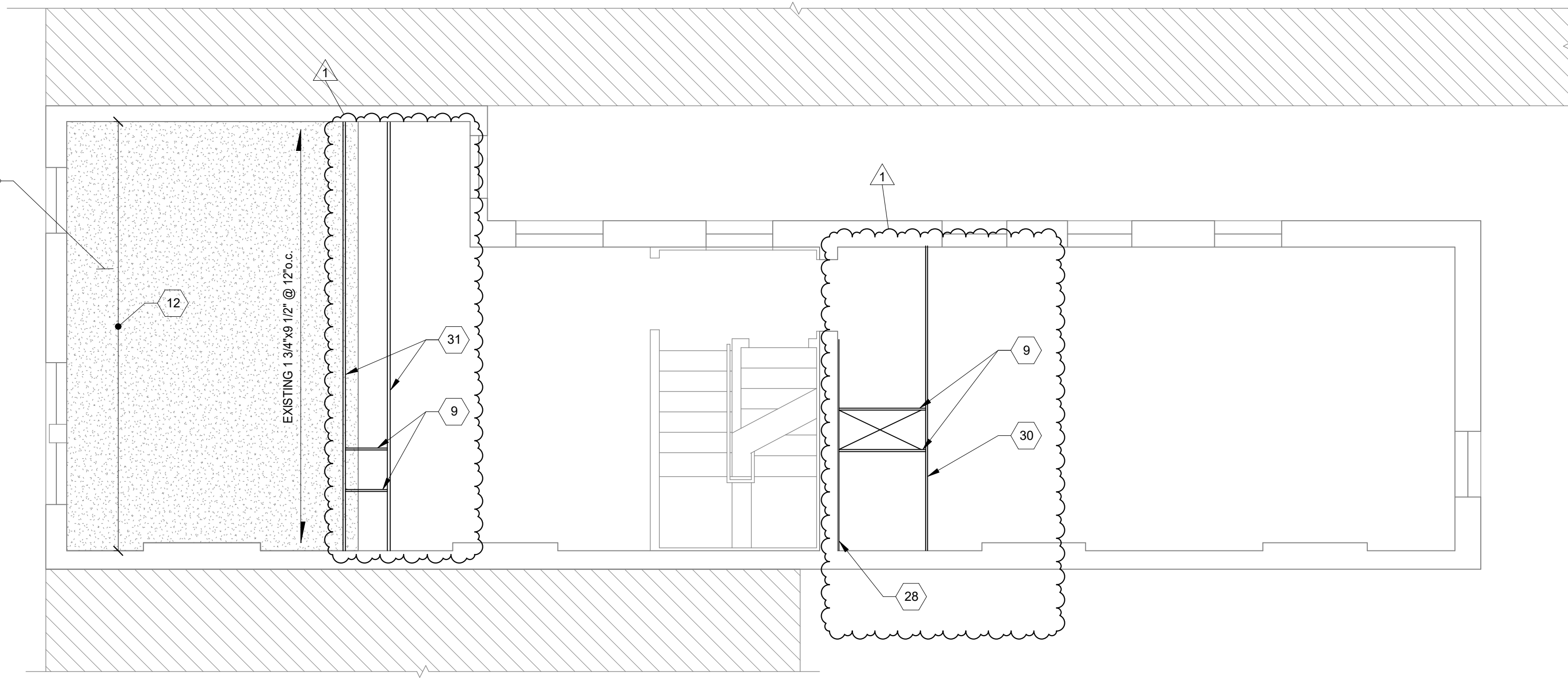
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S130

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4TH FLOOR FRAMING PLAN
SCALE 1/4" = 1'-0"
NORTH



ATTIC FLOOR FRAMING PLAN
SCALE 1/4" = 1'-0"
NORTH

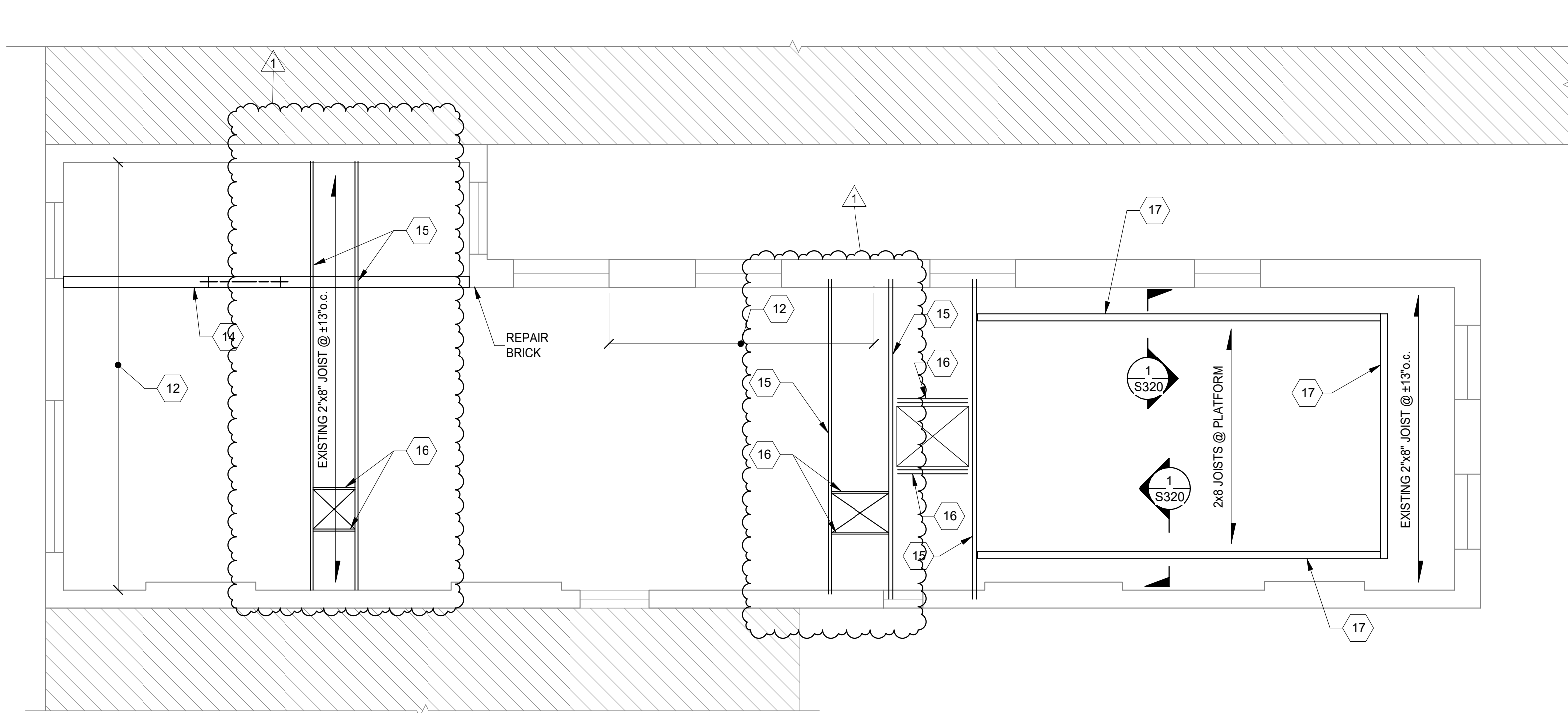
PROJECT KEYNOTES:

- 1 EXISTING FIRE ESCAPE. EVALUATION IS NOT PART OF SCOPE. INSPECTION AND REPAIR DOCUMENTS SHALL BE PREPARED BY A DESIGN PROFESSIONAL HIRED BY OWNER, SUBMITTED UNDER THE CITY OF CINCINNATI FIRE ESCAPE INSPECTION PROGRAM, IF NOT PREVIOUSLY DONE.
- 2 EX SISTERS. SHIM BEARING AT WALL. RE-FASTEN PER THE TYPICAL END SISTER DETAIL.
- 3 NEW END SISTER PER TYPICAL DETAIL.
- 4 NEW 1-3/4"x8-1/4" x 16' LONG LVL SISTER. BEAR ON SOUTH MASONRY WALL. FASTEN SISTER w/ (3) 1/2"x3-1/2" SWS EACH END AND PER PLAN NOTE.
- 5 NEW 2x10x10' LONG LVL SISTER. AT SOUTH WALL. BEAR ON MASONRY OR HANG TO LEDGER w/ LUS28 HANGER WHERE APPLICABLE. FASTEN SISTER w/ (3) 1/2"x3-1/2" SWS EACH END AND PER PLAN NOTE.
- 6 NEW 2x10 LEDGER w/ 1/2" SLEEVE ANGLE @ 12" o.c. STAGGERED. CONNECT EACH END OF LEDGER TO NEW CONTINUOUS SISTER w/ SIMPSON L70 ANGLE.
- 7 NEW 2x10 JOISTS @ 12" o.c., POCKET INTO WALL UTILIZING EXISTING JOIST POCKETS. RE-CONSTRUCT POCKETS AS NEEDED.
- 8 NEW 2x10 JOISTS @ 12" o.c. POCKET INTO WALL UTILIZING EXISTING JOIST POCKETS. RE-CONSTRUCT POCKETS AS NEEDED. HANG TO HEADER w/ LUS28 HANGERS.
- 9 NEW (2) 2x10 HEADER w/ LUS28-2 HANGERS EACH END.
- 10 NEW 2x10 JOIST w/ L70 ANGLE EACH END.
- 11 NEW (2) 2x10 BEAM POCKET INTO WALL UTILIZING EXISTING JOIST POCKETS. RE-CONSTRUCT POCKETS AS NEEDED.
- 12 APPROXIMATELY 30% OF INTERIOR WALL MASONRY IS SOFT OR DETERIORATING. REPLACE ALL BRICK THAT IS MISSING, SOFT, OR DETERIORATED BY MORE THAN 1/4". PROVIDE HOHMANN & BARNARD SPIRALOK TIES @ 24" o.c. VERTICAL AND HORIZONTAL SPACING. FULL WALL THROUGH ALL WYTHES.
- 13 REMOVE EXISTING SHEATHING AND PROVIDE NEW APA RATED SHEATHING.
- 14 REMOVE EXISTING BEAM. PROVIDE NEW 2x6 STUD WALL w/ 2x6 STUDS AT 16" o.c. SHEATH A MINIMUM OF (1) SIDE WITH DRYWALL. (1) 3' DOOR OPENING w/ (2) 2x8 HEADER, (1) BEARING STUD AND (1) FULL HEIGHT STUD EACH END.
- 15 NEW (2) 1 1/2"x7 1/2" LVL JOIST EACH SIDE OF OPENING. BEAR ON MASONRY WALL EACH END.
- 16 NEW (2) 2x8 HEADER w/ LUS28-2 HANGERS EACH END. CUT EX JOISTS AND CONNECT TO HEADER w/ HU26 HANGERS.
- 17 2x4 WALL FOR CONDENSER PLATFORM SUPPORT.
- 18 PROVIDE NEW LINTELS AT NEW EXTERIOR OPENING PER TYPICAL DETAIL.
- 19 REMOVE EXISTING JOISTS AND PROVIDE NEW PT 2x12 @ 16" o.c.
- 20 INFILL EX OPENING WITH SOLID CMU OR HOLLOW CMU GROUTED SOLID. TO MATCH WALL THICKNESS ABOVE. GROUT/MORTAR TIGHT TO EX STONE FOUNDATION WALLS AND MASONRY ABOVE. REMOVE EX WOOD LINTELS. CUT EXISTING JOISTS BACK AND BEAR JOISTS ON NEW BEAM. REMOVE DEGREES FROM EXTERIOR WINDOW WELL OR STAIR, AND FILL WITH CDF. TOP WITH 4" CONCRETE SIDEWALK SLAB.
- 21 REMOVE EXISTING DEPRESSED SIDEWALK SLAB AND INVESTIGATE SOIL BELOW. REMOVE LOOSE SOIL AND FILL WITH CDF. REPLACE SIDEWALK WITH NEW 4" CONCRETE SLAB.
- 22 NEW 2x12 PT JOISTS AT 12" o.c. HANG WITH LUS210 HANGERS.
- 23 NEW CONT 2x12 PT LEDGER BEARING ON STONE WALL.
- 24 NEW (2) 2x12 PT HEADER WITH HHUS210-2 HANGER AND BEAR ON WALL.
- 25 NEW 4x4 WOOD POST. MITER BEARING AT CORNER, 45 DEGREES AND BEAR ON POST. CONNECT TO CONCRETE WITH ABA44Z POST BASE TO EXISTING SLAB.
- 26 NEW (2) 2x12 HEADER.
- 27 NEW (2) 2x12 HEADER w/ LUS210-2 EACH END. HANG EX JOISTS TO HDR w/ LU210R-18 HANGERS.
- 28 CONNECT EX JOIST TO MASONRY WALL w/ 5/8" THREADED ROD AND HILTI HIT-HY 270, 4" EMBED, @ 16" o.c. STAGGERED. (2) @ EACH HEADER LOCATION.
- 29 NEW (2) 2x12 P.T. BEAM. BEAR ON MASONRY EACH END.
- 29 NEW (2) 2x10 BEAM. BEAR ON WALL EACH END.
- 29 NEW (2) 1 1/2" x 9 1/2" LVL BEAM. BEAR ON WALL EACH END.

PLAN NOTES:

1. COORDINATE ALL DIMENSIONS, DOOR AND WINDOW LOCATIONS WITH ARCHITECTURAL DRAWINGS.
2. REMOVE DAMAGED OR SATURATED SHEATHING AND REPLACE WITH NEW APA RATED SHEATHING. REPLACE DAMAGED, SATURATED OR DETERIORATED JOISTS WITH NEW JOISTS OF THE SAME SIZE.
3. LUMBER AT 1ST FLOOR AND BASEMENT SHALL BE PRESSURE TREATED.
4. WOOD LINTELS AT OPENINGS IN MASONRY WALLS WHERE ROTTED SHALL BE REPLACED WITH A STEEL HSS4x4x3/8 (GALVANIZED) LINTEL AT EACH 4" WYTHE. ALTERNATIVELY USE A 4"x8" PRECAST CONCRETE LINTEL WITH #5 TOP AND BOTTOM EACH 4" WYTHE, OR AN L4x3-1/2x5/16" LINTEL LVL, EACH WYTHE.
5. SEE STRUCTURAL ELEVATION DRAWINGS FOR EXTERIOR BRICK REPAIR AND TUCKPOINTING.
6. REPAIR AND TUCKPOINT INTERIOR MASONRY PER THE GENERAL NOTES.
7. FIELD VERIFY ALL EXISTING CONDITIONS. NOTIFY ADVANTAGE GROUP ENGINEERS OF ANY DISCREPANCIES.
8. SWS = STRUCTURAL WOOD SCREW. ALLOWABLE SCREWS ARE 1/4" SIMPSON SDS, 1/4" SPAX POWERLAGS OR 1/4" FASTEN MASTER LEDGER LOK.
9. FASTEN SISTERS WITH 1/4"x3" SWS @ 24" o.c. STAGGERED UNLESS NOTED OTHERWISE.

STRUCTURAL INFORMATION NOTED IS BASED ON ASSUMPTIONS OF CONDITION OF EXISTING FRAMING & FRAMING HIDDEN FROM VISUAL OBSERVATION. DETAILS OF PROPOSED FRAMING MODIFICATION/REPAIRS ARE SUBJECT TO CHANGE ONCE DEMOLITION IS UNDERWAY



ROOF FRAMING PLAN
SCALE 1/4" = 1'-0"



PROJECT KEYNOTES:

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- 5 NEW 2x10x10' LONG LVL SISTER. AT SOUTH WALL. BEAR ON MASONRY OR HANG TO LEDGER W/ LUS28 HANGER WHERE APPLICABLE. FASTEN SISTER W/ (3) 1/2"x3-1/2" SWS EACH END AND PER PLAN NOTE.
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- 21 REMOVE EXISTING DEPRESSED SIDEWALK SLAB AND INVESTIGATE SOIL BELOW. REMOVE LOOSE SOIL AND FILL WITH CDF. REPLACE SIDEWALK WITH NEW 4" CONCRETE SLAB.
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- 27 NEW (2) 2x12 HEADER W/LUS210-2 EACH END. HANG EX JOISTS TO HDR W/ LU210R-18 HANGERS.
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- 29 NEW (2) 2x12 P. T. BEAM. BEAR ON MASONRY EACH END.
- 29 NEW (2) 2x10 BEAM. BEAR ON WALL EACH END.
- 29 NEW (2) 1x6" x 9 1/2" LVL BEAM. BEAR ON WALL EACH END.

PLAN NOTES:

COORDINATE ALL DIMENSIONS, DOOR AND WINDOW LOCATIONS WITH ARCHITECTURAL DRAWINGS.

2. REMOVE DAMAGED OR SATURATED SHEATHING AND REPLACE WITH NEW APA RATED SHEATHING. REPLACE DAMAGED, SATURATED OR DETERIORATED JOISTS WITH NEW JOISTS OF THE SAME SIZE.
3. LUMBER AT 1ST FLOOR AND BASEMENT SHALL BE PRESSURE TREATED.
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5. SEE STRUCTURAL ELEVATION DRAWINGS FOR EXTERIOR BRICK REPAIR AND TUCKPOINTING.
6. REPAIR AND TUCKPOINT INTERIOR MASONRY PER THE GENERAL NOTES.
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8. SWS = STRUCTURAL WOOD SCREW. ALLOWABLE SCREWS ARE 1/4" SIMPSON SDS, 1/4" SPAX POWERLAGS OR 1/4" FASTEN MASTER LEDGER LOK.
9. FASTEN SISTERS WITH 1/4"x3" SWS @ 24" o.c. STAGGERED UNLESS NOTED OTHERWISE.



PLATTE
Architecture + design

1810 CAMPBELL ALLEY, SUITE 300 | CINCINNATI, OH 45202
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#	REVISION/SUBMISSION	Date
1	BID SET PERMIT / BID	08/30/2024
		04/28/2023

Design Team: KCJ / SJ
Date: 04/28/2023

DRAWING TITLE: ROOF FRAMING PLAN
PROPOSED PROJECT: PREPARED FOR: PLATTE ARCHITECTURE + DESIGN

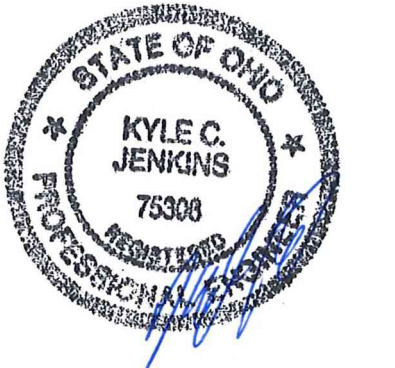
RENOVATION FOR
1804 REPUBLIC
CINCINNATI, OH 45202
FINDLAY FLATS

Proj. No.: 22146.21

SI 40

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Design Team: KCJ / SJ
Date: 04/28/2023

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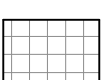


WEST ELEVATION
SCALE 1/4" = 1'-0"



NORTH ELEVATION
SCALE 1/4" = 1'-0"

BRICK REPAIR LEGEND:

-  TUCKPOINT
-  TIE BRICK WYTHES WITH HELIFIX OR SPIRALOK TIES @ 16"o.c. EACH WAY. TUCKPOINT AS NEEDED.
-  REPAIR BRICK
-  BRICK INFILL

ELEVATION NOTES:

1. TUCKPOINT JOINTS IN MASONRY WHERE MORTAR IS SOFT, DAMAGED OR MISSING.
2. REMOVE AND REPLACE SPALLING OR SOFT BRICK THAT IS COMPROMISED MORE THAN 3/4" OF DEPTH.
3. REMOVE CRACKED, DAMAGED OR SEVERLY SPALLED LINTELS AND REPLACE WITH RECLAIMED STONE OR CAST STONE LINTEL TO MATCH EXISTING.
4. ALL OBSERVATIONS WHERE MADE FROM THE GROUND LEVEL AND REPAIRS ARE SUBJECT TO CHANGE BASED ON CONTRACTOR HANDS ON INSPECTIONS.
5. AT CRACKS OR DAMAGED AREAS OF PARGE COAT, CONTRACTOR SHALL REMOVE ALL PARGE COAT THAT IS NOT SOUNDLY CONNECTED TO THE BRICK, AND REPLACE WITH NEW PARGE COAT. TUCKPOINT ANY DETERIORATED MORTAR JOINTS PRIOR TO APPLYING NEW PARGE COAT.

STRUCTURAL INFORMATION NOTED IS BASED ON ASSUMPTIONS OF CONDITION OF EXISTING FRAMING & FRAMING HIDDEN FROM VISUAL OBSERVATION. DETAILS OF PROPOSED FRAMING MODIFICATION/REPAIRS ARE SUBJECT TO CHANGE ONCE DEMOLITION IS UNDERWAY

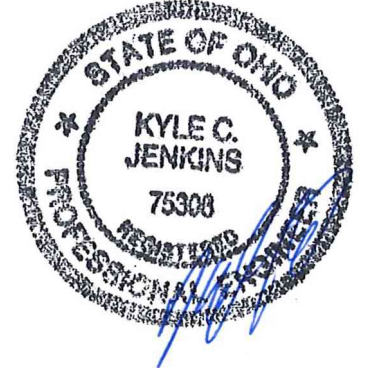
DRAWING TITLE: ELEVATIONS

PROPOSED PROJECT: PREPARED FOR: PLATTE ARCHITECTURE + DESIGN

RENOVATION FOR
1804 REPUBLIC
CINCINNATI, OH 45202
FINDLAY FLATS

Proj. No.: 22146.21

S200



#	REVISION/SUBMISSION	Date
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	PERMIT / BID	04/28/2023

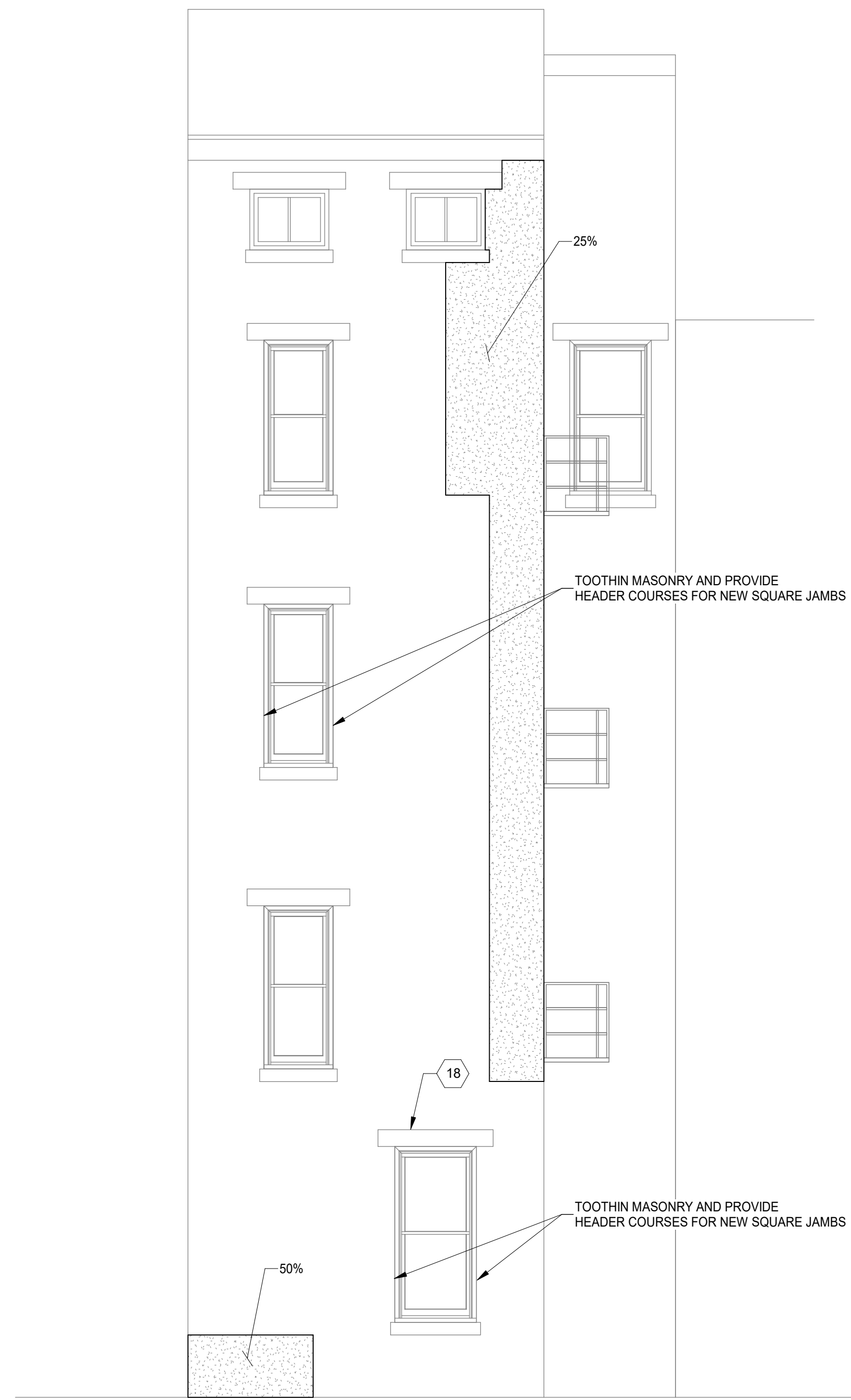
Design Team: KCJ / SJ
Date: 04/28/2023

PROPOSED PROJECT: PREPARED FOR: PLATTE ARCHITECTURE + DESIGN

**RENOVATION FOR
1804 REPUBLIC**
CINCINNATI, OH 45202
FINDLAY FLATS

Proj. No.: 22146.21

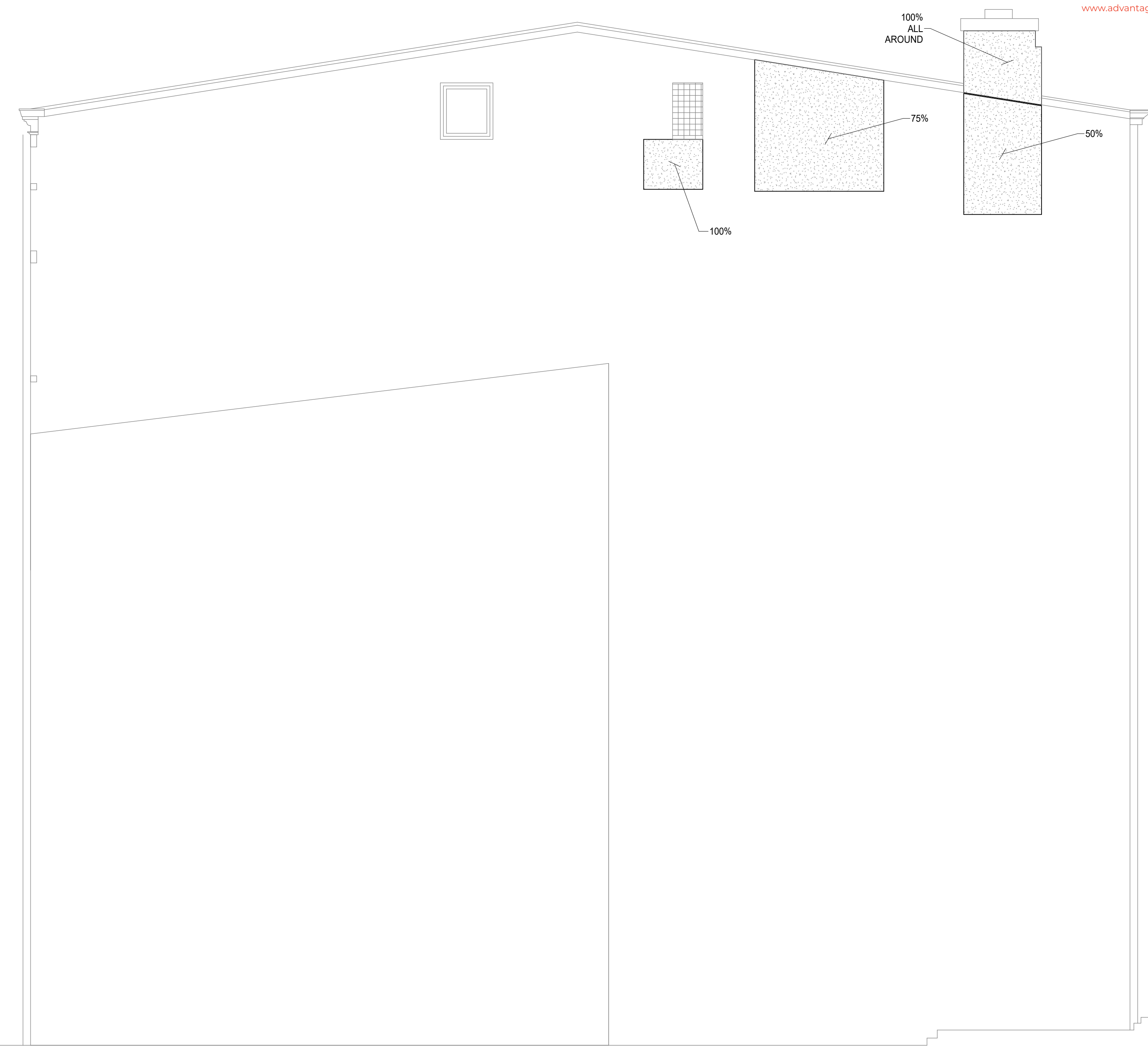
S201



EAST ELEVATION
SCALE 1/4" = 1'-0"

PROJECT KEYNOTES:

- 18 PROVIDE NEW LINTELS AT NEW EXTERIOR OPENING PER TYPICAL DETAIL.



SOUTH ELEVATION
SCALE 1/4" = 1'-0"

BRICK REPAIR LEGEND:

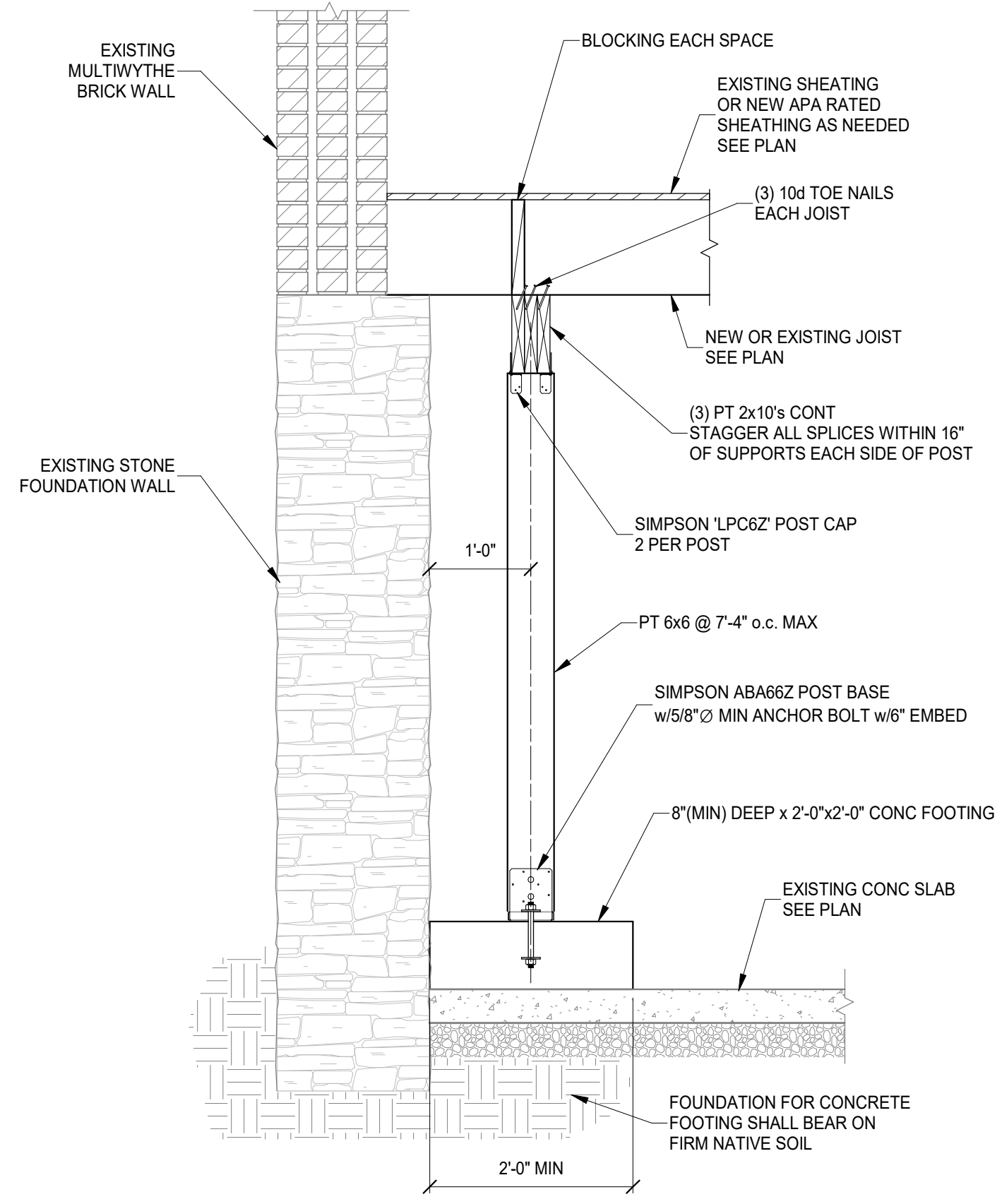
- TUCKPOINT
- TIE BRICK WYTHES WITH HELIFIX OR SPIRALOK TIES @ 16"o.c. EACH WAY. TUCKPOINT AS NEEDED.
- REPAIR BRICK
- BRICK INFILL

ELEVATION NOTES:

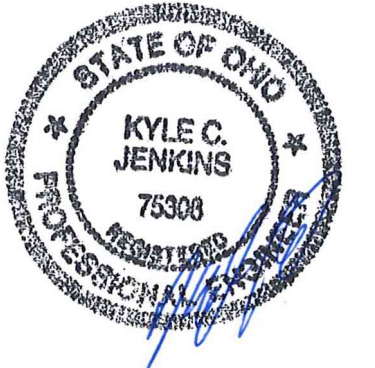
- TUCKPOINT JOINTS IN MASONRY WHERE MORTAR IS SOFT, DAMAGED OR MISSING.
- REMOVE AND REPLACE SPALLING OR SOFT BRICK THAT IS COMPROMISED MORE THAN 3/4" OF DEPTH.
- REMOVE CRACKED, DAMAGED OR SEVERLY SPALLED LINTELS AND REPLACE WITH RECLAIMED STONE OR CAST STONE LINTEL TO MATCH EXISTING.
- ALL OBSERVATIONS WHERE MADE FROM THE GROUND LEVEL AND REPAIRS ARE SUBJECT TO CHANGE BASED ON CONTRACTOR HANDS ON INSPECTIONS.
- AT CRACKS OR DAMAGED AREAS OF PARGE COAT, CONTRACTOR SHALL REMOVE ALL PARGE COAT THAT IS NOT SOUNDLY CONNECTED TO THE BRICK, AND REPLACE WITH NEW PARGE COAT. TUCKPOINT ANY DETERIORATED MORTAR JOINTS PRIOR TO APPLYING NEW PARGE COAT.

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DRAWING TITLE: ELEVATIONS



SECTION 1
SCALE 3/4" = 1'-0" S310



#	REVISION/SUBMISSION	Date
1	BID SET	08/30/2024
	PERMIT / BID	04/28/2023

Design Team: KCJ / SJ
Date: 04/28/2023

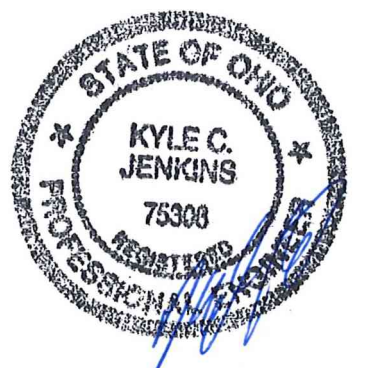
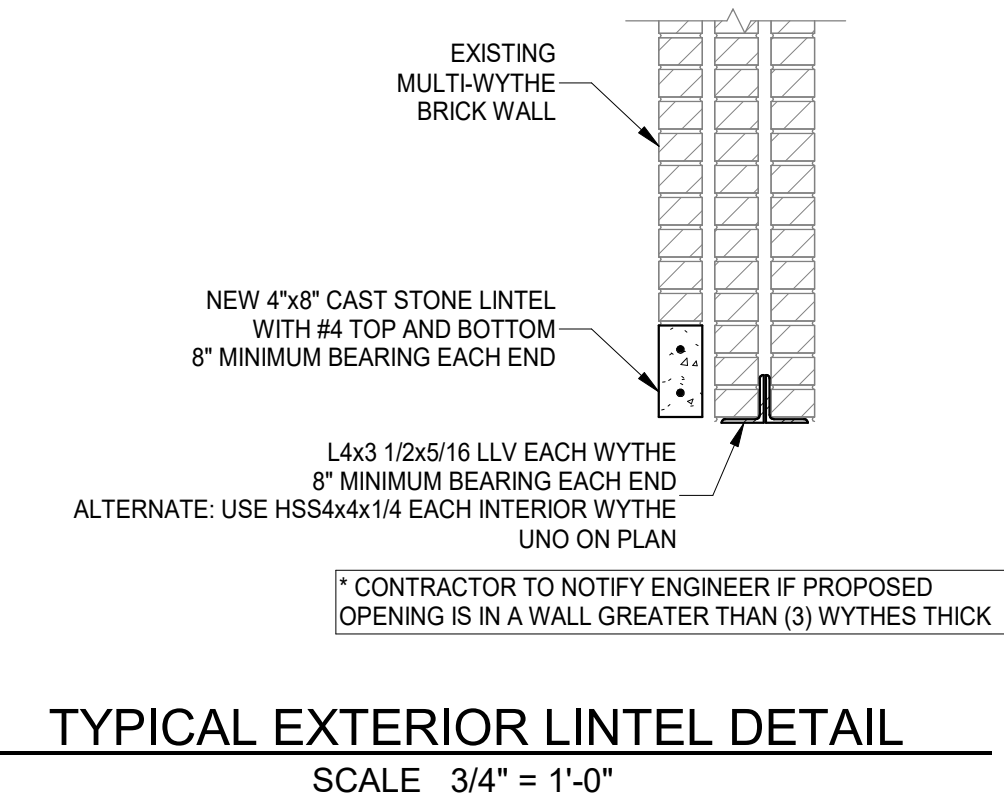
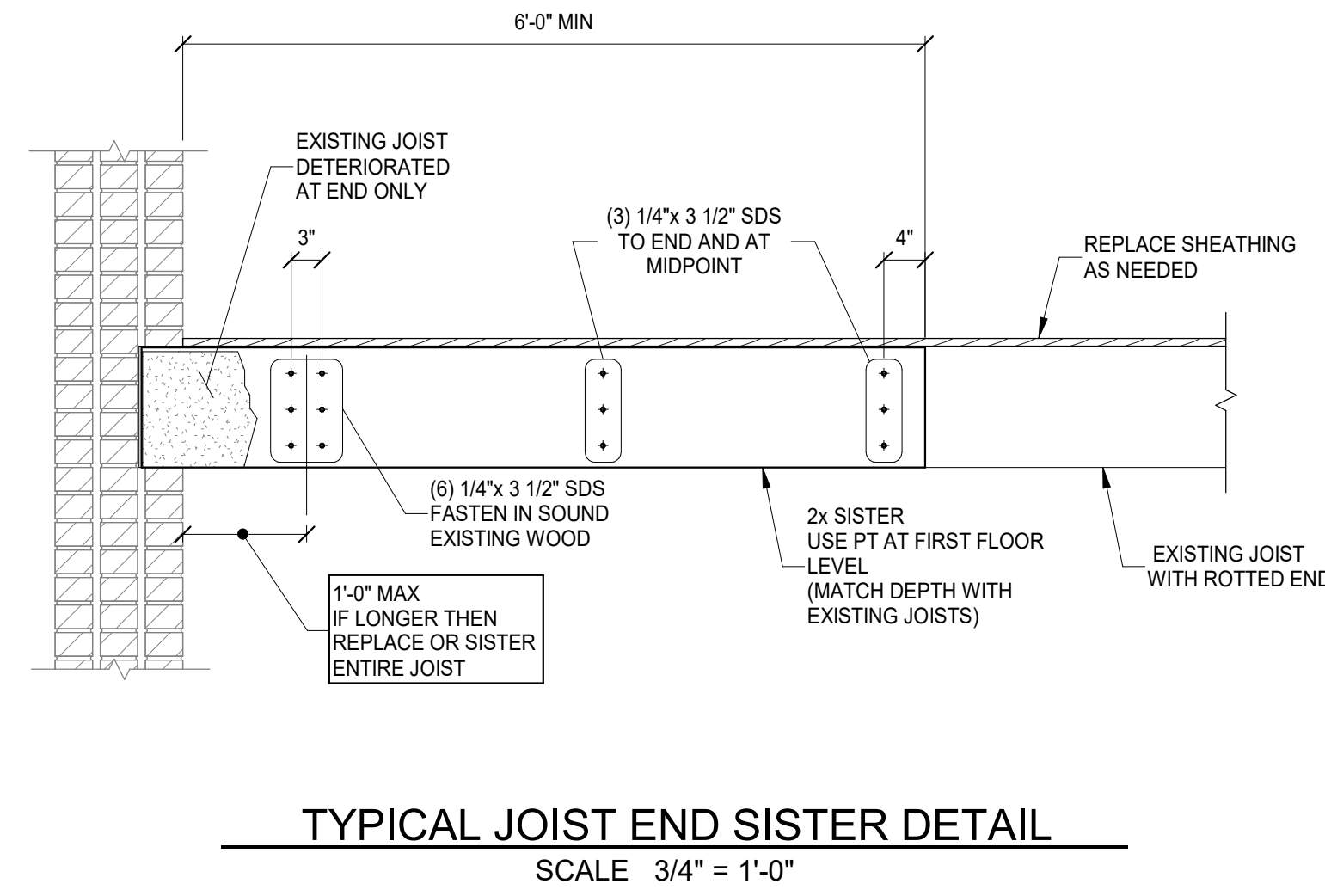
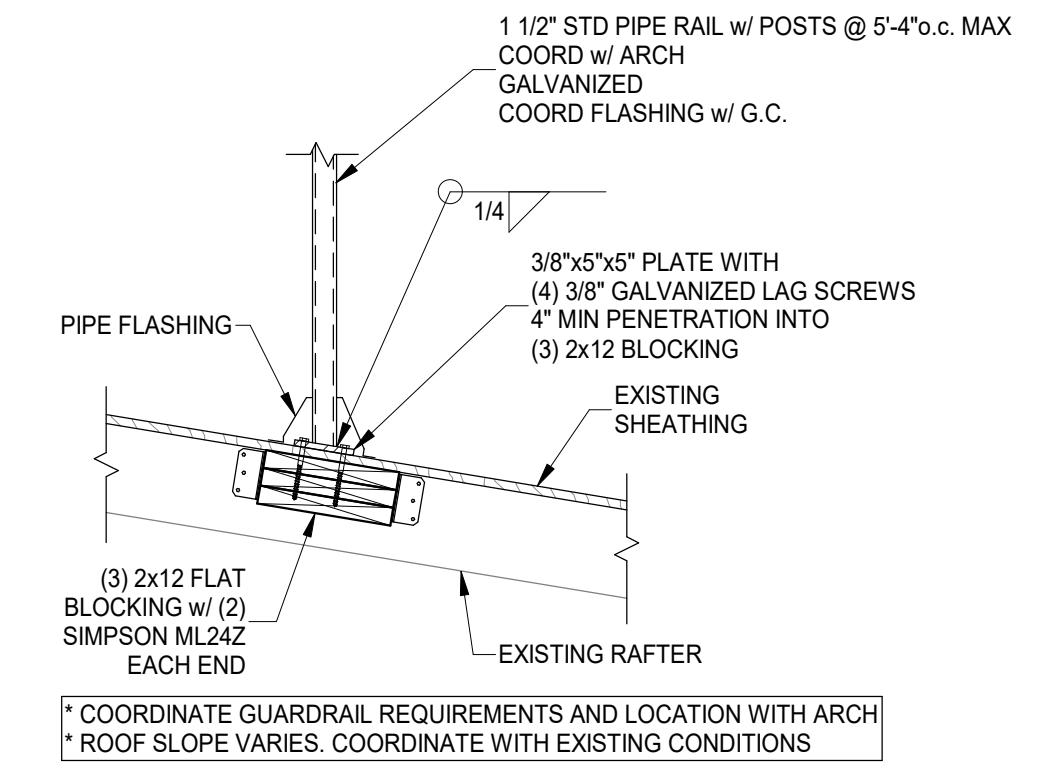
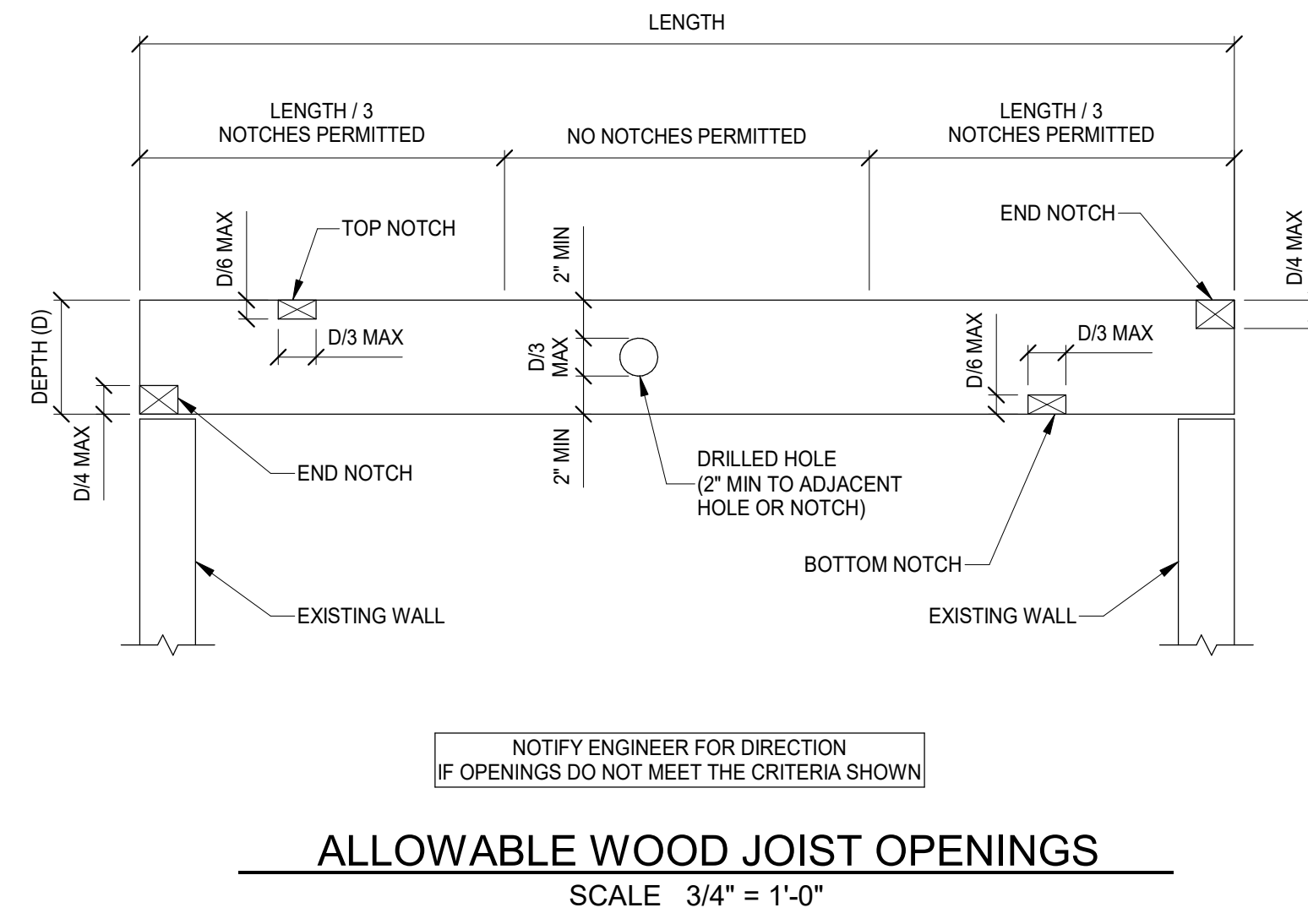
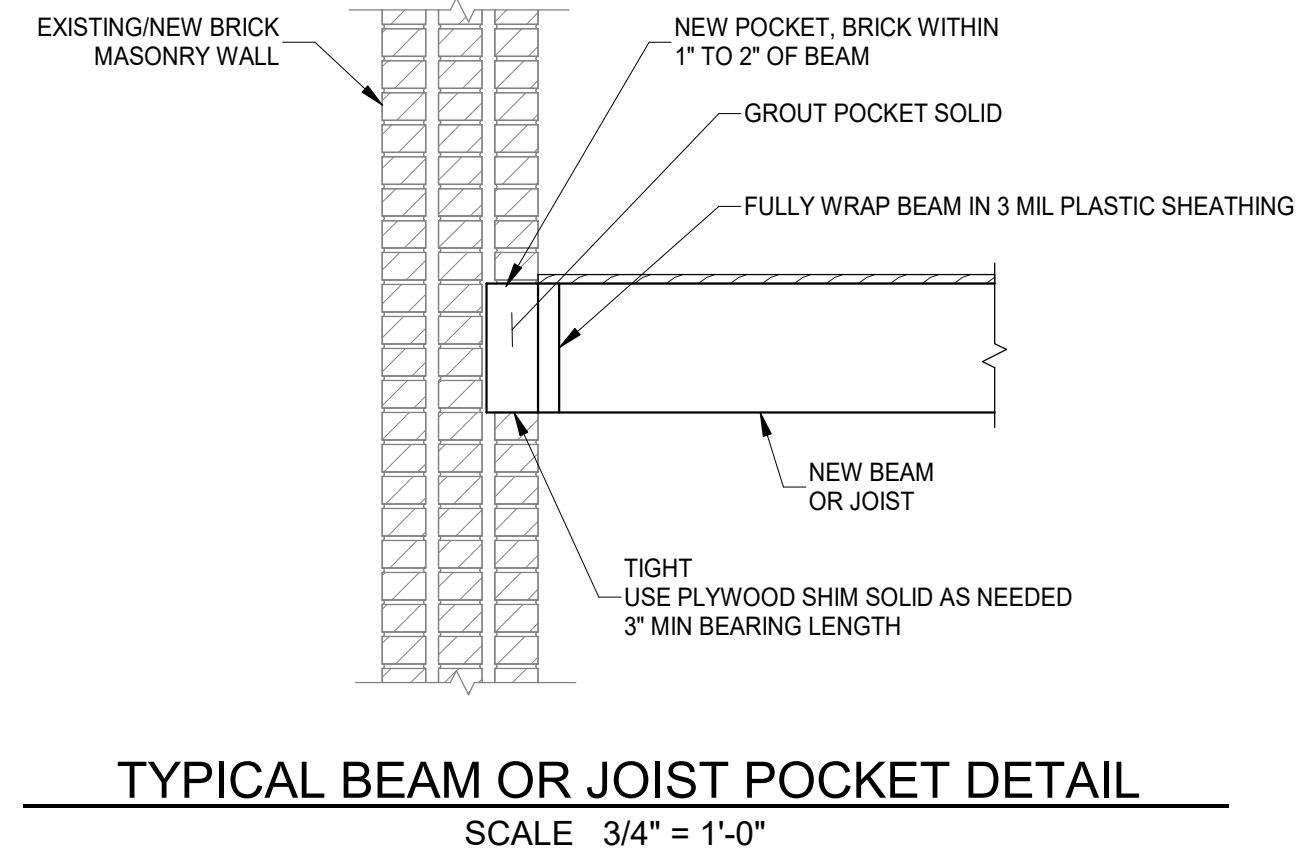
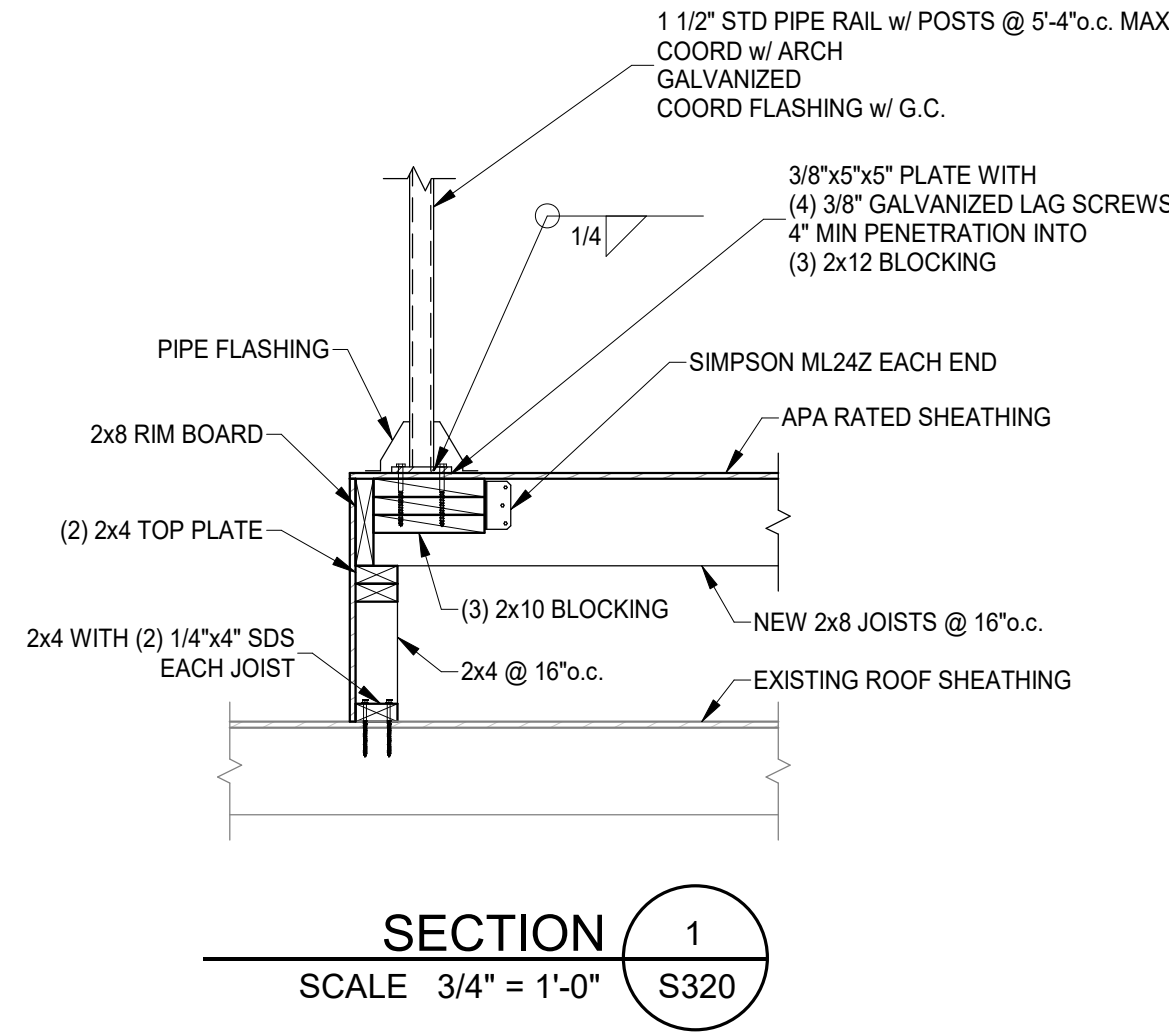
PROPOSED PROJECT: PREPARED FOR: PLATTE ARCHITECTURE + DESIGN

**RENOVATION FOR
1804 REPUBLIC**
CINCINNATI, OH 45202
FINDLAY FLATS

Proj. No.: 22146.21

S310

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Date: 04/28/2023

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RENOVATION FOR 1804 REPUBLIC
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FINDLAY FLATS

Proj. No.: 22146.21

S320

STRUCTURAL INFORMATION NOTED IS BASED ON ASSUMPTIONS OF CONDITION OF EXISTING FRAMING & FRAMING HIDDEN FROM VISUAL OBSERVATION. DETAILS OF PROPOSED FRAMING MODIFICATION/REPAIRS ARE SUBJECT TO CHANGE ONCE DEMOLITION IS UNDERWAY

DRAWING TITLE: FRAMING SECTIONS

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Z:\Projects\Directors\9700-9799\9757 - Findlay Flats - Findlay Periside (Williamson ? Phase II)\Construction Documents\Phase 2 (3 Buildings)\1804 REPUBLIC\REF-ART.dwg - Model - Plot Date/Time: Aug 29, 2024 - 10:50am - By: deede.gandy
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EBS - RESIDENTIAL DIFFUSER, GRILLE, AND REGISTER SCHEDULE

CALLOUT	DESCRIPTION	FACE SIZE (IN)	INLET SIZE (IN)	MODEL	NOTE 1
DVH-4	28 GAUGE GALVANIZED STEEL. PRE-PAINTED DRYER VENT.	6x7	4Ø	FAMCO DWVP	BACKDRAFT DAMPER/ANGLED HOOD.
EVH-4	28 GAUGE GALVANIZED STEEL. PRE-PAINTED EXHAUST VENT.	6x7	4Ø	FAMCO SDWVP	BACKDRAFT DAMPER/ANGLED HOOD. 1/4 INCH INSECT SCREEN.
EVH-6	28 GAUGE GALVANIZED STEEL. PRE-PAINTED EXHAUST VENT.	8x9	6Ø	FAMCO SDWVP	BACKDRAFT DAMPER/ANGLED HOOD. 1/4 INCH INSECT SCREEN.
FR-5	FLOOR REGISTER, ALL-STEEL CONSTRUCTION, 75% FREE AREA, TOE-OPERATED VALVE CONTROL.	12x8	10x6	HART AND COOLEY/ 210	GOLDEN SAND ENAMEL FINISH
FRG-1	RETURN AIR FILTER GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES	26x10	24x8	HART AND COOLEY/ 265	GOLDEN SAND ENAMEL FINISH
IVH-4	28 GAUGE GALVANIZED STEEL. PRE-PAINTED INTAKE VENT.	6x7	4Ø	FAMCO SWVP	ANGLED HOOD. 1/4 INCH INSECT SCREEN.
IVH-10	28 GAUGE GALVANIZED STEEL. PRE-PAINTED INTAKE VENT.	13x13	10Ø	FAMCO SWVP	ANGLED HOOD. 1/4 INCH INSECT SCREEN.
RG-2	RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES	10x8	8x6	HART AND COOLEY/ 650	BRIGHT WHITE FINISH
RR-1	STEEL RETURN GRILLE, 3/4" BLADE SPACING, 35 DEGREE DEFLECTION, BLADES PARALLEL TO LONG DIMENSION	8x8	6x6	TITUS 350RL	STEEL OPPOSED-BLADE DAMPER OPERABLE FROM THE FACE OF THE GRILLE.
SDG1W-1	ALUMINUM SINGLE DEFLECTION SPIRAL DIFFUSER	12x5	10x3	HART AND COOLEY/ SV	ADJUSTABLE DAMPER, BRIGHT WHITE FINISH

KEYED SHEET NOTES

- ROUTE 3/4" CONDENSATE DRAIN LINE TO FLOOR DRAIN IN BASEMENT. SLOPE PIPE A MINIMUM OF 1/8" PER FOOT AWAY FROM UNIT. PROVIDE CONDENSATE PUMP AS REQUIRED.
- ROUTE LINE SET FROM OUTDOOR UNIT TO INDOOR AIR HANDLER. ALL PIPING SHALL BE CONCEALED IN SHAFTS. SIZE PER MANUFACTURERS RECOMMENDATIONS.
- RETURN DUCT UP TO FIRST FLOOR.
- SUPPLY DUCT UP TO FIRST FLOOR.
- ALL BASEMENTS SHALL BE VENTILATED AS STORAGE/WAREHOUSE SPACE IN ACCORDANCE WITH TABLE 403.3 OF THE 2017 OHIO MECHANICAL CODE AT A RATE OF 0.06 CFM PER SQUARE FOOT. PROVIDE NEW FAN IN BASEMENT FOR CODE MINIMUM OSA LISTED ABOVE.
- FRESH AIR INTAKE THRU WALL TO WALL CAP.
- UNDERCUT DOOR 1" ABOVE FINISHED FLOOR FOR RETURN/MAKE UP AIR.
- ROUTE EXHAUST TO EXTERIOR WALL. INSTALL A LOUVERED VENT. SEE ARCHITECT BEFORE PENETRATION FOR EXACT LOCATION AND COLOR COORDINATION. ALL EXHAUST SHALL MEET THE FOLLOWING REQUIREMENTS.
 - 3" FROM PROPERTY LINE.
 - 3" FROM OPERABLE OPENINGS INTO BUILDING.
 - 10' FROM MECHANICAL AIR INTAKE
 - DUCT EXHAUST UP THROUGH ROOF WITH RAIN-PROOF CAP.
- MECHANICAL CONTRACTOR TO PROVIDE AND INSTALL LINE-SET COVERS FOR ALL EXPOSED REFRIGERANT PIPING AND CONDENSATE PIPING.
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- MECHANICAL CONTRACTOR TO COORDINATE DUCT ROUTING AND LOCATIONS WITH PLUMBING CONTRACTOR.

MECHANICAL SCOPE OF WORK (PLAN REVIEW ONLY)

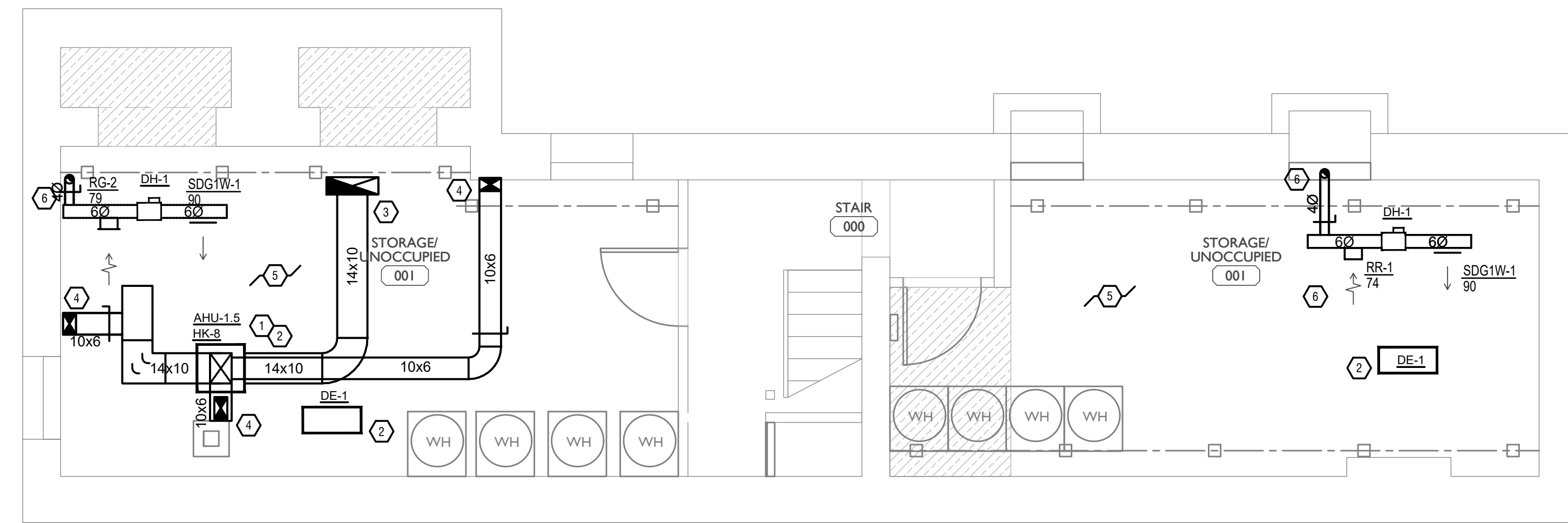
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HVAC DESIGN CONDITIONS

COMMERCIAL		RESIDENTIAL	
COOLING OUTDOOR: 93 DB / 75 WB	HEATING OUTDOOR: 0 DB	COOLING OUTDOOR: 93 DB / 75 WB	HEATING OUTDOOR: 0 DB
INDOOR: 72	INDOOR: 70	INDOOR: 75	INDOOR: 70

GENERAL NOTES

- FOR FULL SCHEDULES, SPECIFICATIONS, AND COMPLETE LISTING SEE DETAIL SHEETS.
- COORDINATE ROUTING OF ALL WORK WITH OTHER TRADES.
- COORDINATE WITH ELECTRICAL CONTRACTOR FOR POWER CONNECTIONS TO ALL MECHANICAL EQUIPMENT.
- INSTALL ALL EQUIPMENT PER MANUFACTURER'S REQUIREMENTS. MAINTAIN ALL CODE RECOMMENDED CLEARANCES FOR ACCESS AND MAINTENANCE.
- REFER TO ARCHITECTURAL PLANS FOR DIMENSIONS, AND FINAL CEILING DIFFUSER LOCATIONS.
- PROVIDE BACKDRAFT DAMPERS FOR ALL EXHAUST SYSTEMS AND EITHER LOUVER, BRICK VENT, OR CAPS AT ALL EXTERIOR BUILDING PENETRATIONS.
- IN DWELLING UNITS, ROUTE ALL SUPPLY, RETURN, AND EXHAUST DUCTWORK ABOVE DROP CEILING OR IN BULKHEADS. COORDINATE ROUTING WITH ARCHITECTURAL DRAWINGS. DUCTS SHALL BE RUN BELOW THE RATED FLOOR/CEILING.
- ROUTE ALL AIR CONDITIONER CONDENSATE TO NEARBY FLOOR DRAIN. PROVIDE MINIMUM SLOPE OF 1/8" PER FOOT. SIZE CONDENSATE PER SECTION 307.2.2 OF THE OHIO MECHANICAL CODE.
- MOUNT THERMOSTATS 60" ABOVE FINISHED FLOOR. MOUNT THERMOSTATS IN ADA UNITS 40" ABOVE FINISHED FLOOR.
- ANY EQUIPMENT THAT IS SUBSTITUTED SHALL FIT IN THE SPACE PROVIDED WITH ADEQUATE ROOM FOR SERVICING, INCLUDING SUBSTITUTE EQUIPMENT NAMED IN THE SPECIFICATIONS. SUBMIT A 1/4" SCALE DRAWING OF ALL EQUIPMENT SUBSTITUTED FOR APPROVAL PRIOR TO INSTALLATION, INCLUDING, BUT NOT LIMITED TO, STRUCTURAL AND ARCHITECTURAL IMPACT, CLEARANCE REQUIREMENTS AND UTILITY REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR TO COORDINATE ALL NEW ELECTRICAL AND PLUMBING REQUIREMENTS WITH THE ELECTRICAL AND PLUMBING CONTRACTORS.
- MATERIALS WITHIN PLENUMS SHALL BE NONCOMBUSTIBLE OR SHALL BE LISTED AND LABELED AS HAVING A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND SMOKE-DEVELOPED INDEX OF NOT MORE THAN 50 WHEN TESTED IN ACCORDANCE WITH ASTM E 84 OR UL 723.
- THE FOLLOWING GUIDELINES MUST BE FOLLOWED FOR THE DOMESTIC DRYER EXHAUST SYSTEMS.
 - EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH AND BE CONSTRUCTED OF METAL A MINIMUM OF 28 GAGE.
 - DUCT SIZE SHALL BE 4 INCHES NOMINAL DIAMETER.
 - DUCTS SHALL BE SUPPORTED AT 4-FOOT INTERVALS AND SECURED IN PLACE. THE INSERT END OF THE DUCT SHALL EXTEND INTO THE ADJOINING DUCT OR FITTING IN THE DIRECTION OF AIRFLOW.
 - DUCTS SHALL NOT BE JOINED WITH SCREWS OF SIMILAR FASTENERS THAT PROTRUDE MORE THAN 1/8" INTO THE INSIDE OF THE DUCT.
 - PROTECTIVE SHIELD PLATES SHALL BE PLACED WHERE NAILS OR SCREWS FROM FINISH OR OTHER WORK ARE LIKELY TO PENETRATE THE CLOTHES DRYER EXHAUST DUCT SHIELD PLATES SHALL BE PLACED ON THE FINISHED FACE OF ALL FRAMING MEMBERS WHERE THERE IS LESS THAN 1-1/4 INCHES BETWEEN THE DUCT AND THE FINISHED FACE OF THE FRAMING MEMBER. SHIELD PLATES SHALL BE CONSTRUCTED OF STEEL, HAVE A THICKNESS OF 0.062 INCHES, AND EXTEND NOT LESS THAN 2 INCHES ABOVE SOLE PLATES AND BELOW TOP PLATES.
 - TRANSITION DUCTS USED TO CONNECT THE DRYER TO THE EXHAUST DUCT SYSTEM SHALL BE A SINGLE LENGTH THAT IS LISTED AND LABELED IN ACCORDANCE WITH UL 2158A. TRANSITION DUCTS SHALL BE NOT GREATER THAN 6 FEET IN LENGTH AND SHALL NOT BE CONCEALED WITHIN CONSTRUCTION.
 - PROVIDE DRYER WALL BOX EQUAL TO DUNDAS JAFINE MODEL DRB4X2W NEAR DRYER.
 - PROVIDE A PERMANENT LABEL OR TAG (EQUAL TO DRYER/PLACARD) INDICATING ACTUAL EQUIVALENT LENGTH OF EXHAUST DUCT. LENGTH SHALL INCLUDE 5' FOR 90° LABEL/TAG MUST BE WITHIN 6' OF DRYER EXHAUST CONNECTION. DRYER EXHAUST DUCT FITTING EQUIVALENT LENGTH SHALL BE 2'-0" FOR A RADIUS MITERED 45-DEGREE ELBOW AND 5 FEET FOR A RADIUS MITERED 90-DEGREE ELBOW.



SYMBOLS LEGEND - HVAC

⊖	THERMOSTAT
⊗	CEILING DIFFUSER
→	SIDE WALL GRILLE
←	RETURN WALL GRILLE
↔	AIR FLOW DIRECTION
14x10	DUCTWORK
⊗	TYPICAL SUPPLY DUCT DN
⊗	TYPICAL RETURN DUCT DN
⊗	TYPICAL EXHAUST DUCT
↻	TURNING VANES
⊗	FLEXIBLE DUCT, 6'-0" LONG MAX.
⊗	TYPICAL ROUND DUCT DN
⊗	ROUND DUCT UP
	MD MANUAL VOLUME DAMPER
⊗	DROPPED CEILING/SOFFIT

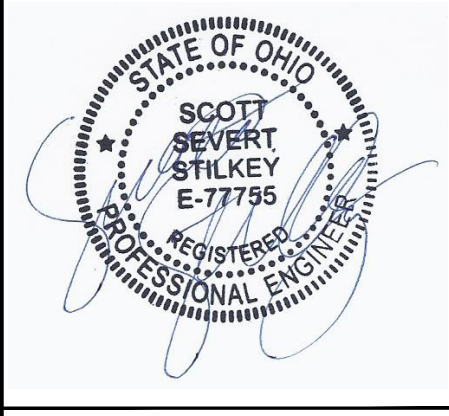


SCALE: 1/4" = 1'-0"

MECHANICAL PLAN - BASEMENT | 1

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architecture + design

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WWW.PLATTEDESIGN.COM | T: 513.871.1850 | F: 513.871.1829



Progress Dates
05/05/2023 BID P/E/PP
08/30/2024 BID SET 2

Revisions

Checked By: SSS
Drawn by: RFG

PR-09757
ENGINEERED BUILDING SYSTEMS INC.
TEAMWORK • COLLABORATION
SHARED SUCCESS
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PROPOSED PROJECT:
RENOVATION FOR
1804 REPUBLIC ST.
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/10/2022

MI.00

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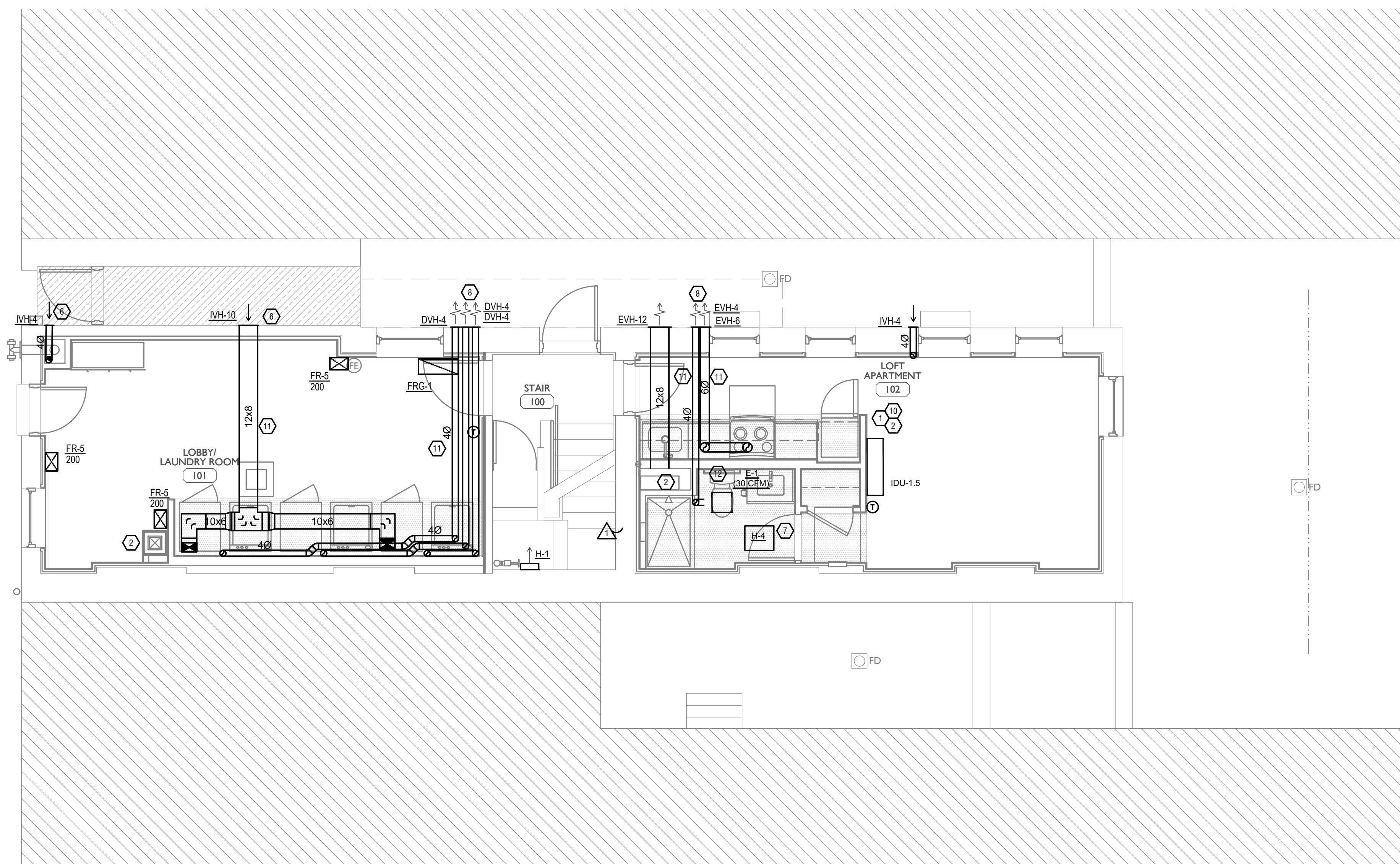
COMMERCIAL		RESIDENTIAL	
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SYMBOLS LEGEND - HVAC

	THERMOSTAT
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	SIDE WALL GRILL
	RETURN WALL GRILL
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	DUCTWORK
	TYPICAL SUPPLY DUCT DN
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SCALE: 1/4" = 1'-0"

MECHANICAL PLAN - FIRST FLOOR

PROPOSED PROJECT:
 RENOVATION FOR
1804 REPUBLIC ST.
 CINCINNATI, OH, 45202
 FINDLAY FLATS

Job No: 22042 8/10/2022

MI.OI



Progress Dates
 05/05/2023 BID P/E/P
 08/30/2024 BID SET 2

Revisions

Checked By: SSS

Drawn by: RFG

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ENGINEERED BUILDING SYSTEMS INC.
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 SHARED SUCCESS
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RG-2	RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES	10x8	8x6	HART AND COOLEY/ 650	BRIGHT WHITE FINISH
RR-1	STEEL RETURN GRILLE, 3/4" BLADE SPACING, 35 DEGREE DEFLECTION, BLADES PARALLEL TO LONG DIMENSION	8x8	6x6	TITUS 350RL	STEEL OPPOSED-BLADE DAMPER OPERABLE FROM THE FACE OF THE GRILLE.
SDG1W-1	ALUMINUM SINGLE DEFLECTION SPIRAL DIFFUSER	12x5	10x3	HART AND COOLEY/ SV	ADJUSTABLE DAMPER, BRIGHT WHITE FINISH

KEYED SHEET NOTES

- ROUTE 3/4" CONDENSATE DRAIN LINE TO FLOOR DRAIN IN BASEMENT. SLOPE PIPE A MINIMUM OF 1/8" PER FOOT AWAY FROM UNIT. PROVIDE CONDENSATE PUMP AS REQUIRED.
- ROUTE LINE SET FROM OUTDOOR UNIT TO INDOOR AIR HANDLER. ALL PIPING SHALL BE CONCEALED IN SHAFTS. SIZE PER MANUFACTURERS RECOMMENDATIONS.
- RETURN DUCT UP TO FIRST FLOOR.
- SUPPLY DUCT UP TO FIRST FLOOR.
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- UNDERCUT DOOR 1" ABOVE FINISHED FLOOR FOR RETURN/MAKE UP AIR.
- ROUTE EXHAUST TO EXTERIOR WALL. INSTALL A LOUVERED VENT. SEE ARCHITECT BEFORE PENETRATION FOR EXACT LOCATION AND COLOR COORDINATION. ALL EXHAUST SHALL MEET THE FOLLOWING REQUIREMENTS.
 - 3" FROM PROPERTY LINE.
 - 3" FROM OPERABLE OPENINGS INTO BUILDING.
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 - DUCT EXHAUST UP THROUGH ROOF WITH RAIN-PROOF CAP.
- MECHANICAL CONTRACTOR TO PROVIDE AND INSTALL LINE-SET COVERS FOR ALL EXPOSED REFRIGERANT PIPING AND CONDENSATE PIPING.
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MECHANICAL SCOPE OF WORK (PLAN REVIEW ONLY)

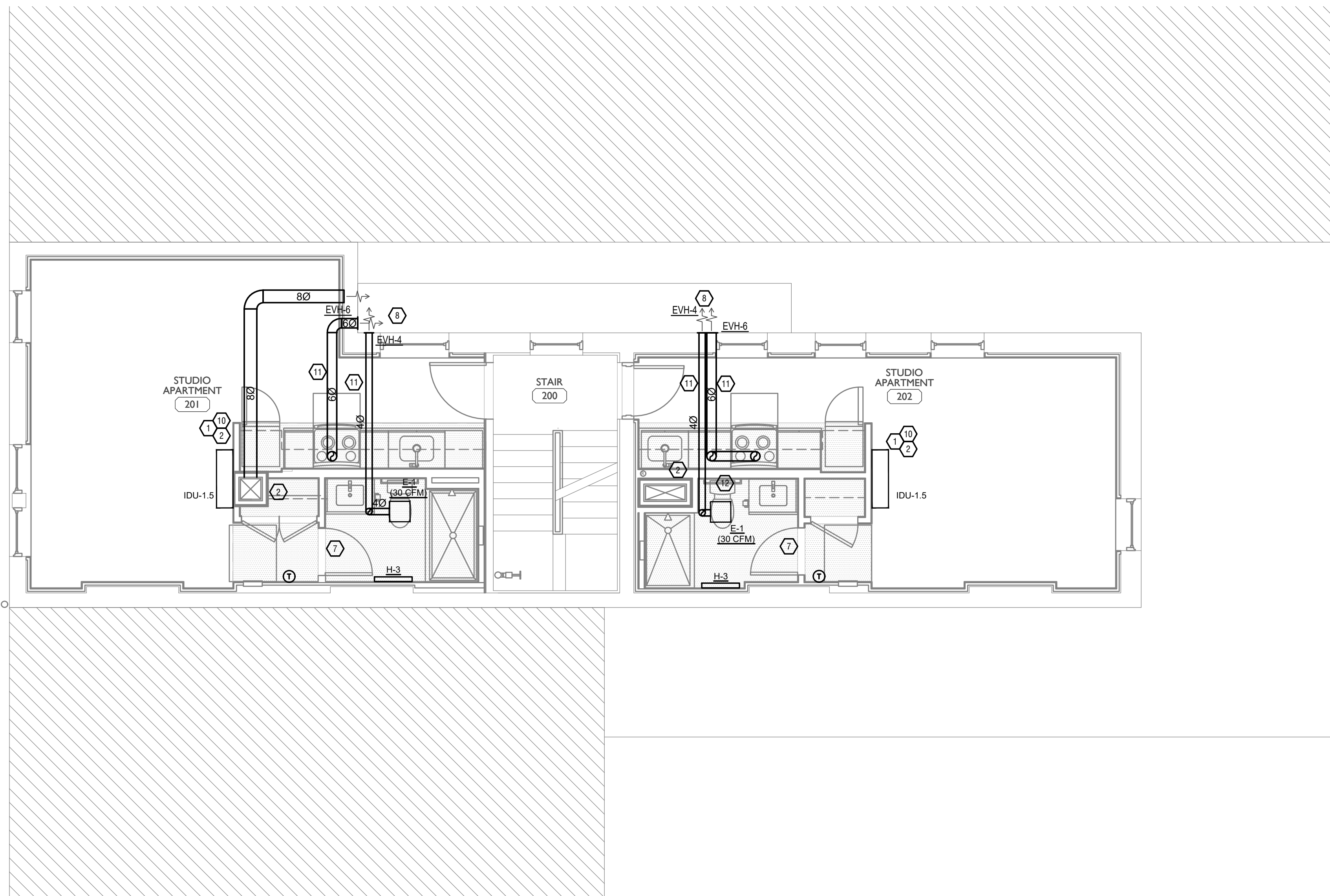
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HVAC DESIGN CONDITIONS

COMMERCIAL		RESIDENTIAL	
COOLING OUTDOOR: 93 DB / 75 WB	HEATING OUTDOOR: 0 DB	COOLING OUTDOOR: 93 DB / 75 WB	HEATING OUTDOOR: 0 DB
INDOOR: 72	INDOOR: 70	INDOOR: 75	INDOOR: 70

GENERAL NOTES

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- INSTALL ALL EQUIPMENT PER MANUFACTURER'S REQUIREMENTS. MAINTAIN ALL CODE RECOMMENDED CLEARANCES FOR ACCESS AND MAINTENANCE.
- REFER TO ARCHITECTURAL PLANS FOR DIMENSIONS, AND FINAL CEILING DIFFUSER LOCATIONS.
- PROVIDE BACKDRAFT DAMPERS FOR ALL EXHAUST SYSTEMS AND EITHER LOUVER, BRICK VENT, OR CAPS AT ALL EXTERIOR BUILDING PENETRATIONS.
- IN DWELLING UNITS, ROUTE ALL SUPPLY, RETURN, AND EXHAUST DUCTWORK ABOVE DROP CEILING OR IN BULKHEADS. COORDINATE ROUTING WITH ARCHITECTURAL DRAWINGS. DUCTS SHALL BE RUN BELOW THE RATED FLOOR/CEILING.
- ROUTE ALL AIR CONDITIONER CONDENSATE TO NEARBY FLOOR DRAIN. PROVIDE MINIMUM SLOPE OF 1/8" PER FOOT. SIZE CONDENSATE PER SECTION 307.2.2 OF THE OHIO MECHANICAL CODE.
- MOUNT THERMOSTATS 60" ABOVE FINISHED FLOOR. MOUNT THERMOSTATS IN ADA UNITS 40" ABOVE FINISHED FLOOR.
- ANY EQUIPMENT THAT IS SUBSTITUTED SHALL FIT IN THE SPACE PROVIDED WITH ADEQUATE ROOM FOR SERVICING, INCLUDING SUBSTITUTE EQUIPMENT NAMED IN THE SPECIFICATIONS. SUBMIT A 1/4" SCALE DRAWING OF ALL EQUIPMENT SUBSTITUTED FOR APPROVAL PRIOR TO INSTALLATION, INCLUDING, BUT NOT LIMITED TO, STRUCTURAL AND ARCHITECTURAL IMPACT, CLEARANCE REQUIREMENTS AND UTILITY REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR TO COORDINATE ALL NEW ELECTRICAL AND PLUMBING REQUIREMENTS WITH THE ELECTRICAL AND PLUMBING CONTRACTORS.
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 - DUCT SIZE SHALL BE 4 INCHES NOMINAL DIAMETER.
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 - DUCTS SHALL NOT BE JOINED WITH SCREWS OF SIMILAR FASTENERS THAT PROTRUDE MORE THAN 1/8" INCH INTO THE INSIDE OF THE DUCT.
 - PROTECTIVE SHIELD PLATES SHALL BE PLACED WHERE NAILS OR SCREWS FROM FINISH OR OTHER WORK ARE LIKELY TO PENETRATE THE CLOTHES DRYER EXHAUST DUCT SHIELD PLATES SHALL BE PLACED ON THE FINISHED FACE OF ALL FRAMING MEMBERS WHERE THERE IS LESS THAN 1-1/4 INCHES BETWEEN THE DUCT AND THE FINISHED FACE OF THE FRAMING MEMBER. SHIELD PLATES SHALL BE CONSTRUCTED OF STEEL, HAVE A THICKNESS OF 0.062 INCHES, AND EXTEND NOT LESS THAN 2 INCHES ABOVE SOLE PLATES AND BELOW TOP PLATES.
 - TRANSITION DUCTS USED TO CONNECT THE DRYER TO THE EXHAUST DUCT SYSTEM SHALL BE A SINGLE LENGTH THAT IS LISTED AND LABELED IN ACCORDANCE WITH UL 2158A. TRANSITION DUCTS SHALL BE NOT GREATER THAN 8 FEET IN LENGTH AND SHALL NOT BE CONCEALED WITHIN CONSTRUCTION.
 - PROVIDE DRYER WALL BOX EQUAL TO DUNDAS JAFINE MODEL DRB4XZW NEAR DRYER.
 - PROVIDE A PERMANENT LABEL OR TAG (EQUAL TO DRYER/LACARD) INDICATING ACTUAL EQUIVALENT LENGTH OF EXHAUST DUCT. LENGTH SHALL INCLUDE 5' FOR 90° LABEL/TAG MUST BE WITHIN 6" OF DRYER EXHAUST CONNECTION. DRYER EXHAUST DUCT FITTING EQUIVALENT LENGTH SHALL BE 2'-0" FOR A RADIUS MITERED 45-DEGREE ELBOW AND 5 FEET FOR A RADIUS MITERED 90-DEGREE ELBOW.



SYMBOLS LEGEND - HVAC

	THERMOSTAT
	CEILING DIFFUSER
	SIDE WALL GRILL
	RETURN WALL GRILL
	AIR FLOW DIRECTION
	DUCTWORK
	TYPICAL SUPPLY DUCT DN
	TYPICAL RETURN DUCT DN
	TYPICAL EXHAUST DUCT
	TURNING VANES
	FLEXIBLE DUCT, 6'-0" LONG MAX.
	TYPICAL ROUND DUCT DN
	ROUND DUCT UP
	MD MANUAL VOLUME DAMPER
	DROPPED CEILING/SOFFT



SCALE: 1/4" = 1'-0"

MECHANICAL PLAN - SECOND FLOOR

1



Progress Dates
 05/05/2023 BID P/E/P
 08/30/2024 BID SET 2

Revisions

Checked By: SSS

Drawn by: RFG

PR-09757
ENGINEERING BUILDING SYSTEMS INC.
 TEAMWORK • COLLABORATION SHARED SUCCESS
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 Newport, KY 41071 (859) 261-0585
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PROPOSED PROJECT:
RENOVATION FOR 1804 REPUBLIC ST.
 CINCINNATI, OH, 45202
 FINDLAY FLATS

Job No: 22042 8/10/2022

MI.02

PLATTE
 architecture + design
 202 W. ELDER STREET, 4TH FLOOR | CINCINNATI, OH 45202
 WWW.PLATTEDESIGN.COM | T: 513.871.1850 | F: 513.871.1829

Z:\Project_Directories\9700-9799\9757 - Findlay Flats - Findlay Periscope (Williamson 2 Phase II) - Construction Documents - Phase 2 (5 Buildings)\1804 MEP\BIB\REF-ART.dwg - Model - Plot Date/Time: Aug 29, 2024 - 10:50am - By: derek.grundy
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CALLOUT	DESCRIPTION	FACE SIZE (IN)	INLET SIZE (IN)	MODEL	NOTE 1
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EVH-6	28 GAUGE GALVANIZED STEEL. PRE-PAINTED EXHAUST VENT.	8x9	6Ø	FAMCO SDWVP	BACKDRAFT DAMPER/ANGLED HOOD. 1/4 INCH INSECT SCREEN.
FR-5	FLOOR REGISTER, ALL-STEEL CONSTRUCTION, 75% FREE AREA, TOE-OPERATED VALVE CONTROL.	12x8	10x6	HART AND COOLEY/ 210	GOLDEN SAND ENAMEL FINISH
FRG-1	RETURN AIR FILTER GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES	26x10	24x8	HART AND COOLEY/ 265	GOLDEN SAND ENAMEL FINISH
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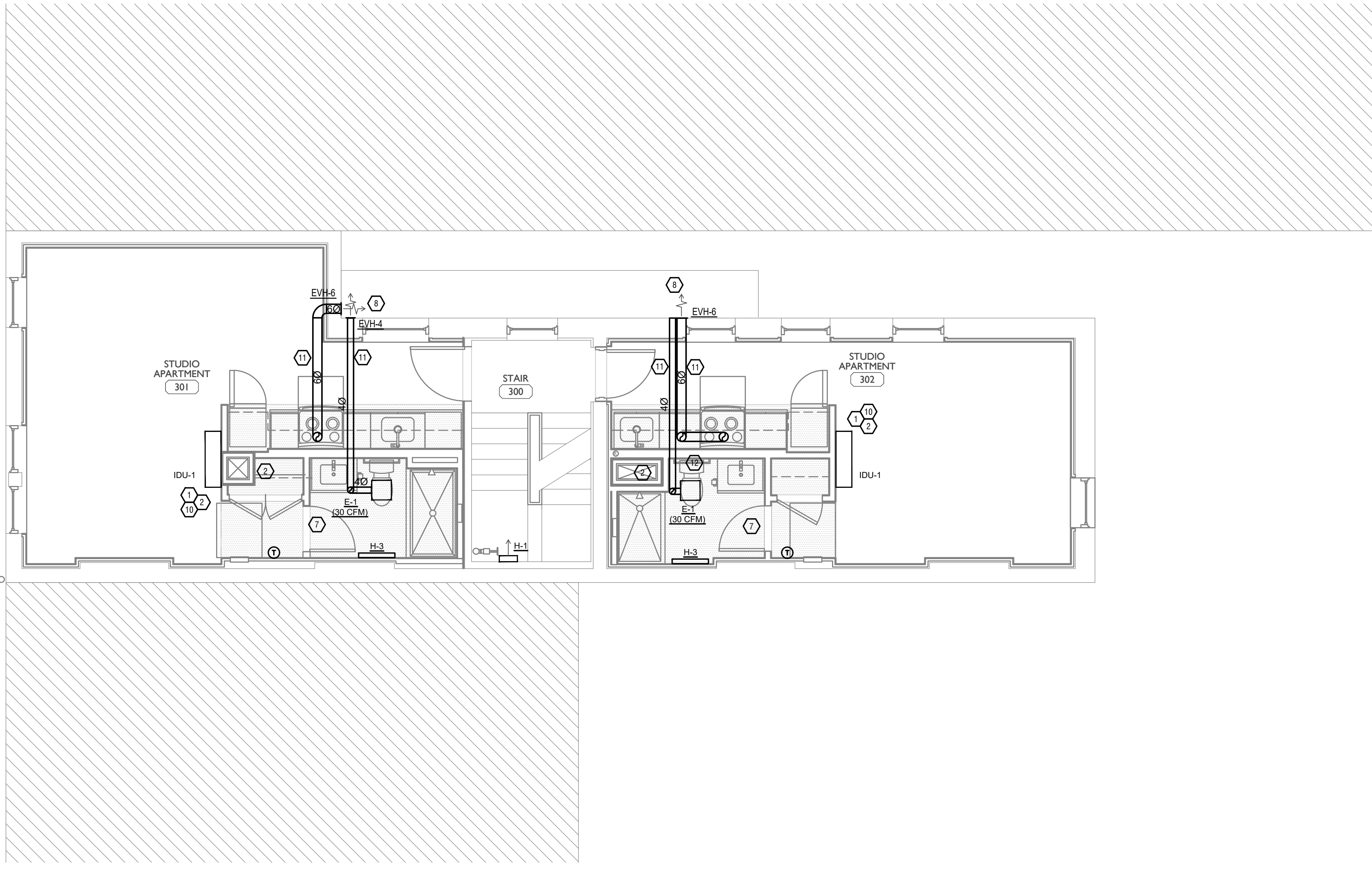
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SYMBOLS LEGEND - HVAC

⊖	THERMOSTAT
⊗	CEILING DIFFUSER
→	SIDE WALL GRILLE
←	RETURN WALL GRILLE
↔	AIR FLOW DIRECTION
14x10	DUCTWORK
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⊗	TYPICAL EXHAUST DUCT
↻	TURNING VANES
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⊗	ROUND DUCT UP
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⊗	DROPPED CEILING/SOFFIT



SCALE: 1/4" = 1'-0"

MECHANICAL PLAN - THIRD FLOOR

1

PLATTE
architecture + design



Progress Dates
05/05/2023 BID P/E/FP
08/30/2024 BID SET 2

Revisions

Checked By: SSS

Drawn by: RPG

FR-09757
ENGINEERING BUILDING SYSTEMS INC.
TEAMWORK • COLLABORATION SHARED SUCCESS
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PROPOSED PROJECT:
RENOVATION FOR 1804 REPUBLIC ST.
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/10/2022

MI.03

Z:\Project_Directories\9700-9799\9757 - Findlay Flats - Findlay Periside (Williamson 2 Phase II) - Construction Documents - Phase 2 (3 Buildings)\1804 MEP\BIB\REF-ART.dwg - Model - Plot Date/Time: Aug 29, 2024 - 10:50am - By: derek.grundy
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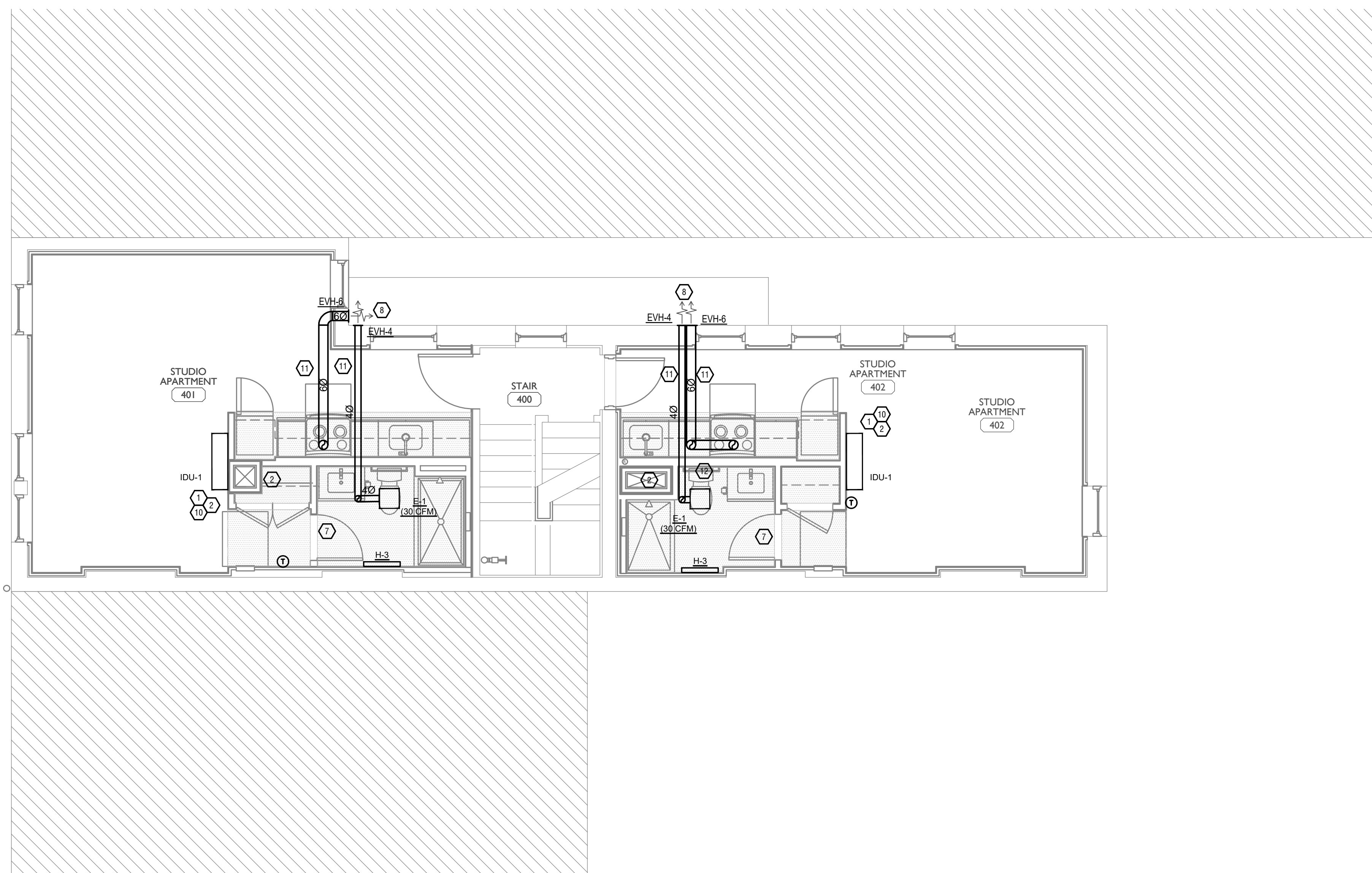
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- INSTALL ALL EQUIPMENT PER MANUFACTURER'S REQUIREMENTS. MAINTAIN ALL CODE RECOMMENDED CLEARANCES FOR ACCESS AND MAINTENANCE.
- REFER TO ARCHITECTURAL PLANS FOR DIMENSIONS, AND FINAL CEILING DIFFUSER LOCATIONS.
- PROVIDE BACKDRAFT DAMPERS FOR ALL EXHAUST SYSTEMS AND EITHER LOUVER, BRICK VENT, OR CAPS AT ALL EXTERIOR BUILDING PENETRATIONS.
- IN DWELLING UNITS, ROUTE ALL SUPPLY, RETURN, AND EXHAUST DUCTWORK ABOVE DROP CEILING OR IN BULKHEADS. COORDINATE ROUTING WITH ARCHITECTURAL DRAWINGS. DUCTS SHALL BE RUN BELOW THE RATED FLOOR/CEILING.
- ROUTE ALL AIR CONDITIONER CONDENSATE TO NEARBY FLOOR DRAIN. PROVIDE MINIMUM SLOPE OF 1/8" PER FOOT. SIZE CONDENSATE PER SECTION 307.2.2 OF THE OHIO MECHANICAL CODE.
- MOUNT THERMOSTATS 60" ABOVE FINISHED FLOOR. MOUNT THERMOSTATS IN ADA UNITS 40" ABOVE FINISHED FLOOR.
- ANY EQUIPMENT THAT IS SUBSTITUTED SHALL FIT IN THE SPACE PROVIDED WITH ADEQUATE ROOM FOR SERVICING, INCLUDING SUBSTITUTE EQUIPMENT NAMED IN THE SPECIFICATIONS. SUBMIT A 1/4" SCALE DRAWING OF ALL EQUIPMENT SUBSTITUTED FOR APPROVAL PRIOR TO INSTALLATION, INCLUDING, BUT NOT LIMITED TO, STRUCTURAL AND ARCHITECTURAL IMPACT, CLEARANCE REQUIREMENTS AND UTILITY REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR TO COORDINATE ALL NEW ELECTRICAL AND PLUMBING REQUIREMENTS WITH THE ELECTRICAL AND PLUMBING CONTRACTORS.
- MATERIALS WITHIN PLENUMS SHALL BE NONCOMBUSTIBLE OR SHALL BE LISTED AND LABELED AS HAVING A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND SMOKE-DEVELOPED INDEX OF NOT MORE THAN 50 WHEN TESTED IN ACCORDANCE WITH ASTM E 84 OR UL 723.
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 - EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH AND BE CONSTRUCTED OF METAL A MINIMUM OF 28 GAGE.
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 - TRANSITION DUCTS USED TO CONNECT THE DRYER TO THE EXHAUST DUCT SYSTEM SHALL BE A SINGLE LENGTH THAT IS LISTED AND LABELED IN ACCORDANCE WITH UL 2158A. TRANSITION DUCTS SHALL BE NOT GREATER THAN 6 FEET IN LENGTH AND SHALL NOT BE CONCEALED WITHIN CONSTRUCTION.
 - PROVIDE DRYER WALL BOX EQUAL TO DUNDAS JAFINE MODEL DRB4X2W NEAR DRYER.
 - PROVIDE A PERMANENT LABEL OR TAG (EQUAL TO DRYER PLACARD) INDICATING ACTUAL EQUIVALENT LENGTH OF EXHAUST DUCT. LENGTH SHALL INCLUDE 5' FOR 90° LABEL/TAG MUST BE WITHIN 6" OF DRYER EXHAUST CONNECTION. DRYER EXHAUST DUCT FITTING EQUIVALENT LENGTH SHALL BE 2'-0" FOR A RADIUS MITERED 45-DEGREE ELBOW AND 5 FEET FOR A RADIUS MITERED 90-DEGREE ELBOW.



SYMBOLS LEGEND - HVAC

	THERMOSTAT
	CEILING DIFFUSER
	SIDE WALL GRILLE
	RETURN WALL GRILLE
	AIR FLOW DIRECTION
	DUCTWORK
	TYPICAL SUPPLY DUCT DN
	TYPICAL RETURN DUCT DN
	TYPICAL EXHAUST DUCT
	TURNING VANES
	FLEXIBLE DUCT, 6'-0" LONG MAX.
	TYPICAL ROUND DUCT DN
	ROUND DUCT UP
	MD MANUAL VOLUME DAMPER
	DROPPED CEILING/SOFFT



SCALE: 1/4" = 1'-0"

MECHANICAL PLAN - FOURTH FLOOR

1

PROPOSED PROJECT:
 RENOVATION FOR
1804 REPUBLIC ST.
 CINCINNATI, OH, 45202
 FINDLAY FLATS

Job No: 22042 8/10/2022

MI.04



Progress Dates
 05/05/2023 BID P/E/FP
 08/30/2024 BID SET 2

Revisions

Checked By: SSS

Drawn by: RFG

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Z:\Project_Directories\9700-9799\9757 - Findlay Flats - Findlay Periside (Williamson ? Phase II) - Construction Documents - Phase 2 (3 Buildings)\1804-REPUBLIC-ATTIC-PLM.dwg - EBS - Rev. Date/Time: Aug 30, 2024-2:22pm - \$444
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EBS - RESIDENTIAL DIFFUSER, GRILLE, AND REGISTER SCHEDULE					
CALLOUT	DESCRIPTION	FACE SIZE (IN)	INLET SIZE (IN)	MODEL	NOTE 1
DVH-4	28 GAUGE GALVANIZED STEEL, PRE-PAINTED DRYER VENT.	6x7	4Ø	FAMCO DWVP	BACKDRAFT DAMPER/ANGLED HOOD.
EVH-4	28 GAUGE GALVANIZED STEEL, PRE-PAINTED EXHAUST VENT.	6x7	4Ø	FAMCO SDWVP	BACKDRAFT DAMPER/ANGLED HOOD, 1/4 INCH INSECT SCREEN.
EVH-6	28 GAUGE GALVANIZED STEEL, PRE-PAINTED EXHAUST VENT.	8x9	6Ø	FAMCO SDWVP	BACKDRAFT DAMPER/ANGLED HOOD, 1/4 INCH INSECT SCREEN.
FR-5	FLOOR REGISTER, ALL-STEEL CONSTRUCTION, 75% FREE AREA, TOE-OPERATED VALVE CONTROL.	12x8	10x6	HART AND COOLEY/ 210	GOLDEN SAND ENAMEL FINISH
FRG-1	RETURN AIR FILTER GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES	26x10	24x8	HART AND COOLEY/ 265	GOLDEN SAND ENAMEL FINISH
IVH-4	28 GAUGE GALVANIZED STEEL, PRE-PAINTED INTAKE VENT.	6x7	4Ø	FAMCO SWVP	ANGLED HOOD, 1/4 INCH INSECT SCREEN.
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RG-2	RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES	10x8	8x6	HART AND COOLEY/ 650	BRIGHT WHITE FINISH
RR-1	STEEL RETURN GRILLE, 3/4" BLADE SPACING, 35 DEGREE DEFLECTION, BLADES PARALLEL TO LONG DIMENSION	8x8	6x6	TITUS 350RL	STEEL OPPOSED-BLADE DAMPER OPERABLE FROM THE FACE OF THE GRILLE.
SDG1W-1	ALUMINUM SINGLE DEFLECTION SPIRAL DIFFUSER	12x5	10x3	HART AND COOLEY/ SV	ADJUSTABLE DAMPER, BRIGHT WHITE FINISH

KEYED SHEET NOTES

- ROUTE 3/4" CONDENSATE DRAIN LINE TO FLOOR DRAIN IN BASEMENT. SLOPE PIPE A MINIMUM OF 1/8" PER FOOT AWAY FROM UNIT. PROVIDE CONDENSATE PUMP AS REQUIRED.
- ROUTE LINE SET FROM OUTDOOR UNIT TO INDOOR AIR HANDLER. ALL PIPING SHALL BE CONCEALED IN SHAFTS. SIZE PER MANUFACTURER'S RECOMMENDATIONS.
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- UNDERCUT DOOR 1" ABOVE FINISHED FLOOR FOR RETURN/MAKE UP AIR.
- ROUTE EXHAUST TO EXTERIOR WALL. INSTALL A LOUVERED VENT. SEE ARCHITECT BEFORE PENETRATION FOR EXACT LOCATION AND COLOR COORDINATION. ALL EXHAUST SHALL MEET THE FOLLOWING REQUIREMENTS.
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- DUCT EXHAUST UP THROUGH ROOF WITH RAIN-PROOF CAP.
- MECHANICAL CONTRACTOR TO PROVIDE AND INSTALL LINE-SET COVERS FOR ALL EXPOSED REFRIGERANT PIPING AND CONDENSATE PIPING.
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MECHANICAL SCOPE OF WORK (PLAN REVIEW ONLY)

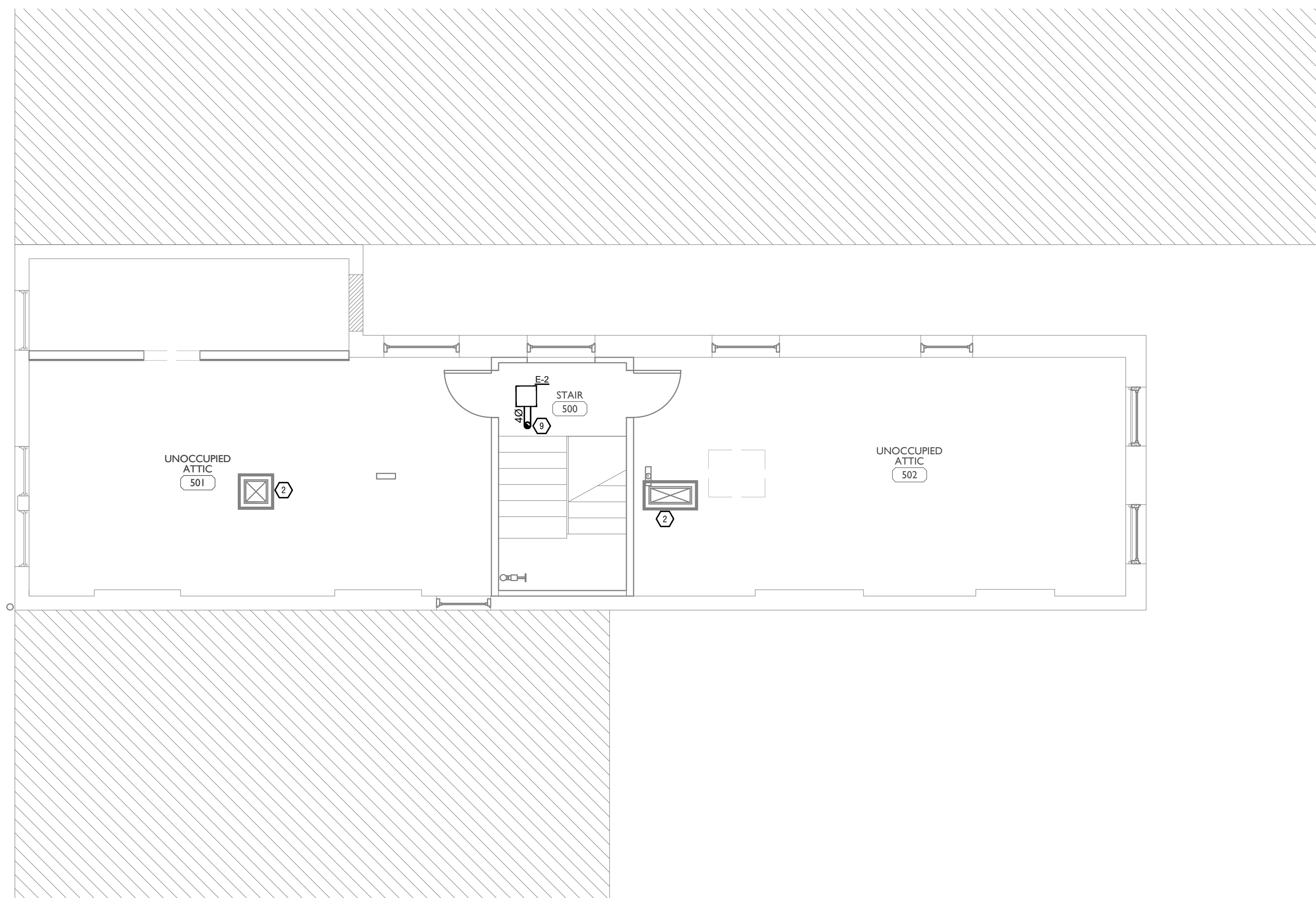
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HVAC DESIGN CONDITIONS

COMMERCIAL		RESIDENTIAL	
COOLING OUTDOOR: 93 DB / 75 WB	HEATING OUTDOOR: 0 DB	COOLING OUTDOOR: 93 DB / 75 WB	HEATING OUTDOOR: 0 DB
INDOOR: 72	INDOOR: 70	INDOOR: 75	INDOOR: 70

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SYMBOLS LEGEND - HVAC

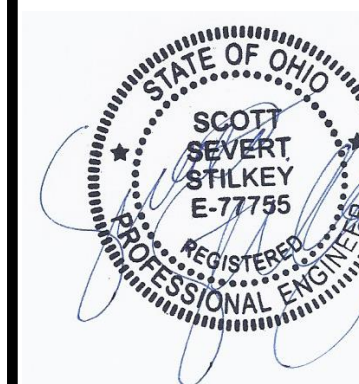
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→	SIDE WALL GRILLE
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SCALE: 1/4" = 1'-0" MECHANICAL PLAN - ATTIC |

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Progress Dates
05/05/2023 BID P/E/FP
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Revisions

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PROPOSED PROJECT:
RENOVATION FOR
1804 REPUBLIC ST.
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/10/2022

MI.05

Z:\Project_Directories\9700-9799\9757 - Findlay Flats - Findlay Periside (Williamson ? Phase II) - Construction Documents - Phase 2 (3 Buildings)\1804 REPUBLIC-ROOF-MECHANICAL-PLAN.dwg - EBS - Plan Date/Time: Aug 30, 2024 - 2:24pm - \$144
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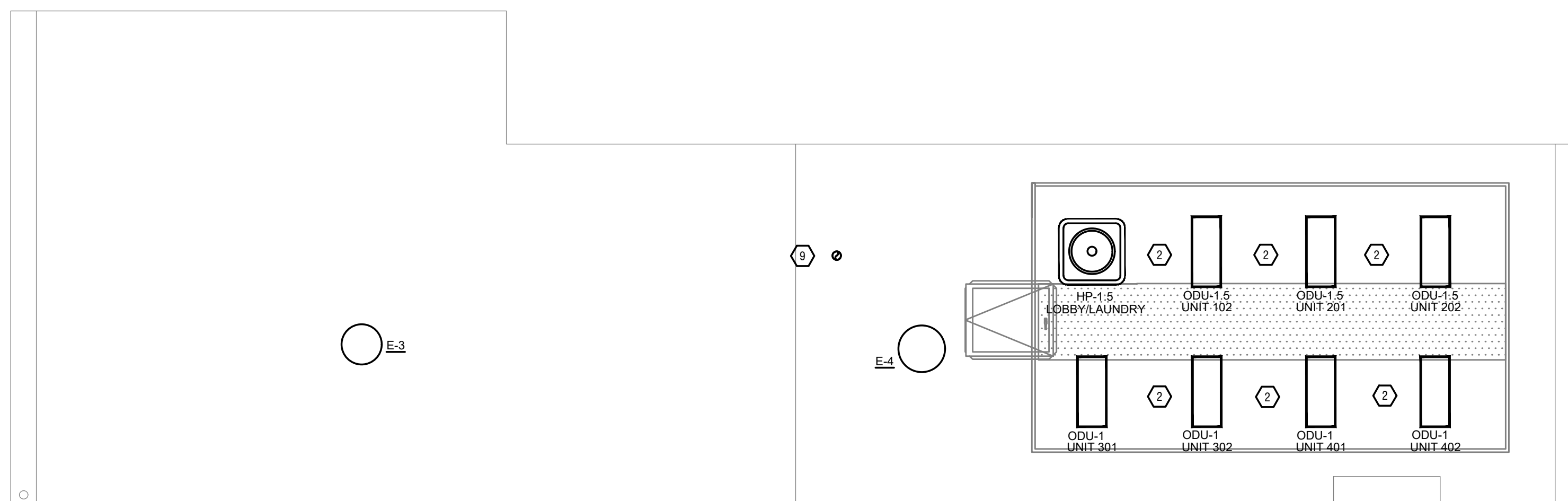
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 - DUCTS SHALL BE SUPPORTED AT 4-FOOT INTERVALS AND SECURED IN PLACE. THE INSERT END OF THE DUCT SHALL EXTEND INTO THE ADJOINING DUCT OR FITTING IN THE DIRECTION OF AIRFLOW.
 - DUCTS SHALL NOT BE JOINED WITH SCREWS OF SIMILAR FASTENERS THAT PROTRUDE MORE THAN 1/8" INCH INTO THE INSIDE OF THE DUCT.
 - PROTECTIVE SHIELD PLATES SHALL BE PLACED WHERE NAILS OR SCREWS FROM FINISH OR OTHER WORK ARE LIKELY TO PENETRATE THE CLOTHES DRYER EXHAUST DUCT SHIELD PLATES SHALL BE PLACED ON THE FINISHED FACE OF ALL FRAMING MEMBERS WHERE THERE IS LESS THAN 1-1/4 INCHES BETWEEN THE DUCT AND THE FINISHED FACE OF THE FRAMING MEMBER. SHIELD PLATES SHALL BE CONSTRUCTED OF STEEL, HAVE A THICKNESS OF 0.062 INCHES, AND EXTEND NOT LESS THAN 2 INCHES ABOVE SOLE PLATES AND BELOW TOP PLATES.
 - TRANSITION DUCTS USED TO CONNECT THE DRYER TO THE EXHAUST DUCT SYSTEM SHALL BE A SINGLE LENGTH THAT IS LISTED AND LABELED IN ACCORDANCE WITH UL 2158A. TRANSITION DUCTS SHALL BE NOT GREATER THAN 6 FEET IN LENGTH AND SHALL NOT BE CONCEALED WITHIN CONSTRUCTION.
 - PROVIDE DRYER WALL BOX EQUAL TO DUNDAS JAFINE MODEL DRB4X2W NEAR DRYER.
 - PROVIDE A PERMANENT LABEL OR TAG (EQUAL TO DRYER PLACARD) INDICATING ACTUAL EQUIVALENT LENGTH OF EXHAUST DUCT. LENGTH SHALL INCLUDE 5' FOR 90° LABEL/TAG MUST BE WITHIN 6" OF DRYER EXHAUST CONNECTION. DRYER EXHAUST DUCT FITTING EQUIVALENT LENGTH SHALL BE 2'-0" FOR A RADIUS MITERED 45-DEGREE ELBOW AND 5 FEET FOR A RADIUS MITERED 90-DEGREE ELBOW.



SYMBOLS LEGEND - HVAC

	THERMOSTAT
	CEILING DIFFUSER
	SIDE WALL GRILL
	RETURN WALL GRILL
	AIR FLOW DIRECTION
	DUCTWORK
	TYPICAL SUPPLY DUCT DN
	TYPICAL RETURN DUCT DN
	TYPICAL EXHAUST DUCT
	TURNING VANES
	FLEXIBLE DUCT, 6'-0" LONG MAX.
	TYPICAL ROUND DUCT DN
	ROUND DUCT UP
	MD MANUAL VOLUME DAMPER
	DROPPED CEILING/SOFFT



SCALE: 1/4" = 1'-0" MECHANICAL PLAN - ROOF

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Progress Dates
05/05/2023 BID P/E/FP
08/30/2024 BID SET 2

Revisions

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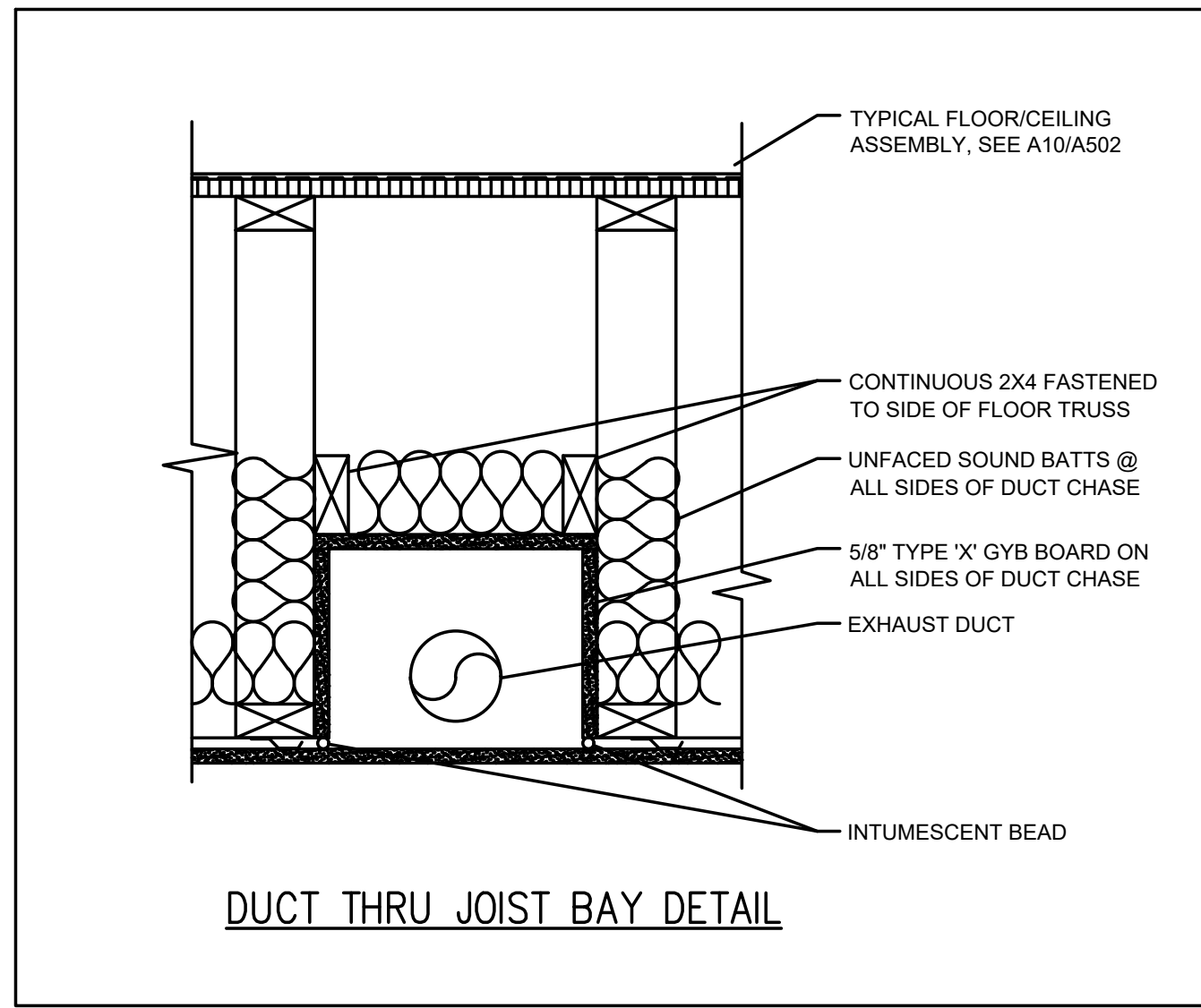
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PROPOSED PROJECT:
RENOVATION FOR
1804 REPUBLIC ST.
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/10/2022

MI.06



MECHANICAL SPECIFICATIONS

- General
 - Refer to architectural drawings, general notes, instructions to bidders, general conditions, supplementary general conditions, base building specifications and drawings, shop drawing manuals and as-built plans, except as noted herein, which apply in all respects to this section. The contractor shall visit the site and familiarize himself with all existing conditions prior to bidding the work.
- Use of Drawings And Specifications
 - EBS drawings and specifications are intended to convey design intent only. All means and methods sequences, techniques, and procedures of construction as well as any associated safety precautions and programs, and all incidental and temporary devices required to construct the project, and to provide a complete and fully operational mechanical system are the responsibility of the mechanical contractor.
- Standards
 - Equipment and materials shall conform with appropriate provisions of AGA, ARI, ASME, ASTM, CISPI, UL, NEMA, ANSI, SMACNA, ASHRAE, NFPA, NEC, as applicable to each individual unit or assembly. All equipment must bear UL label.
- License / Experience
 - Contractor must be licensed by the state to install HVAC systems/equipment. Contractor must also have a minimum of 5 years of experience and have installed at least (5) successful project installations of similar size and scope. References must be provided upon request.
- Codes
 - All work shall be performed in strict accordance with all applicable state and local codes and ordinances. The mechanical contractor shall satisfy code requirements at a minimum without any extra cost to the owner. In case of conflict between the drawings/specifications and the codes and ordinances, the highest standard shall apply.
- Permits and Fees
 - The mechanical contractor shall procure and pay for all permits, fees, taxes, and inspections necessary to complete the mechanical work. Furnish certificate of approval for work from inspection authority to owner before final acceptance for work. Certificate of final inspection and approval shall be submitted with the contractor's request for payment. No final payment will be approved without this certificate.
- Site Examination
 - The mechanical contractor shall thoroughly examine all areas of work where equipment, ductwork, and piping will be installed and shall report any condition that, in his opinion, prevents the proper installation of the mechanical work prior to bid. Contractor shall also examine the drawings and specifications of other branches of work, making reference to them for details of new or existing building conditions. No extras will be allowed for failure to include all required work in bid.
 - All work shall be done at times convenient to the owner and only during normal working hours, unless specified otherwise.
 - Mechanical contractor shall take their own measurements and be responsible for them.
 - Access panels are not shown on drawings. During site examination, contractor shall identify all areas where access panels are required, and report to general contractor. Designation of who furnishes and who installs access panels must be coordinated with general contractor prior to starting work.
- Contractor Coordination
 - Coordination drawings showing system and component installation layout, routing, details, etc. Shall be produced by the mechanical contractor and under the supervision of the general contractor/construction manager, or appropriate party as applicable.
 - All systems installed by each sub-contractor shall be coordinated with one another and approved by general contractor/construction manager, etc. prior to installation and/or fabrication.
 - If questions concerning design intent arise during coordination, EBS can assist where appropriate.
 - The architectural drawings shall take precedence over all other drawings. Do not scale distances off the mechanical drawings; use actual building dimensions.
- Shop Drawings / Submittals
 - Submit to the architect electronic copies of complete and certified shop drawings, descriptive data, performance data and ratings, diagrams and specifications on all specified equipment, including accessories, and materials for review. The make, model number, type, finish and accessories of all equipment and materials shall be reviewed and approved by the mechanical contractor and general contractor prior to submitting to the architect for their review and approval. Approval of shop drawings does not relieve the mechanical contractor/vendor from compliance with the requirements of the contract drawings, specifications and applicable codes.
 - Shop drawings shall be required for the following:
 - HVAC equipment
 - Fans
 - Diffusers, registers, grilles, dampers, louvers, and all sheet metal accessories
 - Temperature controls
 - Sheet metal coordination drawings
 - Duct Sealants
 - Products installed by the mechanical contractor and provided by others must be submitted for review prior to purchasing. Products shall not be selected based on permit drawings without express permission - products shall be selected based on construction drawings.
- Record Drawing
 - The mechanical contractor shall be responsible for creating record drawings where required. Drawings shall be produced in Autocad 2004 format or later.
 - The mechanical contractor shall be responsible for creating record drawings in a format agreed upon by 3CDC, Zhx, and the contracting parties.
- Testing
 - All mechanical systems shall be tested for proper operation.
- Fire Stopping
 - Provide fire stopping at all penetrations through rated separations per local codes & regulations & per UL recommendations for assemblies encountered in project.
 - The fire stopping material shall meet the integrity of the fire rated wall, floor, ceiling & roof being penetrated. Refer to architect's drawings for wall, floor, ceiling & roof fire ratings prior to bidding work.
 - Refer to architect's drawings for wall, floor, ceiling, and roof fire ratings prior to bidding work.
- Access Panels
 - Provide ceiling and wall access panel quantities & locations to the general contractor prior to bidding. Access panels are required for all concealed appliances, controls devices, heat exchangers and HVAC system components that utilize energy. Where access panels are used, the access panel should be sized to allow accessibility for inspection, service, repair and replacement without disabling the function of a fire-resistance-rated assembly or removing permanent construction, other appliances, venting systems or any other piping or ducts not connected to the appliance being inspected, serviced, repaired or replaced. There shall be no extras for having to add access panels after bids are awarded.
- Cutting and Patching
 - Neatly do all cutting as required and patch all cut surfaces to match building construction. The contractor shall employ and pay a trade trained and qualified to perform the required patching work. All surfaces disturbed shall be restored with like materials to the satisfaction of the owner. All penetrations through roof shall be made by bonded roofer. Mechanical contractor shall pay all fees required.
- Flashing & Counterflashing
 - Roof flashing shall be furnished and installed by the roofing contractor. Roof counterflashing shall be furnished and installed by the mechanical contractor. Coordinate work with roofing contractor and pay all fees.
 - Obtain approval from general contractor, construction manager, owner and/or roofing contractor prior to making any penetrations so that warranties are not compromised or voided.
- Warranty
 - The mechanical contractor shall unconditionally warrant all work to be free of defects in equipment, material and workmanship for a period of one (1) year from the date of final acceptance by owner. The mechanical contractor will repair or replace any defective work promptly and without charge to the owner.
 - Restore any other existing work damaged in the course of repairing defective equipment, materials and workmanship.
- Mechanical Work
 - The mechanical contractor shall provide new hvac equipment, fans, ductwork, piping, air devices, controls as indicated on drawings and as specified. Startup and 1st year parts and labor warranty shall be included and manufacturer's extended warranties. Equipment and appliances shall be installed as required by the terms of their approval, in accordance with the conditions of the listing, the manufacturer's installation instructions, and the applicable code.
- Owner's Instructions
 - Provide two sets of complete operating and maintenance instructions with drawings, typewritten instructions and operating sequences and descriptive data sheets. Assemble each set in a hard-bound cover. Provide pdf files of all documentation.
- Finale
 - Put all equipment in service and demonstrate that all conditions of the contract have been fulfilled. Remove all tools, debris, etc. occasioned by work under this contract. Mechanical Contractor to provide a new set of filters in all HVAC units prior to turnover. Submit all warranties, test reports, operating and maintenance manuals for HVAC systems, log sheets and charts, and guarantees as previously specified. Provide all reports, forms, etc. required by inspectors to the satisfaction of the owner. Provide as-built record drawings (in Autocad 2007 or later) showing an accurate account of the final installed systems. Systems including but not limited to all equipment and associated controls, ductwork/piping, air devices, etc.
- Sheetmetal Ductwork
 - All sizes of ducts shown on the drawings are interior duct dimensions. All ductwork shall be rigid sheetmetal constructed from galvanized sheet steel in accordance with SMACNA low velocity duct construction standards. All exposed ductwork shall be round, spiral, or rectangular lock-steam type, as shown on HVAC drawings. Assemble and install ductwork in accordance with recognized industry practices for achieving air tight (5% leakage) and noiseless (no objectionable noise) systems, capable of performing each indicated service. Furnish all required dampers, transitions, offsets, connections to air devices, and other accessories necessary for a complete operating system. Flexible ductwork shall not exceed 8'-0" long.
 - All 90-degree duct turns must be 1.5 radius elbows. If a 1.5 radius elbow will not fit, square elbows with turning vanes can be provided in lieu of radius but should be limited to only areas where there are space constraints.
 - All takeoff/branch ductwork must utilize boot or conical tee fittings.
- Adhesives and Sealants
 - Seal all longitudinal and transverse duct joints with a UL 181A or 181B non-hardening, non-migrating mastic or liquid elastic sealant of a type recommended by the manufacturer for sealing joints and seams in sheet metal ductwork. Cover

- field joints, joints around spin-in fittings and fastening screws with mastic. All sealants and gaskets shall have surface-burning characteristics with a maximum flame-spread index of 25 and a maximum smoke-developed index of 50 when tested according to UL 723.
 - Exposed Ductwork: trim duct sealants flush with metal. Create a smooth and uniform exposed bead. Do not use two-part tape sealing system.
 - All duct boots sealed to drywall/finished floor (any interface with another material).
- Duct Supports
 - Furnish and install hot-dipped galvanized steel fasteners, hangers, anchors, rods, straps, trim, and angles for support of ductwork.
 - Flexible Connections
 - Furnish and install neoprene flexible duct connections at the inlet and discharge of units and fans.
 - Duct Manual Volume Dampers
 - Furnish and install opposed-blade, leak-proof, volume control dampers where indicated on drawings and locations in supply, return and exhaust ducts where branches are taken from larger ducts or at each individual duct register in order to achieve system air balance quantities. Balancing devices must be provided in accordance with IMC 603.18. All manual volume dampers must be shown on coordination drawings when submitted for review.
 - Duct Access Doors
 - Furnish and install conveniently located duct access doors of ample size and quantity for servicing the dampers.
 - Diffusers, Grilles and Registers
 - Diffusers, grilles and registers shall be manufactured by titus, price, or engineered approved equal and shall be furnished and installed by the mechanical contractor. Diffusers shall be installed as indicated on the drawings and schedules. The mechanical contractor shall provide all miscellaneous items necessary for a complete and proper installation in the type of ceiling and walls used in this project.
 - Exhaust Fan
 - Fan manufacturer shall be Broan, Cook, Panasonic, Greenheck, or engineered approved equal. Refer to drawings and schedules for unit location, technical data, and any applicable accessories.
 - Ducted Split Systems
 - Split systems shall consist of high efficient air handling unit and associated heat pump. Equipment shall have manufacturer's standard warranty.
 - Split system manufacturer shall be Tempstar, Carrier, Goodman, or engineered equal.
 - Condensate Drain Piping
 - The mechanical contractor shall furnish and install condensate drains, p-traps with removable cleanout caps for air equipment per manufacturer's recommendations. The p-trap depth shall be at least the depth specified for the respective pressure drop of the unit. Condensate drain piping shall be schedule 40 CPVC pipe with solvent weld fittings (insulate condensate walls of pipe with Armaflex AP, flexible closed cell elastomeric foam, self-sealing insulation. Provide 1/2" thick insulation on piping < 1" in diameter and 1" thick insulation on piping between 1" and 1-1/2" in diameter. Pipe insulation shall not exceed 2500 flame-smoke ratings). All condensate drain lines shall be configured to permit the clearing of blockages and performance of maintenance without requiring the drain line to be cut. For condensate pumps located in unhabitable spaces (i.e. attics and crawl spaces), provide controls that will shut down the equipment if the condensate pump fails.
 - All cooling equipment shall have a wet switch in the primary drain line, the overflow drain line, or in the equipment-supplied drain pan (located at a point higher than the primary drain line connection and below the overflow rim of the pan) that will shut down the unit when the condensate is clogged.
 - Piping Supports (Metal Pipe)
 - Furnish and install hot-dipped galvanized steel fasteners, hangers, anchors, rods, straps, trim and angles for support of piping.
 - Piping Supports (Plastic Pipe)
 - Furnish and install hangers for plastic piping per manufacturer's requirements.
 - Temperature Controls and Control Wiring
 - The mechanical contractor shall provide all control wiring necessary for the complete and proper operating temperature control system. Programmable thermostats shall be provided with equipment packages unless otherwise noted.
 - Exposed wiring: All wiring exposed to the space shall be run in conduit. Coordinate requirements with architectural drawings.
 - Commissioning
 - 3CDC has hired ZHCx to act as their commissioning provider. The commissioning process will be implemented on the HVAC systems.
 - ZHCx will conduct onsite observations throughout construction. ZHCx shall be notified prior to any ductwork being covered.
 - ZHCx shall be notified prior to any equipment start up. ZHCx will withhold start up of all split systems. If a start up occurs without notifying ZHCx the responsible contractor is required to perform another start up in the presence of ZHCx.
 - ZHCx will conduct functional performance testing on all HVAC equipment. Any findings will be reported to 3CDC, project architect, mechanical contractor, and the engineer of record. The responsible party is required to document the correction so that ZHCx can verify the correction has been made. ZHCx will perform one back check of the correction to ensure it has been implemented in its entirety.
 - Sequence of Operation
 - Heaters
 - H-X: heater shall be controlled from the integral thermostat. When the temperature of the space drops below the thermostat setpoint, the heater fan shall run and the electric heating element shall engage to maintain temperature setpoint.
 - Exhaust Fans
 - E-X: exhaust fan shall run on a wall switch (provided by the electrical contractor).
 - Split Systems
 - AHU/HP-1.5:
 - Heating mode - indoor air handler shall be controlled from a thermostat in the space. When the thermostat calls for heating the fan shall run and the heat pump in heating mode shall run to maintain temperature setpoint. If the heat pump cannot maintain temperature in the space, the electric heat kit shall energize until set point is reached. When the setpoint is reached the unit shall shut off.
 - Cooling mode - when the thermostat calls for cooling the heat pump unit shall run in cooling mode, the air handler fan shall run, and the dx cooling coil shall cool the air to maintain temperature setpoint.
 - IDU/ODU-1:
 - Heating mode - indoor unit shall be controlled from a thermostat in the space. When the thermostat calls for heating the fan shall run and the heat pump in heating mode shall run to maintain temperature setpoint.
 - Cooling mode - when the thermostat calls for cooling the heat pump unit shall run in cooling mode, the unit fan shall run, and the dx cooling coil shall cool the air to maintain temperature setpoint.
 - IDU/ODU-1.5:
 - Heating mode - indoor unit shall be controlled from a thermostat in the space. When the thermostat calls for heating the fan shall run and the heat pump in heating mode shall run to maintain temperature setpoint.
 - Cooling mode - when the thermostat calls for cooling the heat pump unit shall run in cooling mode, the unit fan shall run, and the dx cooling coil shall cool the air to maintain temperature setpoint.
 - Dehumidifier
 - DEH-1
 - Dehumidifier shall be controlled from an integral humidistat. When the humidity of the space rises above set point the dehumidifier shall energize and begin to dehumidify the space. When the humidity setpoint is reached the dehumidifier shall shut off.

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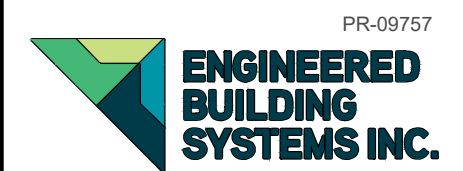


Progress Dates
05/05/2023 BID P/E/FP
08/30/2024 BID SET 2

Revisions

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Drawn by: RFG



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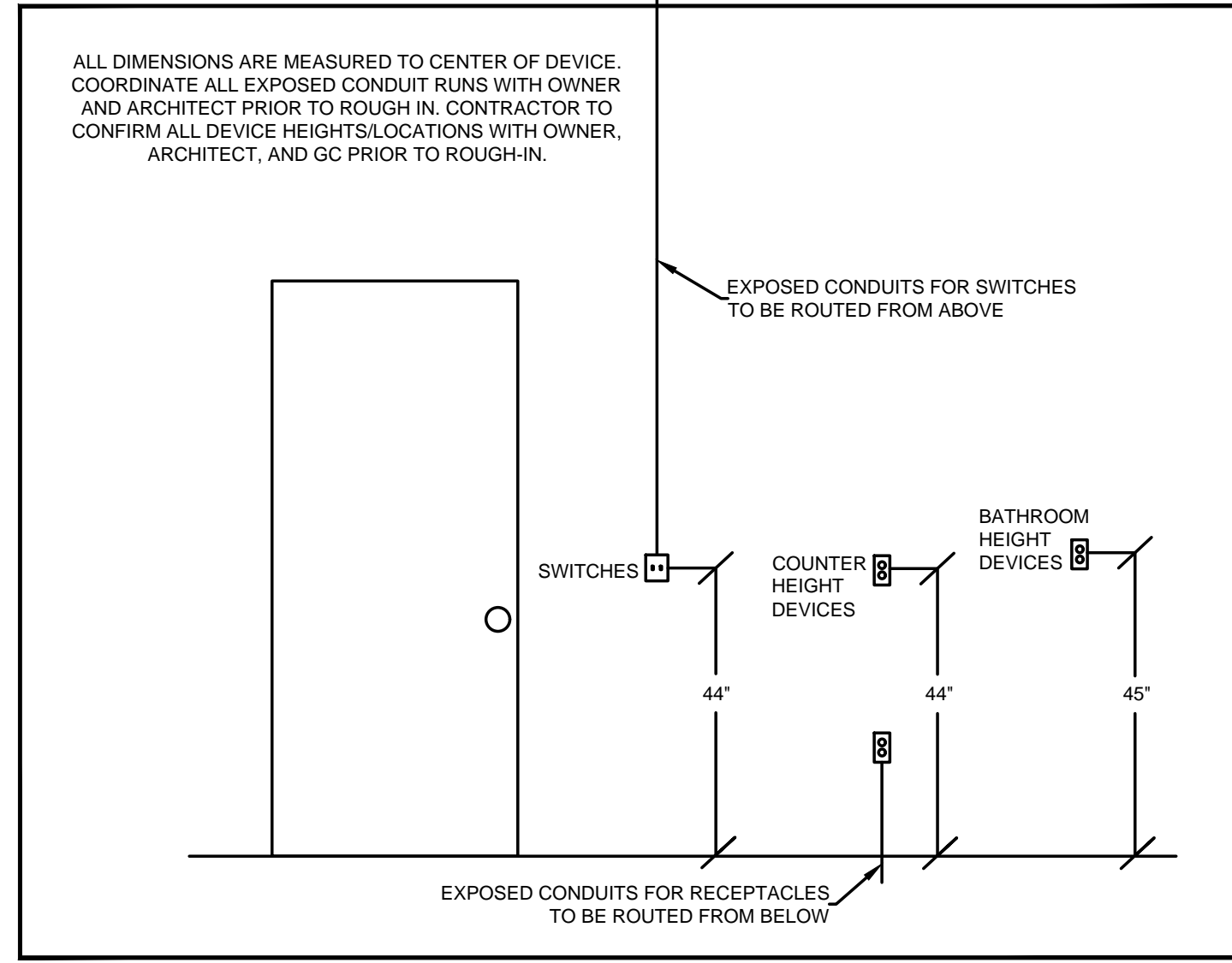
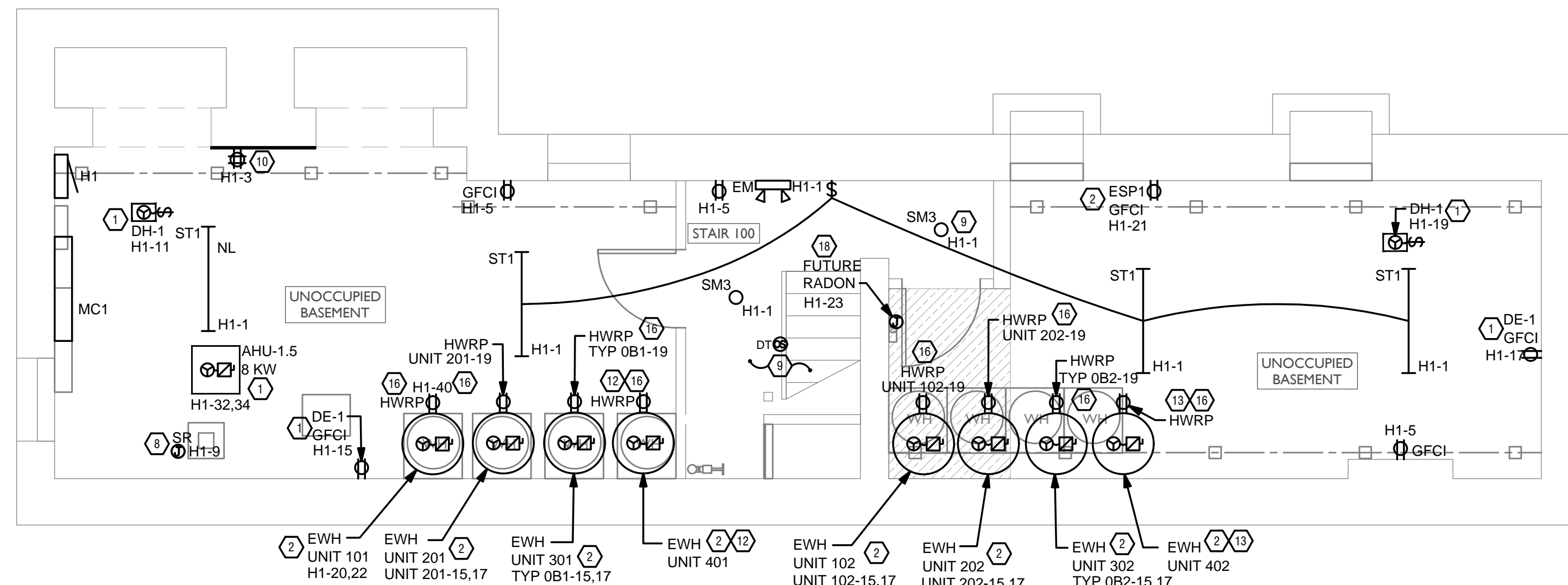
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PROPOSED PROJECT:
RENOVATION FOR
1804 REPUBLIC ST.
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/10/2022

M2.01

Z:\Project_Directories\9700-9799\9757 - Findlay Flats - Findlay Flats (Williamson 2 Phase II) - Construction Documents - Phase 2 (5 Buildings) 1804 REPUBLIC ST - ART.dwg - Model - Plot Date/Time: Aug 29, 2024 - 10:50am - By: derek.gandy
 THESE DRAWINGS AND SPECIFICATIONS ARE NOT AUTHORIZED TO BE USED AS CONTRACT DOCUMENTS. THESE DRAWINGS HAVE BEEN PREPARED TO DEMONSTRATE COMPLIANCE WITH APPLICABLE CODES, AND ARE INTENDED TO PROVIDE THE AUTHORITIES HAVING JURISDICTION WITH INFORMATION TO DETERMINE CODE COMPLIANCE. THE INSTALLING CONTRACTOR IS RESPONSIBLE TO ENSURE THAT MEANS, METHODS, AND MATERIALS USED IN CONSTRUCTION ARE INSTALLED IN ACCORDANCE WITH ANY CONTRACTUAL AGREEMENT THAT MAY EXIST WITH AN OWNER, CONSTRUCTION MANAGER, GENERAL CONTRACTOR, ETC.



STANDARD MOUNTING HEIGHTS

GENERAL NOTES-DWELLING UNITS

- PROVIDE AFCI PROTECTION IN ACCORDANCE WITH NEC 210.12. AFCI PROTECTION MUST BE PROVIDED WHERE EXISTING BRANCH CIRCUIT WIRING IS MODIFIED OR RECEPTACLES ARE REPLACED. IN ACCORDANCE WITH NEC AND LOCAL ELECTRICAL INSPECTION REQUIREMENTS. REFER TO NEC 406.4 (D) AND NEC 210.12 (D)
- FURNISH AND INSTALL SMOKE DETECTORS AS REQUIRED BY CODE. SMOKE DETECTORS SHOWN ON EBS DRAWINGS ARE INTENDED TO CONVEY GENERAL COMPLIANCE FOR BUILDING DEPARTMENT SUBMITTALS. PROVIDE INTERWIRING BETWEEN SMOKE DETECTORS LOCATED IN THE SAME UNIT. FIRE ALARM AND/OR SMOKE DETECTOR SYSTEMS ARE FURNISHED ON A DESIGN-BUILD BASIS BY THE ELECTRICIAN.
- WHERE CIRCUITING IS SHOWN TYPICAL FOR MULTIPLE UNITS, COORDINATE BREAKER/WIRE SIZES FOR EQUIPMENT FURNISHED BY OTHERS WITH SHOP DRAWINGS PROVIDED BY THE CONTRACTOR SUPPLYING THE EQUIPMENT. VERIFY BREAKER/WIRE SIZES FOR EQUIPMENT OR APPLIANCE FOR EACH UNIT PRIOR TO ROUGH-IN.
- SEE ARCHITECTURAL REFLECTED CEILING PLANS FOR DIMENSIONED LOCATIONS OF ALL LIGHT FIXTURES.
- PROVIDE CONDUIT AND PULL STRING TO APPROVED LOCATION FOR VOICE, DATA, AND CATV CABLES.
- CIRCUITING ON DRAWINGS AND PANEL SCHEDULE IS SHOWN TYPICAL FOR SIMILAR UNITS. REFER TO DWELLING UNIT LOAD SUMMARIES FOR INDIVIDUAL DWELLING UNIT LOAD CALCULATIONS
- COORDINATE RECEPTACLE, PHONE, AND TV DEVICE PLACEMENT WITH FURNITURE LOCATIONS. VERIFY WITH ARCHITECT PRIOR TO ROUGH-IN. LOCATIONS SHOWN ON DRAWINGS ARE INTENDED TO CONVEY DESIGN INTENT, AND DEMONSTRATE GENERAL COMPLIANCE WITH CODE. WHERE ACTUAL STUD LOCATIONS REQUIRE DEVICE LOCATIONS TO BE ADJUSTED, ADDED OR MINOR VARIATIONS AMONG UNITS THAT ARE SHOWN AS "TYPICAL", ETC. OCCUR, CONTRACTOR, UNDER HIS/BASE BID, TO MAKE NECESSARY ADJUSTMENTS / ADDITIONS IN THE FIELD TO MAINTAIN NEC DWELLING UNIT RECEPTACLE SPACING REQUIREMENTS. WHERE ACTUAL WINDOW CONSTRUCTION PROHIBITS THE INSTALLATION OF A WALL RECEPTACLE, PROVIDE FLOOR RECEPTACLE WITHIN 18 INCHES OF THE BASE OF THE WALL. PROVIDE TAMPER PROOF RECEPTACLES AS REQUIRED BY NEC ART. 406.12

KEYED SHEET NOTES

- MECHANICAL EQUIPMENT PROVIDED BY MECHANICAL CONTRACTOR, WIRED BY ELECTRICAL CONTRACTOR. VERIFY ELECTRICAL REQUIREMENTS WITH MECHANICAL REQUIREMENTS PRIOR TO ROUGH-IN.
- PLUMBING EQUIPMENT PROVIDED BY PLUMBING CONTRACTOR, WIRED BY ELECTRICAL CONTRACTOR. VERIFY ELECTRICAL REQUIREMENTS WITH PLUMBING REQUIREMENTS PRIOR TO ROUGH-IN.
- COORDINATE TV RECEPTACLE AND DATA LOCATIONS WITH OWNER AND ARCHITECT PRIOR TO ROUGH-IN.
- PROVIDE SWITCH AND CONNECTION FOR CONTINUOUSLY RUNNING 2-SPEED BATHROOM FAN. VERIFY REQUIREMENTS WITH MECHANICAL CONTRACTOR PRIOR TO ROUGH-IN.
- PROVIDE HARD-WIRED SMOKE DETECTORS WITH BATTERY BACK-UP AS REQUIRED. ONE SMOKE DETECTOR IN EACH UNIT MUST BE A SMOKE/CO DETECTOR COMBO.
- DISHWASHER MUST BE GFCI PROTECTED PER NEC 210.8(D) RECEPTACLE SHALL BE LOCATED IN AN ACCESSIBLE LOCATION.
- MICROWAVE RECEPTACLE LOCATED IN CABINET ABOVE, COORDINATE LOCATION WITH GENERAL CONTRACTOR PRIOR TO ROUGH-IN.
- PROVIDE 120 VOLT DEDICATED CIRCUIT FOR SPRINKLER RISER TAMPER AND FLOW SWITCH. COORDINATE LOCATION WITH FIRE PROTECTION CONTRACTOR.
- CORRIDOR LIGHTS TO BE CONTROLLED BY OCCUPANCY SENSOR UNLESS OTHERWISE NOTED.
- LOCATION OF BUILDING UTILITY DATA DEMARC. PROVIDE A 4'X4' PLYWOOD BACKBOARD FOR DATA/PHONE UTILITIES. COORDINATE ALL REQUIREMENTS WITH OWNER, ARCHITECT, AND ALTA FIBER PRIOR TO ROUGH-IN. PROVIDE DEDICATED QUAD RECEPTACLE AS SHOWN.
- EXTERIOR LIGHTING ON PHOTOCELL. CONFIRM LOCATION OF PHOTOCELL DEVICE WITH OWNER AND ARCHITECT PRIOR TO ROUGH-IN.
- UNIT WIRED TO TYPICAL "0B2" REFER TO PANEL SCHEDULE FOR LOAD DATA. SEE UNIT 301 FOR CIRCUITRY LAYOUT.
- UNIT WIRED TO TYPICAL "0B1" REFER TO PANEL SCHEDULE FOR LOAD DATA. SEE UNIT 302 FOR CIRCUITRY LAYOUT.
- COORDINATE LOCATION AND REQUIREMENTS OF BUILDING CALL BOX, 2N INTERCOM SYSTEM, WITH OWNER AND ARCHITECT PRIOR TO ROUGH-IN.
- INSTALL FIBROPTIC 4-GANG AND QUAD OUTLET IN CABINET ABOVE REFRIGERATOR AS SHOWN.
- HOT WATER CIRCULATION PUMP HARDWIRED CIRCUIT CONNECTION. COORDINATE LOCATION WITH PLUMBING CONTRACTOR. PRIOR TO ROUGH-IN.
- DUCTLESS INDOOR UNIT POWERED FROM OUTDOOR UNIT. CONFIRM LOCATION AND DISCONNECTING MEANS WITH INSTALLING CONTRACTOR.
- LOCATION OF FUTURE RADON. PROVIDE JUNCTION BOX FOR FUTURE RADON FAN. FAN NOT TO BE INSTALLED AT THIS TIME.

SCOPE OF WORK

RENOVATION OF EXISTING BUILDING MULTIFAMILY BUILDING WITH COMMERCIAL FIRST FLOOR. PROVIDE NEW ELECTRICAL DISTRIBUTION, POWER AND LIGHTING. SEE SINGLE LINE DIAGRAM FOR MORE DETAILS.

GENERAL NOTES-OVERALL PROJECT

- EBS DRAWINGS INDICATE DESIGN INTENT AND REQUIRED OUTCOMES. IF CONDITIONS ARISE IN THE FIELD THAT REQUIRE DEVIATIONS FROM THE DRAWINGS IT IS ASSUMED THAT THE CONTRACTOR WILL DETERMINE THE APPROPRIATE DEVIATION WITH APPROVAL FROM THE OWNER. EBS IS AVAILABLE TO ASSIST WHEN REQUIRED IF ISSUES ARISE.

GENERAL NOTES-LIGHTING

- REFER TO ARCHITECT'S PLANS AND ELEVATIONS FOR DIMENSIONED LOCATIONS OF LIGHT FIXTURES.
- PROVIDE HOLD-ON-TYPE BREAKERS FOR EGRESS/EMERGENCY LIGHTING CIRCUITS. WIRE ALL EGRESS/EMERGENCY FIXTURES AHEAD OF ANY LOCAL SWITCHING.
- LIGHT FIXTURES CONTROLLED BY SWITCH IN SAME ROOM UNLESS OTHERWISE NOTED.
- WHERE DIMMERS AND/OR DIMMING SYSTEMS ARE REQUIRED, CONTRACTOR TO FURNISH DIMMERS THAT ARE COMPATIBLE WITH FIXTURE SOURCE AND RATED FOR THE WATTAGE OF THE DIMMING ZONE. PROVIDE ADDITIONAL DIMMERS AS REQUIRED TO MEET ZONE LOAD REQUIREMENTS.
- ELECTRICAL SWITCHES ON OPPOSITE SIDES OF A WALL ARE TO BE SPACED SO THAT THEIR ELECTRICAL BOX ARE A MINIMUM OF ONE STUD BETWEEN BOXES.
- WHERE APPLICABLE, PROVIDE TOGGLE STYLE LIGHT SWITCHES.

GENERAL NOTES-POWER

- ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ALL CONDUIT/CABLE ROUTING. COORDINATE ROUTING WITH ALL OTHER TRADES AND BUILDING CONDITIONS.
- SEE SINGLE LINE DIAGRAM FOR FEEDER WIRE AND CONDUIT SIZE. ALL CIRCUITS NOT SIZED ON DRAWING SHALL BE INSTALLED TO MEET MINIMUM SIZE REQUIRED BY NEC.
- PROVIDE MOTOR STARTERS FOR EQUIPMENT AS INDICATED ON DRAWINGS. COORDINATE ANY INTERLOCKING WIRING WITH HVAC CONTRACTOR AND PROVIDE WIRING, COILS, AND AUXILIARY CONTACTS AS NECESSARY. SIZE ALL CIRCUITS FOR ACTUAL EQUIPMENT TO BE CONNECTED.
- ALL PANELS AND DISCONNECTS LOCATED OUTDOORS SHALL BE LABELED NEMA 3R.
- ROOF MOUNTED AND OUTDOOR EQUIPMENT SHALL HAVE 120V RECEPTACLE MOUNTED WITHIN 25' OF EACH PIECE. RECEPTACLES SHALL BE IN WEATHER PROOF BOX AND HAVE GFCI PROTECTION.
- FOR ITEMS FURNISHED BY OTHER TRADES, ELECTRICAL CONTRACTOR TO FULLY COORDINATE BREAKER AND WIRE SIZES WITH ACTUAL EQUIPMENT BEING CONNECTED PRIOR TO ROUGH-IN OR INSTALLATION. THE SIZES ON PANEL SCHEDULES REFER TO BASIS OF DESIGN SELECTIONS, AND ACTUAL ITEMS MAY DEVIATE FROM BASIS OF DESIGN. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO CONFIRM REQUIRED WIRE AND BREAKER SIZES WITH THE CONTRACTOR FURNISHING THE EQUIPMENT.
- REFER TO ARCHITECT'S PLANS AND ELEVATIONS FOR ALL DEVICE MOUNTING HEIGHTS.
- CONTRACTOR TO PROVIDE GROUNDING AND BONDING AS REQUIRED FOR ELECTRICAL SYSTEMS. GROUNDING AND BONDING IS CONSIDERED MEANS AND METHODS OF CONSTRUCTION, AND SHOULD BE COMPLETED BY THE ELECTRICAL CONTRACTOR IN ACCORDANCE WITH NEC 250. GAS PIPING SYSTEMS MUST BE BONDED PER UTILITY PROVIDER'S INSTALLATION GUIDELINES WHERE REQUIRED.
- ELECTRICAL RECEPTACLES ON OPPOSITE SIDES OF A WALL ARE TO BE SPACED SO THAT THEIR ELECTRICAL BOX ARE A MINIMUM OF ONE STUD BETWEEN BOXES.

SCALE: 1/4" = 1'-0"

ELECTRICAL POWER PLAN - BASEMENT



PROPOSED PROJECT:
 RENOVATION FOR
1804 REPUBLIC ST.
 CINCINNATI, OH, 45202
 FINDLAY FLATS

Job No: 22042 8/10/2022

E1.00

Progress Dates
 05/05/2023 BID P/E/PF
 08/30/2024 BID SET 2

Revisions

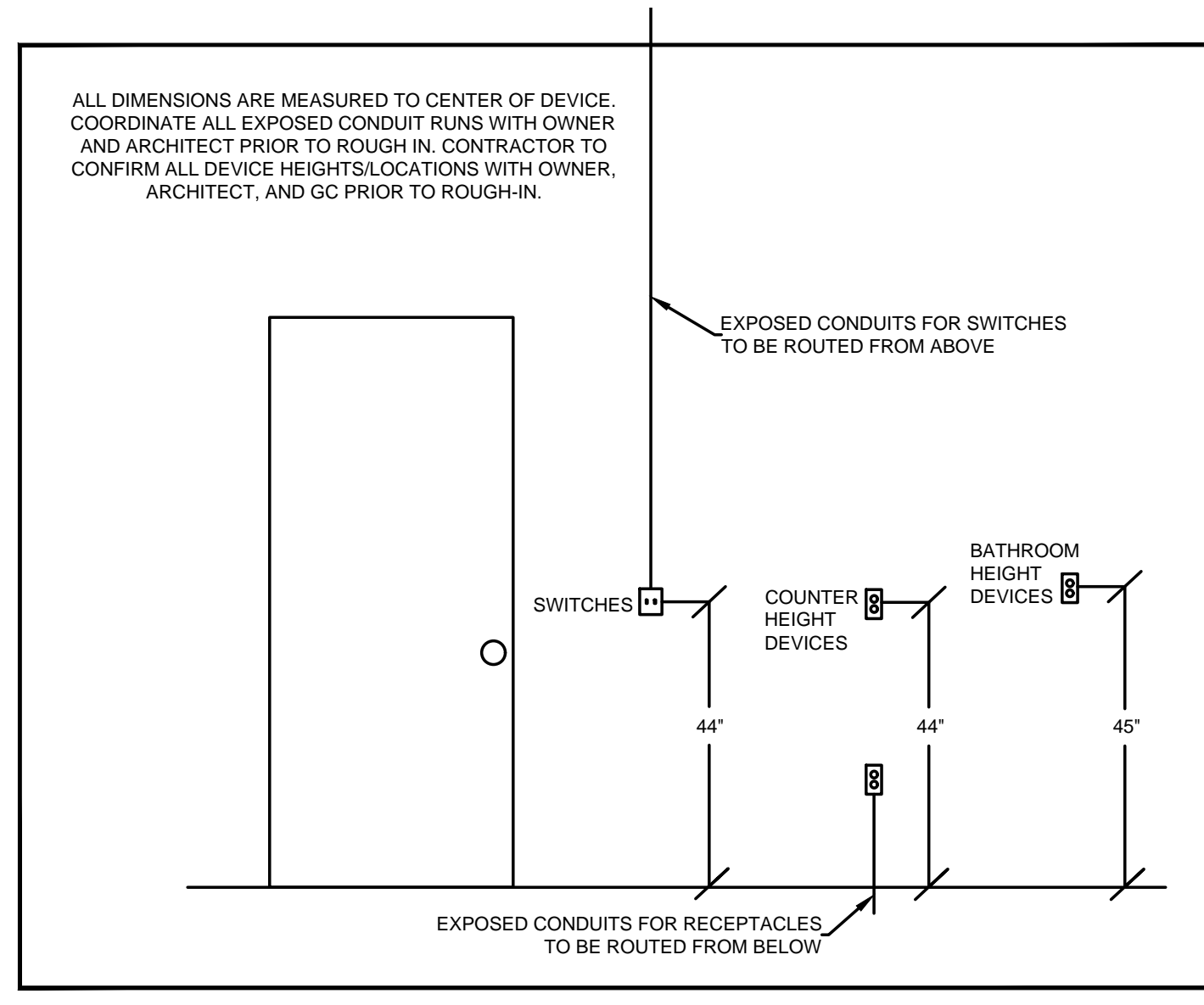
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Z:\Project_Directories\9700-9799\9757 - Findlay Flats - Findlay Porcise (Williamson) 2 Phase II\Construction Documents\Phase 2 (5 Buildings)\1804 EPHIBLIC\REF-ART.dwg-Model, Plot Date/Time: Aug 29, 2024 - 10:50am - By: derek.gandy
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GENERAL NOTES-DWELLING UNITS

- A. PROVIDE AFCI PROTECTION IN ACCORDANCE WITH NEC 210.12. AFCI PROTECTION MUST BE PROVIDED WHERE EXISTING BRANCH CIRCUIT WIRING IS MODIFIED OR RECEPTACLES ARE REPLACED. IN ACCORDANCE WITH NEC AND LOCAL ELECTRICAL INSPECTION REQUIREMENTS. REFER TO NEC 406.4 (D) AND NEC 210.12 (D)
- B. FURNISH AND INSTALL SMOKE DETECTORS AS REQUIRED BY CODE. SMOKE DETECTORS SHOWN ON EBS DRAWINGS ARE INTENDED TO CONVEY GENERAL COMPLIANCE FOR BUILDING DEPARTMENT SUBMITTALS. PROVIDE INTERWIRING BETWEEN SMOKE DETECTORS LOCATED IN THE SAME UNIT. FIRE ALARM AND/OR SMOKE DETECTOR SYSTEMS ARE FURNISHED ON A DESIGN-BUILD BASIS BY THE ELECTRICIAN.
- C. WHERE CIRCUITING IS SHOWN TYPICAL FOR MULTIPLE UNITS, COORDINATE BREAKER/WIRE SIZES FOR EQUIPMENT FURNISHED BY OTHERS WITH SHOP DRAWINGS PROVIDED BY THE CONTRACTOR SUPPLYING THE EQUIPMENT. VERIFY BREAKER/WIRE SIZES FOR EQUIPMENT OR APPLIANCE FOR EACH UNIT PRIOR TO ROUGH-IN.
- D. SEE ARCHITECTURAL REFLECTED CEILING PLANS FOR DIMENSIONED LOCATIONS OF ALL LIGHT FIXTURES.
- E. PROVIDE CONDUIT AND PULL STRING TO APPROVED LOCATION FOR VOICE, DATA, AND CATV CABLES.
- F. CIRCUITING ON DRAWINGS AND PANEL SCHEDULE IS SHOWN TYPICAL FOR SIMILAR UNITS. REFER TO DWELLING UNIT LOAD SUMMARIES FOR INDIVIDUAL DWELLING UNIT LOAD CALCULATIONS
- G. COORDINATE RECEPTACLE, PHONE, AND TV DEVICE PLACEMENT WITH FURNITURE LOCATIONS. VERIFY WITH ARCHITECT PRIOR TO ROUGH-IN. LOCATIONS SHOWN ON DRAWINGS ARE INTENDED TO CONVEY DESIGN INTENT, AND DEMONSTRATE GENERAL COMPLIANCE WITH CODE. WHERE ACTUAL STUD LOCATIONS REQUIRE DEVICE LOCATIONS TO BE ADJUSTED, ADDED OR MINOR VARIATIONS AMONG UNITS THAT ARE SHOWN AS "TYPICAL", ETC. OCCUR, CONTRACTOR, UNDER HIS/BASE BID, TO MAKE NECESSARY ADJUSTMENTS / ADDITIONS IN THE FIELD TO MAINTAIN NEC DWELLING UNIT RECEPTACLE SPACING REQUIREMENTS. WHERE ACTUAL WINDOW CONSTRUCTION PROHIBITS THE INSTALLATION OF A WALL RECEPTACLE, PROVIDE FLOOR RECEPTACLE WITHIN 18 INCHES OF THE BASE OF THE WALL. PROVIDE TAMPER PROOF RECEPTACLES AS REQUIRED BY NEC ART. 406.12

SCOPE OF WORK

RENOVATION OF EXISTING BUILDING MULTIFAMILY BUILDING WITH COMMERCIAL FIRST FLOOR. PROVIDE NEW ELECTRICAL DISTRIBUTION, POWER AND LIGHTING. SEE SINGLE LINE DIAGRAM FOR MORE DETAILS.

GENERAL NOTES-OVERALL PROJECT

- A. EBS DRAWINGS INDICATE DESIGN INTENT AND REQUIRED OUTCOMES. IF CONDITIONS ARISE IN THE FIELD THAT REQUIRE DEVIATIONS FROM THE DRAWINGS IT IS ASSUMED THAT THE CONTRACTOR WILL DETERMINE THE APPROPRIATE DEVIATION WITH APPROVAL FROM THE OWNER. EBS IS AVAILABLE TO ASSIST WHEN REQUIRED IF ISSUES ARISE.

GENERAL NOTES-LIGHTING

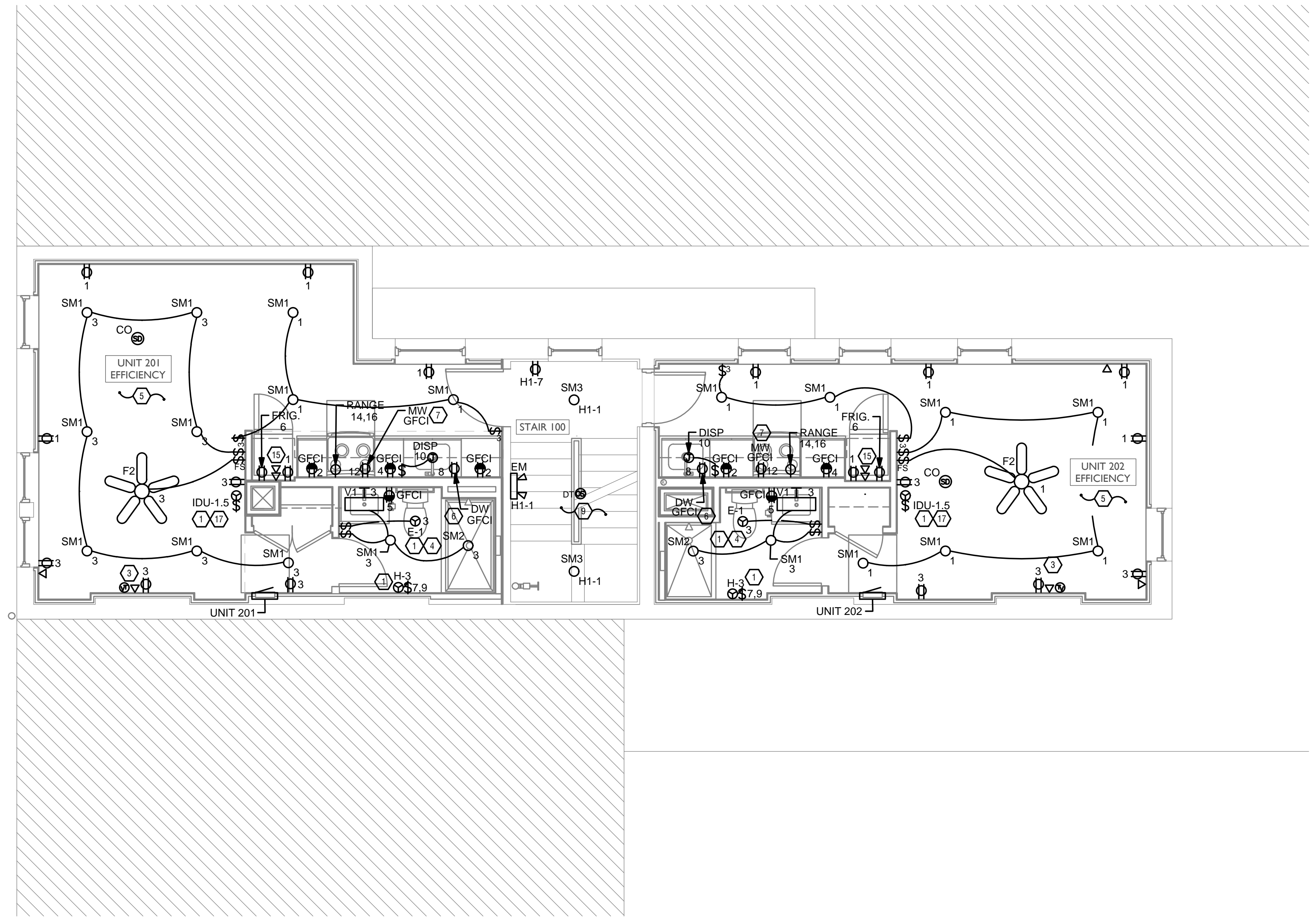
- A. REFER TO ARCHITECT'S PLANS AND ELEVATIONS FOR DIMENSIONED LOCATIONS OF LIGHT FIXTURES.
- B. PROVIDE HOLD-ON-TYPE BREAKERS FOR EGRESS/EMERGENCY LIGHTING CIRCUITS. WIRE ALL EGRESS/EMERGENCY FIXTURES AHEAD OF ANY LOCAL SWITCHING.
- C. LIGHT FIXTURES CONTROLLED BY SWITCH IN SAME ROOM UNLESS OTHERWISE NOTED.
- D. WHERE DIMMERS AND/OR DIMMING SYSTEMS ARE REQUIRED, CONTRACTOR TO FURNISH DIMMERS THAT ARE COMPATIBLE WITH FIXTURE SOURCE AND RATED FOR THE WATTAGE OF THE DIMMING ZONE. PROVIDE ADDITIONAL DIMMERS AS REQUIRED TO MEET ZONE LOAD REQUIREMENTS.
- E. ELECTRICAL SWITCHES ON OPPOSITE SIDES OF A WALL ARE TO BE SPACED SO THAT THEIR ELECTRICAL BOX ARE A MINIMUM OF ONE STUD BETWEEN BOXES.
- F. WHERE APPLICABLE, PROVIDE TOGGLE STYLE LIGHT SWITCHES.

GENERAL NOTES-POWER

- A. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ALL CONDUIT/CABLE ROUTING. COORDINATE ROUTING WITH ALL OTHER TRADES AND BUILDING CONDITIONS.
- B. SEE SINGLE LINE DIAGRAM FOR FEEDER WIRE AND CONDUIT SIZE. ALL CIRCUITS NOT SIZED ON DRAWING SHALL BE INSTALLED TO MEET MINIMUM SIZE REQUIRED BY NEC.
- C. PROVIDE MOTOR STARTERS FOR EQUIPMENT AS INDICATED ON DRAWINGS. COORDINATE ANY INTERLOCKING WIRING WITH HVAC CONTRACTOR AND PROVIDE WIRING, COILS, AND AUXILIARY CONTACTS AS NECESSARY. SIZE ALL CIRCUITS FOR ACTUAL EQUIPMENT TO BE CONNECTED.
- D. ALL PANELS AND DISCONNECTS LOCATED OUTDOORS SHALL BE LABELED NEMA 3R.
- E. ROOF MOUNTED AND OUTDOOR EQUIPMENT SHALL HAVE 120V RECEPTACLE MOUNTED WITHIN 25' OF EACH PIECE. RECEPTACLES SHALL BE IN WEATHER PROOF BOX AND HAVE GFCI PROTECTION.
- F. FOR ITEMS FURNISHED BY OTHER TRADES, ELECTRICAL CONTRACTOR TO FULLY COORDINATE BREAKER AND WIRE SIZES WITH ACTUAL EQUIPMENT BEING CONNECTED TO ROUGH-IN OR INSTALLATION. THE SIZES ON PANEL SCHEDULES REFER TO BASIS OF DESIGN SELECTIONS, AND ACTUAL ITEMS MAY DEVIATE FROM BASIS OF DESIGN. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO CONFIRM REQUIRED WIRE AND BREAKER SIZES WITH THE CONTRACTOR FURNISHING THE EQUIPMENT.
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KEYED SHEET NOTES

1. MECHANICAL EQUIPMENT PROVIDED BY MECHANICAL CONTRACTOR, WIRED BY ELECTRICAL CONTRACTOR. VERIFY ELECTRICAL REQUIREMENTS WITH MECHANICAL REQUIREMENTS PRIOR TO ROUGH-IN.
2. PLUMBING EQUIPMENT PROVIDED BY PLUMBING CONTRACTOR, WIRED BY ELECTRICAL CONTRACTOR. VERIFY ELECTRICAL REQUIREMENTS WITH PLUMBING REQUIREMENTS PRIOR TO ROUGH-IN.
3. COORDINATE TV RECEPTACLE AND DATA LOCATIONS WITH OWNER AND ARCHITECT PRIOR TO ROUGH-IN.
4. PROVIDE SWITCH AND CONNECTION FOR CONTINUOUSLY RUNNING 2-SPEED BATHROOM FAN. VERIFY REQUIREMENTS WITH MECHANICAL CONTRACTOR PRIOR TO ROUGH-IN.
5. PROVIDE HARD-WIRED SMOKE DETECTORS WITH BATTERY BACK-UP AS REQUIRED. ONE SMOKE DETECTOR IN EACH UNIT MUST BE A SMOKE/CO DETECTOR COMBO.
6. DISHWASHER MUST BE GFCI PROTECTED PER NEC 210.8(D) RECEPTACLE SHALL BE LOCATED IN AN ACCESSIBLE LOCATION.
7. MICROWAVE RECEPTACLE LOCATED IN CABINET ABOVE, COORDINATE LOCATION WITH GENERAL CONTRACTOR PRIOR TO ROUGH-IN.
8. PROVIDE 120 VOLT DEDICATED CIRCUIT FOR SPRINKLER RISER TAMPER AND FLOW SWITCH. COORDINATE LOCATION WITH FIRE PROTECTION CONTRACTOR.
9. CORRIDOR LIGHTS TO BE CONTROLLED BY OCCUPANCY SENSOR UNLESS OTHERWISE NOTED.
10. LOCATION OF BUILDING UTILITY DATA DEMARC. PROVIDE A 4'X4' PLYWOOD BACKBOARD FOR DATA/PHONE UTILITIES. COORDINATE ALL REQUIREMENTS WITH OWNER, ARCHITECT, AND ALTA FIBER PRIOR TO ROUGH-IN. PROVIDE DEDICATED QUAD RECEPTACLE AS SHOWN.
11. EXTERIOR LIGHTING ON PHOTOCELL. CONFIRM LOCATION OF PHOTOCELL DEVICE WITH OWNER AND ARCHITECT PRIOR TO ROUGH-IN.
12. UNIT WIRED TO TYPICAL "0B2" REFER TO PANEL SCHEDULE FOR LOAD DATA. SEE UNIT 301 FOR CIRCUITRY LAYOUT.
13. UNIT WIRED TO TYPICAL "0B1" REFER TO PANEL SCHEDULE FOR LOAD DATA. SEE UNIT 302 FOR CIRCUITRY LAYOUT.
14. COORDINATE LOCATION AND REQUIREMENTS OF BUILDING CALL BOX, 2N INTERCOM SYSTEM, WITH OWNER AND ARCHITECT PRIOR TO ROUGH-IN.
15. INSTALL FIBROPTIC 4-GANG AND QUAD OUTLET IN CABINET ABOVE REFRIGERATOR AS SHOWN.
16. HOT WATER CIRCULATION PUMP HARDWIRED CIRCUIT CONNECTION. COORDINATE LOCATION WITH PLUMBING CONTRACTOR. PRIOR TO ROUGH-IN.
17. DUCTLESS INDOOR UNIT POWERED FROM OUTDOOR UNIT. CONFIRM LOCATION AND DISCONNECTING MEANS WITH INSTALLING CONTRACTOR.
18. LOCATION OF FUTURE RADON. PROVIDE JUNCTION BOX FOR FUTURE RADON FAN. FAN NOT TO BE INSTALLED AT THIS TIME.



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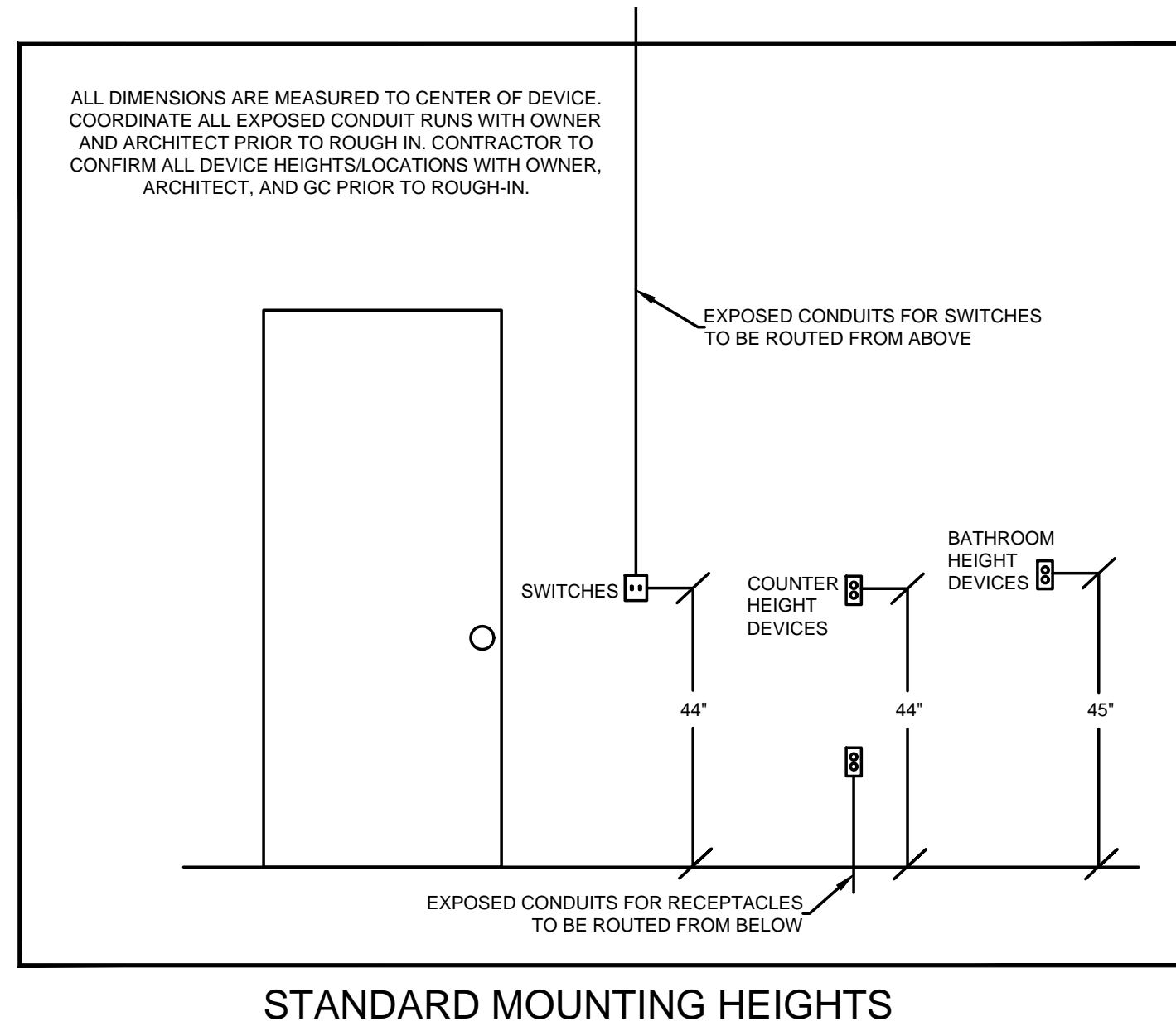
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PROPOSED PROJECT:
 RENOVATION FOR
1804 REPUBLIC ST.
 CINCINNATI, OH, 45202
 FINDLAY FLATS

Job No: 22042 8/10/2022

EI.02

Z:\Project_Directories\9700-9793\9757 - Findlay Flats - Friday Porchside (Williamson 2 Phase II)-Construction Documents-Phase 2 (3 Buildings)\1804 REPUBLIC REF-ART.dwg-Model, Plot Date/Time: Aug 29, 2024 - 10:50am - By: derek.grandy
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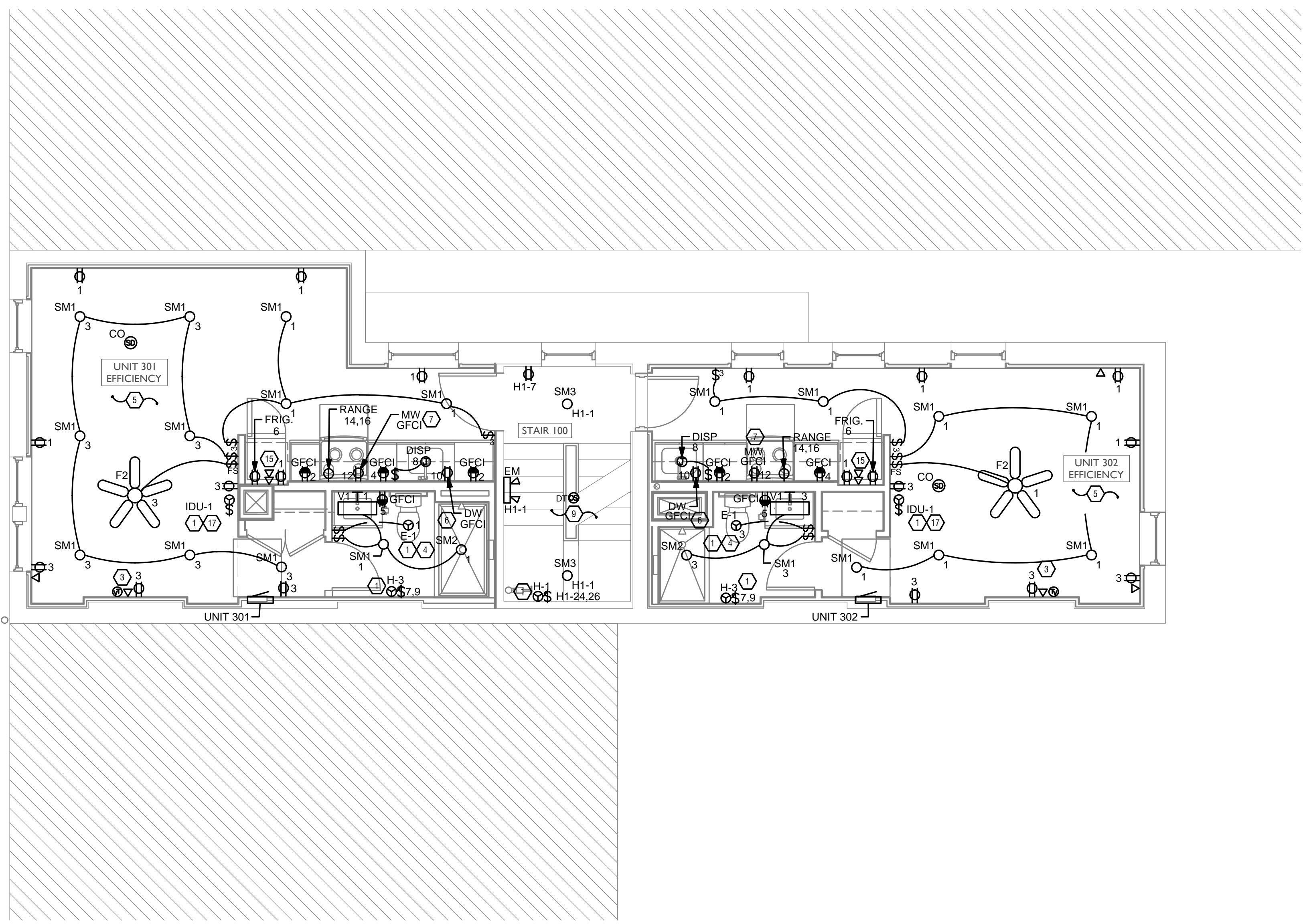
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1804 REPUBLIC ST.
 CINCINNATI, OH, 45202
 FINDLAY FLATS

Job No: 22042 8/10/2022

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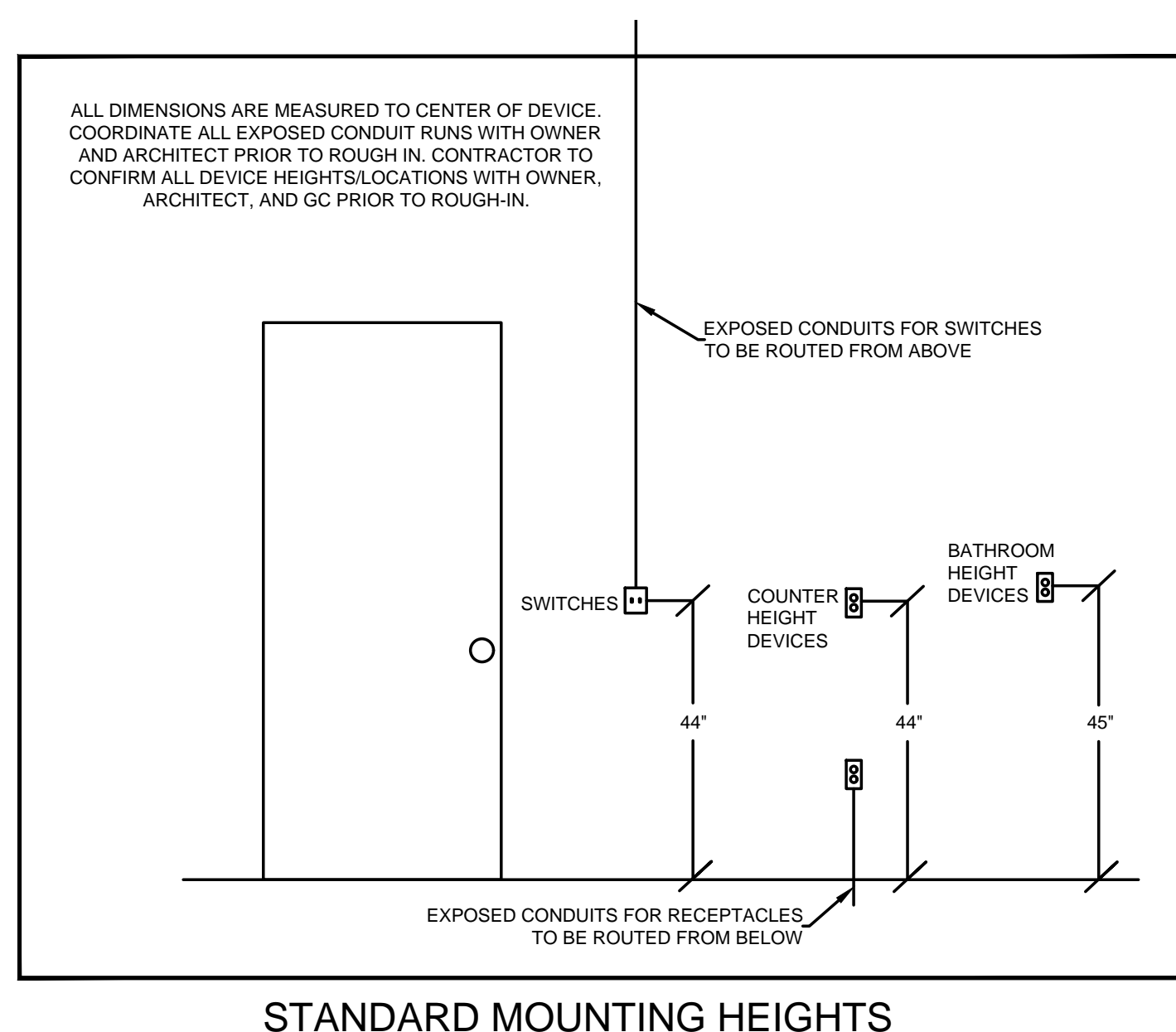
Revisions

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- FURNISH AND INSTALL SMOKE DETECTORS AS REQUIRED BY CODE. SMOKE DETECTORS SHOWN ON EBS DRAWINGS ARE INTENDED TO CONVEY GENERAL COMPLIANCE FOR BUILDING DEPARTMENT SUBMITTALS. PROVIDE INTERWIRING BETWEEN SMOKE DETECTORS LOCATED IN THE SAME UNIT. FIRE ALARM AND/OR SMOKE DETECTOR SYSTEMS ARE FURNISHED ON A DESIGN-BUILD BASIS BY THE ELECTRICIAN.
- WHERE CIRCUITING IS SHOWN TYPICAL FOR MULTIPLE UNITS, COORDINATE BREAKER/WIRE SIZES FOR EQUIPMENT FURNISHED BY OTHERS WITH SHOP DRAWINGS PROVIDED BY THE CONTRACTOR SUPPLYING THE EQUIPMENT. VERIFY BREAKER/WIRE SIZES FOR EQUIPMENT OR APPLIANCE FOR EACH UNIT PRIOR TO ROUGH-IN.
- SEE ARCHITECTURAL REFLECTED CEILING PLANS FOR DIMENSIONED LOCATIONS OF ALL LIGHT FIXTURES.
- PROVIDE CONDUIT AND PULL STRING TO APPROVED LOCATION FOR VOICE, DATA, AND CATV CABLES.
- CIRCUITING ON DRAWINGS AND PANEL SCHEDULE IS SHOWN TYPICAL FOR SIMILAR UNITS. REFER TO DWELLING UNIT LOAD SUMMARIES FOR INDIVIDUAL DWELLING UNIT LOAD CALCULATIONS
- COORDINATE RECEPTACLE, PHONE, AND TV DEVICE PLACEMENT WITH FURNITURE LOCATIONS. VERIFY WITH ARCHITECT PRIOR TO ROUGH-IN. LOCATIONS SHOWN ON DRAWINGS ARE INTENDED TO CONVEY DESIGN INTENT, AND DEMONSTRATE GENERAL COMPLIANCE WITH CODE. WHERE ACTUAL STUD LOCATIONS REQUIRE DEVICE LOCATIONS TO BE ADJUSTED, ADDED OR MINOR VARIATIONS AMONG UNITS THAT ARE SHOWN AS "TYPICAL", ETC. OCCUR, CONTRACTOR, UNDER HIS/BASE BID, TO MAKE NECESSARY ADJUSTMENTS / ADDITIONS IN THE FIELD TO MAINTAIN NEC DWELLING UNIT RECEPTACLE SPACING REQUIREMENTS. WHERE ACTUAL WINDOW CONSTRUCTION PROHIBITS THE INSTALLATION OF A WALL RECEPTACLE, PROVIDE FLOOR RECEPTACLE WITHIN 18 INCHES OF THE BASE OF THE WALL. PROVIDE TAMPER PROOF RECEPTACLES AS REQUIRED BY NEC ART. 406.12

SCOPE OF WORK

RENOVATION OF EXISTING BUILDING MULTIFAMILY BUILDING WITH COMMERCIAL FIRST FLOOR. PROVIDE NEW ELECTRICAL DISTRIBUTION, POWER AND LIGHTING. SEE SINGLE LINE DIAGRAM FOR MORE DETAILS.

GENERAL NOTES-OVERALL PROJECT

- EBS DRAWINGS INDICATE DESIGN INTENT AND REQUIRED OUTCOMES. IF CONDITIONS ARISE IN THE FIELD THAT REQUIRE DEVIATIONS FROM THE DRAWINGS IT IS ASSUMED THAT THE CONTRACTOR WILL DETERMINE THE APPROPRIATE DEVIATION WITH APPROVAL FROM THE OWNER. EBS IS AVAILABLE TO ASSIST WHEN REQUIRED IF ISSUES ARISE.

GENERAL NOTES-LIGHTING

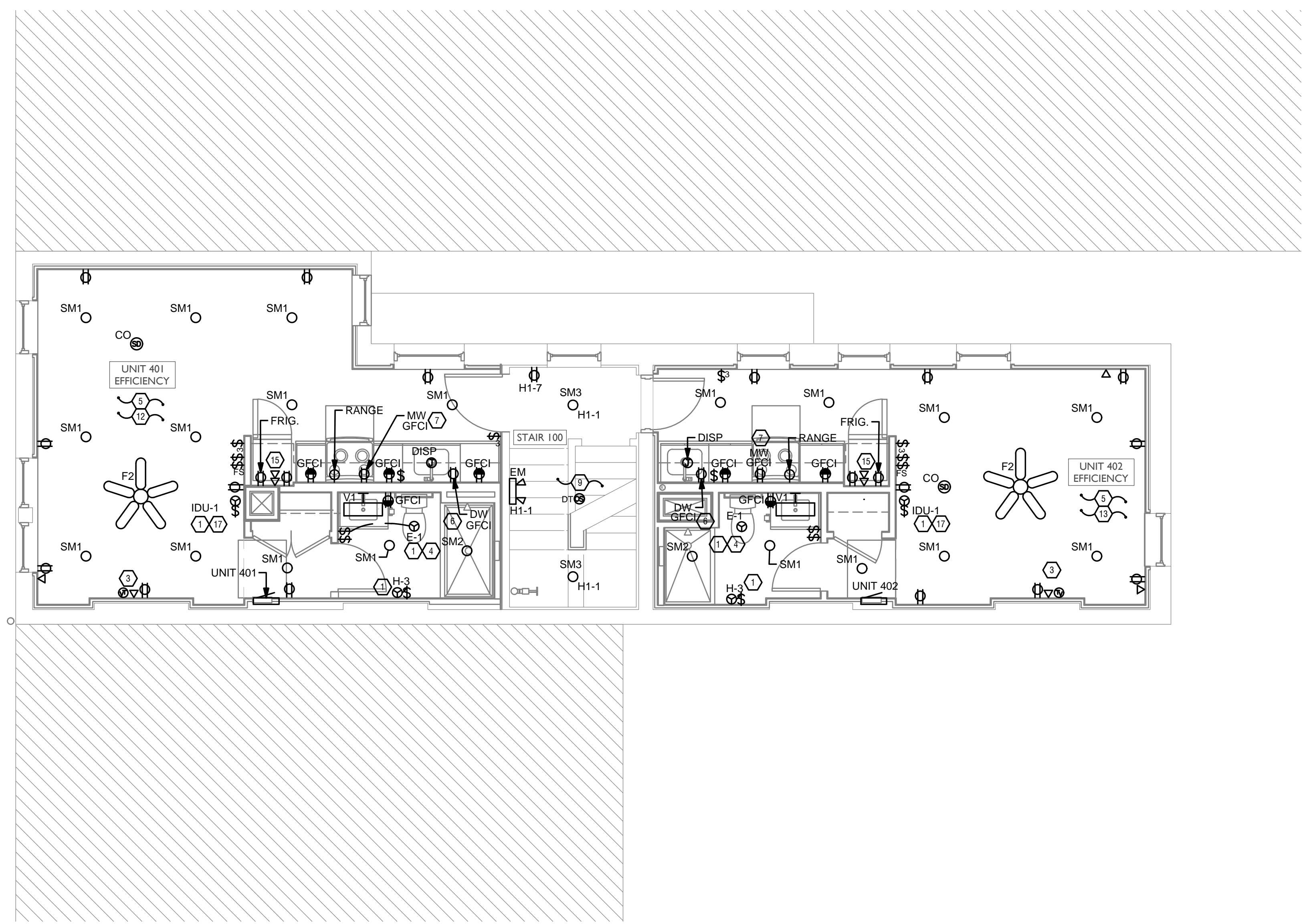
- REFER TO ARCHITECT'S PLANS AND ELEVATIONS FOR DIMENSIONED LOCATIONS OF LIGHT FIXTURES.
- PROVIDE HOLD-ON-TYPE BREAKERS FOR EGRESS/EMERGENCY LIGHTING CIRCUITS. WIRE ALL EGRESS/EMERGENCY FIXTURES AHEAD OF ANY LOCAL SWITCHING.
- LIGHT FIXTURES CONTROLLED BY SWITCH IN SAME ROOM UNLESS OTHERWISE NOTED.
- WHERE DIMMERS AND/OR DIMMING SYSTEMS ARE REQUIRED, CONTRACTOR TO FURNISH DIMMERS THAT ARE COMPATIBLE WITH FIXTURE SOURCE AND RATED FOR THE WATTAGE OF THE DIMMING ZONE. PROVIDE ADDITIONAL DIMMERS AS REQUIRED TO MEET ZONE LOAD REQUIREMENTS.
- ELECTRICAL SWITCHES ON OPPOSITE SIDES OF A WALL ARE TO BE SPACED SO THAT THEIR ELECTRICAL BOX ARE A MINIMUM OF ONE STUD BETWEEN BOXES.
- WHERE APPLICABLE, PROVIDE TOGGLE STYLE LIGHT SWITCHES.

GENERAL NOTES-POWER

- ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ALL CONDUIT/CABLE ROUTING. COORDINATE ROUTING WITH ALL OTHER TRADES AND BUILDING CONDITIONS.
- SEE SINGLE LINE DIAGRAM FOR FEEDER WIRE AND CONDUIT SIZE. ALL CIRCUITS NOT SIZED ON DRAWING SHALL BE INSTALLED TO MEET MINIMUM SIZE REQUIRED BY NEC.
- PROVIDE MOTOR STARTERS FOR EQUIPMENT AS INDICATED ON DRAWINGS. COORDINATE ANY INTERLOCKING WIRING WITH HVAC CONTRACTOR AND PROVIDE WIRING, COILS, AND AUXILIARY CONTACTS AS NECESSARY. SIZE ALL CIRCUITS FOR ACTUAL EQUIPMENT TO BE CONNECTED.
- ALL PANELS AND DISCONNECTS LOCATED OUTDOORS SHALL BE LABELED NEMA 3R.
- ROOF MOUNTED AND OUTDOOR EQUIPMENT SHALL HAVE 120V RECEPTACLE MOUNTED WITHIN 25' OF EACH PIECE. RECEPTACLES SHALL BE IN WEATHER PROOF BOX AND HAVE GFCI PROTECTION.
- FOR ITEMS FURNISHED BY OTHER TRADES, ELECTRICAL CONTRACTOR TO FULLY COORDINATE BREAKER AND WIRE SIZES WITH ACTUAL EQUIPMENT BEING CONNECTED TO ROUGH-IN, OR INSTALLATION. THE SIZES ON PANEL SCHEDULES REFER TO BASIS OF DESIGN SELECTIONS, AND ACTUAL ITEMS MAY DEVIATE FROM BASIS OF DESIGN. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO CONFIRM REQUIRED WIRE AND BREAKER SIZES WITH THE CONTRACTOR FURNISHING THE EQUIPMENT.
- REFER TO ARCHITECT'S PLANS AND ELEVATIONS FOR ALL DEVICE MOUNTING HEIGHTS.
- CONTRACTOR TO PROVIDE GROUNDING AND BONDING AS REQUIRED FOR ELECTRICAL SYSTEMS. GROUNDING AND BONDING IS CONSIDERED MEANS AND METHODS OF CONSTRUCTION, AND SHOULD BE COMPLETED BY THE ELECTRICAL CONTRACTOR IN ACCORDANCE WITH NEC 250. GAS PIPING SYSTEMS MUST BE BONDED PER UTILITY PROVIDER'S INSTALLATION GUIDELINES WHERE REQUIRED.
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- MECHANICAL EQUIPMENT PROVIDED BY MECHANICAL CONTRACTOR. WIRED BY ELECTRICAL CONTRACTOR. VERIFY ELECTRICAL REQUIREMENTS WITH MECHANICAL REQUIREMENTS PRIOR TO ROUGH-IN.
- PLUMBING EQUIPMENT PROVIDED BY PLUMBING CONTRACTOR, WIRED BY ELECTRICAL CONTRACTOR. VERIFY ELECTRICAL REQUIREMENTS WITH PLUMBING REQUIREMENTS PRIOR TO ROUGH-IN.
- COORDINATE TV RECEPTACLE AND DATA LOCATIONS WITH OWNER AND ARCHITECT PRIOR TO ROUGH-IN.
- PROVIDE SWITCH AND CONNECTION FOR CONTINUOUSLY RUNNING 2-SPEED BATHROOM FAN. VERIFY REQUIREMENTS WITH MECHANICAL CONTRACTOR PRIOR TO ROUGH-IN.
- PROVIDE HARD-WIRED SMOKE DETECTORS WITH BATTERY BACK-UP AS REQUIRED. ONE SMOKE DETECTOR IN EACH UNIT MUST BE A SMOKE/CO DETECTOR COMBO.
- DISHWASHER MUST BE GFCI PROTECTED PER NEC 210.8(D) RECEPTACLE SHALL BE LOCATED IN AN ACCESSIBLE LOCATION.
- MICROWAVE RECEPTACLE LOCATED IN CABINET ABOVE, COORDINATE LOCATION WITH GENERAL CONTRACTOR PRIOR TO ROUGH-IN.
- PROVIDE 120 VOLT DEDICATED CIRCUIT FOR SPRINKLER RISER TAMPER AND FLOW SWITCH. COORDINATE LOCATION WITH FIRE PROTECTION CONTRACTOR.
- CORRIDOR LIGHTS TO BE CONTROLLED BY OCCUPANCY SENSOR UNLESS OTHERWISE NOTED.
- LOCATION OF BUILDING UTILITY DATA DEMARC. PROVIDE A 4'X4' PLYWOOD BACKBOARD FOR DATA/PHONE UTILITIES. COORDINATE ALL REQUIREMENTS WITH OWNER, ARCHITECT, AND ALTA FIBER PRIOR TO ROUGH-IN. PROVIDE DEDICATED QUAD RECEPTACLE AS SHOWN.
- EXTERIOR LIGHTING TO BE CONTROLLED BY PHOTOCELL. CONFIRM LOCATION OF PHOTOCELL DEVICE WITH OWNER AND ARCHITECT PRIOR TO ROUGH-IN.
- UNIT WIRED TO TYPICAL "0B2" REFER TO PANEL SCHEDULE FOR LOAD DATA. SEE UNIT 301 FOR CIRCUITRY LAYOUT.
- UNIT WIRED TO TYPICAL "0B1" REFER TO PANEL SCHEDULE FOR LOAD DATA. SEE UNIT 302 FOR CIRCUITRY LAYOUT.
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- INSTALL FIBROPTIC 4-GANG AND QUAD OUTLET IN CABINET ABOVE REFRIGERATOR AS SHOWN.
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- DUCTLESS INDOOR UNIT POWERED FROM OUTDOOR UNIT. CONFIRM LOCATION AND DISCONNECTING MEANS WITH INSTALLING CONTRACTOR.
- LOCATION OF FUTURE RADON. PROVIDE JUNCTION BOX FOR FUTURE RADON FAN. FAN NOT TO BE INSTALLED AT THIS TIME.



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PROPOSED PROJECT:
 RENOVATION FOR
1804 REPUBLIC ST.
 CINCINNATI, OH, 45202
 FINDLAY FLATS

Job No: 22042 8/10/2022

EI.04

Progress Dates
 05/05/2023 BID P/E/PF
 08/30/2024 BID SET 2

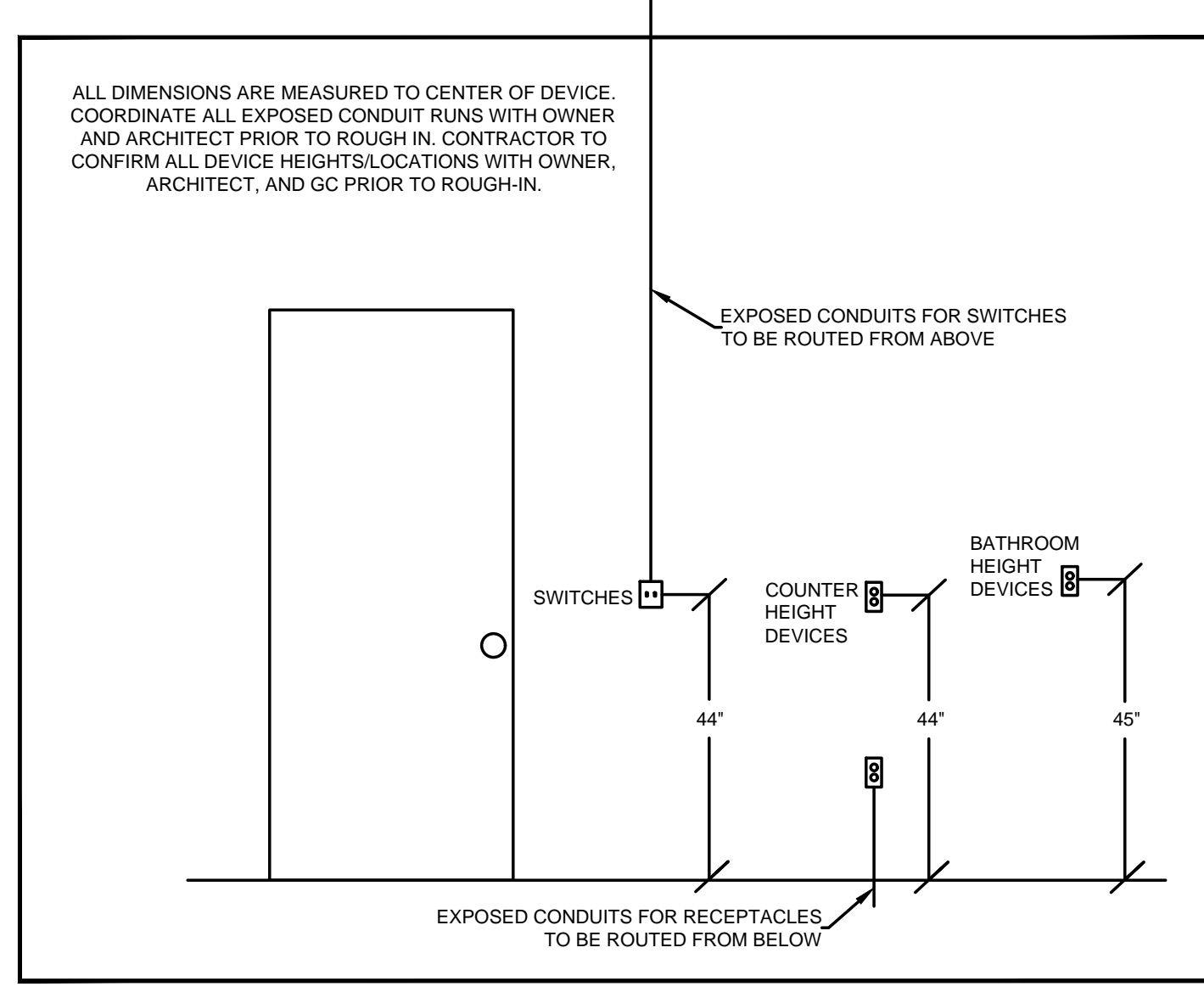
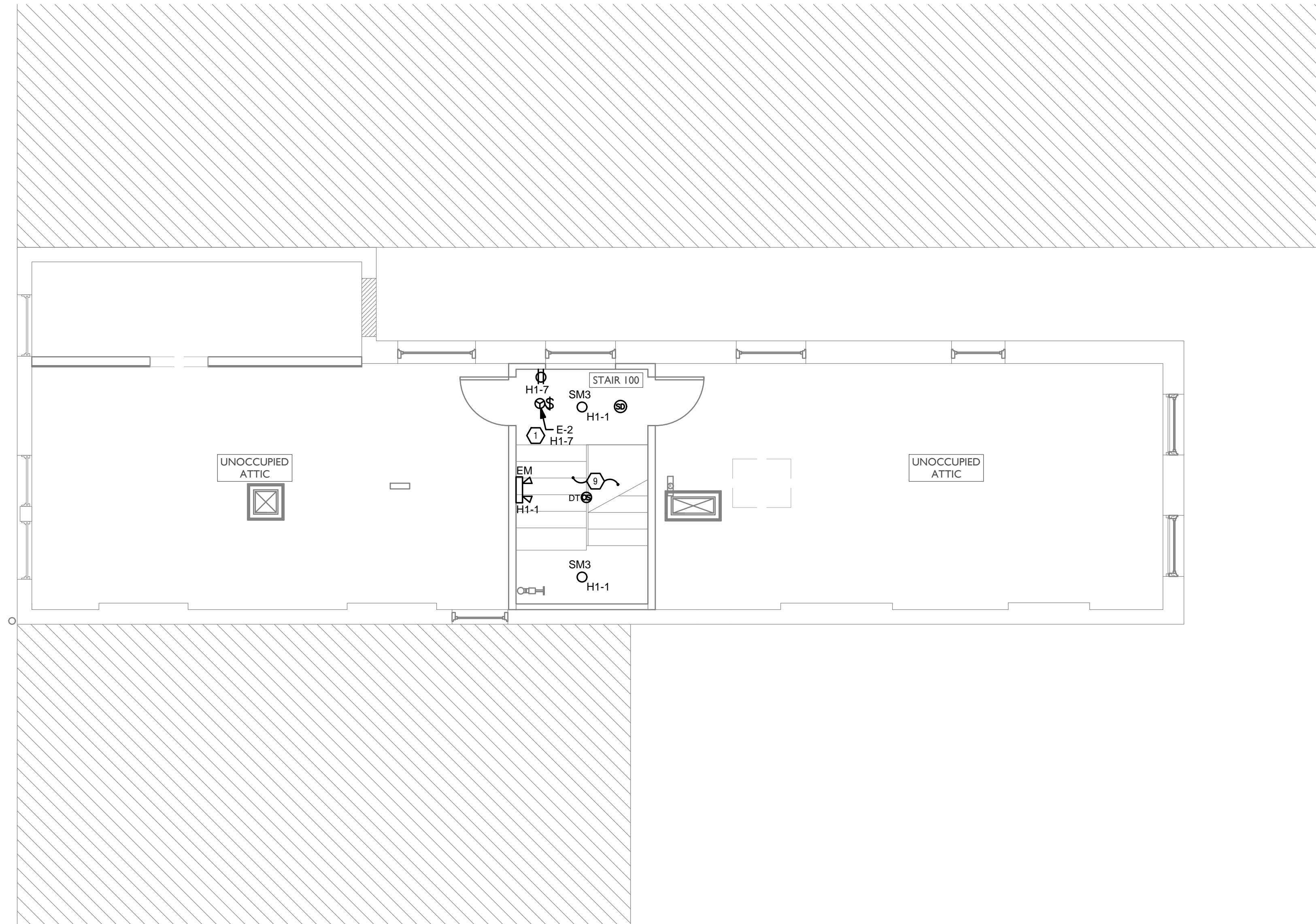
Revisions

Checked By: PRS
 Drawn by: AJW

PR-09757
ENGINEERED BUILDING SYSTEMS INC.
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Z:\Project_Directories\9700-9799\9757 - Findlay Flats - Findlay Flats (Williamson) - Phase 2 (5 Buildings)\1804 REPUBLIC\REF-ART.dwg - Model, Plot Date/Time: Aug 29, 2024 - 10:50am - By: derek.gandy
 THESE DRAWINGS AND SPECIFICATIONS ARE NOT AUTHORIZED TO BE USED AS CONTRACT DOCUMENTS. THESE DRAWINGS HAVE BEEN PREPARED TO DEMONSTRATE COMPLIANCE WITH APPLICABLE CODES, AND ARE INTENDED TO PROVIDE THE AUTHORITIES HAVING JURISDICTION WITH INFORMATION TO DETERMINE CODE COMPLIANCE. THE INSTALLING CONTRACTOR IS RESPONSIBLE TO ENSURE THAT MEANS, METHODS, AND MATERIALS USED IN CONSTRUCTION ARE INSTALLED IN ACCORDANCE WITH ANY CONTRACTUAL AGREEMENT THAT MAY EXIST WITH AN OWNER, CONSTRUCTION MANAGER, GENERAL CONTRACTOR, ETC.



STANDARD MOUNTING HEIGHTS

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SCOPE OF WORK

RENOVATION OF EXISTING BUILDING MULTIFAMILY BUILDING WITH COMMERCIAL FIRST FLOOR. PROVIDE NEW ELECTRICAL DISTRIBUTION, POWER AND LIGHTING. SEE SINGLE LINE DIAGRAM FOR MORE DETAILS.

GENERAL NOTES-OVERALL PROJECT

- A. EBS DRAWINGS INDICATE DESIGN INTENT AND REQUIRED OUTCOMES. IF CONDITIONS ARISE IN THE FIELD THAT REQUIRE DEVIATIONS FROM THE DRAWINGS IT IS ASSUMED THAT THE CONTRACTOR WILL DETERMINE THE APPROPRIATE DEVIATION WITH APPROVAL FROM THE OWNER. EBS IS AVAILABLE TO ASSIST WHEN REQUIRED IF ISSUES ARISE.

GENERAL NOTES-LIGHTING

- A. REFER TO ARCHITECT'S PLANS AND ELEVATIONS FOR DIMENSIONED LOCATIONS OF LIGHT FIXTURES.
- B. PROVIDE HOLD-ON-TYPE BREAKERS FOR EGRESS/EMERGENCY LIGHTING CIRCUITS. WIRE ALL EGRESS/EMERGENCY FIXTURES AHEAD OF ANY LOCAL SWITCHING.
- C. LIGHT FIXTURES CONTROLLED BY SWITCH IN SAME ROOM UNLESS OTHERWISE NOTED.
- D. WHERE DIMMERS AND/OR DIMMING SYSTEMS ARE REQUIRED, CONTRACTOR TO FURNISH DIMMERS THAT ARE COMPATIBLE WITH FIXTURE SOURCE AND RATED FOR THE WATTAGE OF THE DIMMING ZONE. PROVIDE ADDITIONAL DIMMERS AS REQUIRED TO MEET ZONE LOAD REQUIREMENTS.
- E. ELECTRICAL SWITCHES ON OPPOSITE SIDES OF A WALL ARE TO BE SPACED SO THAT THEIR ELECTRICAL BOX ARE A MINIMUM OF ONE STUD BETWEEN BOXES.
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- A. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ALL CONDUIT/CABLE ROUTING. COORDINATE ROUTING WITH ALL OTHER TRADES AND BUILDING CONDITIONS.
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- E. ROOF MOUNTED AND OUTDOOR EQUIPMENT SHALL HAVE 120V RECEPTACLE MOUNTED WITHIN 25' OF EACH PIECE. RECEPTACLES SHALL BE IN WEATHER PROOF BOX AND HAVE GFCI PROTECTION.
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Progress Dates
05/05/2023 BID P/E/FP
08/30/2024 BID SET 2

Revisions
07/07/2023 ADDENDUM 1

Checked By: PRS
Drawn by: AJW

PR-09757
ENGINEERED BUILDING SYSTEMS, INC.

TEAMWORK COLLABORATION
SHARED SUCCESS
515 Monmouth Street, Suite 204
Newport, KY 41071 (859) 261-0585
MEP Consulting Services, Inc. in OH
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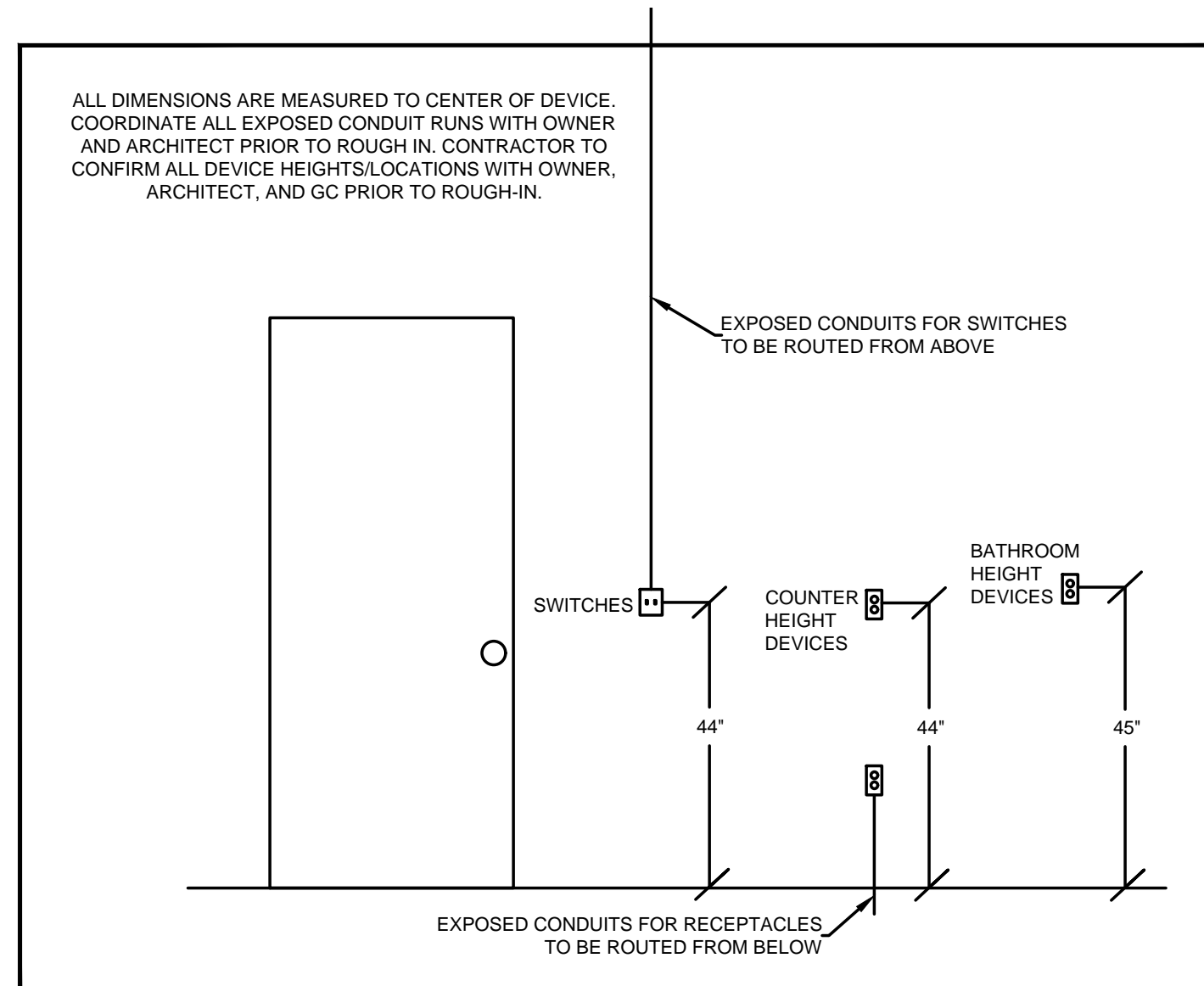
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**RENOVATION FOR
1804 REPUBLIC ST.
CINCINNATI, OH, 45202
FINDLAY FLATS**

PROPOSED PROJECT:
Job No: 22042 8/10/2022

EI.05

Z:\Project_Directories\9700-9793\9757 - Findlay Flats - Findlay Periside (Williamson 2 Phase II)\Construction Documents\Phase 2 (5 Buildings)\1804 REPUBLIC\REF-ART.dwg - Model, Plot Date/Time: Aug 29, 2024 - 10:50am - By: derek.gandy
 THESE DRAWINGS AND SPECIFICATIONS ARE NOT AUTHORIZED TO BE USED AS CONTRACT DOCUMENTS. THESE DRAWINGS HAVE BEEN PREPARED TO DEMONSTRATE COMPLIANCE WITH APPLICABLE CODES, AND ARE INTENDED TO PROVIDE THE AUTHORITIES HAVING JURISDICTION WITH INFORMATION TO DETERMINE CODE COMPLIANCE. THE INSTALLING CONTRACTOR IS RESPONSIBLE TO ENSURE THAT MEANS, METHODS, AND MATERIALS USED IN CONSTRUCTION ARE INSTALLED IN ACCORDANCE WITH ANY CONTRACTUAL AGREEMENT THAT MAY EXIST WITH AN OWNER, CONSTRUCTION MANAGER, GENERAL CONTRACTOR, ETC.



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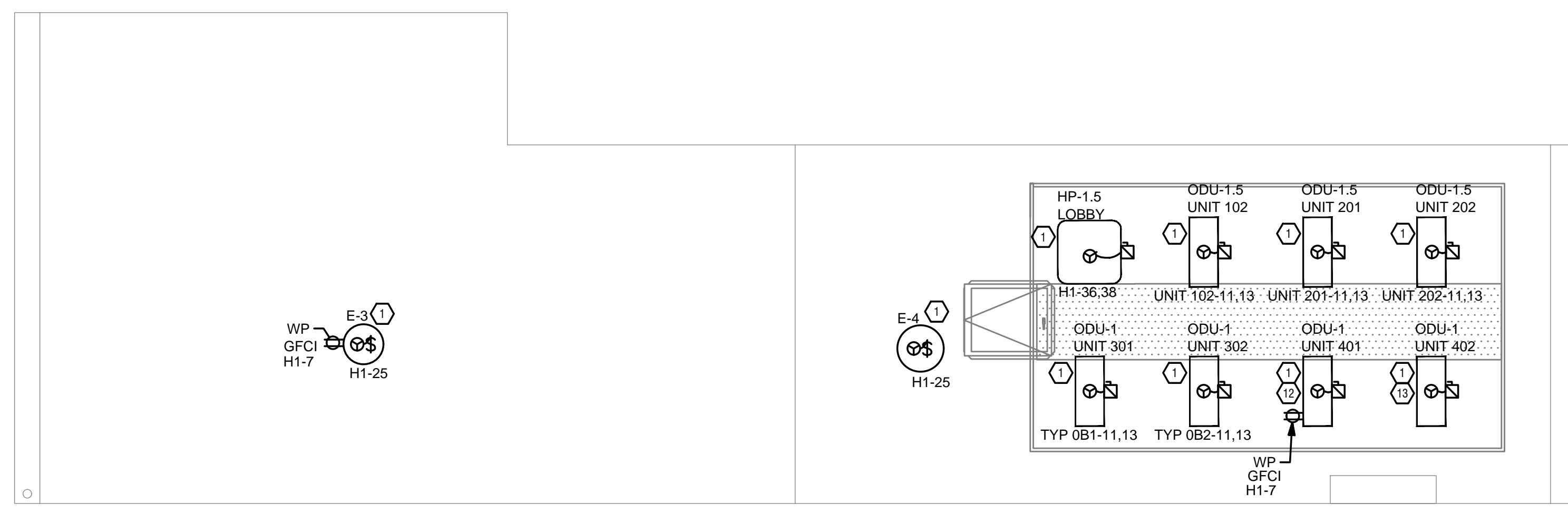
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- WHERE APPLICABLE, PROVIDE TOGGLE STYLE LIGHT SWITCHES.

GENERAL NOTES-POWER

- ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ALL CONDUIT/CABLE ROUTING. COORDINATE ROUTING WITH ALL OTHER TRADES AND BUILDING CONDITIONS.
- SEE SINGLE LINE DIAGRAM FOR FEEDER WIRE AND CONDUIT SIZE. ALL CIRCUITS NOT SIZED ON DRAWING SHALL BE INSTALLED TO MEET MINIMUM SIZE REQUIRED BY NEC.
- PROVIDE MOTOR STARTERS FOR EQUIPMENT AS INDICATED ON DRAWINGS. COORDINATE ANY INTERLOCKING WIRING WITH HVAC CONTRACTOR AND PROVIDE WIRING, COILS, AND AUXILIARY CONTACTS AS NECESSARY. SIZE ALL CIRCUITS FOR ACTUAL EQUIPMENT TO BE CONNECTED.
- ALL PANELS AND DISCONNECTS LOCATED OUTDOORS SHALL BE LABELED NEMA 3R.
- ROOF MOUNTED AND OUTDOOR EQUIPMENT SHALL HAVE 120V RECEPTACLE MOUNTED WITHIN 25' OF EACH PIECE. RECEPTACLES SHALL BE IN WEATHER PROOF BOX AND HAVE GFCI PROTECTION.
- FOR ITEMS FURNISHED BY OTHER TRADES, ELECTRICAL CONTRACTOR TO FULLY COORDINATE BREAKER AND WIRE SIZES WITH ACTUAL EQUIPMENT BEING CONNECTED PRIOR TO ROUGH-IN, OR INSTALLATION. THE SIZES ON PANEL SCHEDULES REFER TO BASIS OF DESIGN SELECTIONS, AND ACTUAL ITEMS MAY DEVIATE FROM BASIS OF DESIGN. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO CONFIRM REQUIRED WIRE AND BREAKER SIZES WITH THE CONTRACTOR FURNISHING THE EQUIPMENT.
- REFER TO ARCHITECT'S PLANS AND ELEVATIONS FOR ALL DEVICE MOUNTING HEIGHTS.
- CONTRACTOR TO PROVIDE GROUNDING AND BONDING AS REQUIRED FOR ELECTRICAL SYSTEMS. GROUNDING AND BONDING IS CONSIDERED MEANS AND METHODS OF CONSTRUCTION, AND SHOULD BE COMPLETED BY THE ELECTRICAL CONTRACTOR IN ACCORDANCE WITH NEC 250. GAS PIPING SYSTEMS MUST BE BONDED PER UTILITY PROVIDER'S INSTALLATION GUIDELINES WHERE REQUIRED.
- ELECTRICAL RECEPTACLES ON OPPOSITE SIDES OF A WALL ARE TO BE SPACED SO THAT THEIR ELECTRICAL BOX ARE A MINIMUM OF ONE STUD BETWEEN BOXES.

KEYED SHEET NOTES

- MECHANICAL EQUIPMENT PROVIDED BY MECHANICAL CONTRACTOR. WIRED BY ELECTRICAL CONTRACTOR. VERIFY ELECTRICAL REQUIREMENTS WITH MECHANICAL REQUIREMENTS PRIOR TO ROUGH-IN.
- PLUMBING EQUIPMENT PROVIDED BY PLUMBING CONTRACTOR, WIRED BY ELECTRICAL CONTRACTOR. VERIFY ELECTRICAL REQUIREMENTS WITH PLUMBING REQUIREMENTS PRIOR TO ROUGH-IN.
- COORDINATE TV RECEPTACLE AND DATA LOCATIONS WITH OWNER AND ARCHITECT PRIOR TO ROUGH-IN.
- PROVIDE SWITCH AND CONNECTION FOR CONTINUOUSLY RUNNING 2-SPEED BATHROOM FAN. VERIFY REQUIREMENTS WITH MECHANICAL CONTRACTOR PRIOR TO ROUGH-IN.
- PROVIDE HARD-WIRED SMOKE DETECTORS WITH BATTERY BACK-UP AS REQUIRED. ONE SMOKE DETECTOR IN EACH UNIT MUST BE A SMOKE/CO DETECTOR COMBO.
- DISHWASHER MUST BE GFCI PROTECTED PER NEC 210.8(D) RECEPTACLE SHALL BE LOCATED IN AN ACCESSIBLE LOCATION.
- MICROWAVE RECEPTACLE LOCATED IN CABINET ABOVE, COORDINATE LOCATION WITH GENERAL CONTRACTOR PRIOR TO ROUGH-IN.
- PROVIDE 120 VOLT DEDICATED CIRCUIT FOR SPRINKLER RISER TAMPER AND FLOW SWITCH. COORDINATE LOCATION WITH FIRE PROTECTION CONTRACTOR.
- CORRIDOR LIGHTS TO BE CONTROLLED BY OCCUPANCY SENSOR UNLESS OTHERWISE NOTED.
- LOCATION OF BUILDING UTILITY DATA DEMARC. PROVIDE A 4'X4' PLYWOOD BACKBOARD FOR DATA/PHONE UTILITIES. COORDINATE ALL REQUIREMENTS WITH OWNER, ARCHITECT, AND ALTA FIBER PRIOR TO ROUGH-IN. PROVIDE DEDICATED QUAD RECEPTACLE AS SHOWN.
- EXTERIOR LIGHTING ON PHOTOCELL. CONFIRM LOCATION OF PHOTOCELL DEVICE WITH OWNER AND ARCHITECT PRIOR TO ROUGH-IN.
- UNIT WIRED TO TYPICAL '0B2' REFER TO PANEL SCHEDULE FOR LOAD DATA. SEE UNIT 301 FOR CIRCUITRY LAYOUT.
- UNIT WIRED TO TYPICAL '0B1' REFER TO PANEL SCHEDULE FOR LOAD DATA. SEE UNIT 302 FOR CIRCUITRY LAYOUT.
- COORDINATE LOCATION AND REQUIREMENTS OF BUILDING CALL BOX, 2N INTERCOM SYSTEM, WITH OWNER AND ARCHITECT PRIOR TO ROUGH-IN.
- INSTALL FIBROPTIC 4-GANG AND QUAD OUTLET IN CABINET ABOVE REFRIGERATOR AS SHOWN.
- HOT WATER CIRCULATION PUMP HARDWIRED CIRCUIT CONNECTION. COORDINATE LOCATION WITH PLUMBING CONTRACTOR. PRIOR TO ROUGH-IN.
- DUCTLESS INDOOR UNIT POWERED FROM OUTDOOR UNIT. CONFIRM LOCATION AND DISCONNECTING MEANS WITH INSTALLING CONTRACTOR.
- LOCATION OF FUTURE RADON. PROVIDE JUNCTION BOX FOR FUTURE RADON FAN. FAN NOT TO BE INSTALLED AT THIS TIME.



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Progress Dates
 05/05/2023 BID P/E/FP
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PROPOSED PROJECT:
 RENOVATION FOR
1804 REPUBLIC ST.
 CINCINNATI, OH, 45202
 FINDLAY FLATS

Job No: 22042 8/10/2022

EI.06

Z:\Projects\Director\9700-9789\9757 - Findlay Flats - Findlay Flats (Williams) Phase 2 (5 Buildings) 1804 REPUBLIC ST. Phase 2 - ELECTRICAL-DETAILS.dwg - EBS - Plot Date/Time: Sep 04, 2024 - 4:07pm - By: (44) THESE DRAWINGS AND SPECIFICATIONS ARE NOT AUTHORIZED TO BE USED AS CONTRACT DOCUMENTS. THESE DRAWINGS HAVE BEEN PREPARED TO DEMONSTRATE COMPLIANCE WITH APPLICABLE CODES, AND ARE INTENDED TO PROVIDE THE AUTHORITIES HAVING JURISDICTION WITH INFORMATION TO DETERMINE CODE COMPLIANCE. THE INSTALLING CONTRACTOR IS RESPONSIBLE TO ENSURE THAT MEANS, METHODS, AND MATERIALS USED IN CONSTRUCTION ARE INSTALLED IN ACCORDANCE WITH ANY CONTRACTUAL AGREEMENT THAT MAY EXIST WITH AN OWNER, CONSTRUCTION MANAGER, GENERAL CONTRACTOR, ETC.

H1									
ROOM MOUNTING FLUSH		VOLTS 208Y/120V 3P 4W		AIC T.B.D.					
FED FROM MC1		BUS AMPS 200		MAIN BKR MLO					
NOTE		NEUTRAL 100%		LUGS STANDARD					
CKT #	CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION	CKT #	CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION		
1	20/1	0.363	LIGHTING	a 2	20/1	1.5	WASHER		
3	20/1	0.36	RECEPTACLE	b 4	20/1	1.5	WASHER		
5	20/1	1.08	RECEPTACLE	c 6	20/1	1.5	WASHER		
7	20/1	1.18	E-2, RECEPTACLE	d 8	30/2	4.75	DRYER		
9	20/1	0.5	(SR) SPRINKLER RISER MONITORING SYSTEM	b 10					
11	20/1	1	DH-1	c 12	30/2	4.75	DRYER		
13	20/1	0	SPACE	a 14					
15	20/1	0.96	(DE-1) DEHUMIDIFIER	b 16	30/2	4.75	DRYER		
17	20/1	0.96	(DE-1) DEHUMIDIFIER	c 18					
19	20/1	1	DH-1	d 20	30/2	4.5	EWH		
21	20/1	1.2	ESP1	b 22					
23	20/1	0.25	FUTURE RADON	c 24	20/2	2	H-1		
25	20/1	0.42	E-3, E-4	d 26					
27	20/1	0	SPACE	b 28	20/2	2	H-1		
29	20/1	0	SPACE	c 30					
31	20/1	0	SPACE	d 32	60/2	9.9	AHU-1.5		
33	20/1	0	SPACE	b 34					
35	20/1	0	SPACE	c 36	20/2	2.45	HP-1.5		
37	20/1	0	SPACE	d 38					
39	20/1	0	SPACE	b 40	20/1	0.25	HWRP		
41	20/1	0	SPACE	c 42	20/1	0	SPACE		

	CONN KVA	CALC KVA		CONN KVA	CALC KVA	
LIGHTING	0.363	0.453	(125%)	RECEPTACLES	2.52	2.52 (50%>10)
APPLIANCE	0.25	0.25	(100%)	CONTINUOUS	4.5	5.63 (125%)
LARGEST MOTOR	2.45	0.614	(25%)	NONCONTINUOUS	21.2	21.2 (100%)
MOTORS	1.97	1.97	(100%)	HEATING	18.4	18.4 (100%)
				COOLING	2.45	0 (0%)
				TOTAL LOAD		51
				BALANCED 3-PHASE LOAD		141 A
				PHASE A		114%
				PHASE B		109%
				PHASE C		77.2%

TYP OB1									
ROOM MOUNTING FLUSH		VOLTS 208/120V 2P 3W		AIC T.B.D.					
FED FROM		BUS AMPS 125		MAIN BKR MLO					
NOTE		NEUTRAL 100%		LUGS STANDARD					
CKT #	CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION	CKT #	CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION		
1	15/1	0.983	E-1, LIGHTING, RECEPTACLE	a 2	20/1	1.5	SMALL APPLIANCE		
3	15/1	0.842	LIGHTING, RECEPTACLE	b 4	20/1	1.5	SMALL APPLIANCE		
5	20/1	0.18	BATH	a 6	15/1	0.5	FRIG.		
7	20/2	0.3	H-3	b 8	15/1	0.75	DISPOSAL		
9				a 10	15/1	1.2	DISHWASHER		
11	15/2	2.08	ODU-1	b 12	20/1	1.8	MICROWAVE		
13				a 14	50/2	8.5	RANGE		
15	30/2	4.5	EWH	b 16					
17				d 18	20/1	0	SPACE		
19	15/1	0.25	HWRP	b 20	20/1	0	SPACE		
21	20/1	0	SPACE	a 22	20/1	0	SPACE		
23	20/1	0	SPACE	b 24	20/1	0	SPACE		
25	20/1	0	SPACE	d 26	20/1	0	SPACE		
27	20/1	0	SPACE	b 28	20/1	0	SPACE		
29	20/1	0	SPACE	a 30	20/1	0	SPACE		

OPTIONAL DWELLING UNIT CALCULATION (NEC 220.82)					
	CONN KVA		CONN KVA	CALC KVA	
LIGHTING AND RECEPTACLES	1.2	401 SF (3 VA/SF)	GENERAL LOAD UP TO 10 KVA	10	10 (100%)
SMALL-APPLIANCE	3		OVER 10 KVA	11.7	4.68 (40%)
APPLIANCES	8.75		MAX HEATING OR COOLING	2.28	(220.82(C)(3))
ELECTRIC COOKING	8.5		TOTAL LOAD		17
MOTORS	0.25		BALANCED LOAD		81.5 A
TOTAL GENERAL LOAD	21.7		PHASE A		97.2%
			PHASE B		103%

APPLIANCE BREAKDOWN		HVAC Load Calculation		KVA	NEC Code
TYPE	KVA				
REFRIGERATOR	0.5	Heating		2.38	
DISHWASHER	1.2	Cooling		2.08	
MICROWAVE	1.8	Mini Split		0.00	
DISPOSAL	0.75	100% of Nameplate Rating of AC and Cooling		2.08	220.82 C(1)
WATER HEATER	4.5	100% of Nameplate Rating of Heat Pump w/o Supplemental Heat		0.00	220.82 C(2)
HOW WATER RECIRC PUMP	0.25	Heat Pump plus 65% of Supplemental Heat		2.28	220.82 C(3)
TOTAL	9.00	Largest Heating or Cooling Load		2.38	220.84 C(5)

Multi-Family Dwelling Unit Calc		KVA
Total General Load		21.70
Largest Heating or Cooling Load 220.84		2.38
220.84 CONNECTED LOAD CALC		24.08

MC1									
ROOM MOUNTING FLUSH		VOLTS 208Y/120V 3P 4W		AIC T.B.D.					
FED FROM UTILITY PULLBOX		BUS AMPS 400		MAIN BKR 400					
NOTE		NEUTRAL 100%		LUGS STANDARD					
CKT #	BREAKER TRIP/POLES	CIRCUIT DESCRIPTION	LOAD KVA			FEEDER RACEWAY AND CONDUCTORS			
			A	B	C				
1	200/3	PANEL H1	18.6	17.7	12.8	2-1/2"C, 3#250kcmil AL, #250kcmil AL N, #4 AL G			
2	125/2	UNIT 102		12.9	15.1	2#1/0 AL, #1/0 AL N, #4 AL G			
3	125/2	UNIT 201	14.3		12.5	2#1/0 AL, #1/0 AL N, #4 AL G			
4	125/2	UNIT 202	12.6	14.2		2#1/0 AL, #1/0 AL N, #4 AL G			
5	125/2	UNIT 301 - TYP. OB2		12.1	12.8	2#1/0 AL, #1/0 AL N, #4 AL G			
6	125/2	UNIT 302 - TYP. OB1	12.8		12.1	2#1/0 AL, #1/0 AL N, #4 AL G			
7	125/2	UNIT 401 - TYP. OB2	12.1	12.8		2#1/0 AL, #1/0 AL N, #4 AL G			
8	125/2	UNIT 402 - TYP. OB1		12.1	12.8	2#1/0 AL, #1/0 AL N, #4 AL G			

TOTAL CONNECTED KVA BY PHASE			
	70.3	81.7	78

OPTIONAL MULTIFAMILY DWELLING CALCULATION (NEC 220.84)					
DWELLING UNIT LOADS					
	KVA			KVA	
LIGHTING AND RECEPTACLES	7.56	2,519 SF (3 VA/SF)	CONNECTED LOAD	175	
SMALL-APPLIANCE	21		DWELLING UNITS	7	
APPLIANCES	61.3		DEMAND FACTOR	(44%)	
ELECTRIC COOKING	59.5		CALCULATED LOAD	76.9	
MOTORS	2				
HEATING	23.5	(100%)			
COOLING	20.2	(0%)			

HOUSE LOADS						
	CONN KVA	CALC KVA		CONN KVA	CALC KVA	
LIGHTING	0.363	0.453	(125%)	CONTINUOUS	4.5	5.63 (125%)
LARGEST MOTOR	2.45	0.614	(25%)	NONCONTINUOUS	21.2	21.2 (100%)
MOTORS	1.97	1.97	(100%)	HEATING	18.4	18.4 (100%)
RECEPTACLES	2.52	2.52	(50%>10)	COOLING	2.45	0 (0%)
				TOTAL HOUSE LOAD		50.7

TOTAL LOAD			
	KVA		
TOTAL DWELLING UNIT LOAD	76.9		TOTAL LOAD
TOTAL HOUSE LOAD	50.7		BALANCED 3-PHASE LOAD
			128
			354 A

Meter Center Breakdown (MC)			
220.84 Multi-Family Calculation	KVA	Qty	Total KVA
UNIT 102	26.94	1	26.94
UNIT 201	25.95	1	25.95
UNIT 202	25.74	1	25.74
TYP OB1	24.08	2	48.17
TYP OB2	23.87	2	47.73
Total Quantity and Connected Load =		7	174.53

TYP OB2									
ROOM MOUNTING FLUSH		VOLTS 208/120V 2P 3W		AIC T.B.D.					
FED FROM		BUS AMPS 125		MAIN BKR MLO					
NOTE		NEUTRAL 100%		LUGS STANDARD					
CKT #	CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION	CKT #	CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION		
1	15/1	1.02	LIGHTING, RECEPTACLE	a 2	20/1	1.5	SMALL APPLIANCE		
3	15/1	0.774	E-1, LIGHTING, RECEPTACLE	b 4	20/1	1.5	SMALL APPLIANCE		
5	20/1	0.18	BATH	a 6	15/1	0.5	FRIG.		
7	20/2	0.3	H-3	b 8	15/1	0.75	DISPOSAL		
9				a 10	15/1	1.2	DISHWASHER		
11	15/2	2.08	ODU-1	b 12	20/1	1.8	MICROWAVE		
13				a 14	50/2	8.5	RANGE		
15	30/2	4.5	EWH	b 16					
17				d 18	20/1	0	SPACE		
19	15/1	0.25	HWRP	b 20	20/1	0	SPACE		
21	20/1	0	SPACE	a 22	20/1	0	SPACE		
23	20/1	0	SPACE	b 24	20/1	0	SPACE		
25	20/1	0	SPACE	d 26	20/1	0	SPACE		
27	20/1	0	SPACE	b 28	20/1	0	SPACE		
29	20/1	0	SPACE	a 30	20/1	0	SPACE		

OPTIONAL DWELLING UNIT CALCULATION (NEC 220.82)					
	CONN KVA		CONN KVA	CALC KVA	
LIGHTING AND RECEPTACLES	0.987	329 SF (3 VA/SF)	GENERAL LOAD UP TO 10 KVA	10	10 (100%)
SMALL-APPLIANCE	3		OVER 10 KVA	11.5	4.59 (40%)
APPLIANCES	8.75		MAX HEATING OR COOLING	2.28	(220.82(C)(3))
ELECTRIC COOKING	8.5		TOTAL LOAD		16.9
MOTORS	0.25		BALANCED LOAD		81.1 A
TOTAL GENERAL LOAD	21.5		PHASE A		97.6%
			PHASE B		102%

APPLIANCE BREAKDOWN		HVAC Load Calculation		KVA	NEC Code
TYPE	KVA				
REFRIGERATOR	0.5	Heating		2.38	
DISHWASHER	1.2	Cooling		2.08	
MICROWAVE	1.8	Mini Split		0.00	
DISPOSAL	0.75	100% of Nameplate Rating of AC and Cooling		2.08	220.82 C(1)
WATER HEATER	4.5	100% of Nameplate Rating of Heat Pump w/o Supplemental Heat		0.00	220.82 C(2)
HOW WATER RECIRC PUMP	0.25	Heat Pump plus 65% of Supplemental Heat		2.28	220.82 C(3)
TOTAL	9.00	Largest Heating or Cooling Load		2.38	220.84 C(5)

Multi-Family Dwelling Unit Calc		KVA
Total General Load		21.49
Largest Heating or Cooling Load 220.84		2.38
220.84 CONNECTED LOAD CALC		23.87

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Progress Dates
 05/05/2023 BID P/E/PF
 08/30/2024 BID SET 2

 Revisions

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 Drawn by: AJW

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PROPOSED PROJECT:
 RENOVATION FOR
1804 REPUBLIC ST.
 CINCINNATI, OH, 45202
 FINDLAY FLATS

Job No: 22042 8/10/2022

E2.02

UNIT 102

ROOM MOUNTING FLUSH VOLTS 208/120V 2P 3W AIC T.B.D.
 FED FROM MC1 BUS AMPS 125 MAIN BKR MLO
 NOTE NEUTRAL 100% LUGS STANDARD

CKT #	CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION	CKT #	CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION
1	15/1	1.02	LIGHTING, RECEPTACLE	a 2	20/1	1.5	SMALL APPLIANCE
3	15/1	0.774	E-1, LIGHTING, RECEPTACLE	b 4	20/1	1.5	SMALL APPLIANCE
5	20/1	0.18	BATH	a 6	15/1	0.5	FRIG.
7	20/1	1.5	H-4	b 8	15/1	0.75	DISPOSAL
9	20/1	0	SPACE	a 10	15/1	1.2	DISHWASHER
11	30/2	3.95	ODU-1.5	b 12	20/1	1.8	MICROWAVE
13				a 14	50/2	8.5	RANGE
15	30/2	4.5	EWHP	b 16			
17				a 18	20/1	0	SPACE
19	15/1	0.25	HWRP	b 20	20/1	0	SPACE
21	20/1	0	SPACE	a 22	20/1	0	SPACE
23	20/1	0	SPACE	b 24	20/1	0	SPACE
25	20/1	0	SPACE	a 26	20/1	0	SPACE
27	20/1	0	SPACE	b 28	20/1	0	SPACE
29	20/1	0	SPACE	a 30	20/1	0	SPACE

OPTIONAL DWELLING UNIT CALCULATION (NEC 220.82)		CONN KVA	CONN KVA	CONN KVA	CONN KVA	CONN KVA	CONN KVA
LIGHTING AND RECEPTACLES	0.987	329 SF (3 VA/SF)	GENERAL LOAD UP TO 10 KVA	10	10	(100%)	
SMALL-APPLIANCE	3		OVER 10 KVA	11.5	4.59	(40%)	
APPLIANCES	8.75		MAX HEATING OR COOLING		4.93	(220.82(C)(3))	
ELECTRIC COOKING	8.5		TOTAL LOAD		19.5		
MOTORS	0.25		BALANCED LOAD		93.9 A		
TOTAL GENERAL LOAD	21.5		PHASE A		93.1%		
			PHASE B		107%		

APPLIANCE BREAKDOWN		KVA
REFRIGERATOR	0.5	
DISHWASHER	1.2	
MICROWAVE	1.8	
DISPOSAL	0.75	
WATER HEATER	4.5	
HOWWATER RECIRC PUMP	0.25	
TOTAL	9.00	

HVAC Load Calculation				KVA	NEC Code
Heating				5.45	
Cooling				3.95	
Mini Split				0.00	
100% of Nameplate Rating of AC and Cooling				3.95	220.82 C(1)
100% of Nameplate Rating of Heat Pump w/o Supplemental Heat				0.00	220.82 C(2)
Heat Pump plus 65% of Supplemental Heat				4.93	220.82 C(3)
Largest Heating or Cooling Load				5.45	220.84 C(5)

Multi-Family Dwelling Unit Calc	KVA
Total General Load	21.49
Largest Heating or Cooling Load 220.84	5.45
220.84 CONNECTED LOAD CALC	26.94

UNIT 201

ROOM MOUNTING FLUSH VOLTS 208/120V 2P 3W AIC T.B.D.
 FED FROM MC1 BUS AMPS 125 MAIN BKR MLO
 NOTE NEUTRAL 100% LUGS STANDARD

CKT #	CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION	CKT #	CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION
1	15/1	0.929	LIGHTING, RECEPTACLE	a 2	20/1	1.5	SMALL APPLIANCE
3	15/1	0.896	E-1, LIGHTING, RECEPTACLE	b 4	20/1	1.5	SMALL APPLIANCE
5	20/1	0.18	BATH	a 6	15/1	0.5	FRIG.
7	20/2	0.3	H-3	b 8	15/1	1.2	DISHWASHER
9				a 10	15/1	0.75	DISPOSAL
11	30/2	3.95	ODU-1.5	b 12	20/1	1.8	MICROWAVE
13				a 14	50/2	8.5	RANGE
15	30/2	4.5	EWHP	b 16			
17				a 18	20/1	0	SPACE
19	15/1	0.25	HWRP	b 20	20/1	0	SPACE
21	20/1	0	SPACE	a 22	20/1	0	SPACE
23	20/1	0	SPACE	b 24	20/1	0	SPACE
25	20/1	0	SPACE	a 26	20/1	0	SPACE
27	20/1	0	SPACE	b 28	20/1	0	SPACE
29	20/1	0	SPACE	a 30	20/1	0	SPACE

OPTIONAL DWELLING UNIT CALCULATION (NEC 220.82)		CONN KVA	CONN KVA	CONN KVA	CONN KVA	CONN KVA	CONN KVA
LIGHTING AND RECEPTACLES	1.2	401 SF (3 VA/SF)	GENERAL LOAD UP TO 10 KVA	10	10	(100%)	
SMALL-APPLIANCE	3		OVER 10 KVA	11.7	4.68	(40%)	
APPLIANCES	8.75		MAX HEATING OR COOLING		4.15	(220.82(C)(3))	
ELECTRIC COOKING	8.5		TOTAL LOAD		18.8		
MOTORS	0.25		BALANCED LOAD		90.5 A		
TOTAL GENERAL LOAD	21.7		PHASE A		94.1%		
			PHASE B		106%		

APPLIANCE BREAKDOWN		KVA
REFRIGERATOR	0.5	
DISHWASHER	1.2	
MICROWAVE	1.8	
DISPOSAL	0.75	
WATER HEATER	4.5	
HOWWATER RECIRC PUMP	0.25	
TOTAL	9.00	

HVAC Load Calculation				KVA	NEC Code
Heating				4.25	
Cooling				3.95	
Mini Split				0.00	
100% of Nameplate Rating of AC and Cooling				3.95	220.82 C(1)
100% of Nameplate Rating of Heat Pump w/o Supplemental Heat				0.00	220.82 C(2)
Heat Pump plus 65% of Supplemental Heat				4.15	220.82 C(3)
Largest Heating or Cooling Load				4.25	220.84 C(5)

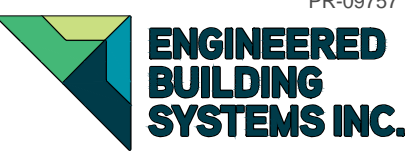
Multi-Family Dwelling Unit Calc	KVA
Total General Load	21.70
Largest Heating or Cooling Load 220.84	4.25
220.84 CONNECTED LOAD CALC	25.95

Progress Dates
 05/05/2023 BID P/E/P
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Revisions

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UNIT 202

ROOM MOUNTING FLUSH VOLTS 208/120V 2P 3W AIC T.B.D.
 FED FROM MC1 BUS AMPS 125 MAIN BKR MLO
 NOTE NEUTRAL 100% LUGS STANDARD

CKT #	CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION	CKT #	CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION
1	15/1	1.02	LIGHTING, RECEPTACLE	a 2	20/1	1.5	SMALL APPLIANCE
3	15/1	0.774	E-1, LIGHTING, RECEPTACLE	b 4	20/1	1.5	SMALL APPLIANCE
5	20/1	0.18	BATH	a 6	15/1	0.5	FRIG.
7	20/2	0.3	H-3	b 8	15/1	1.2	DISHWASHER
9				a 10	15/1	0.75	DISPOSAL
11	30/2	3.95	ODU-1.5	b 12	20/1	1.8	MICROWAVE
13				a 14	50/2	8.5	RANGE
15	30/2	4.5	EWHP	b 16			
17				a 18	20/1	0	SPACE
19	15/1	0.25	HWRP	b 20	20/1	0	SPACE
21	20/1	0	SPACE	a 22	20/1	0	SPACE
23	20/1	0	SPACE	b 24	20/1	0	SPACE
25	20/1	0	SPACE	a 26	20/1	0	SPACE
27	20/1	0	SPACE	b 28	20/1	0	SPACE
29	20/1	0	SPACE	a 30	20/1	0	SPACE

OPTIONAL DWELLING UNIT CALCULATION (NEC 220.82)		CONN KVA	CONN KVA	CONN KVA	CONN KVA	CONN KVA	CONN KVA
LIGHTING AND RECEPTACLES	0.987	329 SF (3 VA/SF)	GENERAL LOAD UP TO 10 KVA	10	10	(100%)	
SMALL-APPLIANCE	3		OVER 10 KVA	11.5	4.59	(40%)	
APPLIANCES	8.75		MAX HEATING OR COOLING		4.15	(220.82(C)(3))	
ELECTRIC COOKING	8.5		TOTAL LOAD		18.7		
MOTORS	0.25		BALANCED LOAD		90.1 A		
TOTAL GENERAL LOAD	21.5		PHASE A		94.8%		
			PHASE B		105%		

APPLIANCE BREAKDOWN		KVA
REFRIGERATOR	0.5	
DISHWASHER	1.2	
MICROWAVE	1.8	
DISPOSAL	0.75	
WATER HEATER	4.5	
HOWWATER RECIRC PUMP	0.25	
TOTAL	9.00	

HVAC Load Calculation				KVA	NEC Code
Heating				4.25	
Cooling				3.95	
Mini Split				0.00	
100% of Nameplate Rating of AC and Cooling				3.95	220.82 C(1)
100% of Nameplate Rating of Heat Pump w/o Supplemental Heat				0.00	220.82 C(2)
Heat Pump plus 65% of Supplemental Heat				4.15	220.82 C(3)
Largest Heating or Cooling Load				4.25	220.84 C(5)

Multi-Family Dwelling Unit Calc	KVA
Total General Load	21.49
Largest Heating or Cooling Load 220.84	4.25
220.84 CONNECTED LOAD CALC	25.74

PROPOSED PROJECT:
**RENOVATION FOR
 1804 REPUBLIC ST.**
 CINCINNATI, OH, 45202
 FINDLAY FLATS

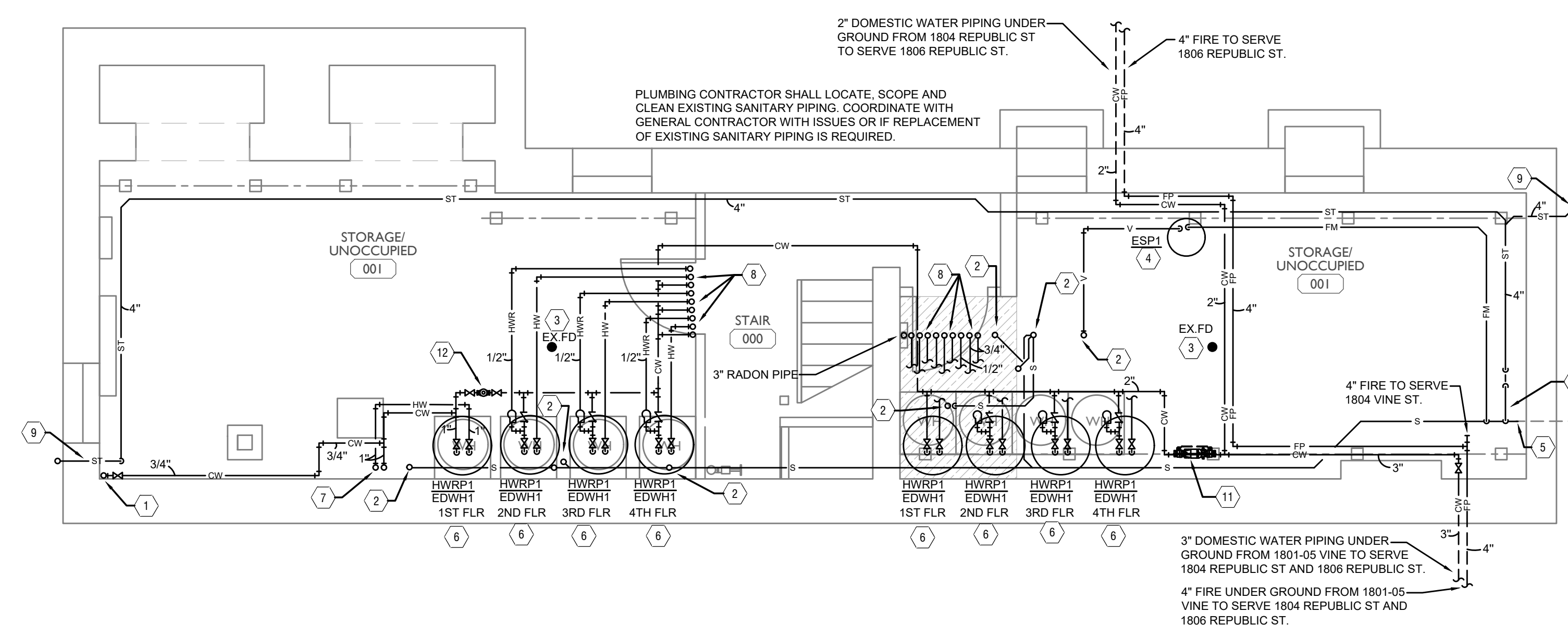
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E2.03

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PLUMBING LEGEND	
SYMBOL	DESCRIPTION
---S---	SANITARY/WASTE PIPING BELOW FLOOR
---S---	SANITARY/WASTE PIPING ABOVE CEILING
---V---	VENT PIPING
---CW---	COLD WATER PIPING
---HW---	HOT WATER PIPING
---HWR---	HOT WATER RETURN PIPING
---G---	NATURAL GAS PIPING
---ST---	STORM PIPING
FD ●	FLOOR DRAIN
RD ●	ROOF DRAIN
OD ●	OVERFLOW DRAIN
⊘	BALL VALVE
⊘	CHECK VALVE
⊘	BALANCING VALVE
CO ●	CLEANOUT
WH H	FROST PROOF WALL HYDRANT
⊘	VENT THROUGH ROOF RISER INDICATOR
⊘	HOT WATER RETURN PUMP



PLUMBING BASEMENT KEYED NOTES

- 3/4" COLD WATER PIPING UP TO SERVE WALL HYDRANT ON FLOOR ABOVE.
- SANITARY PIPING UP TO FLOOR ABOVE. REFER TO ISOMETRICS FOR PIPE SIZES.
- PLUMBING CONTRACTOR SHALL INSPECT EXISTING FLOOR DRAIN, CLEAN, FIX OR REPLACE AS REQUIRED.
- PROVIDE NEW SUMP PUMP. NEW SUMP PUMP SHALL BE ZOELLER M137 WITH POLYETHYLENE BASIN WITH SEALED LID.
- CONNECT NEW SANITARY PIPING TO EXISTING SANITARY PIPING.
- ELECTRIC TANK TYPE WATER HEATER WITH HEAT TRAPS ON INLET AND OUTLET. 3/4" COLD WATER IN, 3/4" HOT WATER OUT. PROVIDE DRAIN PAN AND PIPE DRAIN AND PRESSURE RELIEF VALVE INDEPENDENTLY AND INDIRECTLY TO FLOOR DRAIN. REFER TO DETAIL SHEETS FOR SPECIFICATIONS.
- HOT AND COLD WATER PIPING UP TO FLOOR ABOVE.
- 3/4" COLD WATER, 3/4" HOT WATER AND 1/2" HOT WATER RETURN PIPING UP TO FLOORS ABOVE.
- 4" STORM PIPING.
- CONNECT NEW STORM LEADERS WITH RUNNING TRAP TO EXISTING SANITARY PIPING.
- PROVIDE A 2" REDUCE PRESSURE BACKFLOW PREVENTER.
- PROVIDE A REMOTE READ TAB METER ON DOMESTIC WATER PIPING SERVING LAUNDRY.

1804 REP

SCALE: 1/4" = 1'-0"

PLUMBING PLAN - BASEMENT |



Progress Dates
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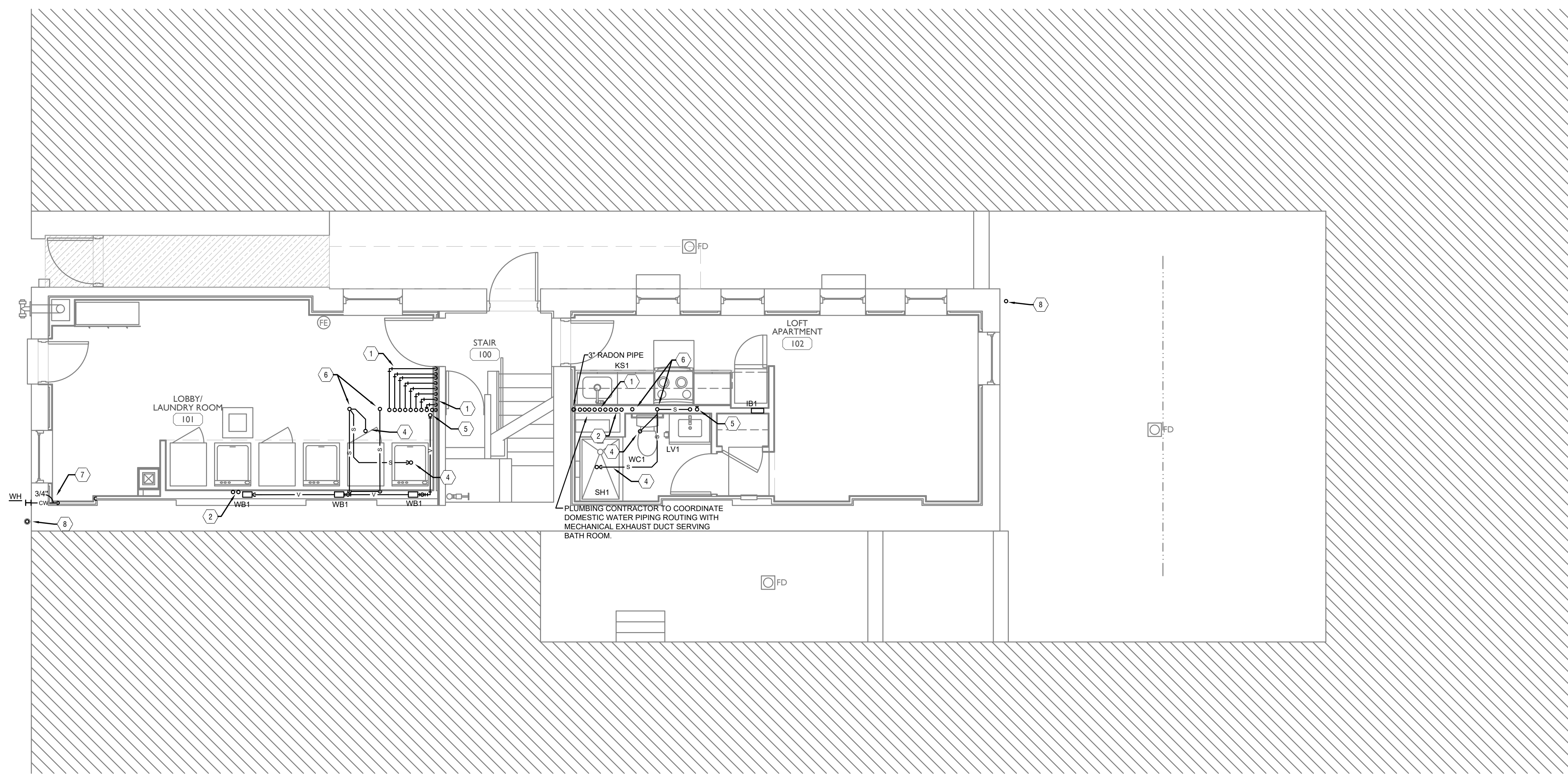
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 RENOVATION FOR
1804 REPUBLIC ST.
 CINCINNATI, OH, 45202
 FINDLAY FLATS

Job No: 22042 8/10/2022

PI.00

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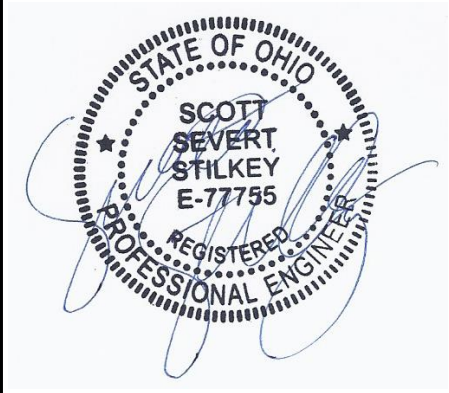
PLUMBING LEGEND	
SYMBOL	DESCRIPTION
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FD ●	FLOOR DRAIN
RD ⊙	ROOF DRAIN
OD ⊙	OVERFLOW DRAIN
⊘	BALL VALVE
⊘	CHECK VALVE
⊘	BALANCING VALVE
CO ●	CLEANOUT
WH H	FROST PROOF WALL HYDRANT
⊕	VENT THROUGH ROOF RISER INDICATOR
⊕	HOT WATER RETURN PUMP

- PLUMBING FIRST FLOOR KEYED NOTES**
- 3/4" COLD WATER, 3/4" HOT WATER AND 1/2" HOT WATER RETURN PIPING UP AND DOWN.
 - 3/4" HOT AND COLD WATER ROUTED THROUGH WALL TO SERVE PLUMBING FIXTURES. 1/2" COLD WATER TO WATER CLOSET AND VALVE BOX, 1/2" HOT AND COLD WATER TO LAVATORY, SHOWER AND KITCHEN SINK. EXTEND A 1/2" HOT WATER LINE TO SERVE DISHWASHER.
 - 1" HOT AND COLD WATER PIPING UP FROM FLOOR BELOW. ROUTE 1/2" HOT AND COLD WATER PIPING TO EACH WASHER BOX.
 - SANITARY PIPING UP TO SERVE PLUMBING FIXTURE ON FLOOR ABOVE.
 - VENT PIPING UP TO FLOOR ABOVE.
 - STACK WASTE VENT PIPING UP AND DOWN.
 - 3/4" COLD WATER PIPING UP FROM FLOOR BELOW TO WALL HYDRANT.
 - PROVIDE A 4" DOWNSPOUT CONNECTION AND ROUTE INTO BUILDING AND DOWN TO BASEMENT.

SCALE: 1/4" = 1'-0"

PLUMBING PLAN - FIRST FLOOR | 1

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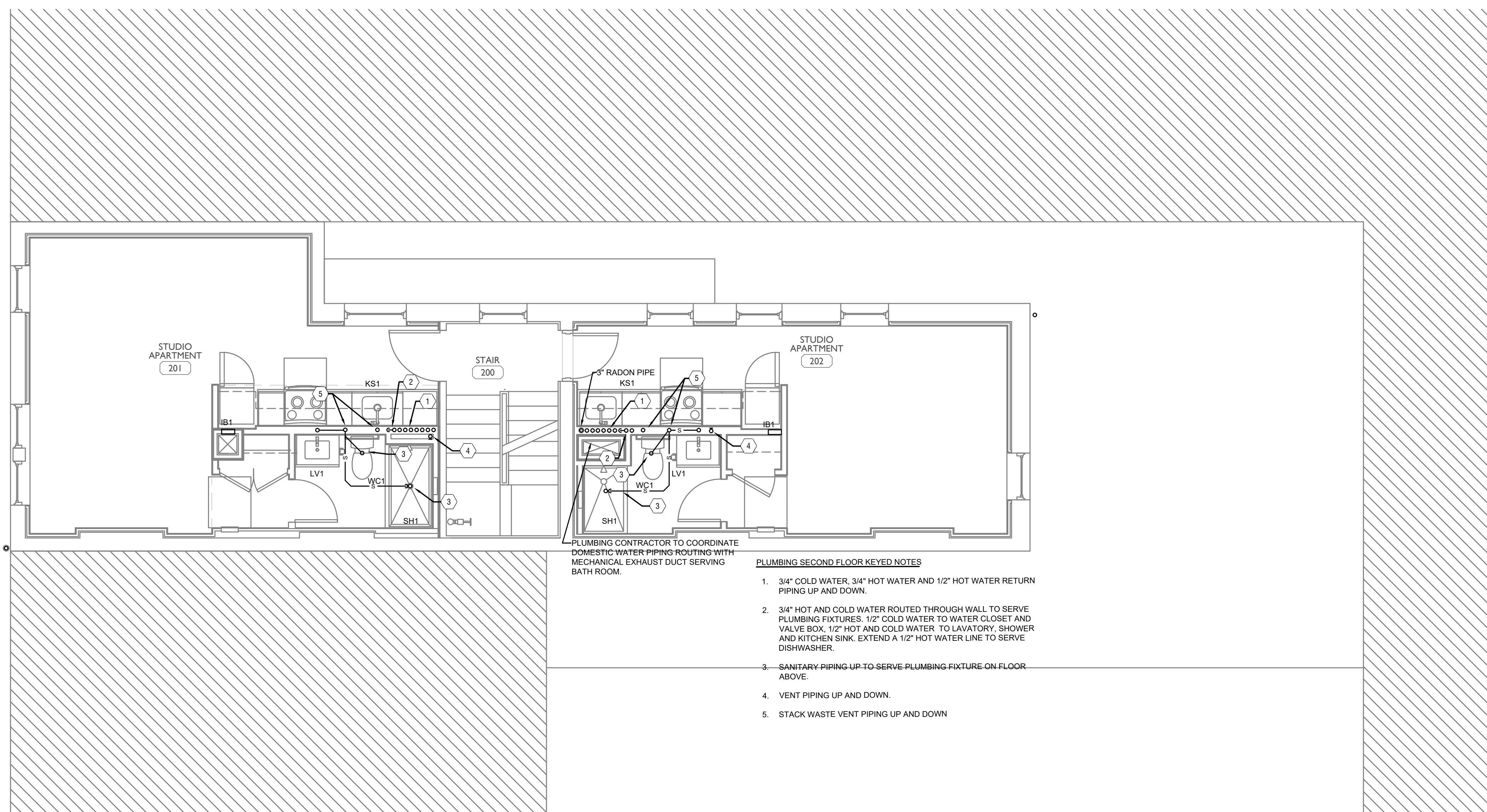
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1804 REPUBLIC ST.
 CINCINNATI, OH, 45202
 FINDLAY FLATS

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⊖	CHECK VALVE
⊗	BALANCING VALVE
CO ●	CLEANOUT
WH H	FROST PROOF WALL HYDRANT
⊕	VENT THROUGH ROOF RISER INDICATOR
⊖	HOT WATER RETURN PUMP



SCALE: 1/4" = 1'-0"

PLUMBING PLAN - SECOND FLOOR |



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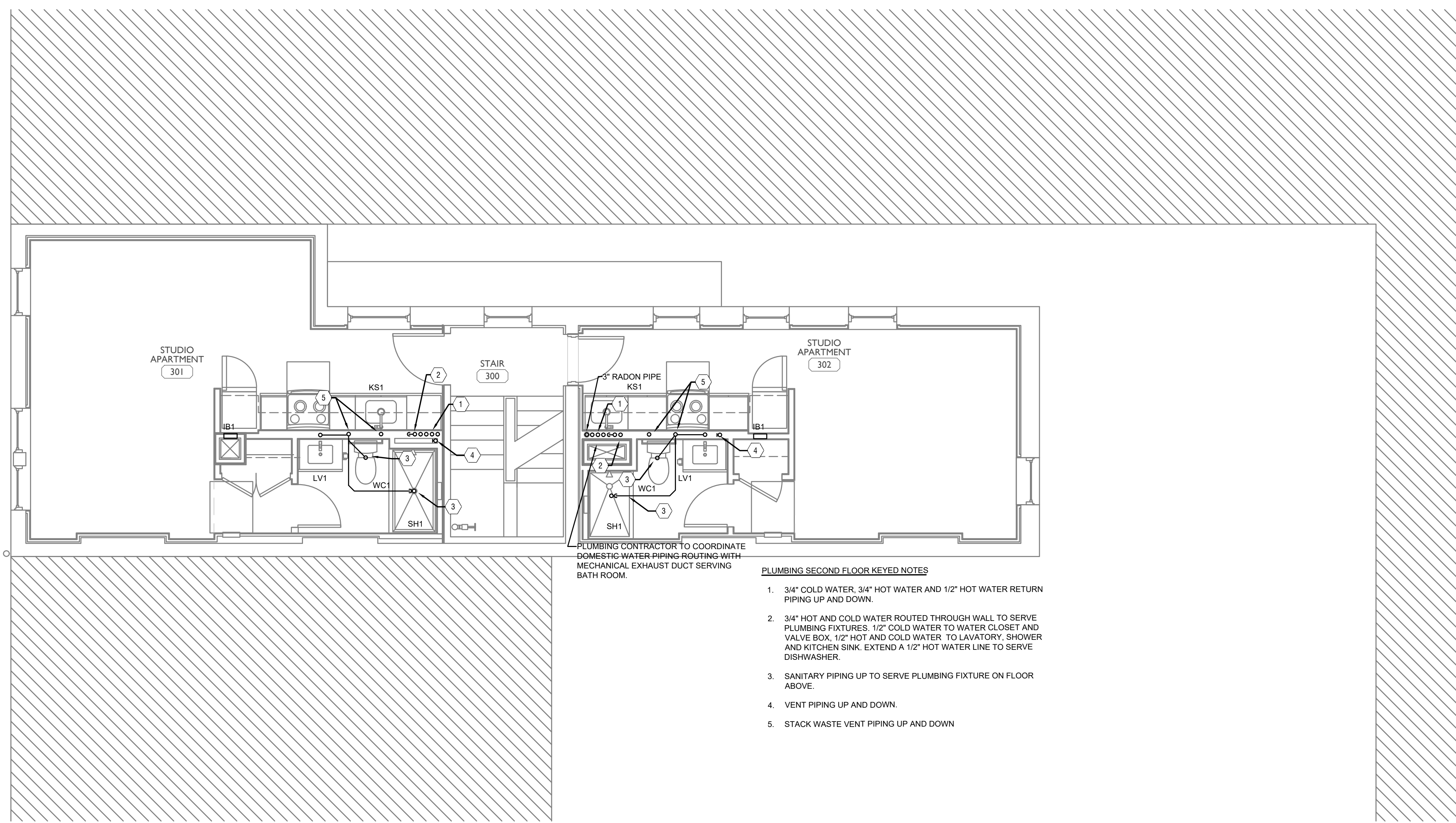
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 FINDLAY FLATS

Job No: 22042 8/10/2022

PI.02

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PLUMBING CONTRACTOR TO COORDINATE DOMESTIC WATER PIPING ROUTING WITH MECHANICAL EXHAUST DUCT SERVING BATH ROOM.

PLUMBING SECOND FLOOR KEYED NOTES

1. 3/4" COLD WATER, 3/4" HOT WATER AND 1/2" HOT WATER RETURN PIPING UP AND DOWN.
2. 3/4" HOT AND COLD WATER ROUTED THROUGH WALL TO SERVE PLUMBING FIXTURES. 1/2" COLD WATER TO WATER CLOSET AND VALVE BOX, 1/2" HOT AND COLD WATER TO LAVATORY, SHOWER AND KITCHEN SINK. EXTEND A 1/2" HOT WATER LINE TO SERVE DISHWASHER.
3. SANITARY PIPING UP TO SERVE PLUMBING FIXTURE ON FLOOR ABOVE.
4. VENT PIPING UP AND DOWN.
5. STACK WASTE VENT PIPING UP AND DOWN

PLUMBING LEGEND	
SYMBOL	DESCRIPTION
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⊘	BALL VALVE
⊘	CHECK VALVE
⊘	BALANCING VALVE
CO ○	CLEANOUT
WH H	FROST PROOF WALL HYDRANT
⊕	VENT THROUGH ROOF RISER INDICATOR
○	HOT WATER RETURN PUMP

SCALE: 1/4" = 1'-0"

PLUMBING PLAN - THIRD FLOOR | 1



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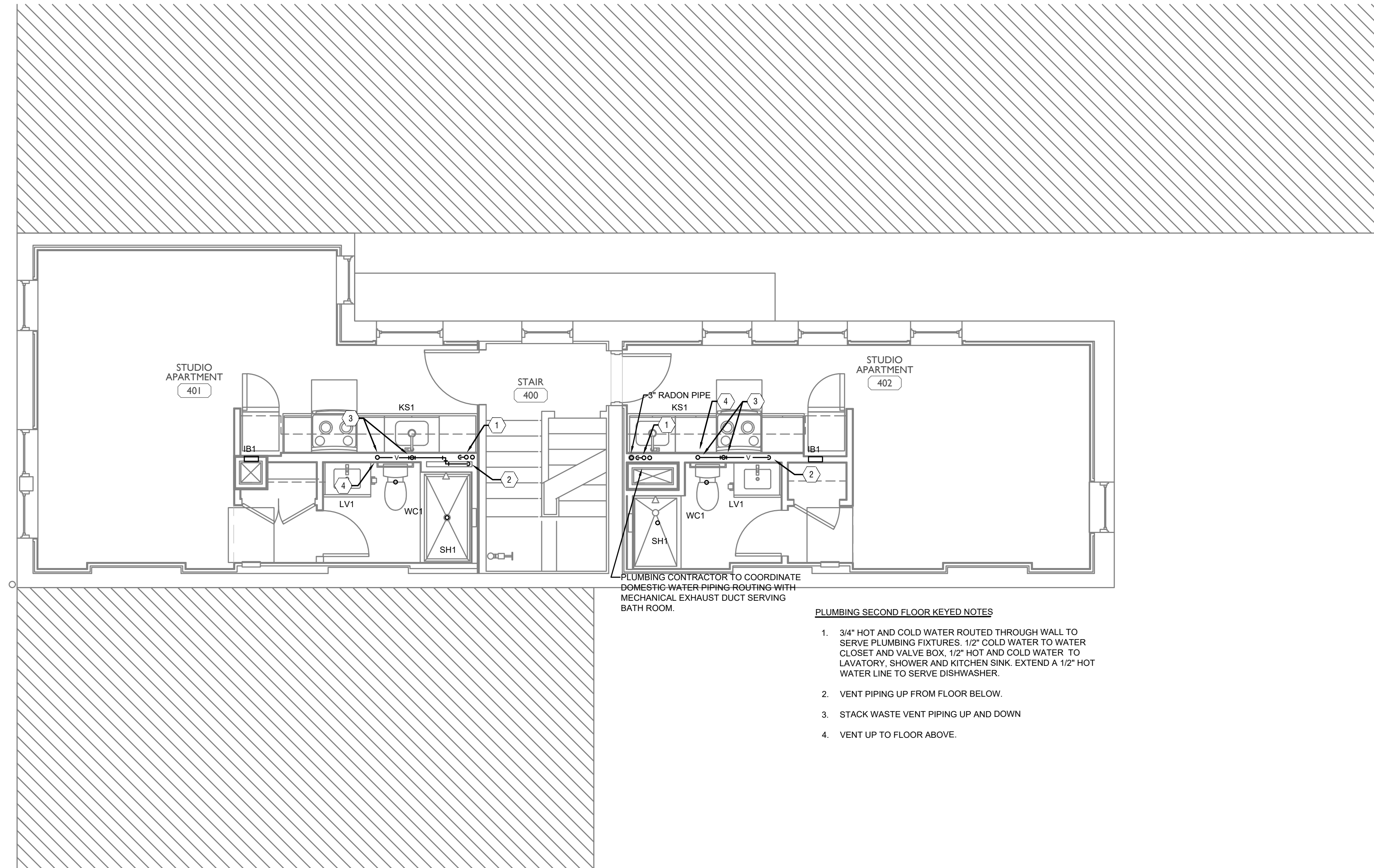
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PROPOSED PROJECT:
 RENOVATION FOR
1804 REPUBLIC ST.
 CINCINNATI, OH, 45202
 FINDLAY FLATS

Job No: 22042 8/10/2022

PI.03

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PLUMBING CONTRACTOR TO COORDINATE DOMESTIC WATER PIPING ROUTING WITH MECHANICAL EXHAUST DUCT SERVING BATH ROOM.

PLUMBING SECOND FLOOR KEYED NOTES

- 3/4" HOT AND COLD WATER ROUTED THROUGH WALL TO SERVE PLUMBING FIXTURES. 1/2" COLD WATER TO WATER CLOSET AND VALVE BOX. 1/2" HOT AND COLD WATER TO LAVATORY, SHOWER AND KITCHEN SINK. EXTEND A 1/2" HOT WATER LINE TO SERVE DISHWASHER.
- VENT PIPING UP FROM FLOOR BELOW.
- STACK WASTE VENT PIPING UP AND DOWN
- VENT UP TO FLOOR ABOVE.

PLUMBING LEGEND	
SYMBOL	DESCRIPTION
--- S ---	SANITARY/WASTE PIPING BELOW FLOOR
— S —	SANITARY/WASTE PIPING ABOVE CEILING
— V —	VENT PIPING
— CW —	COLD WATER PIPING
— HW —	HOT WATER PIPING
— HWR —	HOT WATER RETURN PIPING
— G —	NATURAL GAS PIPING
— ST —	STORM PIPING
FD ●	FLOOR DRAIN
RD ⊙	ROOF DRAIN
OD ⊙	OVERFLOW DRAIN
⊕	BALL VALVE
⊖	CHECK VALVE
⊗	BALANCING VALVE
CO ●	CLEANOUT
WH H	FROST PROOF WALL HYDRANT
⊕	VENT THROUGH ROOF RISER INDICATOR
⊖	HOT WATER RETURN PUMP

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 CINCINNATI, OH, 45202
 FINDLAY FLATS

Job No: 22042 8/10/2022

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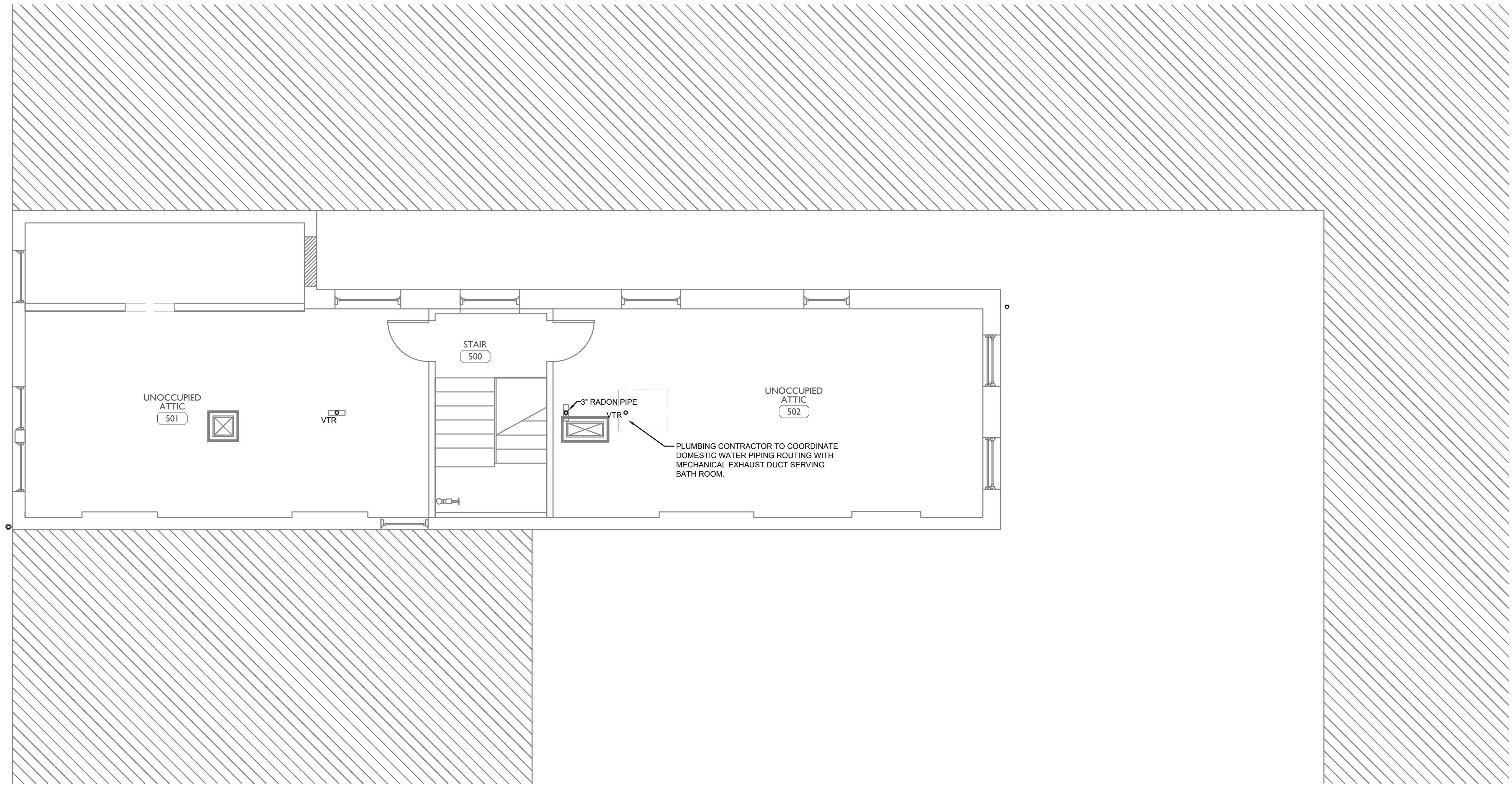
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PLUMBING PLAN - FOURTH FLOOR |



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PLUMBING LEGEND	
SYMBOL	DESCRIPTION
---S---	SANITARY/WASTE PIPING BELOW FLOOR
—S—	SANITARY/WASTE PIPING ABOVE CEILING
—V—	VENT PIPING
—CW—	COLD WATER PIPING
—HW—	HOT WATER PIPING
—HWR—	HOT WATER RETURN PIPING
—G—	NATURAL GAS PIPING
—ST—	STORM PIPING
FD ●	FLOOR DRAIN
RD ⊙	ROOF DRAIN
OD ⊙	OVERFLOW DRAIN
⊗	BALL VALVE
⊘	CHECK VALVE
⊙	BALANCING VALVE
CO ●	CLEANOUT
WH H	FROST PROOF WALL HYDRANT
⊕	VENT THROUGH ROOF RISER INDICATOR
⊖	HOT WATER RETURN PUMP



SCALE: 1/4" = 1'-0"

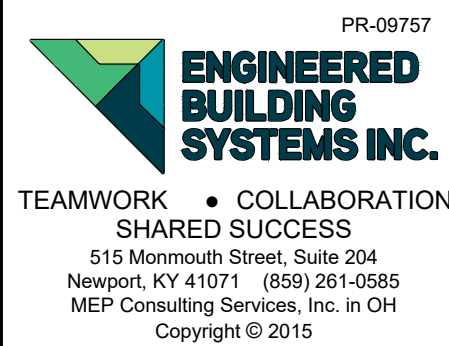
PLUMBING PLAN - ATTIC |



Progress Dates
 05/05/2023 BID P/E/FP
 08/30/2024 BID SET 2

Revisions

Checked By: sss
 Drawn by: DAG



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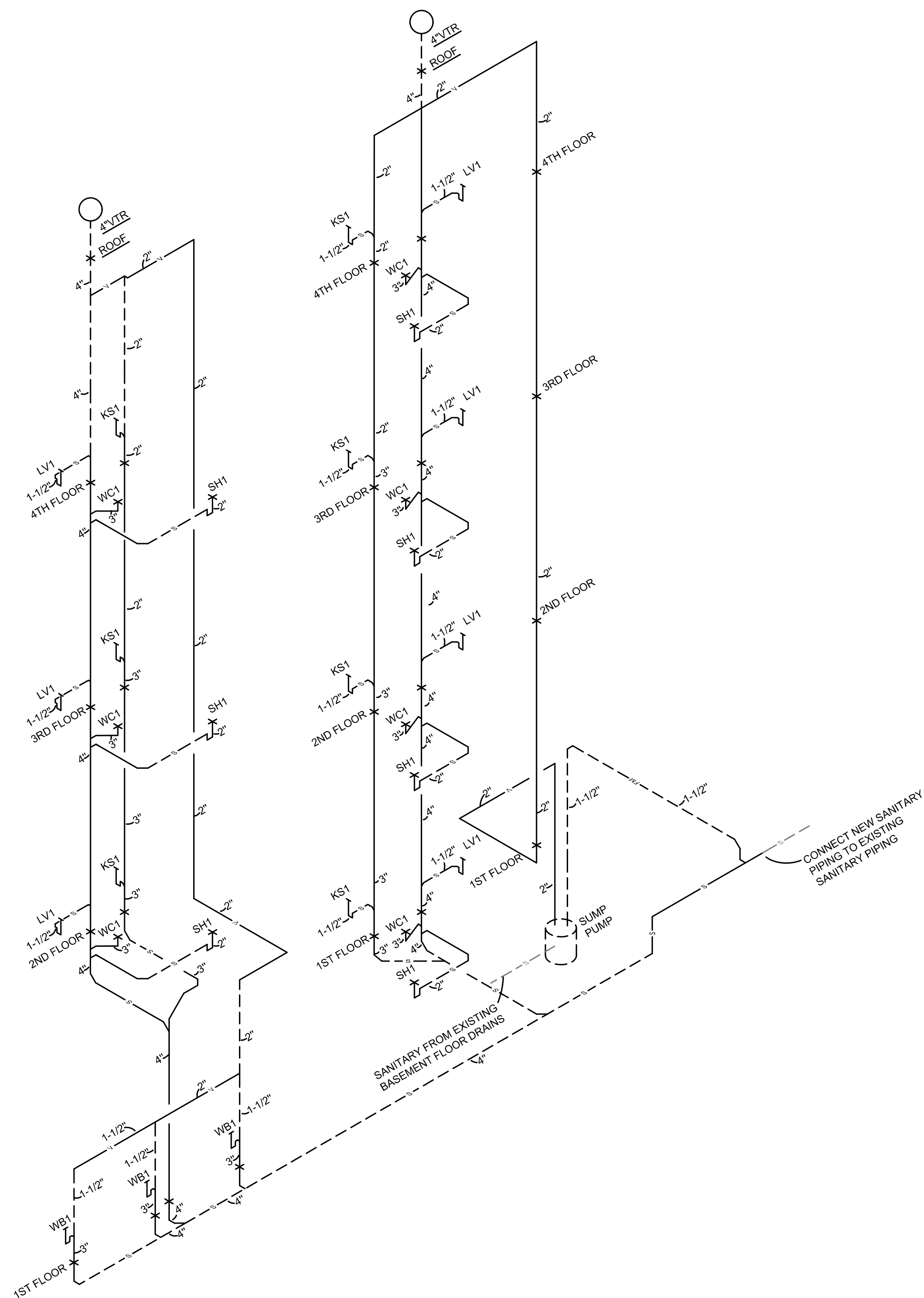
PROPOSED PROJECT:
 RENOVATION FOR
1804 REPUBLIC ST.
 CINCINNATI, OH, 45202
 FINDLAY FLATS

Job No: 22042 8/10/2022

PI.05

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WASTE AND VENT ISOMETRIC SCALE: NOT TO SCALE

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Checked By: SSS
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