1801 VINE ST / 1805 VINE ST
CINCINNATI, OHIO, 45202
FINDLAY FLATS RENOVATION

STRUCTURAL ENGINEER

ADVANTAGE GROUP
1527 MADISON ROAD, FL 2
CINCINNATI, OH 45206
(513) 396-8900

MEP ENGINEER

ENGINEERED BUILDING SYSTEMS, INC.
515 MONMOUTH STREET, SUITE 201
NEWPORT, KY 41071
(859) 261-0585

CIVIL ENGINEER

BAYER BECKER
1404 RACE STREET, SUITE 204
CINCINNATI, OH 45202
(513) 336-6600

ARCHITECT

PLATTE ARCHITECTURE + DESIGN
1810 CAMPBELL ALLEY, STE 300
CINCINNATI, OH 45202
(513) 871-1850

CLIENT/DEVELOPER

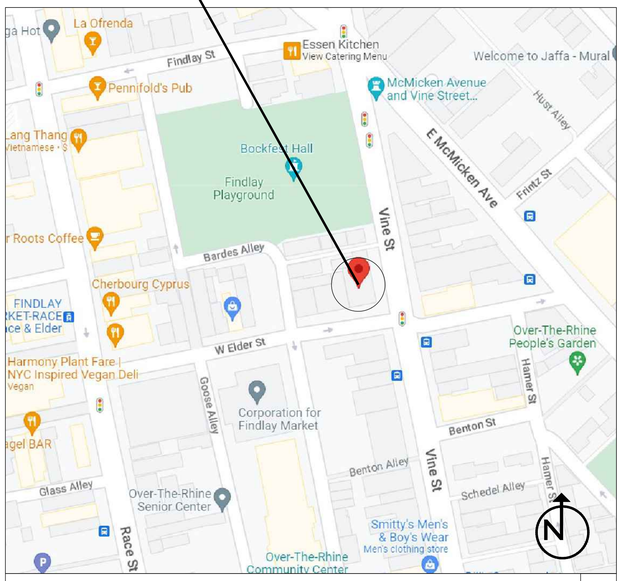
3CDC
1203 WALNUT STREET
CINCINNATI, OH 45202
(513) 621-4400

PROJECT DESCRIPTION

THIS PROJECT IS THE REHABILITATION/RENOVATION OF AN EXISTING HISTORIC COMMERCIAL / RESIDENTIAL BUILDING. 1801 VINE ST / 1805 VINE ST IS A 3-STORY BUILDING WITH A FULL BASEMENT AND ATTIC. THE BASEMENT WILL REMAIN UNOCCUPIED WITH THE EXCEPTION OF MECHANICAL EQUIPMENT. THE FIRST FLOOR WILL BECOME B/M/A-2 USES. THE SECOND AND THIRD FLOORS WILL BECOME SEPARATE RESIDENCES. THE ATTIC WILL REMAIN UNOCCUPIED.

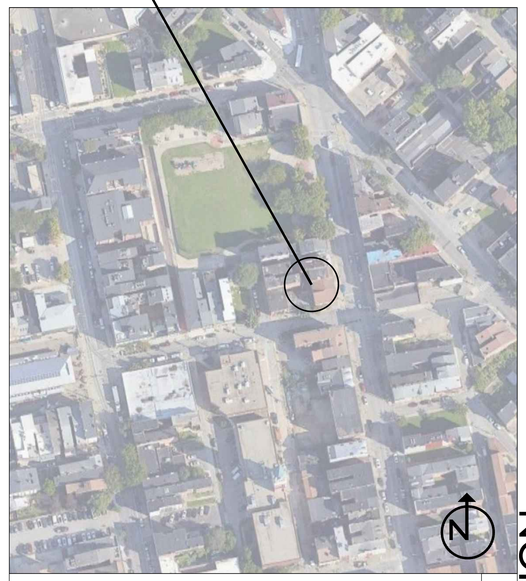
DRAWING INDEX

PROJECT LOCATION



SCALE: NTS — VICINITY MAP | 3

PROJECT LOCATION



SCALE: NTS — AERIAL IMAGE | 2

TYPICAL ABBREVIATIONS

ADJ	ADJACENT	EXG	EXISTING	N.I.C.	NOT IN CONTRACT
A.F.F.	ABOVE FINISH FLOOR	EXT	EXTERIOR	N.I.S.	NOT IN SCOPE
		FDC	FIRE DEPARTMENT CONNECTION	N.T.S.	NOT TO SCALE
ALT	ALTERNATE			OBC	OHIO BUILDING CODE
ALUM	ALUMINUM	FDN	FOUNDATION		
APPROX	APPROXIMATELY	F.E.	FIRE EXTINGUISHER	O.C.	ON CENTER
APT	APARTMENT	F.F.E.	FINISH FLOOR ELEVATION	OPNG	OPENING
BD	BOARD			OPP	OPPOSITE
BLDG	BUILDING	FLR	FLOOR	OT	OVER
C.L.	CENTER LINE	FTG	FOOTING	PLWD	PLYWOOD
C.J.	CONTROL JOINT	G.C.	GENERAL CONTRACTOR	PLUMB	PLUMBING
CLG	CEILING			PT.	PRESSURE TREATED
CLR	CLEAR DIMENSION	GYP	GYPSUM	RCP	REFLECTED CEILING PLAN
C.M.U.	CONCRETE MASONRY UNIT	H.M.	HOLLOW METAL		
		HR	HOUR	REQ	REQUIRED
COL.	COLUMN	HORIZ	HORIZONTAL	REV	REVISED/REVISION
CONC	CONCRETE	HVAC	HEATING, VENTILATION, & AIR CONDITIONING	R.O.	ROUGH OPENING
CONT	CONTINUOUS/ CONTINUED			R.O.W.	RIGHT OF WAY
				SECT	SECTION
CONTR	CONTRACTOR	INCL	INCLUDED/ INCLUDING	SIM	SIMILAR
DIAG	DIAGONAL			SF	SQUARE FEET
DIA or Ø	DIAMETER	INFO	INFORMATION	SPEC	SPECIFICATION
DIM(S)	DIMENSION(S)	INSUL	INSULATED/ INSULATING	STRUCT	STRUCTURAL
D.O.T.E.	DEPARTMENT OF TRANSPORTATION & ENGINEERING	INT	INTERIOR	T.O. or T/	TOP OF
		L.L.	LIVE LOAD	T&G	TONGUE & GROOVE
D.L.	DEAD LOAD	MATL	MATERIAL	TYP	TYPICAL
D.S.	DOWNSPOUT	MECH	MECHANICAL	U.N.O.	UNLESS NOTED OTHERWISE
DTL(S)	DETAIL(S)	MEP	MECHANICAL, ELECTRICAL & PLUMBING	V.B.	VAPOR BARRIER
DWG(S)	DRAWING(S)			VERT	VERTICAL
EA	EACH			V.I.F. or ±	VERIFY IN FIELD
ELEC	ELECTRICAL	MIN	MINIMUM	W/	WITH
ELEV(S)	ELEVATION(S)	MAX	MAXIMUM	W/O	WITHOUT
E.J.	EXPANSION JOINT	MANUF	MANUFACTURER	WD	WOOD
EQ	EQUAL	N/A	NOT APPLICABLE		

TYPICAL SYMBOLS

NORTH ARROW

EGRESS WINDOW

01 — KEYNOTE

CENTERLINE TAG

X'-X" — FLOOR ELEVATION TAG

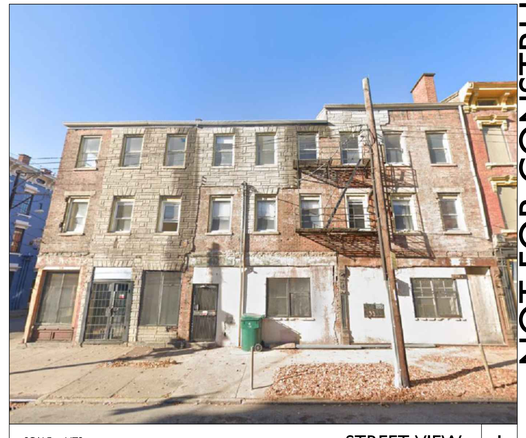
REVISION CLOUD TAG

dwg # / sheet # — A2.00 — ELEVATION TAG

dwg # / sheet # — A4.01 — INTERIOR ELEVATION TAG

dwg # / sheet # — A3.01 — SECTION CUT TAG

dwg # / sheet # — A4.01 — DETAIL CALLOUT



SCALE: NTS — STREET VIEW | 1

NOT FOR CONSTRUCTION

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Progress Dates
2023.04.28 - BID / PERMIT
2024.08.30 - BID SET 2

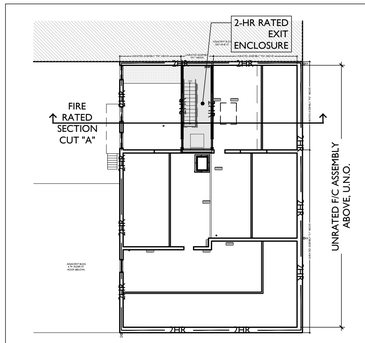
Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
RO, AM

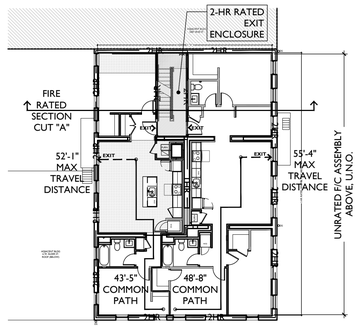
PROPOSED PROJECT:
RENOVATION FOR
1801 - 1805 VINE ST.
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 — 8/30/2024

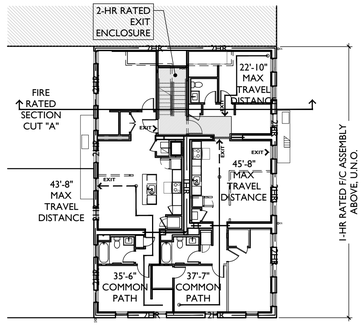
A0.00



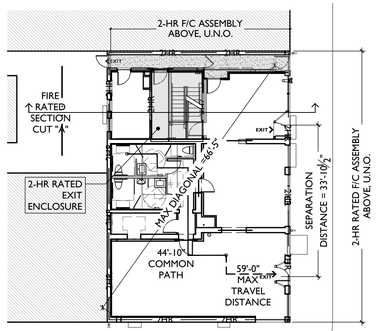
ATTIC (UNOCCUPIED)



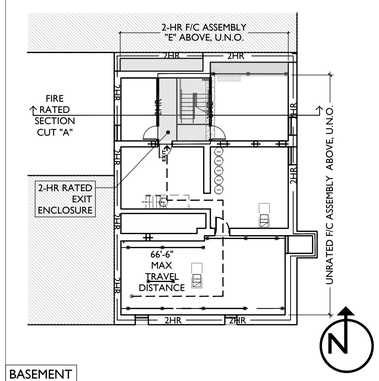
THIRD FLOOR



SECOND FLOOR



FIRST FLOOR



BASEMENT

SCALE: 1/16" = 1'-0" EGRESS DIAGRAMS 3

PROPOSED BUILDING RENOVATION

1. LOCATION: 1801 VINE ST / 1805 VINE ST, CINCINNATI, OH 45202
2. DESCRIPTION: THIS PROJECT IS THE REHABILITATION/RENOVATION OF AN EXISTING HISTORIC COMMERCIAL/RESIDENTIAL BUILDING. 1801 VINE ST / 1805 VINE ST IS A 3-STORY BUILDING WITH A FULL BASEMENT AND ATTIC. THE BASEMENT WILL REMAIN UNOCCUPIED WITH THE EXCEPTION OF THE MECHANICAL EQUIPMENT. THE BASEMENT WILL REMAIN UNOCCUPIED WITH THE EXCEPTION OF MECHANICAL EQUIPMENT. THE FIRST FLOOR WILL BECOME B/M/A-2 USE. THE SECOND AND THIRD FLOORS WILL BECOME SEPARATE RESIDENCES. THE ATTIC WILL REMAIN UNOCCUPIED. **THIS PROJECT QUALIFIES AS A PARTIAL CHANGE OF USE** BECAUSE PORTIONS OF THE FIRST FLOOR CHANGE FROM RESIDENTIAL R-2 TO COMMERCIAL B/M/A-2. **THE PROJECT HAS BEEN SUBMITTED FOR HISTORIC TAX CREDITS WITH THE STATE HISTORIC PRESERVATION OFFICE AND NATIONAL PARK SERVICE**, AND THEREFORE WILL BE DICTATED BY CHAPTER 34, SECTIONS 3-11 AND SUPPORTING SECTIONS OF THE OBC.

PLUMBING, ELECTRIC, SPRINKLER + FIRE ALARM SYSTEMS WILL BE SUBMITTED UNDER A SEPARATE PERMIT.

3. GOVERNING CODE:: 2017 OBC (OHIO BUILDING CODE)/ CINCINNATI BUILDING CODE/ CINCINNATI ZONING CODE

ZONING DESIGNATION: CC-P
URBAN PARKING OVERLAY DISTRICT - NO PARKING REQUIRED.
PROJECT IS APPLYING FOR A CERTIFICATE OF APPROPRIATENESS, SEEKING A DENSITY VARIANCE AND APPROVAL FOR EXTERIOR WORK.

4. CONSTRUCTION TYPE

	EXISTING TYPE IIIB EXIST. CONSTRUCTION	PROPOSED TYPE IIIB CONSTRUCTION
EXTERIOR BEARING:	MASONRY / 2HR	MASONRY / 2HR*
INTERIOR BEARING:	MASONRY/ WOOD	MASONRY/ METAL / WOOD/ 0HR*
INTERIOR NON - BEARING	WOOD	METAL OR WOOD/0HR *
NON - BEARING FLR/ROOF :	WOOD/0HR	METAL OR WOOD/0HR *

SEE CHAP. 10 FIRE RESISTANCE RATINGS AND PARTITION/ASSEMBLY TYPES SHEET WIIN ARCH. SET

5. USE GROUP/OCCUPANCY:

		EXISTING	PROPOSED	#OCCUPANCY	
BASEMENT/2483 SF (TOTAL)		UNOCCUPIED	S-1/*UNOCCUPIED*	*LANDLORD ACCESS ONLY*	
FIRST FLOOR/1296 SF(TOTAL)		B/M/R-2	B	1296/100 =	13
			M (3/4 MERCANTILE)	972/60 =	17
			M (1/4 STORAGE)	324/300 =	2
			A-2 (2/3 TABLES & CHAIRS)	863/15 =	58
			A-2 (1/3 KITCHEN)	432/200 =	3
2ND FLOOR/1971 SF (TOTAL)		R-2	R-2	1971 SF/200 =	10
3RD FLOOR/2030 SF (TOTAL)		R-2	R-2	2030 SF/200 =	11
ATTIC/2483 SF (TOTAL)		UNOCCUPIED	*UNOCCUPIED*	*LANDLORD ACCESS ONLY*	

6. HEIGHT + AREA

EXISTING IIIB CONSTRUCTION

USE	*HEIGHT* - ALLOWABLE/PROPOSED	*STORIES ABV GRADE*- ALLOWABLE/PROPOSED
A-2/M/S-1	55'/ 2 STORIES	2 STORIES / 3 STORIES
B/S-2	55'/ 3 STORIES	3 STORIES / 3 STORIES
R-2	55'/ 4 STORIES	4 STORIES / 3 STORIES

USE	*AREA* - ALLOWABLE/PROPOSED
A-2	9,500SF / 2483SF
B	19,000SF / 2483SF
M	12,500SF / 2483SF
R-2	16,000SF / 2483SF
S-1	17,500SF / 2483SF

7. EXTERIOR WALL OPENINGS: OPENINGS AT EXTERIOR WALLS LIMITED TO PERCENTAGES PER TABLE 705.8. *NOTE: NO NEW OPENINGS IN PROJECT.*

ELEVATION	FSD	ALLOWABLE*	PROVIDED
EAST	32'-5½"	X>30' = UNLIMIT.	33%
SOUTH	24'-9½"	20'<X<25' = 45%	11%
WEST	0	0>X>3' = NOT PERMITTED	13% -EXG NON-CONFORMING CONDITION
WEST	10'-1¼"	10'>X>15' = 15%	16% -EXG NON-CONFORMING CONDITION

*UNSPRINKLERED

8. INTERIOR FINISH RATINGS

	UNSPRINKLERED/ TABLE 803.11	REQUIRED
	CORRIDORS/ EXIT ACCESS, USE S, R-2	B
	ROOMS & ENCLOSED SPACES, USES B, M, A, R-2	C

9. FIRE RESISTANCE RATINGS: PROJECT TO HAVE A 2-HOUR SEPARATION BETWEEN THE FIRST AND SECOND FLOORS. THIS ALLOWS IT TO COMPLY WITH THE UNSEPARATED OCCUPANCY REQUIREMENTS FOR THE FIRE AREA SPANNING THE BASEMENT THROUGH THE FIRST FLOOR, SINCE THE BUILDING HEIGHT/AREA MEET THE MOST RESTRICTIVE REQUIREMENTS OF A-2 (55'/2 STORIES/ 9,500 SF). SEE LIFE SAFETY SECTION DIAGRAM A0.01.

CORRIDORS/DWELLING UNITS SEPARATION WALLS TO BE 1 HOUR RATED.

HORIZONTAL ASSEMBLIES SEPARATING DWELLING UNITS TO BE 1 HOUR RATED.

THE INTERIOR STAIR SHAFT CONNECTS 4 FLOORS, THEREFORE 2 HR RATED PER SECTION 713.4.

THE EXTERIOR WALLS ARE REQUIRED TO BE FIRE-RATED PER TABLE 602 BASED ON THEIR FIRE SEPARATION DISTANCE (FSD):

ELEVATION	FSD	ALLOWABLE	PROVIDED
EAST	32'-5½"	X>30' = 0HR	-
SOUTH	24'-9½"	10'<X<30' = 1HR	2HR
WEST	0	X<5' = 2HR	2HR
WEST	10'-1¼"	10'<X<30' = 1HR	2HR

10. EXIT REQUIREMENTS:

	ALLOWABLE (FT)	PROVIDED (MAX)(FT)
UNSPRINKLERED (2 EXITS PER 1017.2)		
A/B,M,R,S-1	200'	59'-0"
(SINGLE EXIT PER 1006.3.2(2)		
S-1	75'	66'-6"

11. FIRE PROTECTION: **THE EXISTING BUILDING IS NOT CURRENTLY SPRINKLERED, AN EXISTING NON-CONFORMING CONDITION, AND WILL REMAIN IN NON-CONFORMANCE TO THE BUILDING USE.** A LIMITED AREA SPRINKLER SYSTEM WILL BE PROVIDED TO PROVIDE COVERAGE ALONG A FIRE ESCAPE AT EXG. OR REPLACEMENT WINDOWS WITHIN 10'-0" OF THE FIRE ESCAPE. PER CMC 1121.05 AND 1121.11. EXISTING OR REPLACEMENT WINDOWS ALONG A FIRE ESCAPE PATH ARE PERMITTED WHEN PROTECTED BY A SPRINKLER HEAD ON THE INTERIOR SIDE OF SUCH OPENINGS. SPRINKLER HEADS WILL BE PROVIDES ALONG FIRE ESCAPE WINDOWS AND AT WINDOWS WITHIN 10'-0" OF A FIRE ESCAPE.

AN ALTERNATE ENGINEERED DESIGN (106.5 IN THE OBC) IS PROPOSED TO PROVIDE A WATER CURTAIN AS AN ALTERNATE TO THE FIRE-RATING REQUIREMENTS AT THE EAST AND WEST FIRE ESCAPE WINDOWS. THE WATER CURTAIN WOULD SUPPRESS THE FIRE AT THE WINDOW FOR THE LENGTH OF TIME DESIGNED TO PROTECT THE OCCUPANTS. SMOKE DETECTORS WILL BE IN THE ROOMS THAT HAVE THE OPENINGS PROTECTIVES. THEY WILL BE WIRED WITH THE FIRE ALARM. THERE WILL NOT BE EXPOSED PLASTIC PIPE IN THE PROJECT. WHEN SPRINKLER DRAWINGS ARE SUBMITTED FOR PERMIT, A DRAWING WILL BE PROVIDED BY THE CONTRACTOR THAT WILL PROVIDE DOCUMENTATION THAT SUCH HEADS PROVIDE 100% COVERAGE OF THE ADJACENT WINDOWS. AN APPROPRIATE ALTERNATE ENGINEERED DESIGN LETTER WILL BE SUBMITTED WITH THESE DRAWINGS AT THAT TIME BY THE SPRINKLER ENGINEER.

THE ALTERNATE ENGINEERED DESIGN FOR THIS BUILDING WAS SUBMITTED TO THE DIRECTOR OF BUILDINGS AND INSPECTIONS ON JUNE 19, 2023 AND WAS APPROVED ON JULY 3, 2023.

A STANDPIPE NOT PROVIDED AND NOT REQUIRED BECAUSE THE HIGHEST OCCUPIABLE FLOOR < 30' ABOVE LOWEST FIRE DEPARTMENT ACCESS.

WHEN SUBMITTING FOR PERMIT, CONTRACTOR IS TO PROVIDE DOCUMENTATION FROM MANUFACTURER THAT SUCH HEADS PROVIDE 100% COVERAGE OF THE ADJACENT WINDOWS.

FIRE EXTINGUISHERS WILL BE PROVIDED IN EACH DWELLING UNIT AND AS OTHERWISE REQUIRED BY SECTION 906 IN COORDINATION WITH THE LOCAL FIRE DEPARTMENT. GC TO COORDINATE.

12. FIRE ALARM: A MANUAL FIRE ALARM SYSTEM IS REQUIRED AND PROVIDED.
A WATERFLOW ALARM WILL BE INSTALLED ON THE EXTERIOR PER THE BUILDING INSPECTOR'S APPROVAL. SMOKE ALARMS WILL BE INSTALLED IN DWELLING UNITS IN BEDROOMS AND OUTSIDE OF BEDROOMS AS REQUIRED PER SECTION 907.

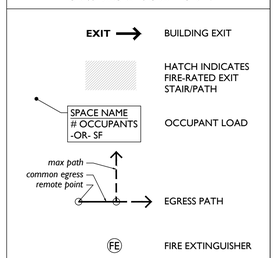
13. ACCESSIBILITY: ALL FIRST FLOOR COMMERCIAL SPACES SHALL BE ACCESSIBLE TO THE EXTENT FEASABLE.
PLATTE ARCHITECTURE + DESIGN IN CONJUNCTION WITH OUR CONSULTANTS AND THE OWNER WILL ATTEMPT TO IMPROVE THE ACCESSIBILITY OF HISTORIC BUILDINGS TO THE EXTENT FEASIBLE AND WITHOUT ALTERING THE BUILDING STRUCTURE OR HISTORIC CHARACTER. BUILDING ELEMENTS THAT DO NOT FULLY MEET THE REQUIREMENTS OF ICC A117.1 AS REFERENCED IN THE 2017 OBC WILL NOT BE INDICATED OR IDENTIFIED AS ACCESSIBLE.

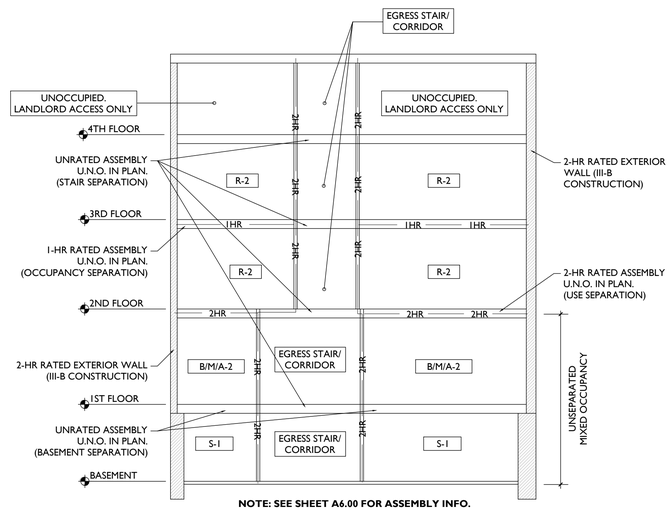
CODE NOTES 2

EGRESS DIAGRAMS GENERAL NOTES:

A. HORIZONTAL FLOOR/CEILING + ROOF ASSEMBLIES ARE INDICATED ON THIS PAGE AND IN THE NEW WORK PLANS.
B. RATED PARTITIONS ARE INDICATED IN NEW WORK PLANS.
C. SEE SHEET A6.00 FOR ASSEMBLIES + PARTITION TYPES DETAILS.

EGRESS DIAGRAMS GRAPHIC KEY:





NOTE: SEE SHEET A6.00 FOR ASSEMBLY INFO.

FIRE RATING SECTION DIAGRAM "A"

SCALE: 1/8" = 1'-0" FIRE RATING SECTION DIAGRAM 1

NOT FOR CONSTRUCTION

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Job No: 22042 8/30/2024

A0.01

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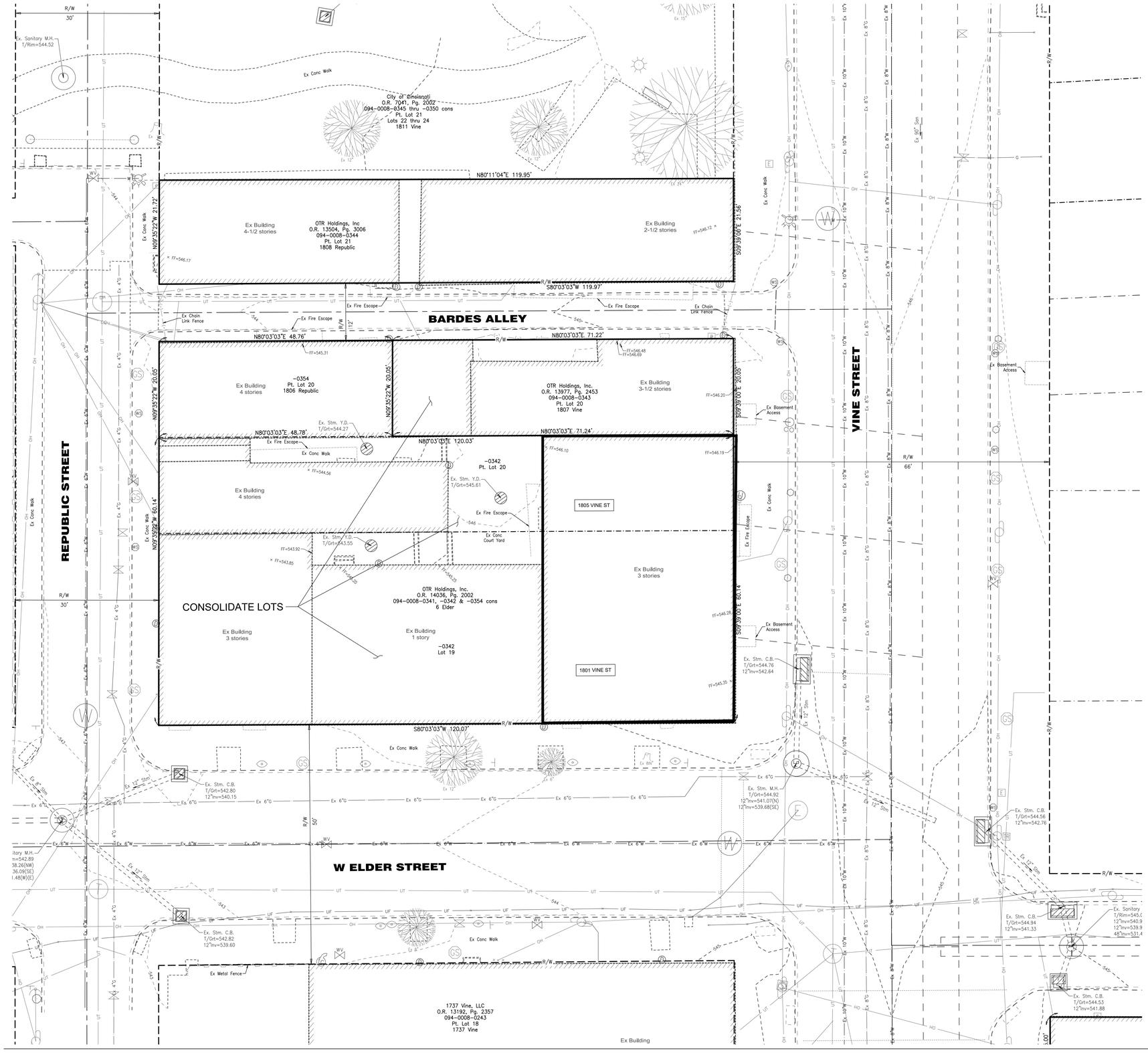
Drawn by:
RO, AM



Basis of Bearing:
State Plane NAD83 (2011)

0 10 15

SCALE: 1" = 10'

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1404 Race Street, Suite 204
Cincinnati, OH 45202 - 513.834.6151

811
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LOCATION OF ALL EXISTING UTILITIES TO BE DETERMINED IN THE FIELD PRIOR TO CONSTRUCTION

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STATE OF OHIO
JEFFREY V. LAMBERT
7568
REGISTERED
PROFESSIONAL SURVEYOR

Progress Dates
04.28.2023 - PERMIT SUBMISSION
08.30.2024 - BID SET 2

Revisions

Design Team:

Drawn by:
EFS

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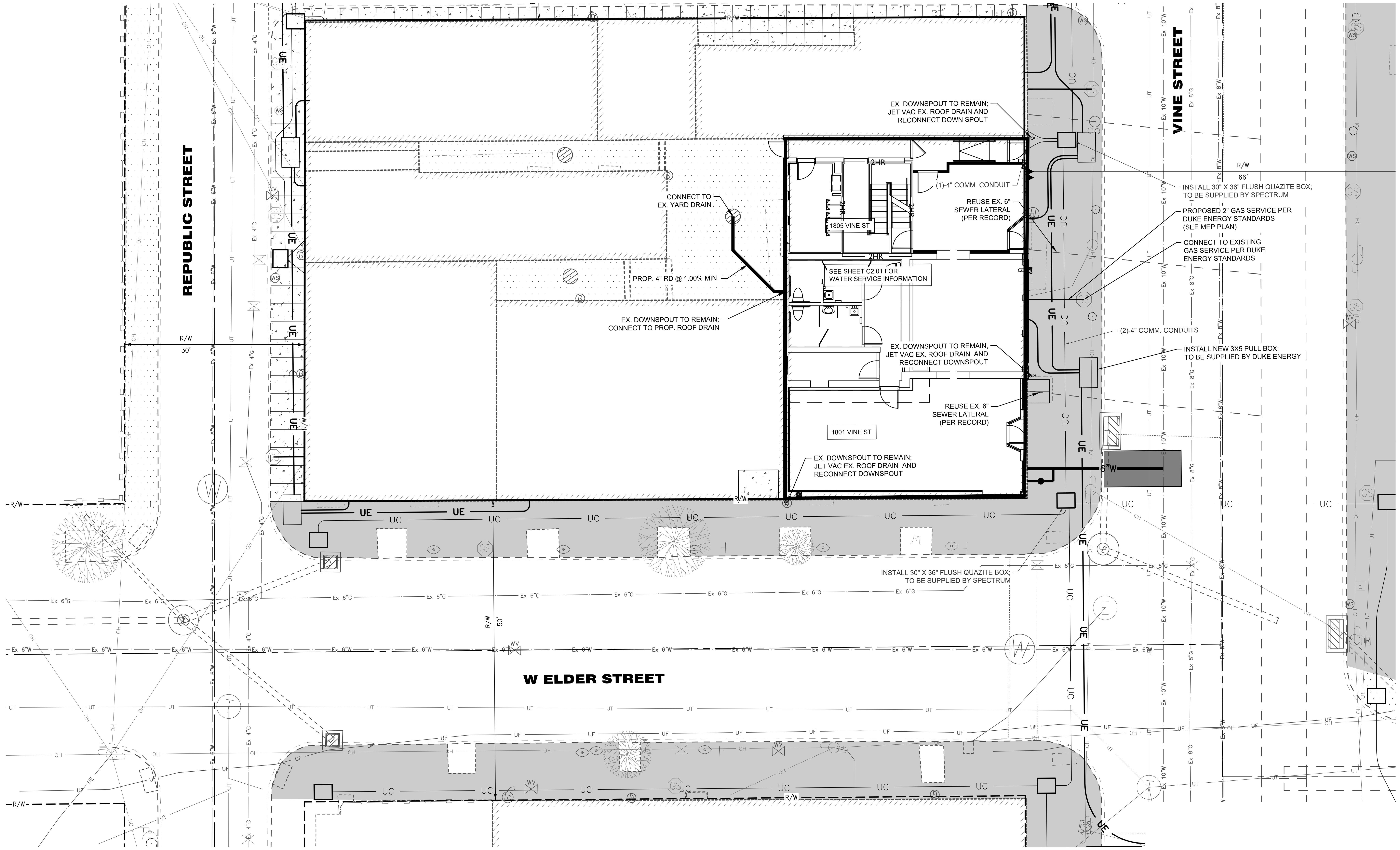
C1.00



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MAINTENANCE OF TRAFFIC NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT STATE OF OHIO DEPARTMENT OF TRANSPORTATION, CONSTRUCTION AND MATERIAL SPECIFICATIONS, AND CURRENT STANDARD DRAWINGS, UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ITEM 614 AND OTHER APPLICABLE PORTIONS OF THE C&M SPECIFICATIONS AS WELL AS IN ACCORDANCE WITH PART 7 OF OMUTCD. LANE CLOSURES SHALL BE IN ACCORDANCE WITH STANDARD CONSTRUCTION DRAWINGS MT-97.10, MT-99.10.
3. LOCAL TRAFFIC SHALL BE MAINTAINED AT ALL TIMES THROUGH THE USE OF FLAGGERS AND SAFETY CONES, AS DIRECTED BY THE CITY ENGINEER.
4. THE CONTRACTOR MUST COORDINATE THE WORK SO AS TO NOT INTERRUPT INGRESS AND EGRESS FROM AFFECTED PROPERTIES.
5. IF THE CONTRACTOR SO ELECTS, HE MAY SUBMIT ALTERNATE METHODS FOR THE MAINTENANCE OF TRAFFIC, PROVIDED THAT THE INTENT OF THE ABOVE PROVISIONS IS FOLLOWED AND NO ADDITIONAL INCONVENIENCE TO THE TRAVELING PUBLIC RESULTS THEREFROM. NO ALTERNATE PLAN WILL BE PUT INTO EFFECT UNTIL THE APPROVAL HAS BEEN GRANTED, IN WRITING, BY THE CITY OF CINCINNATI DOTE.
6. THE OPEN TRENCH SHALL BE ADEQUATELY MAINTAINED AND PROTECTED WITH DRUMS OR BARRICADES AT ALL TIMES.
7. NO TRENCH SHALL BE LEFT OPEN OVERNIGHT. IN CASE WORK MUST BE SUSPENDED BECAUSE OF INCLEMENT WEATHER OR OTHER REASONS, THE TRENCH FOR THE UNCOMPLETED WORK SHALL BE PLATED OR BACKFILLED AT THE DIRECTION OF THE COUNTY ENGINEER.
8. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES LOCATED PRIOR TO BEGINNING CONSTRUCTION.

MSD SEWER NOTES

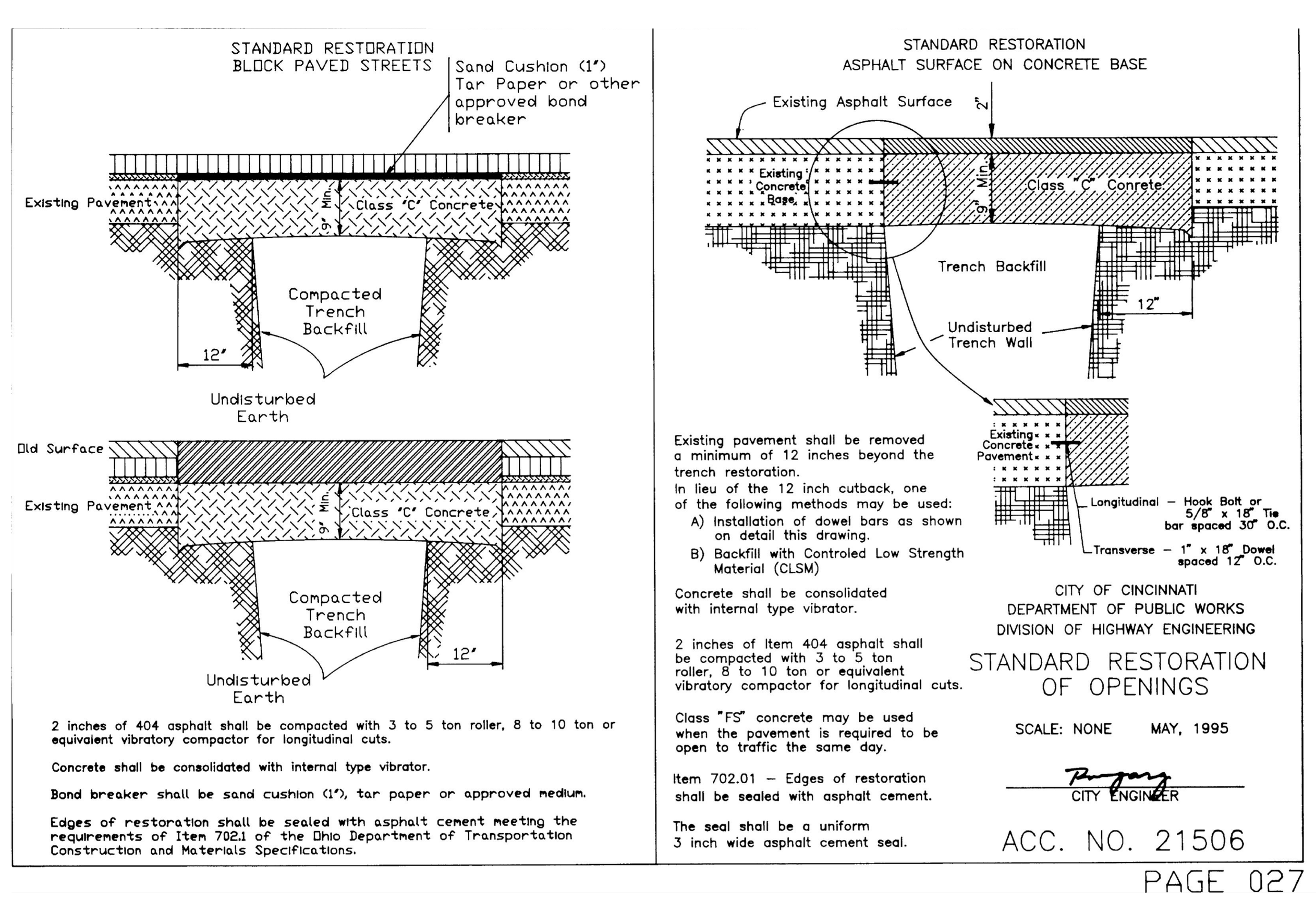
1. SANITARY PIPE MATERIAL SHALL BE 6" PVC SDR-35 @2.00% MINIMUM.
2. IF LOWEST LEVEL ELEVATION IS BELOW RIM ELEVATION OF UPSTREAM MANHOLE, THEN TAP MUST INCLUDE BACKFLOW PREVENTION OR BE PUMPED TO GRAVITY.

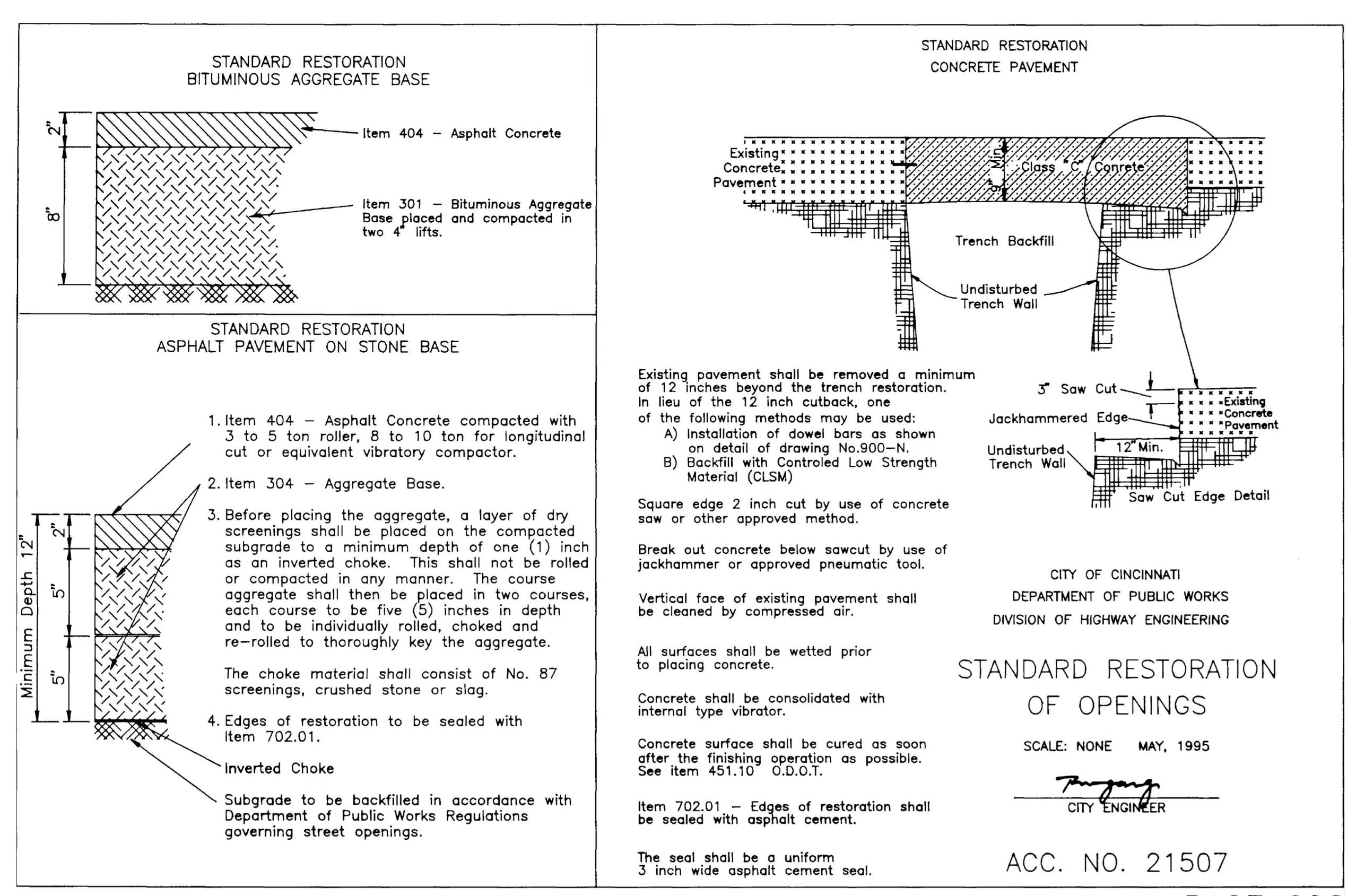
SITE PERMITS NOTES

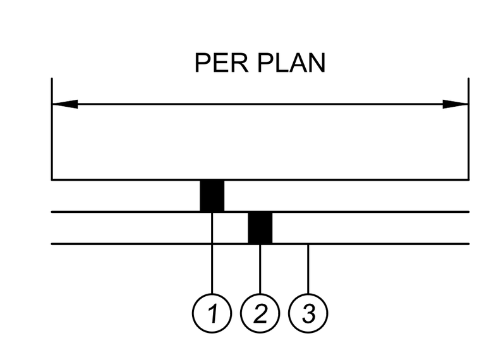
1. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL CITY OF CINCINNATI PERMITS FOR PROPOSED SITE WORK, INCLUDING (BUT NOT LIMITED TO): GCWW BRANCH APPLICATION, MSD TAP PERMIT, DOTE RIGHT-OF-WAY PERMIT (FOR UTILITY CONNECTIONS, STREET/WALK CLOSURE, AND PAVEMENT INSTALLATION), DOTE BARRICADE PERMIT, DOTE REVOCABLE STREET PERMIT (IF APPLICABLE).

LEGEND

⬚	EXISTING CONCRETE WALK OR DRIVE (TO REMAIN)
▨	PROPOSED CONCRETE WALK (SEE DETAIL 1/C2.00)
■	REMOVE & REPLACE EX PAVEMENT IN KIND PER DOTE STANDARDS (SEE SHEET C2.00 FOR DETAILS)
▒	STREETSCAPE PROJECT BY OTHERS







1 / C3.00 **CONCRETE WALK DETAIL**

NOT TO SCALE

1. ITEM 608 - 4" CONCRETE WALK
2. ITEM 304 - 4" AGGREGATE BASE
3. ITEM 203 - SUBGRADE COMPACTION

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202 W. ELDER STREET 4TH FLOOR | CINCINNATI, OH 45202
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STATE OF OHIO
MICHAEL R. DOOLEY
E-73575
REGISTERED
PROFESSIONAL ENGINEER

Progress Dates
04.28.2023 - PERMIT SUBMISSION
08.30.2024 - BID SET 2

Revisions

Design Team:

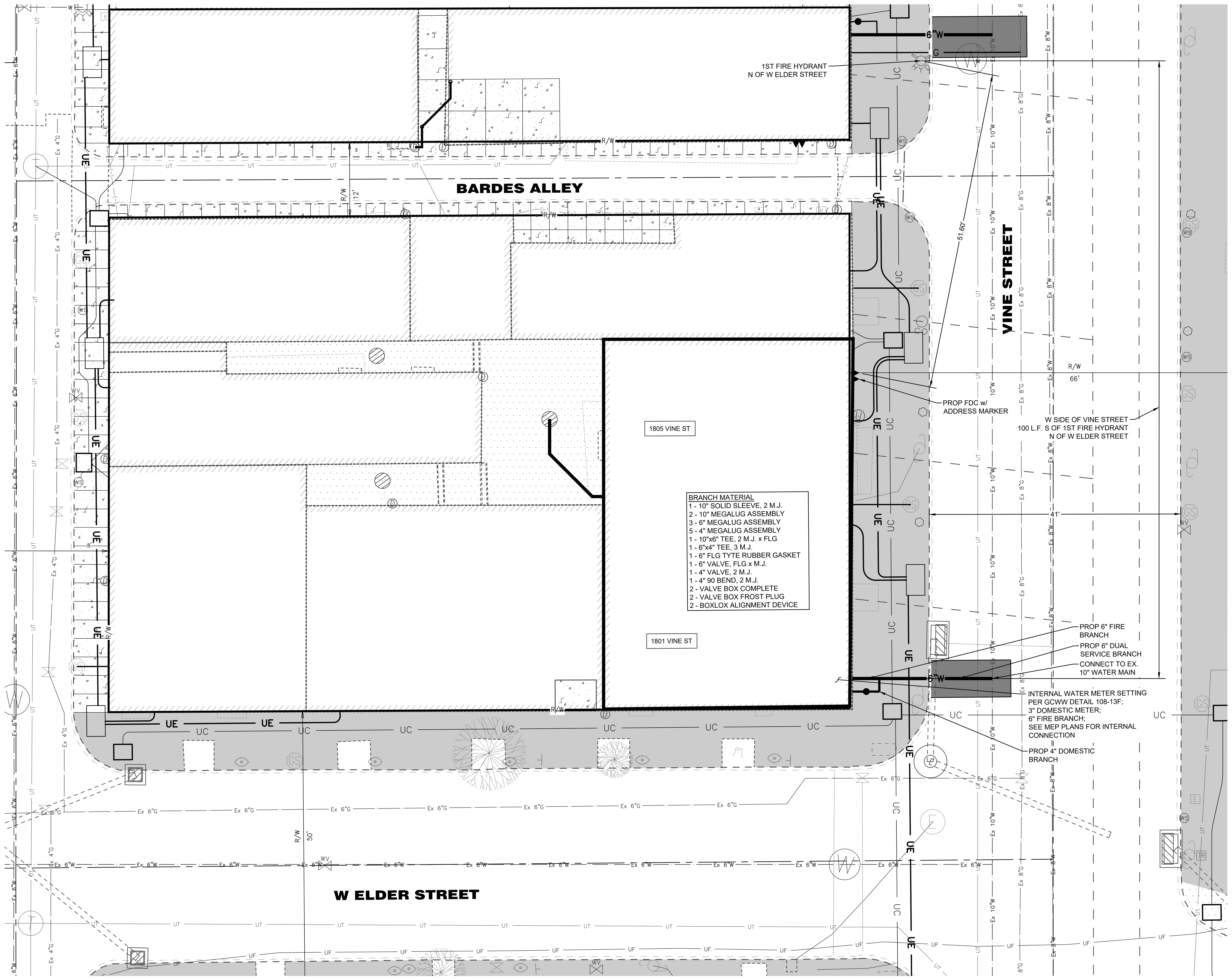
Drawn by:
EFS

PROPOSED PROJECT:
RENOVATION FOR
1801 VINE ST / 1805 VINE ST
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 04/28/2023

PROPOSED SITE PLAN 2

C2.00



LEGEND

▨	EXISTING CONCRETE WALK OR DRIVE (TO REMAIN)
▨	PROPOSED CONCRETE WALK (SEE DETAIL 1/C2.00)
■	REMOVE & REPLACE EX PAVEMENT IN KIND PER DOTE STANDARDS (SEE SHEET C2.00 FOR DETAILS)
▒	STREETSCAPE PROJECT BY OTHERS

Basis of Bearing:
State Plane NAD83 (2011)

0 10 15
SCALE: 1" = 10'

bayer becker
www.bayerbecker.com
1404 Race Street, Suite 204
Cincinnati, OH 45202 - 513.834.6151

811
Know what's below.
Call before you dig.

LOCATION OF ALL EXISTING UTILITIES TO BE DETERMINED IN THE FIELD PRIOR TO CONSTRUCTION

BRANCH APPLICATION PLAN VERITY DISCLAIMER

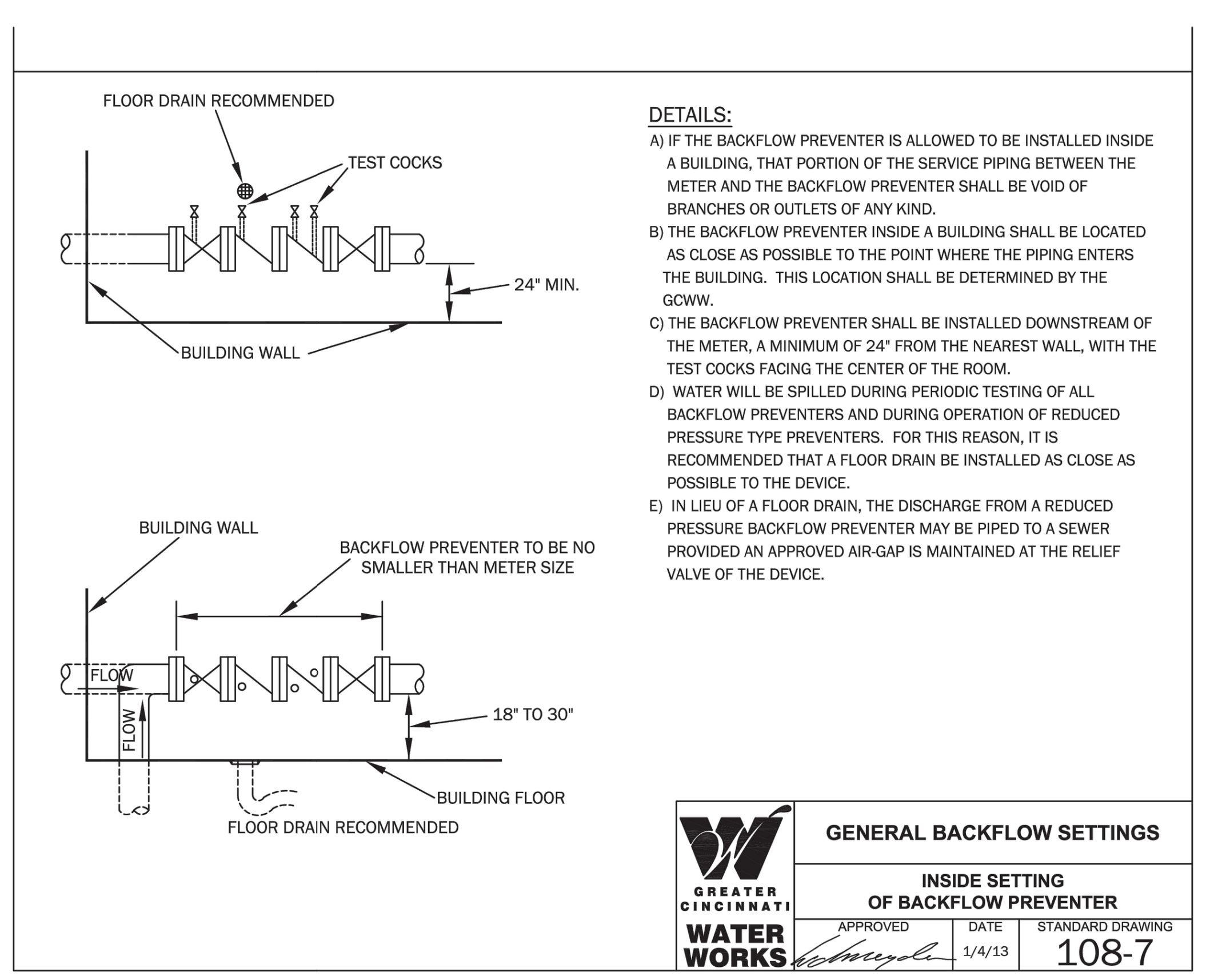
THIS PLAT/SHEET HAS BEEN PREPARED BY THE APPLICANT FOR WATER SERVICE.

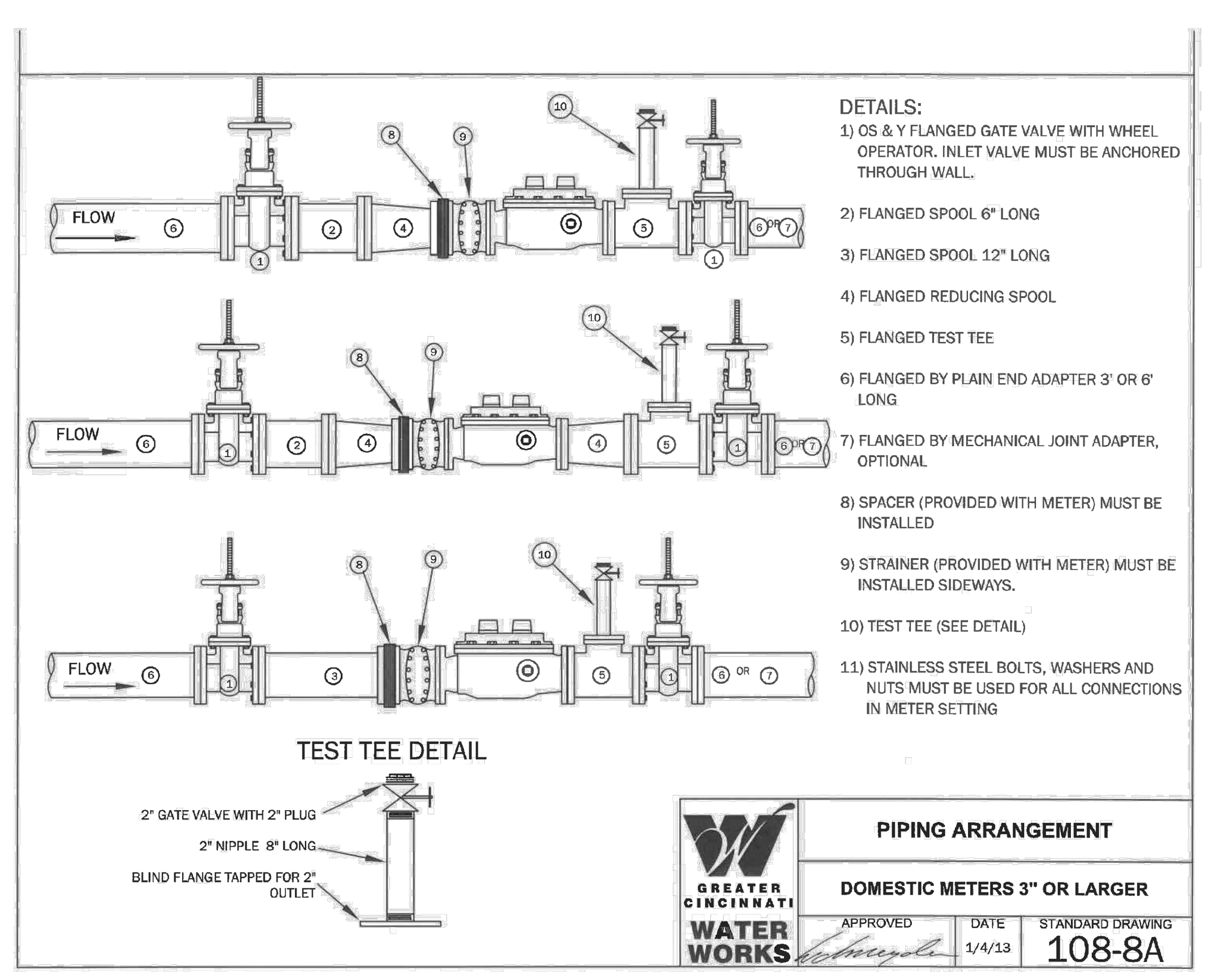
ALL EXISTING UTILITY AND RECORD INFORMATION DEPICTED ON THE DRAWING; INCLUDING BUILDING FOOTPRINT (WHICH MUST SHOW ANY ENCROACHMENTS INTO THE PUBLIC RIGHT OF WAY, INCLUDING; BUT NOT LIMITED TO; BASEMENT AREAS, ROOT CELLARS AND COAL CHUTES), PARCEL AND EASEMENT INFORMATION, ROADWAY AND RIGHT OF WAY LOCATION ARE THE RESULT OF RESEARCH BY THIS APPLICANT.

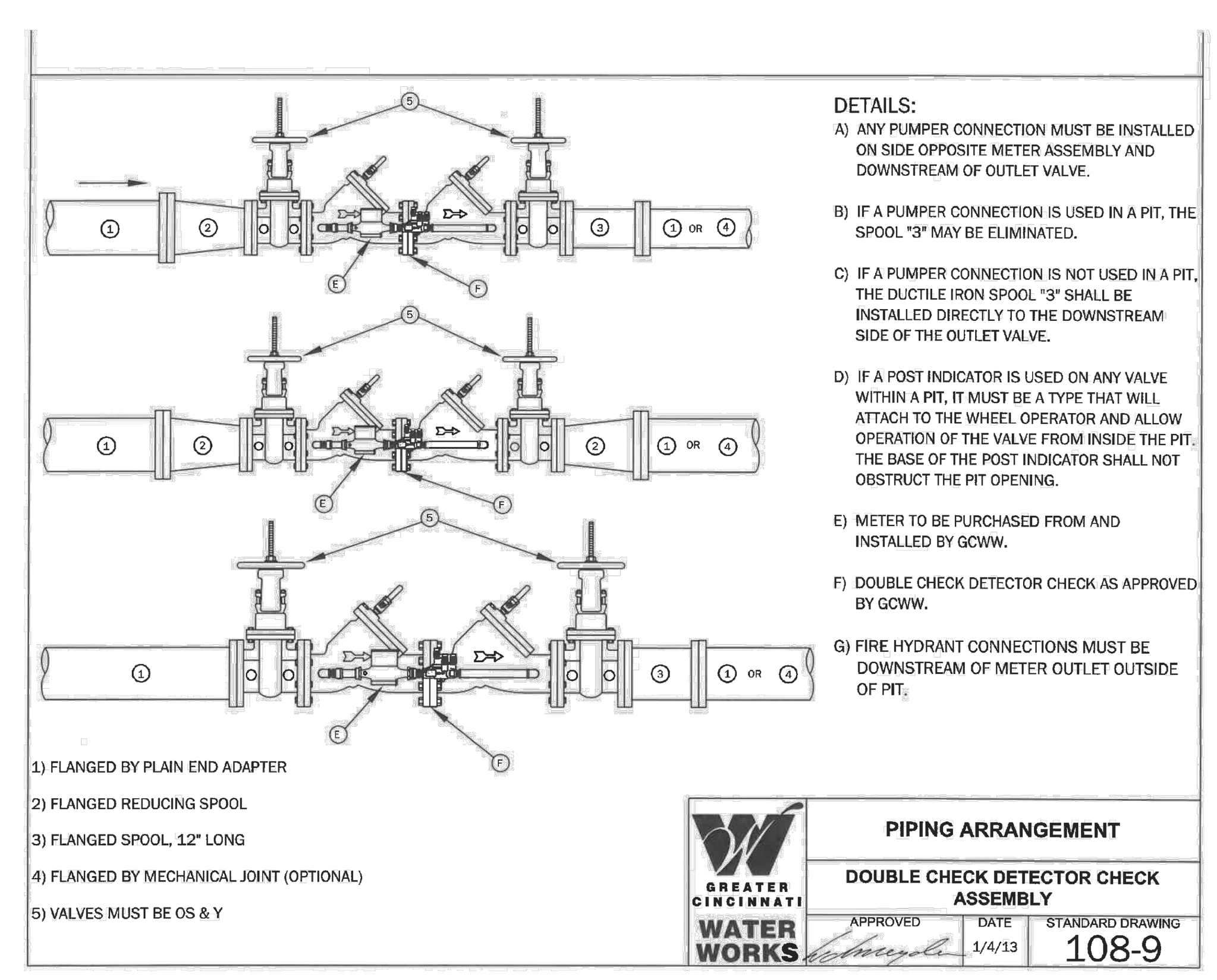
ANY AND ALL DAMAGES OR NEED FOR ADDITIONAL WORK; RESULTING FROM INACCURACY ON THE PART OF THE APPLICANT IS THE APPLICANT'S SOLE FINANCIAL RESPONSIBILITY.

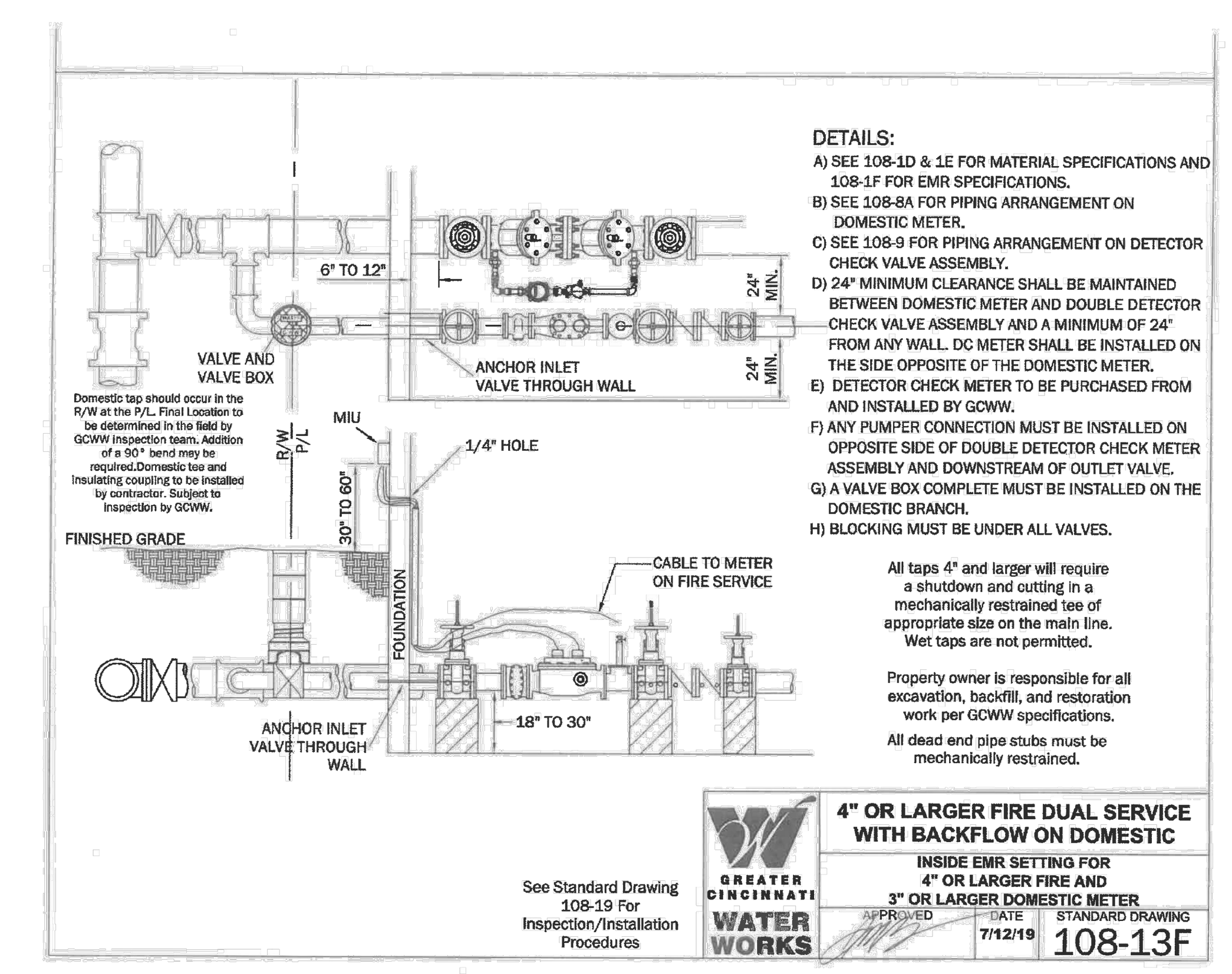
GCWW WATER MAIN NOTES

1. ALL WATER WORK AND WATER MAIN MATERIALS INCLUDING PIPE, FITTINGS, VALVES, HYDRANTS, AND INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF GREATER CINCINNATI WATER WORKS. THE MOST RIGID SPECIFICATIONS SHALL GOVERN IN THE EVENT OF A CONFLICT WITH THE PROJECT SPECIFICATIONS.
2. ALL WATER FACILITIES ON THIS PROJECT ARE TO BE PRIVATE.
3. BACKFILL SHALL BE CLASS A WHEN MAIN IS FIVE (5) FEET OR GREATER FROM EXISTING PUBLIC CURB. LESS THAN FIVE (5) FEET FROM EXISTING PUBLIC CURB, UNDER CURB OR EXISTING PUBLIC PAVEMENT BACKFILL SHALL BE CONTROLLED DENSITY FILL.
4. WATER MAINS SHALL MAINTAIN A MINIMUM COVER OF FOURTY TWO (42) INCHES.
5. A MINIMUM CLEAR DISTANCE OF TEN (10) FEET HORIZONTAL AND EIGHTEEN (18) INCHES VERTICAL SHALL BE MAINTAINED BETWEEN SANITARY AND/OR STORM SEWERS AND WATER MAINS.
6. SANITARY AND STORM SEWERS THAT CROSS WATER MAINS SHALL BE LOCATED SUCH THAT THE SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS.
7. PRIVATE WATER MAINS BEYOND THE METER PIT MAY BE C900 DR18 FOR WORKING PRESSURES LESS THAN 150 PSI. FOR DESIGN PRESSURES GREATER THAN 150 PSI, DUCTILE IRON PRESSURE CLASS 350 OR C900 DR 14 SHALL BE USED.
8. SERVICE PIPING SMALLER THAN THREE (3) INCHES SHALL BE SEAMLESS COPPER FLEXIBLE WATER TUBING, ASTM B 88, TYPE K, PRESSURE CLASS 250.









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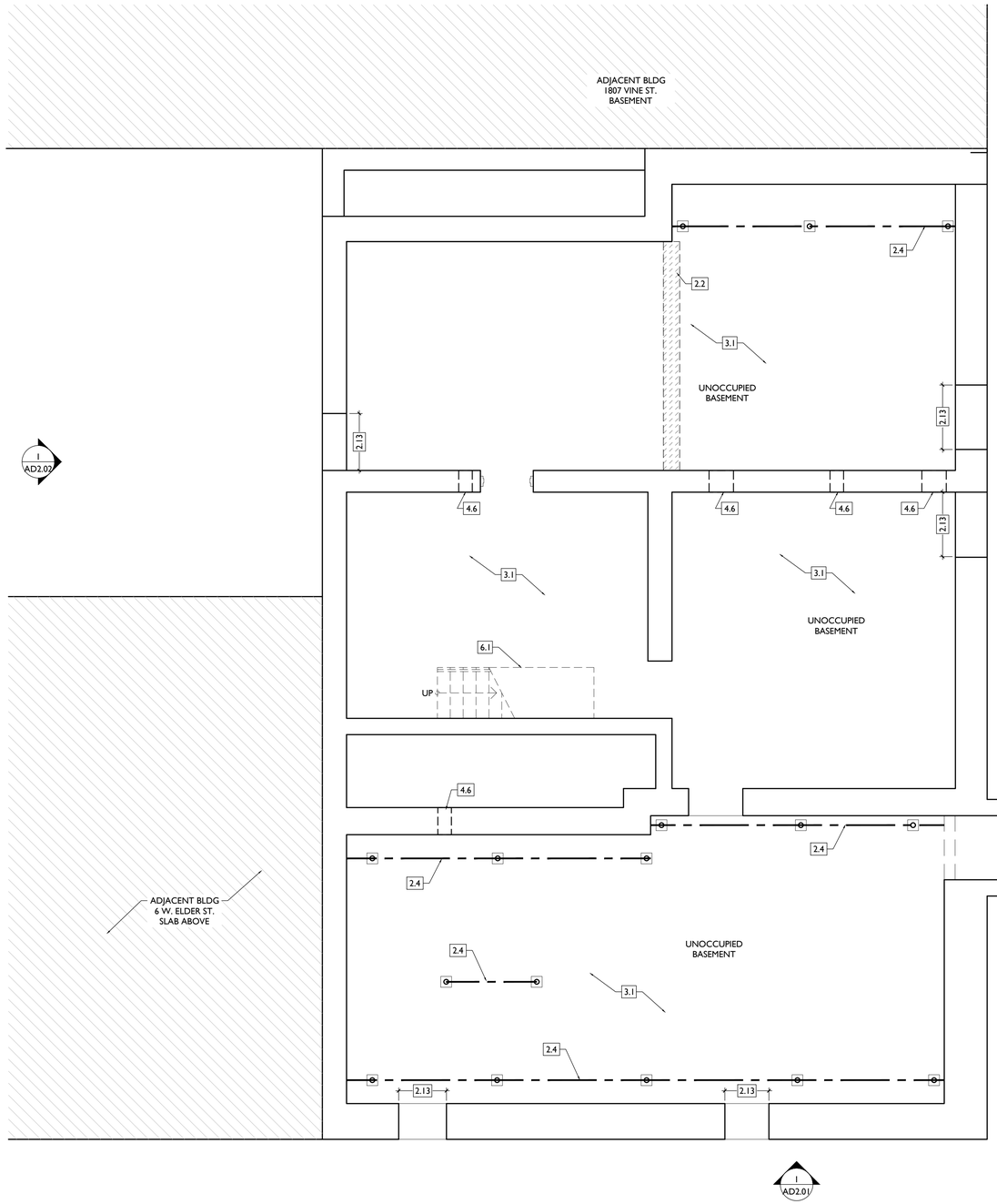
PROPOSED PROJECT:
RENOVATION FOR
1801 VINE ST / 1805 VINE ST
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 04/28/2023

C2.01



DEMO WORK GRAPHIC KEY:

- KEYNOTE
- EXG EXTERIOR WALL TO REMAIN
- EXG INTERIOR WALL TO REMAIN
- EXG WALL/ELEMENT TO BE REMOVED
- EXG DOOR & FRAME TO BE REMOVED
- EXG WINDOW TO BE REMOVED
- EXG FLOOR OR WALL CONSTRUCTION TO BE REMOVED

DEMO WORK PLANS & ELEVATIONS [#] KEYED NOTES:

1. GENERAL

2. EXG CONDITIONS
2.1 REMOVE NON-HISTORIC ENTRY GATE.
2.2 EXCAVATE AREA FOR NEW FOOTING BELOW SHAFT STAIR WALLS. FOUNDATION. SEE NEW WORK PLANS.
2.3 TEMPORARY SHORING WALL TO BE REMOVED - SEE STRUCT DWGS.
2.4 EXG BEAM ABOVE TO REMAIN - SEE STRUCT DWGS.
2.5 EXG BEAM/LINTEL ABOVE TO BE REMOVED - SEE NEW PLANS & STRUCTURAL DWGS. PROVIDE SHORING AS REQUIRED
2.6 REMOVE FRAMING & SHEATHING/DECKING. SEE STRUCT DWGS & NEW WORK PLANS.
2.7 FIRE ESCAPE TO REMAIN
2.8 FIRE ESCAPE TO BE REMOVED
2.9 EXG. CAST IRON COLUMN TO REMAIN
2.10 CHUTE TO BASEMENT TO BE INFILLED. SEE NEW WORK PLANS.
2.11 EXG. POST/BEAM/WALL TO BE REMOVED AFTER FLOOR FRAMING ABOVE HAS BEEN REINFORCED PER STRUCTURAL DRAWINGS. SEE STRUCTURAL.
2.12 EXG. TIMBER POST TO REMAIN.
2.13 EXG. VENTS/GAPS AT T.O. WALL. PREP FOR INFILL. SEE STRUCT DWGS & NEW WORK PLANS.
2.14 EXG SHORING STRUCTURE TO BE MOVED. SEE STRUCT DWGS.

3. CONCRETE
3.1 CONCRETE SLAB TO BE RETAINED.
3.2 DEMO EXG CONCRETE SLAB. EXG FLOOR FRAMING TO REMAIN.

4. MASONRY
4.1 NEW OR EXPANDED OPENING IN EXG MASONRY WALL. CAREFULLY REMOVE MASONRY FOR REUSE. PROVIDE NEW STEEL LINTEL. SEE NEW PLANS & STRUCT DWGS.
4.2 REMOVE EXG. MASONRY WALL & PREPARE FOR REBUILD PER STRUCTURAL DRAWINGS. PROVIDE SHORING AS REQUIRED. SEE NEW PLANS AND STRUCTURAL.
4.3 RAISE EXG LINTEL 12" TO ALLOW MECH DUCTWORK TO PASS BELOW AND REMAIN ABOVE LOWERED LOWERED CEILING. SEE NEW PLANS, MECH AND STRUCTURAL.
4.4 CONTRACTOR TO REMOVE MASONRY ABOVE LINTEL AS REQ'D TO ALLOW DUCTWORK TO PASS THROUGH JOIST CAVITIES AND OVER LINTEL. SEE NEW PLANS, MECH AND STRUCTURAL.
4.5 SAWCUT NEW 12" WIDE BY 16" TALL OPENING FOR DUCTWORK AND PLUMBING LINES. HEAD HEIGHT TO BE AS CLOSE TO B.O. OF JOISTS AS POSSIBLE. PROVIDE NEW STEEL LINTEL. SEE NEW PLANS & STRUCT DWGS.
4.6 SAWCUT NEW OPENING IN MASONRY WALL FOR DUCTWORK. SIZE TO BE 4" WIDER AND TALLER THAN SPECIFIED DUCT. PROVIDE NEW STEEL LINTEL. SEE NEW PLANS, MECH & STRUCT DWGS.

5. METALS
5.1 NOT USED.

6. WOOD, PLASTICS, AND COMPOSITES
6.1 REMOVE NON-HISTORIC STAIR & GUARD/HANDRAILS ENTIRELY. PROVIDE SHORING AS REQ'D. SEE STRUCT DWGS.
6.2 WOOD STAIR TO REMAIN IN PLACE.
A. REMOVE NON-HISTORIC BANISTER/GUARDRAIL.
B. REMOVE NON-HISTORIC FINISH ON TREADS.
6.3 DEMO EXISTING TEMPORARY WOOD INFILL. SEE NEW ELEVATIONS.

7. THERMAL AND MOISTURE PROTECTION
7.1 REMOVE NON-HISTORIC GUTTER & DOWNSPOUTS.
7.3 REMOVE ROOF ACCESS HATCH.
7.4 REMOVE EXG MEMBRANE ROOF & SHINGLES. CONTRACTOR TO INSPECT EXG ROOF DECKING AND REPAIR AS NEEDED.

8. OPENINGS
8.1 PREP WINDOW OPENING FOR INFILL, SEE NEW PLANS AND ELEVATIONS
8.2 REMOVE NON-HISTORIC MASONRY/STOREFRONT INFILL SPANNING B/W MASONRY DEMISING WALLS, WHILE PRESERVING ALL HISTORIC CAST IRON OR STONE FASCIA, SILL, PILASTERS, AND OTHER HISTORIC MATERIAL.
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9. FINISHES
9.1 HISTORIC PLASTER AT MASONRY WALL TO REMAIN, IF POSSIBLE.
9.5 REMOVE NON-HISTORIC FLOORING DOWN TO WOOD SUBFLOOR.

SCALE: 1/4" = 1'-0"

EXISTING + DEMOLITION PLAN - BASEMENT | 1

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10833
REGISTERED ARCHITECT

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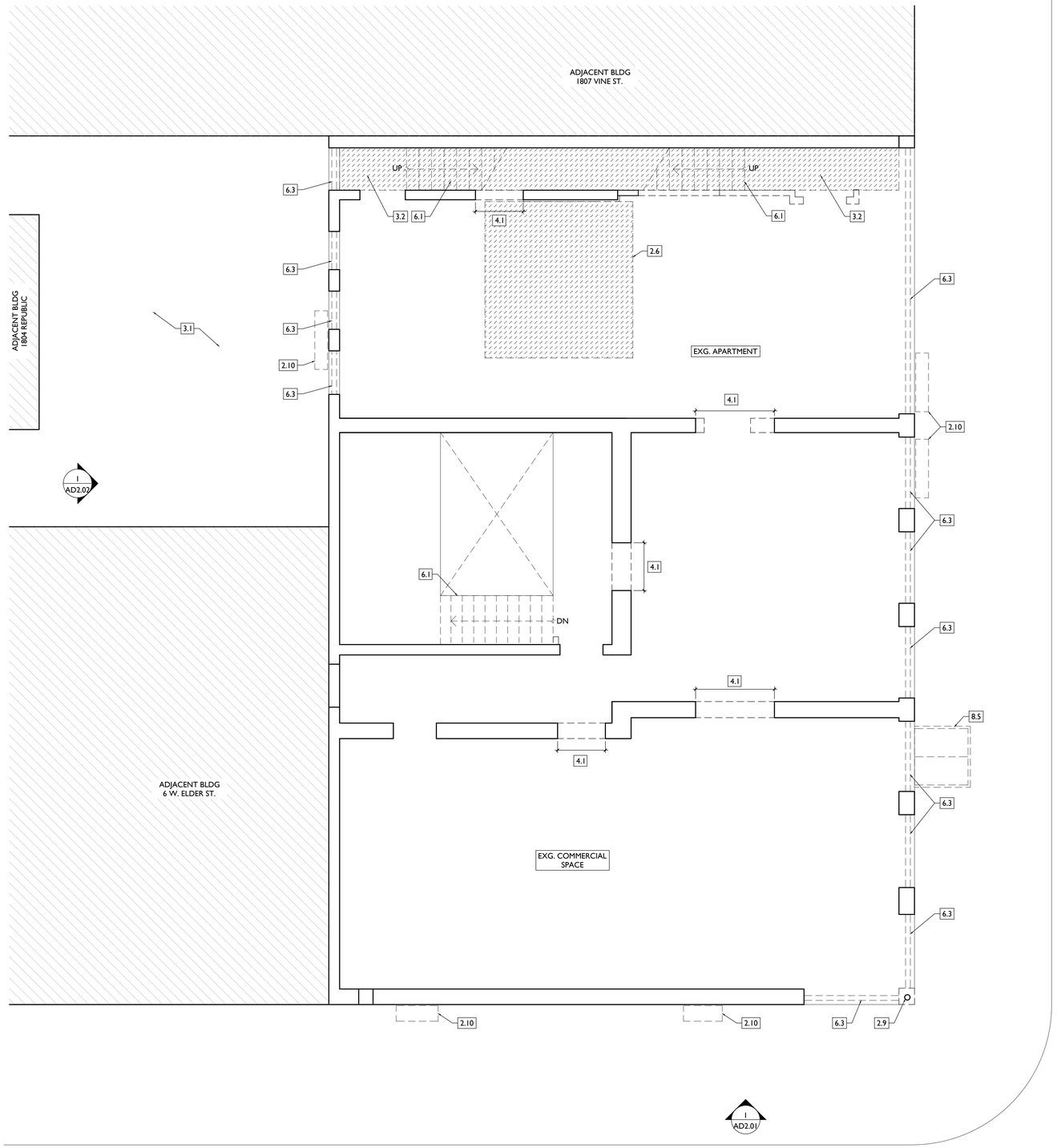
Revisions
2

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
RO, AM

PROPOSED PROJECT:
RENOVATION FOR
1801 - 1805 VINE ST.
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/30/2024

AD1.00



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EXISTING + DEMOLITION PLAN - FIRST FLOOR | 1

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Drawn by:
RO, AM

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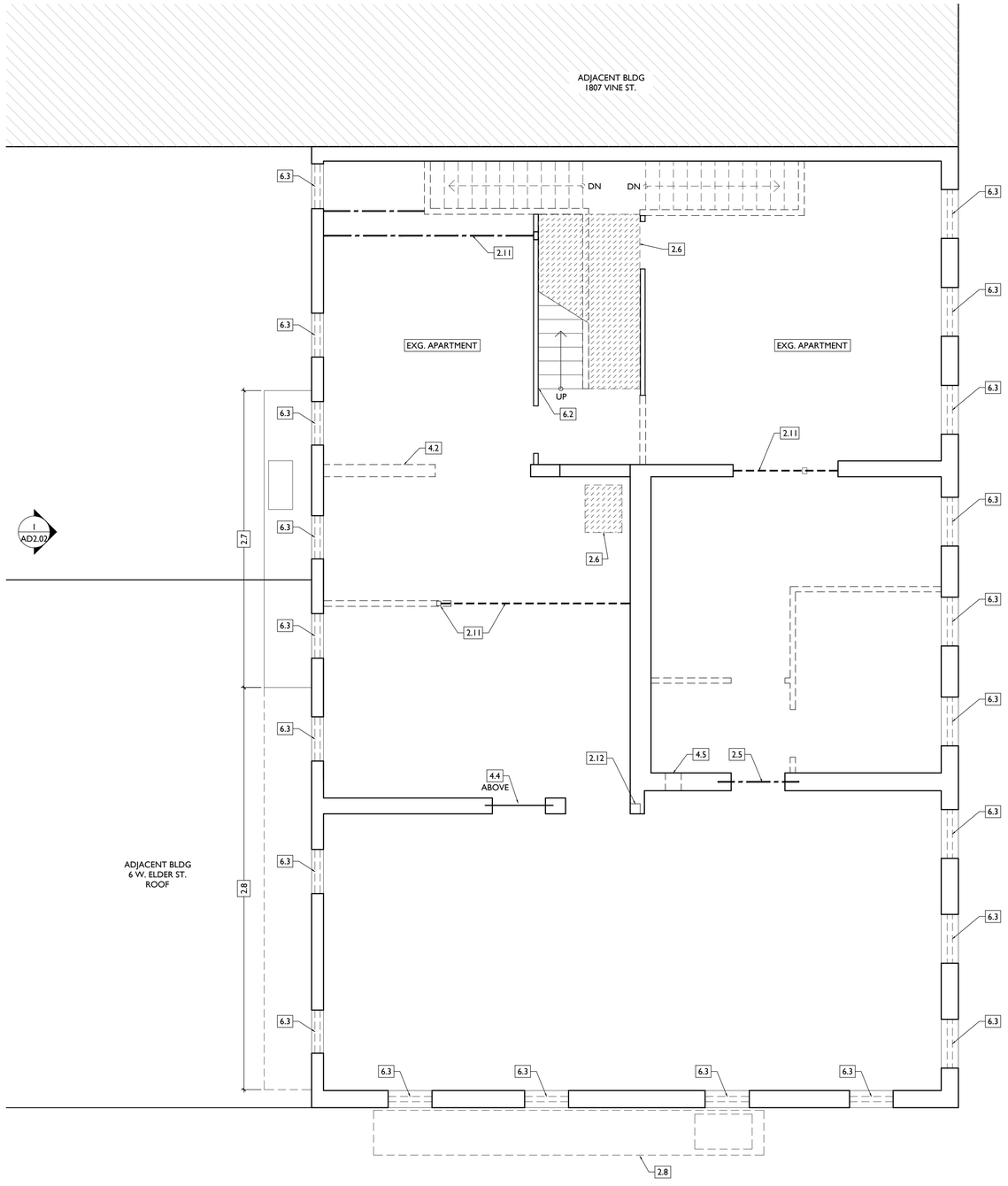
PROPOSED PROJECT:
RENOVATION FOR
1801 - 1805 VINE ST.
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/30/2024

AD1.01



SCALE: 1/4" = 1'-0"

EXISTING + DEMOLITION PLAN - SECOND FLOOR | 1

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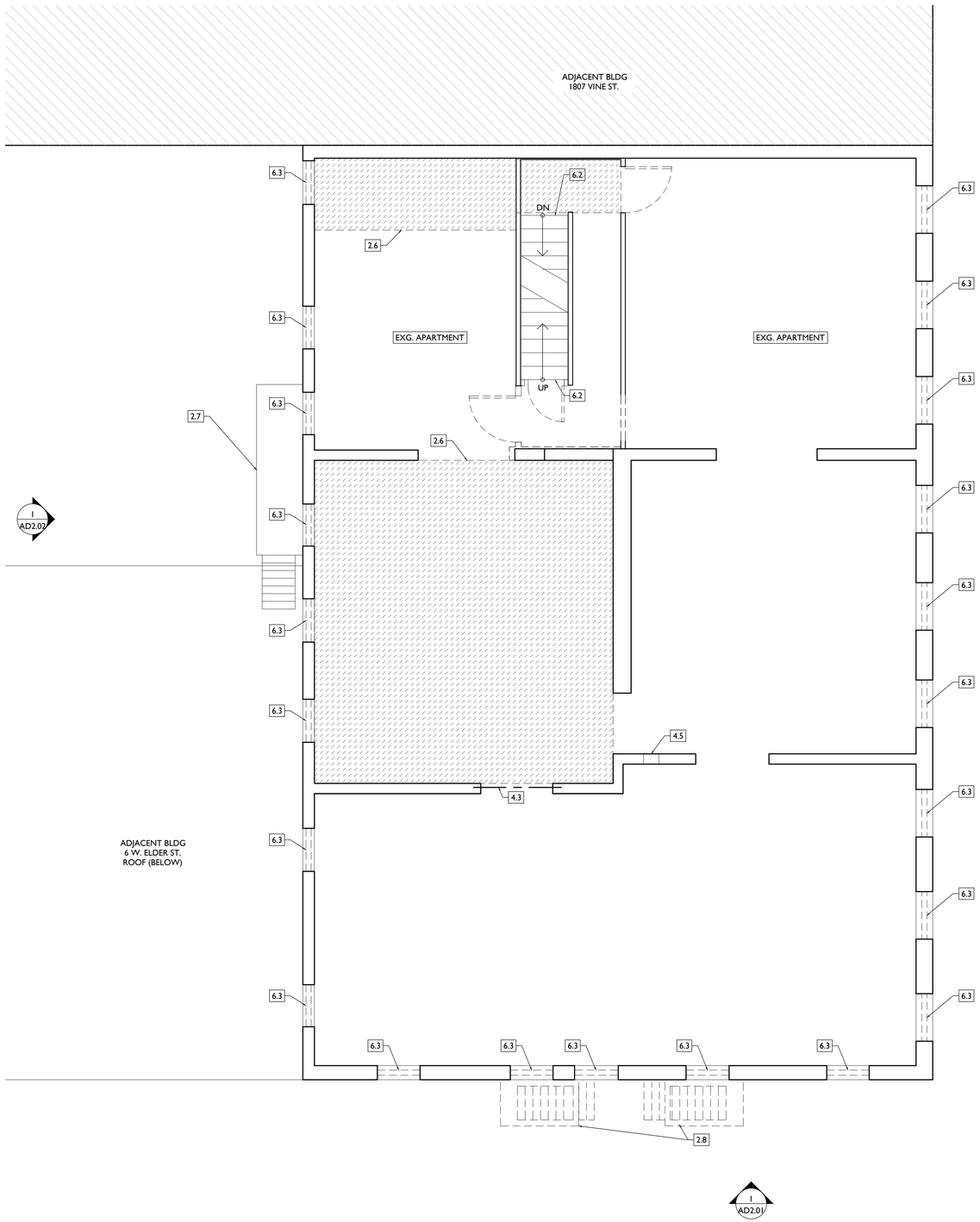
FINDLAY FLATS

Job No: 22042 8/30/2024

AD1.02



SCALE: 1/4" = 1'-0"

EXISTING + DEMOLITION PLAN - THIRD FLOOR | 1

DEMO WORK GRAPHIC KEY:

- KEYNOTE
- EXG EXTERIOR WALL TO REMAIN
- EXG INTERIOR WALL TO REMAIN
- EXG WALL/ELEMENT TO BE REMOVED
- EXG DOOR & FRAME TO BE REMOVED
- EXG WINDOW TO BE REMOVED
- EXG FLOOR OR WALL CONSTRUCTION TO BE REMOVED

DEMO WORK PLANS & ELEVATIONS # KEYED NOTES:

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4.2 REMOVE EXG. MASONRY WALL & PREPARE FOR REBUILD PER STRUCTURAL DRAWINGS. PROVIDE SHORING AS REQUIRED. SEE NEW PLANS AND STRUCTURAL.
4.3 RAISE EXG LINTEL 12" TO ALLOW MECH DUCTWORK TO PASS BELOW AND REMAIN ABOVE LOWERED LOWERED CEILING. SEE NEW PLANS, MECH AND STRUCTURAL.
4.4 CONTRACTOR TO REMOVE MASONRY ABOVE LINTEL AS REQ'D TO ALLOW DUCTWORK TO PASS THROUGH JOIST CAVITIES AND OVER LINTEL. SEE NEW PLANS, MECH AND STRUCTURAL.
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4.6 SAWCUT NEW OPENING IN MASONRY WALL FOR DUCTWORK. SIZE TO BE 4" WIDER AND TALLER THAN SPECIFIED DUCT. PROVIDE NEW STEEL LINTEL. SEE NEW PLANS, MECH & STRUCT DWGS.

5. METALS
5.1 NOT USED.

6. WOOD, PLASTICS, AND COMPOSITES
6.1 REMOVE NON-HISTORIC STAIR & GUARD/HANDRAILS ENTIRELY. PROVIDE SHORING AS REQ'D. SEE STRUCT DWGS.
6.2 WOOD STAIR TO REMAIN IN PLACE.
A. REMOVE NON-HISTORIC BANISTER/GUARDRAIL.
B. REMOVE NON-HISTORIC FINISH ON TREADS.
6.3 DEMO EXISTING TEMPORARY WOOD INFILL. SEE NEW ELEVATIONS.

7. THERMAL AND MOISTURE PROTECTION
7.1 REMOVE NON-HISTORIC GUTTER & DOWNSPOUTS.
7.3 REMOVE ROOF ACCESS HATCH.
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Design Team:
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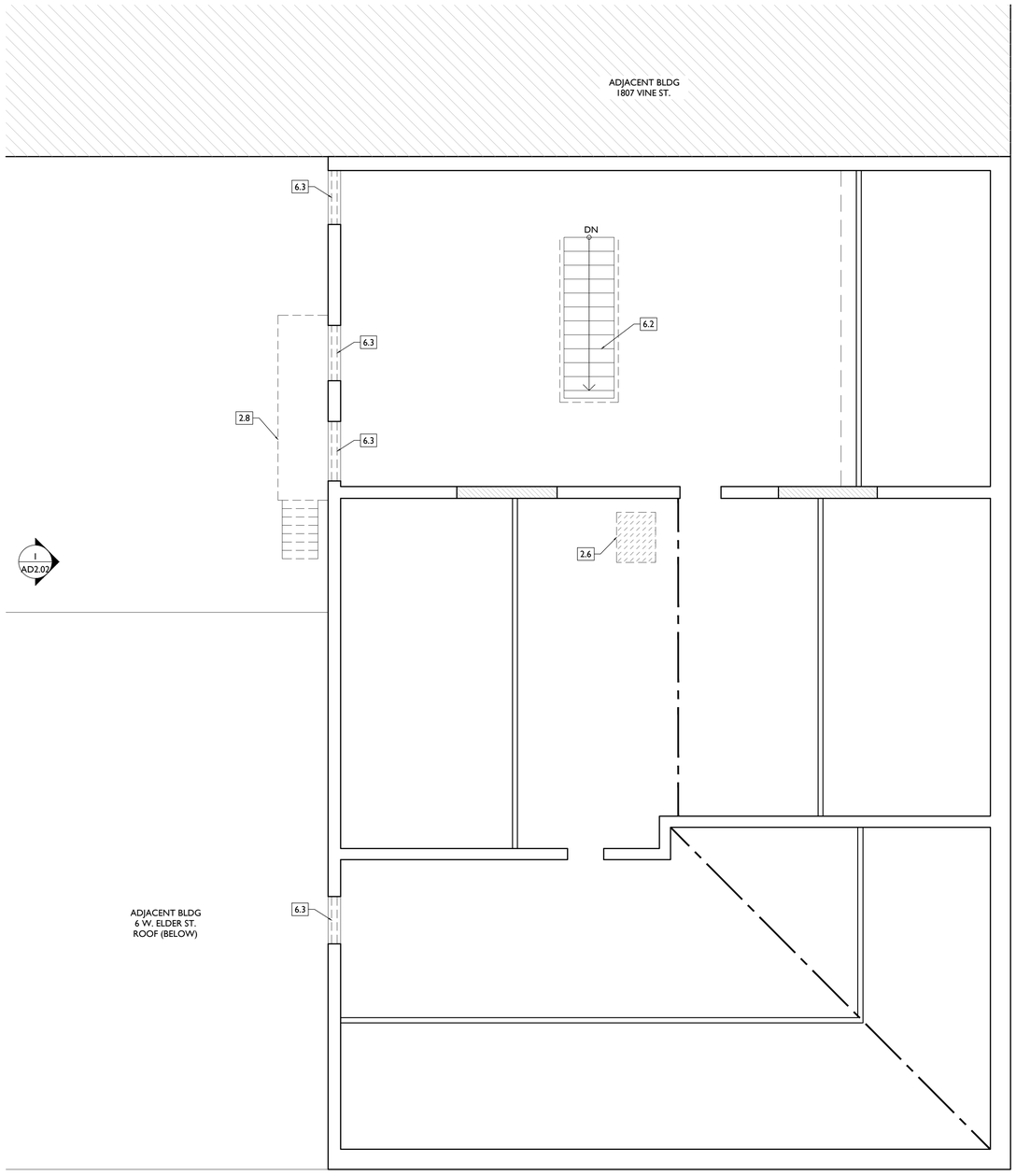
Drawn by:
RO, AM

PROPOSED PROJECT:
RENOVATION FOR
1801 - 1805 VINE ST.
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/30/2024

AD1.03



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EXISTING + DEMOLITION PLAN - ATTIC | 1

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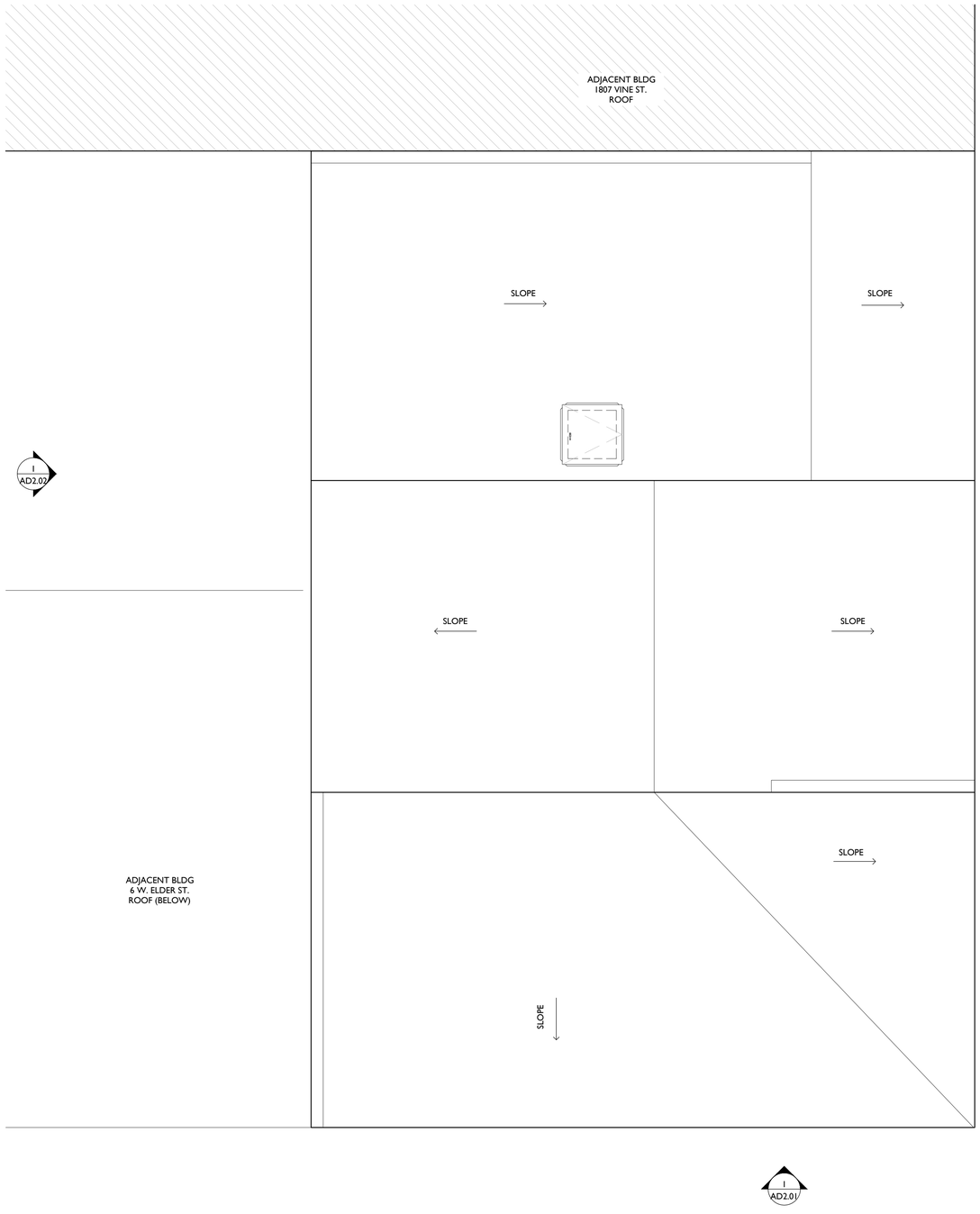

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SCALE: 1/4" = 1'-0"

EXISTING + DEMOLITION PLAN - ROOF | 1

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PROPOSED PROJECT:
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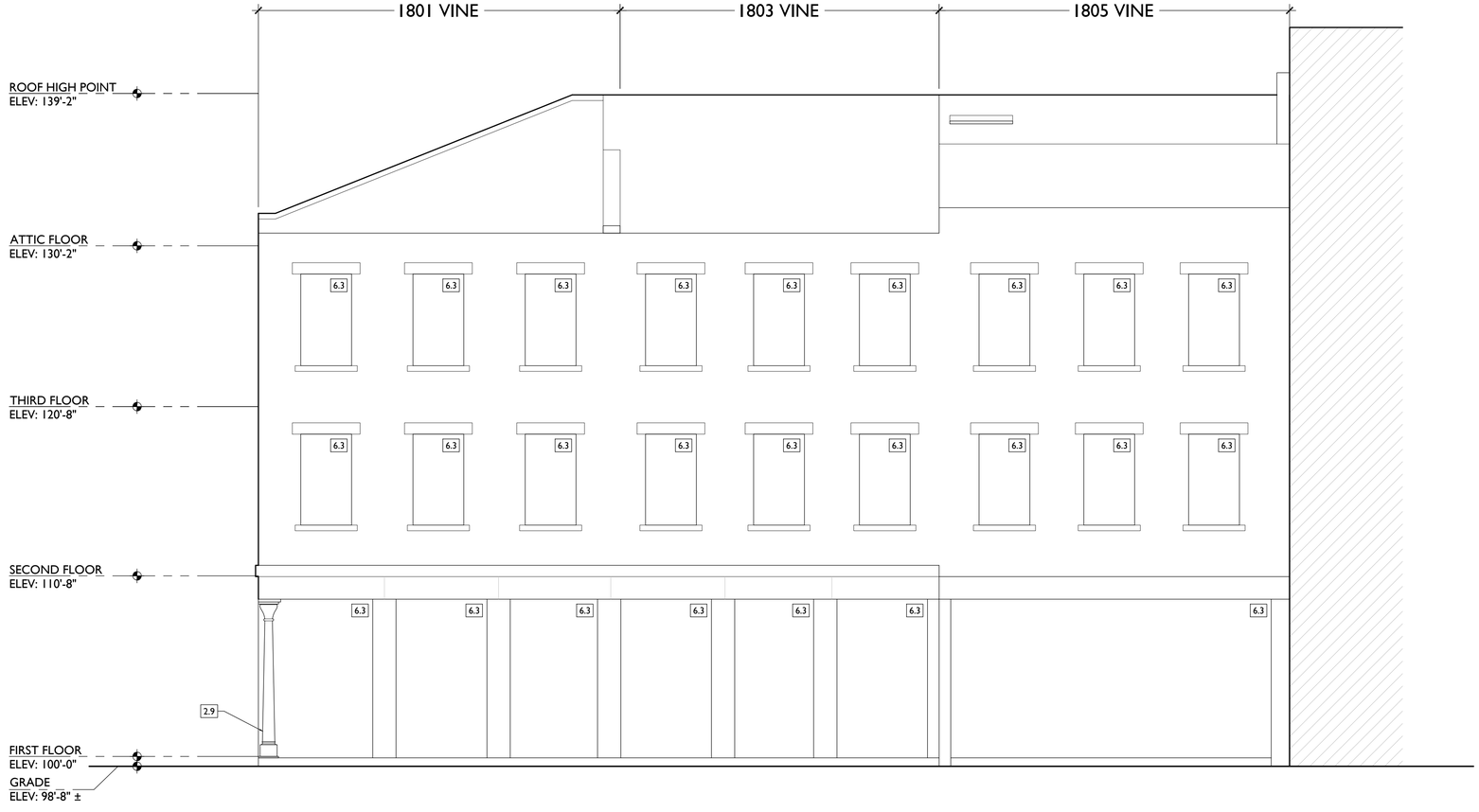
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/30/2024

AD1.05



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EXISTING + DEMOLITION ELEVATION - EAST | 1

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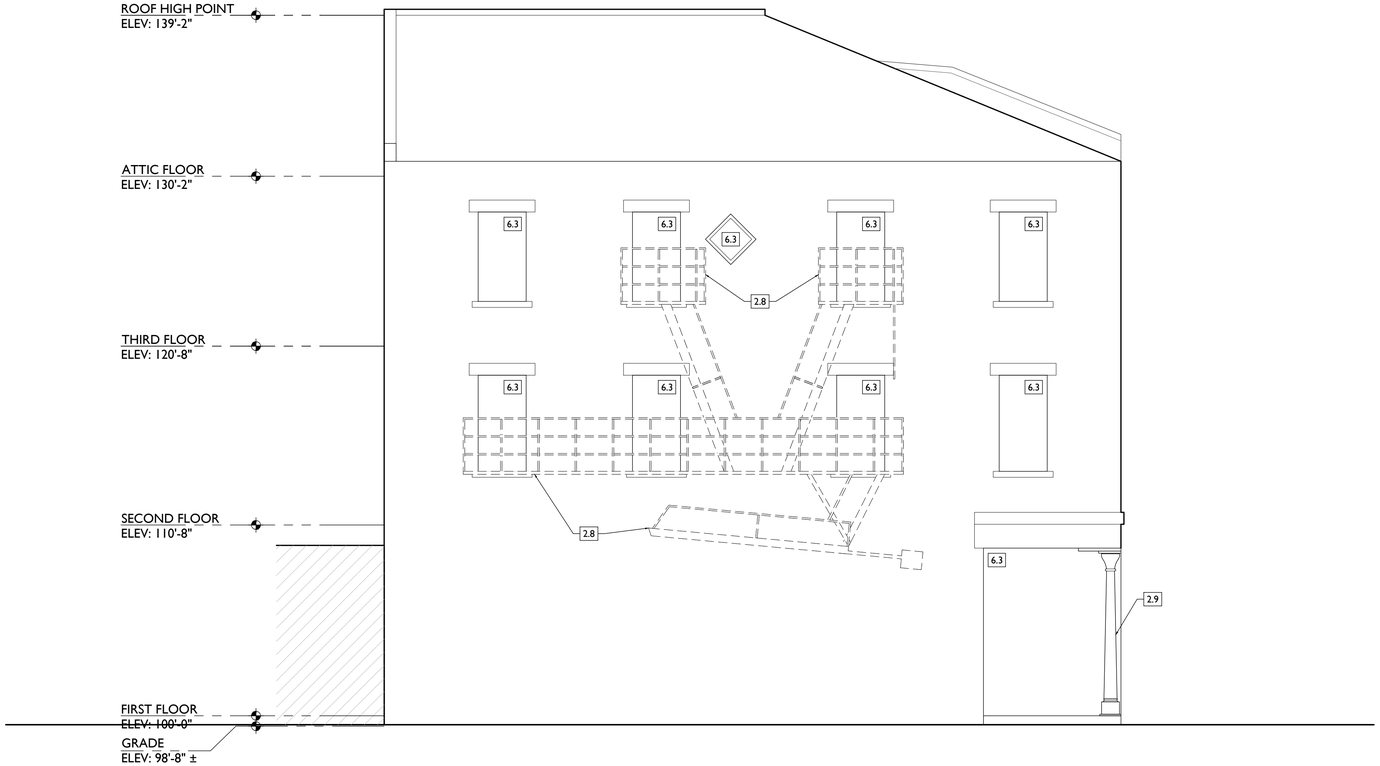

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9.1 HISTORIC PLASTER AT MASONRY WALL TO REMAIN, IF POSSIBLE.

9.5 REMOVE NON-HISTORIC FLOORING DOWN TO WOOD SUBFLOOR.

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Progress Dates
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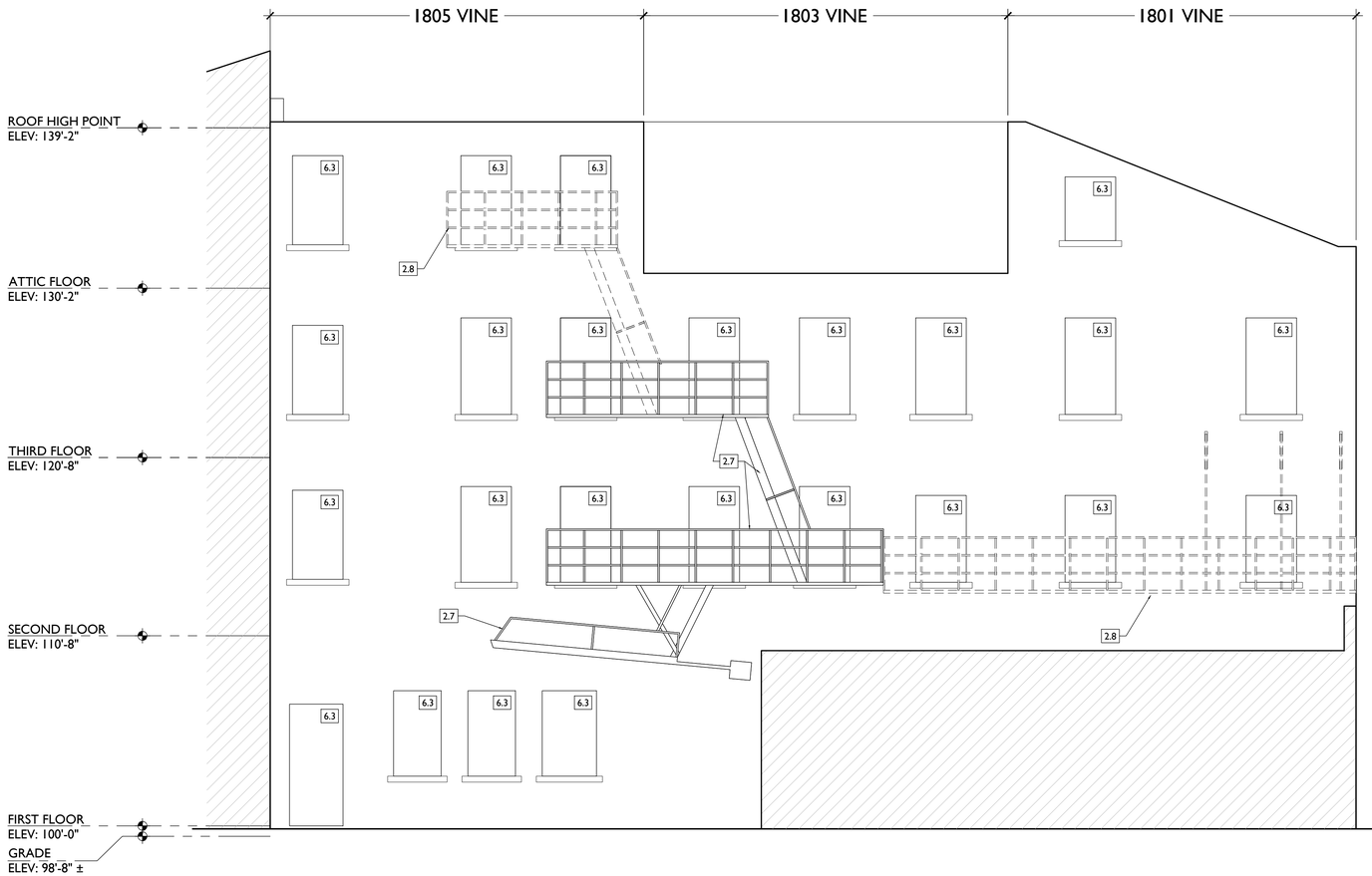
Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
RO, AM

PROPOSED PROJECT:
RENOVATION FOR
1801 - 1805 VINE ST.
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/30/2024

AD2.01



SCALE: 1/4" = 1'-0"

EXISTING + DEMOLITION ELEVATION - WEST | 1

DEMO WORK GRAPHIC KEY:

- KEYNOTE
- EXG EXTERIOR WALL TO REMAIN
- EXG INTERIOR WALL TO REMAIN
- EXG WALL/ELEMENT TO BE REMOVED
- EXG DOOR & FRAME TO BE REMOVED
- EXG WINDOW TO BE REMOVED
- EXG FLOOR OR WALL CONSTRUCTION TO BE REMOVED

DEMO WORK PLANS & ELEVATIONS [#] KEYED NOTES:

1. GENERAL

2. EXG CONDITIONS
2.1 REMOVE NON-HISTORIC ENTRY GATE.
2.2 EXCAVATE AREA FOR NEW FOOTING BELOW SHAFT STAIR WALLS. FOUNDATION. SEE NEW WORK PLANS.
2.3 TEMPORARY SHORING WALL TO BE REMOVED - SEE STRUCT DWGS.
2.4 EXG BEAM ABOVE TO REMAIN - SEE STRUCT DWGS.
2.5 EXG BEAM/LINTEL ABOVE TO BE REMOVED - SEE NEW PLANS & STRUCTURAL DWGS. PROVIDE SHORING AS REQUIRED
2.6 REMOVE FRAMING & SHEATHING/DECKING. SEE STRUCT DWGS & NEW WORK PLANS.
2.7 FIRE ESCAPE TO REMAIN
2.8 FIRE ESCAPE TO BE REMOVED
2.9 EXG. CAST IRON COLUMN TO REMAIN
2.10 CHUTE TO BASEMENT TO BE INFILLED. SEE NEW WORK PLANS.
2.11 EXG. POST/BEAM/WALL TO BE REMOVED AFTER FLOOR FRAMING ABOVE HAS BEEN REINFORCED PER STRUCTURAL DRAWINGS. SEE STRUCTURAL.
2.12 EXG. TIMBER POST TO REMAIN.
2.13 EXG. VENTS/GAPS AT T.O. WALL. PREP FOR INFILL. SEE STRUCT DWGS & NEW WORK PLANS.
2.14 EXG SHORING STRUCTURE TO BE MOVED. SEE STRUCT DWGS.

3. CONCRETE
3.1 CONCRETE SLAB TO BE RETAINED.
3.2 DEMO EXG CONCRETE SLAB. EXG FLOOR FRAMING TO REMAIN.

4. MASONRY
4.1 NEW OR EXPANDED OPENING IN EXG MASONRY WALL. CAREFULLY REMOVE MASONRY FOR REUSE. PROVIDE NEW STEEL LINTEL. SEE NEW PLANS & STRUCT DWGS.
4.2 REMOVE EXG. MASONRY WALL & PREPARE FOR REBUILD PER STRUCTURAL DRAWINGS. PROVIDE SHORING AS REQUIRED. SEE NEW PLANS AND STRUCTURAL.
4.3 RAISE EXG LINTEL 12" TO ALLOW MECH DUCTWORK TO PASS BELOW AND REMAIN ABOVE LOWERED LOWERED CEILING. SEE NEW PLANS, MECH AND STRUCTURAL.
4.4 CONTRACTOR TO REMOVE MASONRY ABOVE LINTEL AS REQ'D TO ALLOW DUCTWORK TO PASS THROUGH JOIST CAVITIES AND OVER LINTEL. SEE NEW PLANS, MECH AND STRUCTURAL.
4.5 SAWCUT NEW 12" WIDE BY 16" TALL OPENING FOR DUCTWORK AND PLUMBING LINES. HEAD HEIGHT TO BE AS CLOSE TO B.O. OF JOISTS AS POSSIBLE. PROVIDE NEW STEEL LINTEL. SEE NEW PLANS & STRUCT DWGS.
4.6 SAWCUT NEW OPENING IN MASONRY WALL FOR DUCTWORK. SIZE TO BE 4" WIDER AND TALLER THAN SPECIFIED DUCT. PROVIDE NEW STEEL LINTEL. SEE NEW PLANS, MECH & STRUCT DWGS.

5. METALS
5.1 NOT USED.

6. WOOD, PLASTICS, AND COMPOSITES
6.1 REMOVE NON-HISTORIC STAIR & GUARD/HANDRAILS ENTIRELY. PROVIDE SHORING AS REQ'D. SEE STRUCT DWGS.
6.2 WOOD STAIR TO REMAIN IN PLACE.
A. REMOVE NON-HISTORIC BANISTER/GUARDRAIL.
B. REMOVE NON-HISTORIC FINISH ON TREADS.
6.3 DEMO EXISTING TEMPORARY WOOD INFILL. SEE NEW ELEVATIONS.

7. THERMAL AND MOISTURE PROTECTION
7.1 REMOVE NON-HISTORIC GUTTER & DOWNSPOUTS.
7.3 REMOVE ROOF ACCESS HATCH.
7.4 REMOVE EXG MEMBRANE ROOF & SHINGLES. CONTRACTOR TO INSPECT EXG ROOF DECKING AND REPAIR AS NEEDED.

8. OPENINGS
8.1 PREP WINDOW OPENING FOR INFILL, SEE NEW PLANS AND ELEVATIONS
8.2 REMOVE NON-HISTORIC MASONRY/STOREFRONT INFILL SPANNING B/W MASONRY DEMISING WALLS, WHILE PRESERVING ALL HISTORIC CAST IRON OR STONE FASCIA, SILL, PILASTERS, AND OTHER HISTORIC MATERIAL.
8.3 NON-HISTORIC DOOR & FRAME TO BE REMOVED.
8.4 REMOVE NON-HISTORIC WINDOW & NON-HISTORIC FRAME ENTIRELY, BACK TO MASONRY OPENING.
8.5 EXG METAL HATCH TO BE REMOVED. OPENING TO BASEMENT TO BE INFILLED. SEE NEW WORK PLANS.

9. FINISHES
9.1 HISTORIC PLASTER AT MASONRY WALL TO REMAIN, IF POSSIBLE.
9.5 REMOVE NON-HISTORIC FLOORING DOWN TO WOOD SUBFLOOR.

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GENERAL NOTES:

1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND INFORMATION IN THESE DRAWINGS.

2. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, INCLUDING SITE CONDITIONS. ALL ERRORS, OMISSIONS, AND INCONSISTENCIES
ARE TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. FAILURE TO DO SO WILL RELEASE THE ARCHITECT OF ALL RESPONSIBILITY. ANY CHANGES FROM THESE DOCUMENTS ARE THE RESPONSIBILITY OF THE CONTRACTOR. THESE DRAWINGS ARE NOT TO BE SCALED. IF INSUFFICIENT INFORMATION EXISTS, CONTACT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK. EACH CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS AS MAY EFFECT HIS OWN WORK, DESIGN/BUILD OR OTHERWISE.

3. BEST MANAGEMENT PRACTICES SHALL BE USED BY THE CONTRACTOR DURING DEMOLITION TO PREVENT RELEASE OF LEAD-CONTAMINATED DUST SHALL BE EMITTED FROM DEMOLITION ACTIVITIES. ALL PAINT CHIPS AND OTHER DEBRIS OR RESIDUE SHALL BE REMOVED FROM THE PROJECT SITE AT THE COMPLETION OF DEMOLITION. STORAGE AND TRANSPORT OF MATERIALS KNOWN OR ASSUMED TO CONTAIN LEAD BASED PAINT SHALL BE COVERED TO PREVENT ACCESS TO OR RELEASE OF LEAD-CONTAMINATED DUST OR DEBRIS.

4. IT SHALL BE THE RESPONSIBILITY OF THE BUILDING OWNER TO SUPERVISE CONSTRUCTION AND INSURE THAT THESE DRAWINGS ARE COMPLIED WITH IN THE EVENT THAT THIS ARCHITECT IS NOT RETAINED FOR SUCH SERVICES.

5. ALL WORK SHALL COMPLY WITH STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS , INCLUDING THE AMERICANS WITH DISABILITIES ACT, HAVING AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK, AND SHALL BE DONE TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY EACH RESPECTIVE TRADE.

6. GUARANTEES SHALL BE REQUIRED OF ALL BRANCHES OF THE WORK. CONTRACTORS TO REMEDY ANY DEFECTS IN THEIR WORK AND PAY FOR ANY RESULTANT DAMAGES TO OTHER WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.

7. CONTRACTOR SHALL SUPERVISE THE WORK DURING PROGRESS AND SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION SAFETY; COMPLIANCE TO BE IN ACCORDANCE WITH ALL STATE, FEDERAL AND O.S.H.A. REGULATIONS.

8. CONTRACTOR AND ALL SUB-CONTRACTORS SHALL MAINTAIN THE JOB CLEAR OF TRASH AND DEBRIS. ALL WASTE MATERIAL, TOOLS,
CONSTRUCTION EQUIPMENT AND SURPLUS MATERIAL SHALL BE REMOVED FROM THE SITE PRIOR TO SUBSTANTIAL COMPLETION AND FINAL ACCEPTANCE.

9. CONTRACTOR SHALL PRESENT THE PROJECT TO THE OWNER FOR ACCEPTANCE, CLEAN AND READY FOR USE. ALL GLASS TO BE CLEANED, FLOORS SWEPT BROOM CLEAN, FIXTURES WASHED AND LABELS REMOVED FROM ALL ITEMS.

10. ANY CONTRACTOR OF SUBCONTRACTOR WHO PERFORMS ANY WORK KNOWING IT TO BE CONTRARY TO APPLICABLE LAWS, ORDINANCES OR REGULATION, AND WITHOUT WRITTEN NOTICE TO THE ARCHITECT SHALL ASSUME FULL RESPONSIBILITY AND SHALL BEAR ALL ATTRIBUTABLE COSTS.

11. IN THE EVENT OF ANY CONFLICT BETWEEN ARCHITECTURAL DRAWINGS OR SPECIFICATIONS AND STRUCTURAL DRAWINGS OR SPECIFICATIONS, STRUCTURAL SHALL GOVERN.

12. PROJECT IS TO RECEIVE HISTORIC TAX CREDITS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE WELL VERSED IN THE APPROVED PART 2 AND SUBSEQUENT AMENDMENTS, AND TO INFORM SUBCONTRACTORS OF ANY CHANGES /APPROVALS DURING THE BIDDING AND THE CONSTRUCTION PHASES.

GENERAL NOTES: ALL TRADES

1. FURNISH ALL LABOR, MATERIAL AND APPURTENANCES NECESSARY FOR A COMPLETE AND OPERATIONAL SYSTEM AS SHOWN OR REQUIRED.

2. ALL WORK SHALL CONFORM TO APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. EACH CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, TESTS AND INSPECTIONS FOR HIS OWN WORK AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.

3. PERFORM ALL TESTS, ADJUSTMENTS, ETC. AS REQUIRED BY EQUIPMENT MANUFACTURER OR AUTHORITIES HAVING JURISDICTION.

4. CONTRACTORS SHALL VISIT SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS AS MAY EFFECT HIS OWN WORK. EACH CONTRACTOR SHALL COORDINATE HIS OWN WORK WITH THAT OF OTHER TRADES.
5. EACH CONTRACTOR SHALL FURNISH ALL CUTTING AND PATCHING REQUIRED FOR HIS OWN WORK. NO CUTTING SHALL BE PERFORMED WITHOUT PRIOR APPROVAL OF GENERAL CONTRACTOR.

6. WORKMANSHIP SHALL REPRESENT THE HIGHEST STANDARD OF THE INDUSTRY. GUARANTEE ALL MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE.

GENERAL CONDITIONS

CONTRACT DOCUMENTS: INCLUDE THESE GENERAL CONDITIONS FOR CONSTRUCTION, DRAWINGS, SCHEDULES, AND SPECIFICATIONS PREPARED BY THE ARCHITECT AND CONTAINED HEREIN, AND ALL WRITTEN ADDENDA OR OTHER MODIFICATIONS ISSUED SUBSEQUENTLY BY THE ARCHITECT. THE CONTRACT DOCUMENTS SHALL NOT BE CONSTRUED TO CREATE ANY CONTRACTUAL RELATIONSHIP OF ANY KIND BETWEEN THE ARCHITECT AND THE CONTRACTOR.

CONTRACT MODIFICATIONS: THESE CONTRACT DOCUMENTS SHALL NOT BE FURTHER MODIFIED BY ANY TERMS OR CONDITIONS OTHER THAN THOSE LISTED HEREIN OR IN THE SPECIFICATIONS, OR IN ANY WRITTEN AGREEMENTS EXECUTED BY THE OWNER, CONTRACTOR AND SUBCONTRACTORS.

NOTES WRITTEN IN THE IMPERATIVE MOOD REFER TO ACTION TO BE PERFORMED BY THE CONTRACTOR. THE WORDS "THE CONTRACTOR SHALL" ARE ALWAYS IMPLIED, IF NOT STATED, UNLESS OTHERWISE NOTED. THE TERM "CONTRACTOR" SHALL ALSO APPLY TO ALL SUBCONTRACTORS OF THE CONTRACTOR.

THE CURRENT EDITION OF AIA DOCUMENT A101 SHALL BE THE FORM OF AGREEMENT TO BE SIGNED BY THE OWNER AND GENERAL CONTRACTOR, UNLESS THE OWNER AND CONTRACTOR MUTUALLY AGREE OTHERWISE. GENERAL CONDITIONS CONTAINED IN AIA DOCUMENT A201 SHALL APPLY.

BEST MANAGEMENT PRACTICES SHALL BE EMPLOYED TO CONTROL EROSION DURING CONSTRUCTION AND UNTIL FINAL COVER IS ESTABLISHED.

THE CONTRACTOR SHALL BE NOTIFIED, BOTH VERBALLY AND THROUGH NOTATIONS ON THE FINAL CONST. DWG, THAT WORK SHALL BE HALTED AT A LOT IF INDICATORS OF CONTAMINATION (FILL OTHER THAN "CLEAN FILL", DISCOLORED SOILS OR CHEMICAL/ PETROLEUM ODORS) ARE IDENTIFIED DURING CONST. TO ALLOW FOR A QUALIFIED ENVIRONMENTAL PROFESSIONAL TO INSPECT THE LOT AND MAKE RECOMMENDATIONS REGARDING APPROPRIATE ACTIONS.

ANY WATER WELLS OR SEPTIC SYSTEMS IDENTIFIED DURING SITE DEVELOPMENT SHALL BE ABANDONED AS REQUIRED BY OAC 3745-9-10 OR 3701-29-21, AS APPLICABLE, AND AFTER CONSULTATION W/ THE LOCAL HEALTH DEPARTMENT.

DEFINITIONS:

"CONTRACTOR": THE PERSON OR ENTITY CONSTRUCTING THE DESIGNATED WORK.

"OWNER": THE PERSON OR ENTITY THAT OWNS THE BUILDING BEING RENOVATED. THE TERM "OWNER" INCLUDES HIS DESIGNATED AND AUTHORIZED AGENTS AND REPRESENTATIVES.

"WORK": THE TERM "WORK" MEANS OBLIGATIONS UNDERTAKEN BY THE CONTRACTOR PURSUANT TO THE CONTRACT DOCUMENTS. WORK INCLUDES THE FURNISHING OF ALL MATERIAL, LABOR, EQUIPMENT, SUPPLIES, TOOLS, SCAFFOLDING, SUPERVISION, TRANSPORTATION, INSURANCE, TAXES AND ALL OTHER SERVICES, INCIDENTALS AND EXPENSES NECESSARY FOR THE FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

"PROJECT": THE PROJECT IS THE TOTAL CONSTRUCTION OF WHICH THE WORK PERFORMED UNDER THE CONTRACT DOCUMENTS MAY BE THE WHOLE OR A PART.

"CONTRACT DOCUMENTS": THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS REQUIRED FOR COMPLETION OF THE WORK, INCLUDING DRAWINGS AND SPECIFICATIONS. ALTHOUGH THE CONTRACT DOCUMENTS HAVE BEEN PREPARED WITH DUE CARE AND DILIGENCE, PERFECTION CANNOT BE GUARANTEED. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF THE VARIOUS PARTS OF THE WORK SO THAT NO PART SHALL BE IN AN UNFINISHED OR INCOMPLETE CONDITION.

DRAWINGS PREPARED BY OTHERS:

ARCHITECTURAL, CIVIL, STRUCTURAL, MECHANICAL AND ELECTRICAL DWGS SHALL BE WORKED TOGETHER, INCLUDING THE LOCATION OF DEPRESSED SLABS, SLOPES, DRAINS, REGLETS, BOLT SETTINGS, ETC. ANY DISCREPANCY SHALL BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

SHOP DWGS PREPARED BY OTHER CONTRACTORS MAY BE REQUIRED TO SUPPLEMENT THE CONTRACT DOCUMENTS. SUCH DWGS ARE FURNISHED FOR THE CONTRACTOR'S INFORMATION AND COORDINATION ONLY.

GENERAL NOTES: PROPOSED WORK

A. THIS IS A HISTORIC TAX CREDIT PROJECT. WORK MUST COMPLY W/ APPROVED PART 2, INCLUDING AMENDMENTS.
B. NO HISTORIC ELEMENTS SHALL BE REMOVED/MODIFIED UNLESS SPECIFICALLY INDICATED IN ARCH PLANS.
C. REPAIR OR REPLACE EXG DAMAGED OR DETERIORATED FLOOR FRAMING &/OR WOOD SUBFLOOR - PER STRUCT DWGS.
D. HISTORIC TRIM TO BE RETAINED, U.N.O. SEE DEMO & PROPOSED PLANS.
E. RETAIN ANY REMAINING HISTORIC WOOD WINDOW SASH, FRAMES, BRICKMOLD & SHUTTER HARDWARE, U.N.O. SEE DEMO & EXTERIOR ELEVATIONS.
F. REPAIR MATERIALS THAT ARE DETERIORATED OR HAVE MOISTURE/FIRE DAMAGE AS REQ. IF DAMAGE IS SEVERE AND HISTORIC ELEMENTS ARE NON-SALVAGEABLE, COORDINATE REPLACEMENT ELEMENTS WITH ARCHITECT.
G. SEE CODE SHEETS FOR ROOF/FLOOR/CEILING ASSEMBLY LOCATIONS & PARTITION SCHEDULE FOR TYPES.
H. PENETRATIONS OF RATED ASSEMBLIES TO BE PROTECTED PER SECTION 713.3 & 713.4 OBC. COORD W/ MEP DWGS.
I. PROVIDE FIRE BLOCKING PER 717.2 OBC.
J. PROVIDE DRAFTSTOPPING IN FLOORS, CLGS/ROOFS & ATTICS PER OBC.
K. PROVIDE BLOCKING FOR SHELVING, CABINETS AND BATHROOM ACCESSORIES AND GRAB BARS. SEE PLANS AND INTERIOR ELEVATIONS.
L. USE PRESSURE TREATED WOOD IN THE FOLLOWING LOCATIONS:
   - EXTERIOR APPLICATIONS.
   - IN BASEMENTS.
   - WOOD IN CONTACT WITH MASONRY, STONE, OR CONCRETE.
   - AT ANY NEW FRAMING IN CONTACT W/ MASONRY OR FOUNDATION WALL, PROVIDE SEPARATION/ JOIST & BEAM END WRAPS.
M. EXTERIOR TRIM, SOFFITS, CORNICE AND STOREFRONT ELEMENTS TO BE REPAIRED/RETAINED/REPLACED AND PAINTED AS NOTED IN DRAWINGS. EXG. UN-PAINTED BRICK AND STONE TO REMAIN UNPAINTED. SEE EXTERIOR ELEVATIONS FOR SCOPE OF WORK. COORD COLORS DIRECTLY W/ ARCHITECT.
AF. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR LOCATION AND CONNECTIONS OF ALL MEP EQUIPMENT.
AG. PROVIDE SLEEVES THROUGH EXG. BRICK WALL IN ATTIC AS REQUIRED FOR HVAC LINE-SET INSTALLATION.
AH. ADDITIONAL OPENINGS IN EXTERIOR WALLS WILL BE REQUIRED FOR VARIOUS MEP DUCTS/PIPES/ETC, AND ARE NOT SHOWN ON ARCH & STRUCT PLANS. COORD W/ MEP PLANS. CONTACT ARCHITECT FOR PLACEMENT.
AI. PROVIDE FIRE EXTINGUISHERS PER CODE SUMMARY & NFPA REQS. COORD W/ FIRE MARSHALL.
AJ. FASTENERS INTO EXISTING HISTORIC MASONRY WALLS ARE TO BE FASTENED INTO MORTAR JOINTS.
AK. EXTERIOR STEEL TO BE DUPLEX-FINISH (GALVANIZED, WITH HIGH-PERFORMANCE COMPATIBLE EPOXY PAINT).
AL. REPAIR & RESEAL AROUND EXG. CHIMNEYS, TYP. AS REQ. PROVIDE NEW ALUM CAP, TYP.
AM. EXTERIOR WOOD TO BE PRESSURE TREATED.
AN. WHERE INFILLING EXISTING OPENINGS IN, OR EXTENDING THE LENGTH OF AN EXISTING WOOD FRAMED PARTITION, FINISH FACES OF THE NEW CONSTRUCTION ARE TO ALIGN WITH ADJACENT EXISTING FINISH FACES ON BOTH SIDES.
AO. SHEET METAL WORK TO COMPLY WITH SMACNA ARCHITECTURAL SHEET METAL MANUAL.
AP. FLASH AND SEAL NEW ROOF PENETRATIONS THROUGH EXISTING ROOF. EMPLOY INSTALLERS ACCEPTABLE TO EXISTING ROOF MANUFACTURER AND COMPLY WITH EXISTING ROOF MANUFACTURER REQUIREMENTS TO MAINTAIN EXISTING ROOF WARRANTY.
AQ. BASEMENTS TO BE TESTED FOR RADON EXPOSURE. PROVIDE VAPOR MITIGATION SYSTEM BELOW BASEMENT SLAB AS REQUIRED. CONNECT TO VERTICAL VENTS INDICATED IN FLOOR PLANS.
AR. MASONRY WORK: REFER TO PART 2 SHPO NARRATIVES AND STRUCTURAL DRAWINGS FOR FULL EXTENT AND SCOPE FOR MASONRY CLEANING, TUCK-POINTING, REPAIR, REPLACEMENT, AND PAINTING.
AS. MASONRY CLEANING: CONTRACTOR SHALL PERFORM MASONRY CLEANING WORK IN ACCORDANCE WITH PRESERVATION BRIEF 6 - "DANGERS OF ABRASIVE CLEANING TO HISTORIC BUILDINGS." CONTRACTOR SHALL CLEAN EXISTING MASONRY THROUGHOUT USING THE GENTLEST MEANS POSSIBLE AND SHALL START EACH NEW METHOD OF CLEANING (E.G. BY BRUSH, WITH DETERGENT, WITH WATER PRESSURE, ETC.) IN DISCRETE AREA OF EACH WALL. CONTRACTOR SHALL BEGIN BY CLEANING WITH WATER AND NATURAL BRISTLE BRUSHES. CONTRACTOR SHALL THEN CLEAN ANY AREAS THAT REQUIRE FURTHER CLEANING USING NON-ABRASIVE, NON-ACIDIC DETERGENTS WITH NATURAL BRISTLE BRUSHES. CONTRACTOR SHALL THEN CLEAN ANY AREAS THAT REQUIRE FURTHER CLEANING USING NON-ABRASIVE, NON-ACIDIC DETERMENTS WITH LOW PRESSURE WATER (STARTING AT 20 PSI AT TIP). UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE PRESSURE WASHING WITH GREATER THAN 40 PSI AT TIP. CLEANING SHALL BE PERFORMED EVENLY THROUGHOUT THE ENTIRETY OF EACH WALL. WALLS WHERE STUCCO / PARGING IS TO REMAIN SHALL NOT BE CLEANED WITH PRESSURE WASHING. REMOVE EXISTING LOOSE STUCCO / PARGING BY HAND WITH BRUSHES. PRESERVATION BRIEF 6 - "DANGERS OF ABRASIVE CLEANING TO HISTORIC BUILDINGS: HTTPS://WWW.NPS.GOV/TPS/HOW-TO-PRESERVE/BRIEFS/6-DANGERS-ABRASIVE-CLEANING.HTM
AT. PARGING: CONTRACTOR TO TEST AND ASSESS THE INTEGRITY OF EXISTING STUCCO / PARGING ON EXISTING MASONRY WALLS. ANY STUCCO / PARGING TO REMAIN MUST BE SECURELY HELD TO EXISTING MASONRY WALL. ANY STUCCO / PARGING THAT IS NOT SECURELY HELD TO MASONRY WALL SHALL BE REMOVED THROUGH GENTLEST MEANS POSSIBLE (SEE MASONRY CLEANING ABOVE). NEW STUCCO / PARGING SHALL BE INSTALLED WHERE EXISTING STUCCO / PARGING HAS BEEN REMOVED, AND AS INDICATED ON THE DRAWINGS, INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S HIGHEST RECOMMENDATIONS USING ALL ASSOCIATED COMPONENTS FOR FLASHING, PENETRATIONS, ETC. STUCCO / PARGING SHALL BE INSTALLED ON MASONRY JAMB SURFACES OF NEW DOOR AND WINDOWS OPENINGS UP TO THE WINDOW / DOOR UNIT. NEW STUCCO/ PARGING SHALL MATCH EXISTING IN TEXTURE AND COLOR. NEW STUCCO / PARGING SHALL BE A THREE-COAT SYSTEM (SCRATCH COAT, BROWN COAT AND FINISH COAT) WITH A GLASS FIBER REINFORCED LATH. BASIS-OF-DESIGN IS "SENERGY" BRAND, "SENERGY SENTRY STUCCO WALL SYSTEM PERMALATH 1000" WITH PRE-MIXED "SENTRY STUCCO BASE" AND "SENERLASTIC" FINISH COAT WITH TEXTURE TO MATCH EXISTING. CONTROL JOINTS TO BE ALIGNED WITH OPENINGS.
AU. GYPSUM BOARD: SEE PARTITION SCHEDULE. MOLD & MOISTURE RESISTANT GYPSUM BOARD IN ALL WET AREAS - RESTROOMS, KITCHENS, LAUNDRY, BASEMENTS.
AV. PROVIDE UNIT ENTRY SIGNAGE PER FINISH SCHEDULE AT EACH RESIDENTIAL UNIT ENTRY. FINAL LOCATION TO BE DETERMINED BY OWNER. IF MOUNTING ON DOOR, ENSURE INSTALLATION DOES NOT VOID RATING OF DOOR ASSEMBLY.
AW. PROVIDE BLINDS AT RESIDENTIAL UNITS PER FINISH SCHEDULE. QUANTITY AND LOCATIONS BY OWNER.
AX. SUBCONTRACTOR TO PROVIDE RECOMMENDED ALLOWANCE FOR PLASTER REPAIR.

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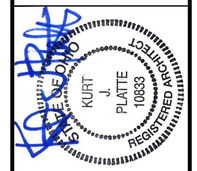

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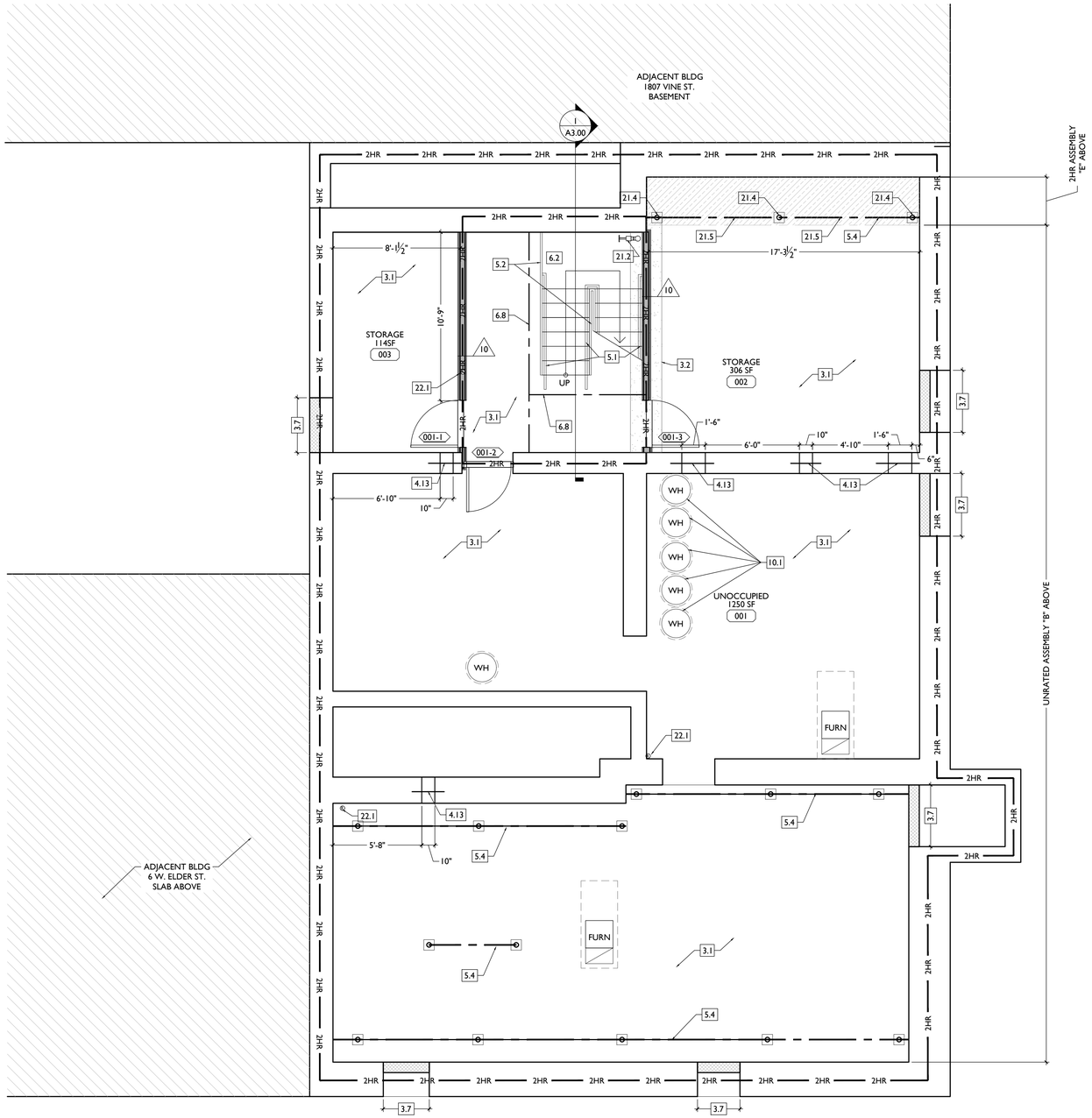

SCALE: 1/4" = 1'-0"

PROPOSED PLAN - BASEMENT | 1

NEW WORK GRAPHIC KEY:

- PARTITION TYPE - SEE A6.00.
- KEYNOTE.
- EXISTING WALL.
- NEW PARTITION WALL.
- NEW MASONRY WALL.
- OBJECT OVERHEAD.
- 1HR — 1-HR FIRE RATING.
- 2HR — 2-HR FIRE RATING.
- NEW FLOOR & FRAMING TO MATCH ADJ - SEE STRUCT DWGS.
- NEW GYP BD SOFFIT/ BULKHEAD/ DROPPED CLG - SEE RCPS.
- AREA OF ATYPICAL FIRE-RATED ASSEMBLY ABOVE. SEE A0.01 & A6.01.
- AREA OF TUCKPOINTING - SEE ELEVS & STRUCT DWGS.
- 100A — DOOR TAG. SEE SCHEDULE / A6.10-13.
- A — WINDOW DESIGNATION. SEE A6.20-25.
- SFA — STOREFRONT DESIGNATION. SEE A6.13.
- EMERGENCY EGRESS EXIT.
- SG — OPG CONTAINS SAFETY GLAZING.
- SH — SINGLE HUNG OPG - UPPER SASH TO BE FIXED WITHIN 3'-0" OF EXHAUST.
- X'-X" — ELEVATION TAG.

NEW WORK PLANS & ELEVATIONS [#] KEYED NOTES:

IMPORTANT !!! HISTORIC ELEMENTS PRESENT IN THIS BUILDING:
- PRESERVE HISTORIC ELEMENTS UNO.

3. CONCRETE
3.1 SLAB TO REMAIN. SCOPE & VERIFY FLOOR DRAINS CONNECT TO SEWER. REPAIR AS REQUIRED.
3.2 NEW CONCRETE FOOTING. SEE STRUCTURAL.
3.3 EXG OPENING TO BASEMENT TO BE CAPPED WITH CONCRETE AT GRADE. IF IN PUBLIC R.O.W. COMPLY W/ LOCAL JURISDICTION STANDARDS. SEE STRUCTURAL AND CIVIL DRAWINGS.
3.4 NEW CONCRETE SLAB ON GRADE. SEE CIVIL DRAWINGS.
3.5 NOT USED
3.6 NEW CONCRETE FLOOR OVER EXG WOOD FRAMING. SEE STRUCTURAL.
3.7 INFILL EXG VENTS/GAPS WITH CONCRETE AT T.O. FOUNDATION WALL.

4. MASONRY
4.1 NEW OR EXPANDED OPENING IN EXG MASONRY WALL (SEE STRUCTURAL DWGS). PROVIDE NEW STEEL LINTEL.
4.2 BRICK TO BE LEFT EXPOSED. SCRAPE LOOSE PAINT, CLEAN, AND PAINT.
4.3 CMU TO BE LEFT EXPOSED. SCRAPE LOOSE PAINT, CLEAN, AND PAINT.
4.4 TUCKPOINT BRICK AS SHOWN ON EXTERIOR ELEVATIONS & PER SHPO NARRATIVE.
4.5 REPLACE DAMAGED/MISSING BRICK AS SHOWN ON EXTERIOR ELEVATIONS & PER SHPO NARRATIVE.
4.6 PARGING:
A. REMOVE LOOSE AND/OR CRACKED AS SHOWN ON THE ELEVATIONS & REPAIR TO MATCH FINISH OF EXG PARGING.
4.7 PAINT EXG 12" WIDE BRICK COLUMN.
4.8 INFILL EXISTING WINDOW OPENING WITH CMU & FACE BRICK. KEY IN BRICK FOR SEAMLESS EXTERIOR MASONRY APPEARANCE. SEE DETAIL 17/A5.00.
4.9 NEW REPLACEMENT LINTEL ABOVE. SEE STRUCTURAL DWGS.
4.10 NEW CMU INFILL PER STRUCTURAL DRAWINGS.
4.11 RAISED EXG LINTEL. SEE DEMO PLANS, MECH AND STRUCTURAL.
4.12 CONTRACTOR TO COORDINATE PASSAGE OF DUCTWORK THROUGH MASONRY OPENING ABOVE LINTEL. SEE MECH AND STRUCTURAL.
4.13 NEW SAWCUT MASONRY OPENING FOR DUCTWORK AND PLUMBING LINES. NEW STEEL LINTEL PER STRUCTURAL. COORDINATE WITH PLUMBING AND MECH.

5. METALS
5.1 NOT USED.
5.2 NEW STEEL GUARDRAIL. SEE DETAILS.
5.3 NOT USED.
5.4 EXG. BEAM ABOVE TO REMAIN. SEE STRUCTURAL DWGS.
5.5 NEW PAINTED METAL-CLAD COLUMN. SEE 27/A5.00.
5.6 NEW PAINTED METAL CEILING, EXTERIOR GRADE.
5.7 CAST IRON COLUMN TO REMAIN.
5.8 EXISTING FIRE ESCAPE TO REMAIN.
5.9 ATTACH SALVAGED FIRE ESCAPE TO ORIGINAL LOCATION.

6. WOOD, PLASTICS, AND COMPOSITES
6.1 REPAIR DAMAGED WOOD STAIR TREADS/RISERS AS REQ'D.
6.2 NEW INTERIOR WOOD STAIR. SEE SECTION SHEET A3.00.
6.3 NEW FLOOR FRAMING (SEE STRUCT DWGS).
6.4 RETAIN & REPAIR HISTORIC STOREFRONT BULKHEAD. PAINT. SEE ELEVATIONS.
6.5 NEW WOOD BULKHEAD TO MATCH EXG HISTORIC ADJACENT. PAINT. SEE ELEVATIONS.
6.6 NEW RAKE TRIM / GUTTERBOARD TO MATCH EXISTING - SEE ELEVATIONS.
6.7 NEW COLUMN PER STRUCTURAL DWGS.
6.8 NEW STRUCTURAL BEAM ABOVE. SEE STRUCTURAL DWGS.
6.9 EXG. BEAM ABOVE TO REMAIN. SEE STRUCTURAL DWGS.
6.10 NEW WOOD FRAME BEARING WALL. SEE STRUCTURAL DRAWINGS.

7. THERMAL AND MOISTURE PROTECTION
7.1 NEW PRE-FINISHED K-STYLE ALUMINUM GUTTER.
7.2 NEW ROUND ALUMINUM DOWNSPOUT PAINTED TO MATCH ADJACENT WALL SURFACE. SEE EXTERIOR ELEVATIONS. TIE INTO EXISTING SEWER SYSTEM.
7.3 NEW PVC AT LOWER 6' OF DOWNSPOUT. PAINT TO MATCH DOWNSPOUT.
7.4 NEW FULLY ADHERED WHITE TPO MEMBRANE ROOF W/ CRICKETS WHERE REQUIRED FOR POSITIVE DRAINAGE AND W/ TERMINATION BARS & METAL COUNTERFLASHING - SEE ROOF DETAILS. INSULATION PER SCHEDULE. B.O.D - 60 MIL WHITE TPO. FULLY ADHERED ROOF SYSTEM, 20 YEAR WARRANTY, BY CARLISLE SYNTEC, CARLISLE, PA, OR EQUIVALENT.
7.5 NEW SLATE-COLORED ROOF SHINGLES. B.O.D. OWENS CORNING TRU DEFINITION DURATION SHINGLES, WITH 30 YEAR MIN. WARRANTY. PROVIDE ICE AND WATER SHIELD WHERE REQUIRED.
7.6 EXG ROOF ACCESS HATCH TO REMAIN.
7.7 PROVIDE ROOF-WALL FLASHING PER DETAIL 18/A5.00.
7.8 PROVIDE CEMENT BOARD STUCCO SYSTEM AT EXTERIOR WALL. B.O.D. = "STOQUIK SILVER DRAINSCREEN".

8. OPENINGS
8.1 PROVIDE FACTORY FROSTED GLASS AT WINDOW.
8.2 NEW ALUMINUM STOREFRONT IN HISTORIC OPENING - SEE EXTERIOR ELEVATIONS.
8.3 NEW STOREFRONT CONSTRUCTION. SEE EXTERIOR ELEVATIONS.
8.4 ATTIC ACCESS PANEL (22"x30" MIN.).
8.5 NEW EXTERIOR BUILDING ENTRY DOOR AND FRAME - SEE DOOR SCHEDULE.
8.6 FIXED DOUBLE DOOR. SEE DOOR SCHEDULE.

9. FINISHES
9.1 EXG PLASTER AT MASONRY WALL TO BE PATCHED AND REPAIRED, WHERE POSSIBLE.
9.2 FIRE-RATING TO BE CONTINUOUS BEHIND PLUMBING/CHASE/ FURRING WALL. FIRE RATING TO BE CONTINUOUS AT INTERSECTION W/ NON-RATED WALL.
9.3 EXG CMU TO REMAIN EXPOSED - PAINT PER FIN. SCHEDULE.
9.4 EXG BRICK MASONRY WALL TO REMAIN EXPOSED. PAINT.
9.5 INSTALL NEW TILE FLOORING AT RECESSED ENTRY. SEE DETAIL 25/A5.00. SEE FINISH PLANS FOR SPEC.
9.6 NEW HARDWOOD FLOORING.
9.7 APPROXIMATE LOCATION OF CHASE WALL FOR PLUMBING AND MECH VENT/EXHAUST RISERS. WRAP IN GYP BD AS REQ'D. SEE PLUMBING AND MECH DWGS.

10. SPECIALTIES
10.1 PROVIDE DRAIN PAN BENEATH WASHING MACHINE/ WATER HEATER. SEE PLUMBING DWGS.
10.2 LOCKABLE & RECESSED MAILBOXES. BOXES TO MEET USPS-4C STANDARDS & ACCESSIBILITY REQUIREMENTS. PROVIDE CONT FIRE-RATING BEHIND MAILBOXES, AS REQ.
10.3 ENTRY SYSTEM CALLBOX B.O.D. = "2N ACCESS CONTROL"
10.4 PROVIDE "NO SMOKING" SIGN AT EXTERIOR WALL.
10.5 CLOSETS W/ BLOCKING AT RODS & BRACKETS:
A. TYP. ENCLOSED CLOSET: 12" DEEP MELAMINE SHELF & CLOTHES ROD AT 66" AFF.; TYP U.N.O.
B. OPEN CLOSET- SHELF & CLOTHES ROD.
C. NOT USED
D. ADJUSTABLE SHELVES ON STANDARD MOUNT.
10.6 TENANT TRASH AREA.
10.7 NOT USED.
10.8 SHOWER NICHE. SEE ENLARGED PLANS, INTERIOR ELEVATIONS AND DETAIL 1/A5.00.
10.9 NOT USED.
10.10 PROVIDE BLOCKING FOR WALL-MOUNTED CHANGING STATION, SEE INTERIOR ELEVATIONS.
10.11 FIRE EXTINGUISHER. COORDINATE FINAL LOCATION WITH LOCAL FIRE MARSHAL.
A. SURFACE MOUNTED.
B. IN SINK CABINET IN RESIDENTIAL UNIT, TYPICAL.
10.12 NEW 2HR FIRE-RATED SHAFT FOR 18" DUCT. PROVIDE "CH" CHANNELS 6" WIDE.
10.13 PROVIDE COUNTERTOP SUPPORT BRACKET AT 12" OVERHAND. B.O.D. = "THE ORIGINAL GRANITE BRACKET - T BRACE COUNTERTOP SUPPORT BRACKET, 20" LENGTH.

21. FIRE SUPPRESSION
21.1 APPROX LOCATION OF FDC CONNECTION - COORDINATE W/ CIVIL AND FIRE DEPT.
21.2 PROPOSED SPRINKLER STANDPIPE LOCATION. COORDINATE WITH FIRE SUPPRESSION CONTRACTOR.
21.3 PROVIDE WATERFLOW ALARM DEVICE. CONFIRM LOCATION WITH BUILDING INSPECTOR AND FIRE DEPARTMENT. COORDINATE WITH ELECTRICAL AND FIRE SUPPRESSION CONTRACTOR.
21.4 PROVIDE 2HR FIRE PROTECTION PER 7/A6.02.
21.5 PROVIDE 2HR FIRE PROTECTION PER 8/A6.02.

22. PLUMBING
22.1 PROVIDE RADON RISER, AS REQUIRED BY OWNER'S CONSULTANT. RISER TO EXTEND FROM BASEMENT TO ATTIC. SEE CONSULTANT DESIGN FOR LOCATIONS OF RISERS. COORDINATE WITH PLUMBING.
A. JOG RISER TO AVOID HVAC CONDENSER.
22.2 PLUMBING CHASE (OR WALL) - VERIFY LOCATIONS IN FIELD TO ALIGN CONCEALMENT BETWEEN FLOORS.
22.3 NEW HOSE BIB LOCATION. SEE PLUMBING.

23. HEATING, VENTILATING, AND AIR CONDITIONING
23.1 NOT USED.
23.2 WALL CAVITY FOR EXHAUST DUCT - COORDINATE W/ MECHANICAL DWGS.
23.3 NEW EXHAUST VENT COVER. PAINT TO MATCH ADJACENT WALL SURFACE.

26. ELECTRICAL
26.1 ELECTRIC PANEL RECESSED IN WALL W/ 30"W X 36"D CLEAR IN FRONT. PAINT TO MATCH ADJACENT WALL W APPROPRIATE PAINT TYPE FOR PANEL.
26.2 NEW EXTERIOR LIGHTING. NO EXPOSED CONDUIT ON FACE OF BUILDING. SEE RCP'S AND ELECTRICAL DWGS.

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STATE OF OHIO
KURT J PLATTE
10833
REGISTERED ARCHITECT

Progress Dates
2023.04.28 - BID / PERMIT
2024.08.30 - BID SET 2

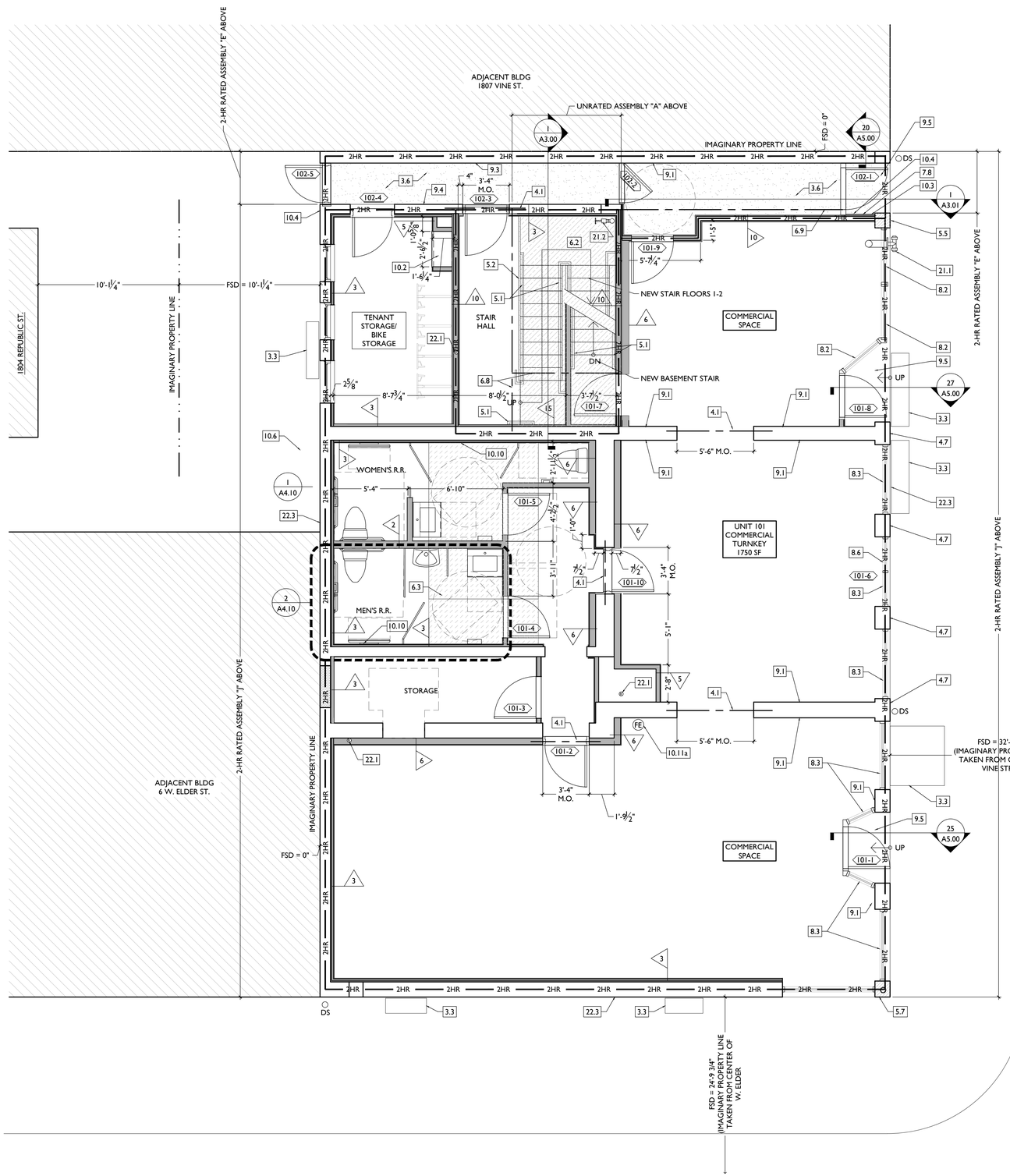
Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
RO, AM

PROPOSED PROJECT:
RENOVATION FOR
1801 - 1805 VINE ST.
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/30/2024

A1.10



SCALE: 1/4" = 1'-0"

PROPOSED PLAN - FIRST FLOOR | 1

NEW WORK GRAPHIC KEY:

- PARTITION TYPE - SEE A6.00.
- KEYNOTE.
- EXISTING WALL.
- NEW PARTITION WALL.
- NEW MASONRY WALL.
- OBJECT OVERHEAD.
- 1HR 1-HR FIRE RATING.
- 2HR 2-HR FIRE RATING.
- NEW FLOOR & FRAMING TO MATCH ADJ - SEE STRUCT DWGS.
- NEW GYP BD SOFFIT/ BULKHEAD/ DROPPED CLG - SEE RCPS.
- AREA OF ATYPICAL FIRE-RATED ASSEMBLY ABOVE. SEE A0.01 & A6.01.
- AREA OF TUCKPOINTING - SEE ELEVS & STRUCT DWGS.
- 100A DOOR TAG. SEE SCHEDULE / A6.10-13.
- A WINDOW DESIGNATION. SEE A6.20-25.
- SFA STOREFRONT DESIGNATION. SEE A6.13.
- EMERGENCY EGRESS EXIT.
- SG OPG CONTAINS SAFETY GLAZING.
- SH SINGLE HUNG OPG - UPPER SASH TO BE FIXED WITHIN 3'-0" OF EXHAUST.
- X'-X" ELEVATION TAG.

NEW WORK PLANS & ELEVATIONS # KEYED NOTES:

IMPORTANT !!! HISTORIC ELEMENTS PRESENT IN THIS BUILDING:
- PRESERVE HISTORIC ELEMENTS UNO.

3. CONCRETE
- 3.1 SLAB TO REMAIN. SCOPE & VERIFY FLOOR DRAINS CONNECT TO SEWER. REPAIR AS REQUIRED.
- 3.2 NEW CONCRETE FOOTING. SEE STRUCTURAL.
- 3.3 EXG OPENING TO BASEMENT TO BE CAPPED WITH CONCRETE AT GRADE. IF IN PUBLIC R.O.W. COMPLY W/ LOCAL JURISDICTION STANDARDS. SEE STRUCTURAL AND CIVIL DRAWINGS.
- 3.4 NEW CONCRETE SLAB ON GRADE. SEE CIVIL DRAWINGS.
- 3.5 NOT USED
- 3.6 NEW CONCRETE FLOOR OVER EXG WOOD FRAMING. SEE STRUCTURAL.
- 3.7 INFILL EXG VENTS/GAPS WITH CONCRETE AT T.O. FOUNDATION WALL.

4. MASONRY
- 4.1 NEW OR EXPANDED OPENING IN EXG MASONRY WALL (SEE STRUCTURAL DWGS). PROVIDE NEW STEEL LINTEL.
- 4.2 BRICK TO BE LEFT EXPOSED. SCRAPE LOOSE PAINT, CLEAN, AND PAINT.
- 4.3 CMU TO BE LEFT EXPOSED. SCRAPE LOOSE PAINT, CLEAN, AND PAINT.
- 4.4 TUCKPOINT BRICK AS SHOWN ON EXTERIOR ELEVATIONS & PER SHPO NARRATIVE.
- 4.5 REPLACE DAMAGED/MISSING BRICK AS SHOWN ON EXTERIOR ELEVATIONS & PER SHPO NARRATIVE.
- 4.6 PARGING:
  - A. REMOVE LOOSE AND/OR CRACKED AS SHOWN ON THE ELEVATIONS & REPAIR TO MATCH FINISH OF EXG PARGING.
- 4.7 PAINT EXG 12" WIDE BRICK COLUMN.
- 4.8 INFILL EXISTING WINDOW OPENING WITH CMU & FACE BRICK. KEY IN BRICK FOR SEAMLESS EXTERIOR MASONRY APPEARANCE. SEE DETAIL 17/A5.00.
- 4.9 NEW REPLACEMENT LINTEL ABOVE. SEE STRUCTURAL DWGS.
- 4.10 NEW CMU INFILL PER STRUCTURAL DRAWINGS.
- 4.11 RAISED EXG LINTEL. SEE DEMO PLANS, MECH AND STRUCTURAL.
- 4.12 CONTRACTOR TO COORDINATE PASSAGE OF DUCTWORK THROUGH MASONRY OPENING ABOVE LINTEL. SEE MECH AND STRUCTURAL.
- 4.13 NEW SAWCUT MASONRY OPENING FOR DUCTWORK AND PLUMBING LINES. NEW STEEL LINTEL PER STRUCTURAL. COORDINATE WITH PLUMBING AND MECH.

5. METALS
- 5.1 NOT USED.
- 5.2 NEW STEEL GUARDRAIL. SEE DETAILS.
- 5.3 NOT USED.
- 5.4 EXG. BEAM ABOVE TO REMAIN. SEE STRUCTURAL DWGS.
- 5.5 NEW PAINTED METAL-CLAD COLUMN. SEE 27/A5.00.
- 5.6 NEW PAINTED METAL CEILING, EXTERIOR GRADE.
- 5.7 CAST IRON COLUMN TO REMAIN.
- 5.8 EXISTING FIRE ESCAPE TO REMAIN.
- 5.9 ATTACH SALVAGED FIRE ESCAPE TO ORIGINAL LOCATION.

6. WOOD, PLASTICS, AND COMPOSITES
- 6.1 REPAIR DAMAGED WOOD STAIR TREADS/RISERS AS REQ'D.
- 6.2 NEW INTERIOR WOOD STAIR. SEE SECTION SHEET A3.00.
- 6.3 NEW FLOOR FRAMING (SEE STRUCT DWGS).
- 6.4 RETAIN & REPAIR HISTORIC STOREFRONT BULKHEAD. PAINT. SEE ELEVATIONS.
- 6.5 NEW WOOD BULKHEAD TO MATCH EXG HISTORIC ADJACENT. PAINT. SEE ELEVATIONS.
- 6.6 NEW RAKE TRIM / GUTTERBOARD TO MATCH EXISTING - SEE ELEVATIONS.
- 6.7 NEW COLUMN PER STRUCTURAL DWGS.
- 6.8 NEW STRUCTURAL BEAM ABOVE. SEE STRUCTURAL DWGS.
- 6.9 EXG. BEAM ABOVE TO REMAIN. SEE STRUCTURAL DWGS.
- 6.10 NEW WOOD FRAME BEARING WALL. SEE STRUCTURAL DRAWINGS.

7. THERMAL AND MOISTURE PROTECTION
- 7.1 NEW PRE-FINISHED K-STYLE ALUMINUM GUTTER.
- 7.2 NEW ROUND ALUMINUM DOWNSPOUT PAINTED TO MATCH ADJACENT WALL SURFACE. SEE EXTERIOR ELEVATIONS. TIE INTO EXISTING SEWER SYSTEM.
- 7.3 NEW PVC AT LOWER 6' OF DOWNSPOUT. PAINT TO MATCH DOWNSPOUT.
- 7.4 NEW FULLY ADHERED WHITE TPO MEMBRANE ROOF W/ CRICKETS WHERE REQUIRED FOR POSITIVE DRAINAGE AND W/ TERMINATION BARS & METAL COUNTERFLASHING - SEE ROOF DETAILS. INSULATION PER SCHEDULE. B.O.D - 60 MIL WHITE TPO. FULLY ADHERED ROOF SYSTEM, 20 YEAR WARRANTY, BY CARLISLE SYNTEC, CARLISLE, PA, OR EQUIVALENT.
- 7.5 NEW SLATE-COLORED ROOF SHINGLES. B.O.D. OWENS CORNING TRU DEFINITION DURATION SHINGLES, WITH 30 YEAR MIN. WARRANTY. PROVIDE ICE AND WATER SHIELD WHERE REQUIRED.
- 7.6 EXG ROOF ACCESS HATCH TO REMAIN.
- 7.7 PROVIDE ROOF-WALL FLASHING PER DETAIL 18/A5.00.
- 7.8 PROVIDE CEMENT BOARD STUCCO SYSTEM AT EXTERIOR WALL. B.O.D. = "STOQUIK SILVER DRAINSCREEN".

8. OPENINGS
- 8.1 PROVIDE FACTORY FROSTED GLASS AT WINDOW.
- 8.2 NEW ALUMINUM STOREFRONT IN HISTORIC OPENING - SEE EXTERIOR ELEVATIONS.
- 8.3 NEW STOREFRONT CONSTRUCTION. SEE EXTERIOR ELEVATIONS.
- 8.4 ATTIC ACCESS PANEL (22"x30" MIN.).
- 8.5 NEW EXTERIOR BUILDING ENTRY DOOR AND FRAME - SEE DOOR SCHEDULE.
- 8.6 FIXED DOUBLE DOOR. SEE DOOR SCHEDULE.

9. FINISHES
- 9.1 EXG PLASTER AT MASONRY WALL TO BE PATCHED AND REPAIRED, WHERE POSSIBLE.
- 9.2 FIRE-RATING TO BE CONTINUOUS BEHIND PLUMBING/CHASE/ FURRING WALL. FIRE RATING TO BE CONTINUOUS AT INTERSECTION W/ NON-RATED WALL.
- 9.3 EXG CMU TO REMAIN EXPOSED - PAINT PER FIN. SCHEDULE.
- 9.4 EXG BRICK MASONRY WALL TO REMAIN EXPOSED. PAINT.
- 9.5 INSTALL NEW TILE FLOORING AT RECESSED ENTRY. SEE DETAIL 25/A5.00. SEE FINISH PLANS FOR SPEC.
- 9.6 NEW HARDWOOD FLOORING.
- 9.7 APPROXIMATE LOCATION OF CHASE WALL FOR PLUMBING AND MECH VENT/EXHAUST RISERS. WRAP IN GYP BD AS REQ'D. SEE PLUMBING AND MECH DWGS.

10. SPECIALTIES
- 10.1 PROVIDE DRAIN PAN BENEATH WASHING MACHINE/ WATER HEATER. SEE PLUMBING DWGS.
- 10.2 LOCKABLE & RECESSED MAILBOXES. BOXES TO MEET USPS-4C STANDARDS & ACCESSIBILITY REQUIREMENTS. PROVIDE CONT FIRE-RATING BEHIND MAILBOXES, AS REQ.
- 10.3 ENTRY SYSTEM CALLBOX B.O.D. = "2N ACCESS CONTROL"
- 10.4 PROVIDE "NO SMOKING" SIGN AT EXTERIOR WALL.
- 10.5 CLOSETS W/ BLOCKING AT RODS & BRACKETS:
  - A. TYP. ENCLOSED CLOSET: 12" DEEP MELAMINE SHELF & CLOTHES ROD AT 66" AFF.; TYP U.N.O.
  - B. OPEN CLOSET- SHELF & CLOTHES ROD.
  - C. NOT USED
  - D. ADJUSTABLE SHELVES ON STANDARD MOUNT.
- 10.6 TENANT TRASH AREA.
- 10.7 NOT USED.
- 10.8 SHOWER NICHE. SEE ENLARGED PLANS, INTERIOR ELEVATIONS AND DETAIL 1/A5.00.
- 10.9 NOT USED.
- 10.10 PROVIDE BLOCKING FOR WALL-MOUNTED CHANGING STATION, SEE INTERIOR ELEVATIONS.
- 10.11 FIRE EXTINGUISHER. COORDINATE FINAL LOCATION WITH LOCAL FIRE MARSHAL.
  - A. SURFACE MOUNTED.
  - B. IN SINK CABINET IN RESIDENTIAL UNIT, TYPICAL.
- 10.12 NEW 2HR FIRE-RATED SHAFT FOR 18" DUCT. PROVIDE "CH" CHANNELS 6" WIDE.
- 10.13 PROVIDE COUNTERTOP SUPPORT BRACKET AT 12" OVERHAND. B.O.D. = "THE ORIGINAL GRANITE BRACKET - T BRACE COUNTERTOP SUPPORT BRACKET, 20" LENGTH.

21. FIRE SUPPRESSION
- 21.1 APPROX LOCATION OF FDC CONNECTION - COORDINATE W/ CIVIL AND FIRE DEPT.
- 21.2 PROPOSED SPRINKLER STANDPIPE LOCATION. COORDINATE WITH FIRE SUPPRESSION CONTRACTOR.
- 21.3 PROVIDE WATERFLOW ALARM DEVICE. CONFIRM LOCATION WITH BUILDING INSPECTOR AND FIRE DEPARTMENT. COORDINATE WITH ELECTRICAL AND FIRE SUPPRESSION CONTRACTOR.
- 21.4 PROVIDE 2HR FIRE PROTECTION PER 7/A6.02.
- 21.5 PROVIDE 2HR FIRE PROTECTION PER 8/A6.02.

22. PLUMBING
- 22.1 PROVIDE RADON RISER, AS REQUIRED BY OWNER'S CONSULTANT. RISER TO EXTEND FROM BASEMENT TO ATTIC. SEE CONSULTANT DESIGN FOR LOCATIONS OF RISERS. COORDINATE WITH PLUMBING.
  - A. JOG RISER TO AVOID HVAC CONDENSER.
- 22.2 PLUMBING CHASE (OR WALL) - VERIFY LOCATIONS IN FIELD TO ALIGN CONCEALMENT BETWEEN FLOORS.
- 22.3 NEW HOSE BIB LOCATION. SEE PLUMBING.

23. HEATING, VENTILATING, AND AIR CONDITIONING
- 23.1 NOT USED.
- 23.2 WALL CAVITY FOR EXHAUST DUCT - COORDINATE W/ MECHANICAL DWGS.
- 23.3 NEW EXHAUST VENT COVER. PAINT TO MATCH ADJACENT WALL SURFACE.

26. ELECTRICAL
- 26.1 ELECTRIC PANEL RECESSED IN WALL W/ 30"W X 36"D CLEAR IN FRONT. PAINT TO MATCH ADJACENT WALL W APPROPRIATE PAINT TYPE FOR PANEL.
- 26.2 NEW EXTERIOR LIGHTING. NO EXPOSED CONDUIT ON FACE OF BUILDING. SEE RCP'S AND ELECTRICAL DWGS.

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STATE OF OHIO
KURT J. PLATTE
10833
REGISTERED ARCHITECT

Progress Dates
2023.04.28 - BID / PERMIT
2024.08.30 - BID SET 2

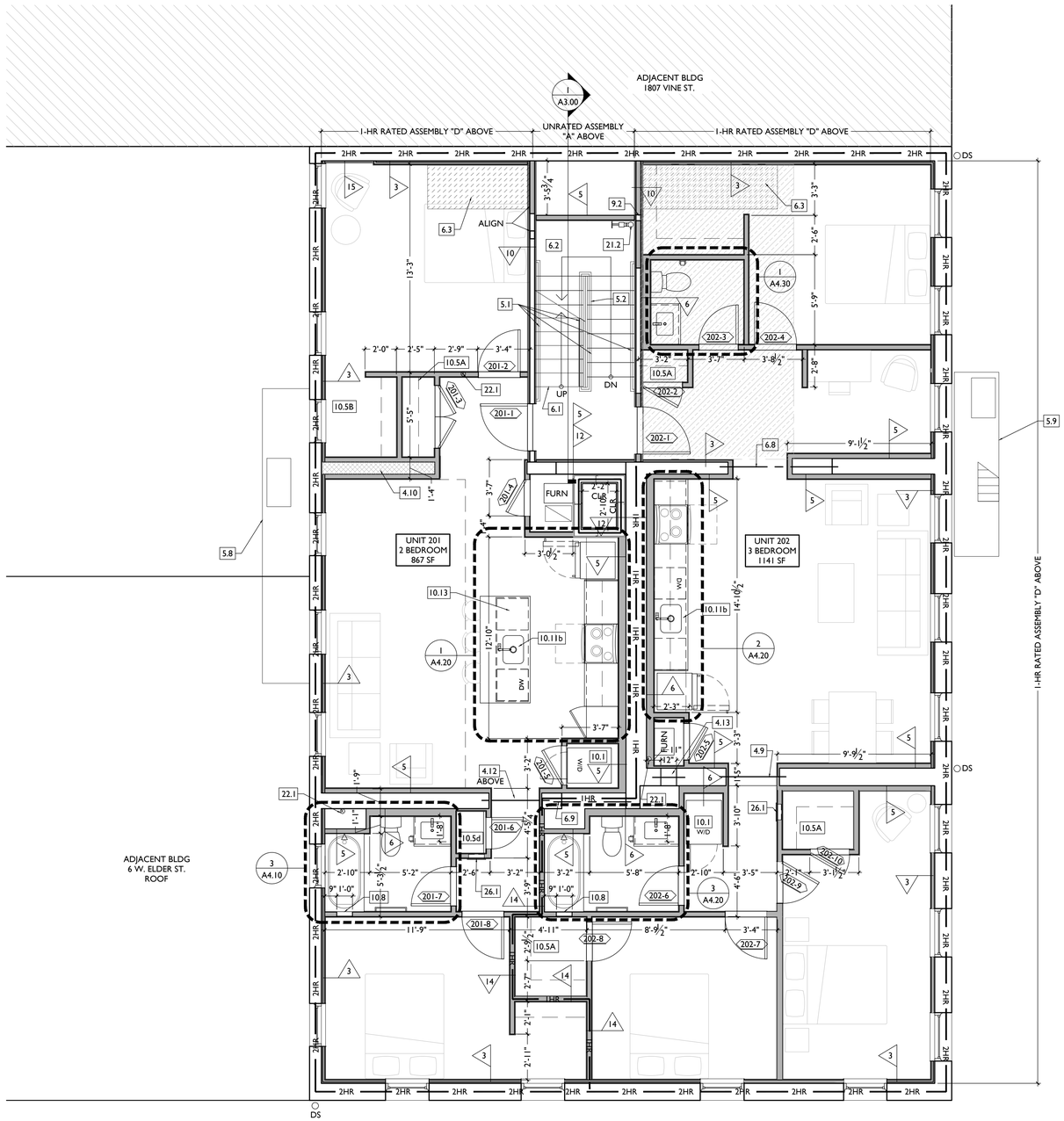
Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
RO, AM

PROPOSED PROJECT:
RENOVATION FOR
1801 - 1805 VINE ST.
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/30/2024

A1.11



SCALE: 1/4" = 1'-0"

PROPOSED PLAN - SECOND FLOOR | 1

NEW WORK GRAPHIC KEY:

- PARTITION TYPE - SEE A6.00.
- KEYNOTE.
- EXISTING WALL.
- NEW PARTITION WALL.
- NEW MASONRY WALL.
- OBJECT OVERHEAD.
- 1HR — 1-HR FIRE RATING.
- 2HR — 2-HR FIRE RATING.
- NEW FLOOR & FRAMING TO MATCH ADJ - SEE STRUCT DWGS.
- NEW GYP BD SOFFIT/ BULKHEAD/ DROPPED CLG - SEE RCPS.
- AREA OF ATYPICAL FIRE-RATED ASSEMBLY ABOVE. SEE A0.01 & A6.01.
- AREA OF TUCKPOINTING - SEE ELEVS & STRUCT DWGS.
- 100A — DOOR TAG. SEE SCHEDULE / A6.10-13.
- A — WINDOW DESIGNATION. SEE A6.20-25.
- SFA — STOREFRONT DESIGNATION. SEE A6.13.
- EMERGENCY EGRESS EXIT.
- SG — OPG CONTAINS SAFETY GLAZING.
- SH — SINGLE HUNG OPG - UPPER SASH TO BE FIXED WITHIN 3'-0" OF EXHAUST.
- X'-X" — ELEVATION TAG.

NEW WORK PLANS & ELEVATIONS # KEYED NOTES:

IMPORTANT !!! HISTORIC ELEMENTS PRESENT IN THIS BUILDING:
- PRESERVE HISTORIC ELEMENTS UNO.

3. CONCRETE
- 3.1 SLAB TO REMAIN. SCOPE & VERIFY FLOOR DRAINS CONNECT TO SEWER. REPAIR AS REQUIRED.
- 3.2 NEW CONCRETE FOOTING. SEE STRUCTURAL.
- 3.3 EXG OPENING TO BASEMENT TO BE CAPPED WITH CONCRETE AT GRADE. IF IN PUBLIC R.O.W. COMPLY W/ LOCAL JURISDICTION STANDARDS. SEE STRUCTURAL AND CIVIL DRAWINGS.
- 3.4 NEW CONCRETE SLAB ON GRADE. SEE CIVIL DRAWINGS.
- 3.5 NOT USED
- 3.6 NEW CONCRETE FLOOR OVER EXG WOOD FRAMING. SEE STRUCTURAL.
- 3.7 INFILL EXG VENTS/GAPS WITH CONCRETE AT T.O. FOUNDATION WALL.

4. MASONRY
- 4.1 NEW OR EXPANDED OPENING IN EXG MASONRY WALL (SEE STRUCTURAL DWGS). PROVIDE NEW STEEL LINTEL.
- 4.2 BRICK TO BE LEFT EXPOSED. SCRAPE LOOSE PAINT, CLEAN, AND PAINT.
- 4.3 CMU TO BE LEFT EXPOSED. SCRAPE LOOSE PAINT, CLEAN, AND PAINT.
- 4.4 TUCKPOINT BRICK AS SHOWN ON EXTERIOR ELEVATIONS & PER SHPO NARRATIVE.
- 4.5 REPLACE DAMAGED/MISSING BRICK AS SHOWN ON EXTERIOR ELEVATIONS & PER SHPO NARRATIVE.
- 4.6 PARGING:
  - A. REMOVE LOOSE AND/OR CRACKED AS SHOWN ON THE ELEVATIONS & REPAIR TO MATCH FINISH OF EXG PARGING.
- 4.7 PAINT EXG 12" WIDE BRICK COLUMN.
- 4.8 INFILL EXISTING WINDOW OPENING WITH CMU & FACE BRICK. KEY IN BRICK FOR SEAMLESS EXTERIOR MASONRY APPEARANCE. SEE DETAIL 17/A5.00.
- 4.9 NEW REPLACEMENT LINTEL ABOVE. SEE STRUCTURAL DWGS.
- 4.10 NEW CMU INFILL PER STRUCTURAL DRAWINGS.
- 4.11 RAISED EXG LINTEL. SEE DEMO PLANS, MECH AND STRUCTURAL.
- 4.12 CONTRACTOR TO COORDINATE PASSAGE OF DUCTWORK THROUGH MASONRY OPENING ABOVE LINTEL. SEE MECH AND STRUCTURAL.
- 4.13 NEW SAWCUT MASONRY OPENING FOR DUCTWORK AND PLUMBING LINES. NEW STEEL LINTEL PER STRUCTURAL. COORDINATE WITH PLUMBING AND MECH.

5. METALS
- 5.1 NOT USED.
- 5.2 NEW STEEL GUARDRAIL. SEE DETAILS.
- 5.3 NOT USED.
- 5.4 EXG. BEAM ABOVE TO REMAIN. SEE STRUCTURAL DWGS.
- 5.5 NEW PAINTED METAL-CLAD COLUMN. SEE 27/A5.00.
- 5.6 NEW PAINTED METAL CEILING, EXTERIOR GRADE.
- 5.7 CAST IRON COLUMN TO REMAIN.
- 5.8 EXISTING FIRE ESCAPE TO REMAIN.
- 5.9 ATTACH SALVAGED FIRE ESCAPE TO ORIGINAL LOCATION.

6. WOOD, PLASTICS, AND COMPOSITES
- 6.1 REPAIR DAMAGED WOOD STAIR TREADS/RISERS AS REQ'D.
- 6.2 NEW INTERIOR WOOD STAIR. SEE SECTION SHEET A3.00.
- 6.3 NEW FLOOR FRAMING (SEE STRUCT DWGS).
- 6.4 RETAIN & REPAIR HISTORIC STOREFRONT BULKHEAD. PAINT. SEE ELEVATIONS.
- 6.5 NEW WOOD BULKHEAD TO MATCH EXG HISTORIC ADJACENT. PAINT. SEE ELEVATIONS.
- 6.6 NEW RAKE TRIM / GUTTERBOARD TO MATCH EXISTING - SEE ELEVATIONS.
- 6.7 NEW COLUMN PER STRUCTURAL DWGS.
- 6.8 NEW STRUCTURAL BEAM ABOVE. SEE STRUCTURAL DWGS.
- 6.9 EXG. BEAM ABOVE TO REMAIN. SEE STRUCTURAL DWGS.
- 6.10 NEW WOOD FRAME BEARING WALL. SEE STRUCTURAL DRAWINGS.

7. THERMAL AND MOISTURE PROTECTION
- 7.1 NEW PRE-FINISHED K-STYLE ALUMINUM GUTTER.
- 7.2 NEW ROUND ALUMINUM DOWNSPOUT PAINTED TO MATCH ADJACENT WALL SURFACE. SEE EXTERIOR ELEVATIONS. TIE INTO EXISTING SEWER SYSTEM.
- 7.3 NEW PVC AT LOWER 6' OF DOWNSPOUT. PAINT TO MATCH DOWNSPOUT.
- 7.4 NEW FULLY ADHERED WHITE TPO MEMBRANE ROOF W/ CRICKETS WHERE REQUIRED FOR POSITIVE DRAINAGE AND W/ TERMINATION BARS & METAL COUNTERFLASHING - SEE ROOF DETAILS. INSULATION PER SCHEDULE. B.O.D - 60 MIL WHITE TPO. FULLY ADHERED ROOF SYSTEM, 20 YEAR WARRANTY, BY CARLISLE SYNTEC, CARLISLE, PA, OR EQUIVALENT.
- 7.5 NEW SLATE-COLORED ROOF SHINGLES. B.O.D. OWENS CORNING TRU DEFINITION DURATION SHINGLES, WITH 30 YEAR MIN. WARRANTY. PROVIDE ICE AND WATER SHIELD WHERE REQUIRED.
- 7.6 EXG ROOF ACCESS HATCH TO REMAIN.
- 7.7 PROVIDE ROOF-WALL FLASHING PER DETAIL 18/A5.00.
- 7.8 PROVIDE CEMENT BOARD STUCCO SYSTEM AT EXTERIOR WALL. B.O.D. = "STOQUIK SILVER DRAINSCREEN".

8. OPENINGS
- 8.1 PROVIDE FACTORY FROSTED GLASS AT WINDOW.
- 8.2 NEW ALUMINUM STOREFRONT IN HISTORIC OPENING - SEE EXTERIOR ELEVATIONS.
- 8.3 NEW STOREFRONT CONSTRUCTION. SEE EXTERIOR ELEVATIONS.
- 8.4 ATTIC ACCESS PANEL (22"x30" MIN.).
- 8.5 NEW EXTERIOR BUILDING ENTRY DOOR AND FRAME - SEE DOOR SCHEDULE.
- 8.6 FIXED DOUBLE DOOR. SEE DOOR SCHEDULE.

9. FINISHES
- 9.1 EXG PLASTER AT MASONRY WALL TO BE PATCHED AND REPAIRED, WHERE POSSIBLE.
- 9.2 FIRE-RATING TO BE CONTINUOUS BEHIND PLUMBING/CHASE/ FURRING WALL. FIRE RATING TO BE CONTINUOUS AT INTERSECTION W/ NON-RATED WALL.
- 9.3 EXG CMU TO REMAIN EXPOSED - PAINT PER FIN. SCHEDULE.
- 9.4 EXG BRICK MASONRY WALL TO REMAIN EXPOSED. PAINT.
- 9.5 INSTALL NEW TILE FLOORING AT RECESSED ENTRY. SEE DETAIL 25/A5.00. SEE FINISH PLANS FOR SPEC.
- 9.6 NEW HARDWOOD FLOORING.
- 9.7 APPROXIMATE LOCATION OF CHASE WALL FOR PLUMBING AND MECH VENT/EXHAUST RISERS. WRAP IN GYP BD AS REQ'D. SEE PLUMBING AND MECH DWGS.

10. SPECIALTIES
- 10.1 PROVIDE DRAIN PAN BENEATH WASHING MACHINE/ WATER HEATER. SEE PLUMBING DWGS.
- 10.2 LOCKABLE & RECESSED MAILBOXES. BOXES TO MEET USPS-4C STANDARDS & ACCESSIBILITY REQUIREMENTS. PROVIDE CONT FIRE-RATING BEHIND MAILBOXES, AS REQ.
- 10.3 ENTRY SYSTEM CALLBOX B.O.D. = "2N ACCESS CONTROL"
- 10.4 PROVIDE "NO SMOKING" SIGN AT EXTERIOR WALL.
- 10.5 CLOSETS W/ BLOCKING AT RODS & BRACKETS:
  - A. TYP. ENCLOSED CLOSET: 12" DEEP MELAMINE SHELF & CLOTHES ROD AT 66" AFF.; TYP U.N.O.
  - B. OPEN CLOSET- SHELF & CLOTHES ROD.
  - C. NOT USED
  - D. ADJUSTABLE SHELVES ON STANDARD MOUNT.
- 10.6 TENANT TRASH AREA.
- 10.7 NOT USED.
- 10.8 SHOWER NICHE. SEE ENLARGED PLANS, INTERIOR ELEVATIONS AND DETAIL 1/A5.00.
- 10.9 NOT USED.
- 10.10 PROVIDE BLOCKING FOR WALL-MOUNTED CHANGING STATION, SEE INTERIOR ELEVATIONS.
- 10.11 FIRE EXTINGUISHER. COORDINATE FINAL LOCATION WITH LOCAL FIRE MARSHAL.
  - A. SURFACE MOUNTED.
  - B. IN SINK CABINET IN RESIDENTIAL UNIT, TYPICAL.
- 10.12 NEW 2HR FIRE-RATED SHAFT FOR 18" DUCT. PROVIDE "CH" CHANNELS 6" WIDE.
- 10.13 PROVIDE COUNTERTOP SUPPORT BRACKET AT 12" OVERHAND. B.O.D. = "THE ORIGINAL GRANITE BRACKET - T BRACE COUNTERTOP SUPPORT BRACKET, 20" LENGTH.

21. FIRE SUPPRESSION
- 21.1 APPROX LOCATION OF FDC CONNECTION - COORDINATE W/ CIVIL AND FIRE DEPT.
- 21.2 PROPOSED SPRINKLER STANDPIPE LOCATION. COORDINATE WITH FIRE SUPPRESSION CONTRACTOR.
- 21.3 PROVIDE WATERFLOW ALARM DEVICE. CONFIRM LOCATION WITH BUILDING INSPECTOR AND FIRE DEPARTMENT. COORDINATE WITH ELECTRICAL AND FIRE SUPPRESSION CONTRACTOR.
- 21.4 PROVIDE 2HR FIRE PROTECTION PER 7/A6.02.
- 21.5 PROVIDE 2HR FIRE PROTECTION PER 8/A6.02.

22. PLUMBING
- 22.1 PROVIDE RADON RISER, AS REQUIRED BY OWNER'S CONSULTANT. RISER TO EXTEND FROM BASEMENT TO ATTIC. SEE CONSULTANT DESIGN FOR LOCATIONS OF RISERS. COORDINATE WITH PLUMBING.
  - A. JOG RISER TO AVOID HVAC CONDENSER.
- 22.2 PLUMBING CHASE (OR WALL) - VERIFY LOCATIONS IN FIELD TO ALIGN CONCEALMENT BETWEEN FLOORS.
- 22.3 NEW HOSE BIB LOCATION. SEE PLUMBING.

23. HEATING, VENTILATING, AND AIR CONDITIONING
- 23.1 NOT USED.
- 23.2 WALL CAVITY FOR EXHAUST DUCT - COORDINATE W/ MECHANICAL DWGS.
- 23.3 NEW EXHAUST VENT COVER. PAINT TO MATCH ADJACENT WALL SURFACE.

26. ELECTRICAL
- 26.1 ELECTRIC PANEL RECESSED IN WALL W/ 30"W X 36"D CLEAR IN FRONT. PAINT TO MATCH ADJACENT WALL W APPROPRIATE PAINT TYPE FOR PANEL.
- 26.2 NEW EXTERIOR LIGHTING. NO EXPOSED CONDUIT ON FACE OF BUILDING. SEE RCP'S AND ELECTRICAL DWGS.

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STATE OF OHIO
KURT J. PLATTE
10833
REGISTERED ARCHITECT

Progress Dates
2023.04.28 - BID / PERMIT
2024.08.30 - BID SET 2

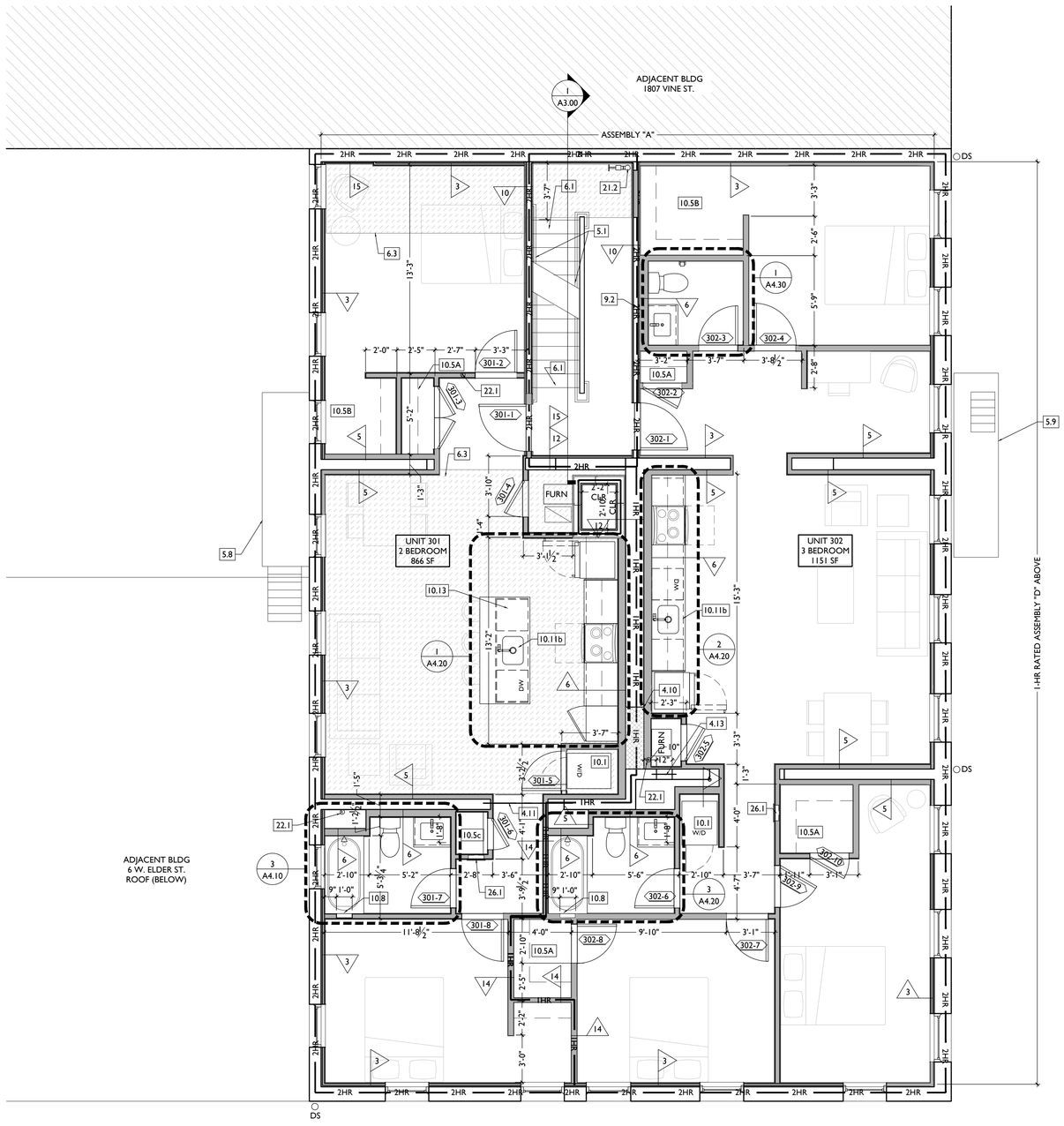
Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
RO, AM

PROPOSED PROJECT:
RENOVATION FOR
1801 - 1805 VINE ST.
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/30/2024

A1.12



SCALE: 1/4" = 1'-0"

PROPOSED PLAN - THIRD FLOOR | 1

NEW WORK GRAPHIC KEY:

- PARTITION TYPE - SEE A6.00.
- KEYNOTE.
- EXISTING WALL.
- NEW PARTITION WALL.
- NEW MASONRY WALL.
- OBJECT OVERHEAD.
- 1HR — 1-HR FIRE RATING.
- 2HR — 2-HR FIRE RATING.
- NEW FLOOR & FRAMING TO MATCH ADJ - SEE STRUCT DWGS.
- NEW GYP BD SOFFIT/ BULKHEAD/ DROPPED CLG - SEE RCPS.
- AREA OF ATYPICAL FIRE-RATED ASSEMBLY ABOVE. SEE A0.01 & A6.01.
- AREA OF TUCKPOINTING - SEE ELEVS & STRUCT DWGS.
- 100A — DOOR TAG. SEE SCHEDULE / A6.10-13.
- A — WINDOW DESIGNATION. SEE A6.20-25.
- SFA — STOREFRONT DESIGNATION. SEE A6.13.
- EMERGENCY EGRESS EXIT.
- SG — OPG CONTAINS SAFETY GLAZING.
- SH — SINGLE HUNG OPG - UPPER SASH TO BE FIXED WITHIN 3'-0" OF EXHAUST.
- X'-X" — ELEVATION TAG.

NEW WORK PLANS & ELEVATIONS [#] KEYED NOTES:

IMPORTANT !!! HISTORIC ELEMENTS PRESENT IN THIS BUILDING:
- PRESERVE HISTORIC ELEMENTS UNO.

3. CONCRETE
- 3.1 SLAB TO REMAIN. SCOPE & VERIFY FLOOR DRAINS CONNECT TO SEWER. REPAIR AS REQUIRED.
- 3.2 NEW CONCRETE FOOTING. SEE STRUCTURAL.
- 3.3 EXG OPENING TO BASEMENT TO BE CAPPED WITH CONCRETE AT GRADE. IF IN PUBLIC R.O.W. COMPLY W/ LOCAL JURISDICTION STANDARDS. SEE STRUCTURAL AND CIVIL DRAWINGS.
- 3.4 NEW CONCRETE SLAB ON GRADE. SEE CIVIL DRAWINGS.
- 3.5 NOT USED
- 3.6 NEW CONCRETE FLOOR OVER EXG WOOD FRAMING. SEE STRUCTURAL.
- 3.7 INFILL EXG VENTS/GAPS WITH CONCRETE AT T.O. FOUNDATION WALL.

4. MASONRY
- 4.1 NEW OR EXPANDED OPENING IN EXG MASONRY WALL (SEE STRUCTURAL DWGS). PROVIDE NEW STEEL LINTEL.
- 4.2 BRICK TO BE LEFT EXPOSED. SCRAPE LOOSE PAINT, CLEAN, AND PAINT.
- 4.3 CMU TO BE LEFT EXPOSED. SCRAPE LOOSE PAINT, CLEAN, AND PAINT.
- 4.4 TUCKPOINT BRICK AS SHOWN ON EXTERIOR ELEVATIONS & PER SHPO NARRATIVE.
- 4.5 REPLACE DAMAGED/MISSING BRICK AS SHOWN ON EXTERIOR ELEVATIONS & PER SHPO NARRATIVE.
- 4.6 PARGING:
  - A. REMOVE LOOSE AND/OR CRACKED AS SHOWN ON THE ELEVATIONS & REPAIR TO MATCH FINISH OF EXG PARGING.
- 4.7 PAINT EXG 12" WIDE BRICK COLUMN.
- 4.8 INFILL EXISTING WINDOW OPENING WITH CMU & FACE BRICK. KEY IN BRICK FOR SEAMLESS EXTERIOR MASONRY APPEARANCE. SEE DETAIL 17/A5.00.
- 4.9 NEW REPLACEMENT LINTEL ABOVE. SEE STRUCTURAL DWGS.
- 4.10 NEW CMU INFILL PER STRUCTURAL DRAWINGS.
- 4.11 RAISED EXG LINTEL. SEE DEMO PLANS, MECH AND STRUCTURAL.
- 4.12 CONTRACTOR TO COORDINATE PASSAGE OF DUCTWORK THROUGH MASONRY OPENING ABOVE LINTEL. SEE MECH AND STRUCTURAL.
- 4.13 NEW SAWCUT MASONRY OPENING FOR DUCTWORK AND PLUMBING LINES. NEW STEEL LINTEL PER STRUCTURAL. COORDINATE WITH PLUMBING AND MECH.

5. METALS
- 5.1 NOT USED.
- 5.2 NEW STEEL GUARDRAIL. SEE DETAILS.
- 5.3 NOT USED.
- 5.4 EXG. BEAM ABOVE TO REMAIN. SEE STRUCTURAL DWGS.
- 5.5 NEW PAINTED METAL-CLAD COLUMN. SEE 27/A5.00.
- 5.6 NEW PAINTED METAL CEILING, EXTERIOR GRADE.
- 5.7 CAST IRON COLUMN TO REMAIN.
- 5.8 EXISTING FIRE ESCAPE TO REMAIN.
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- 22.3 NEW HOSE BIB LOCATION. SEE PLUMBING.

23. HEATING, VENTILATING, AND AIR CONDITIONING
- 23.1 NOT USED.
- 23.2 WALL CAVITY FOR EXHAUST DUCT - COORDINATE W/ MECHANICAL DWGS.
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26. ELECTRICAL
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STATE OF OHIO
KURT J. PLATTE
10833
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Progress Dates
2023.04.28 - BID / PERMIT
2024.08.30 - BID SET 2

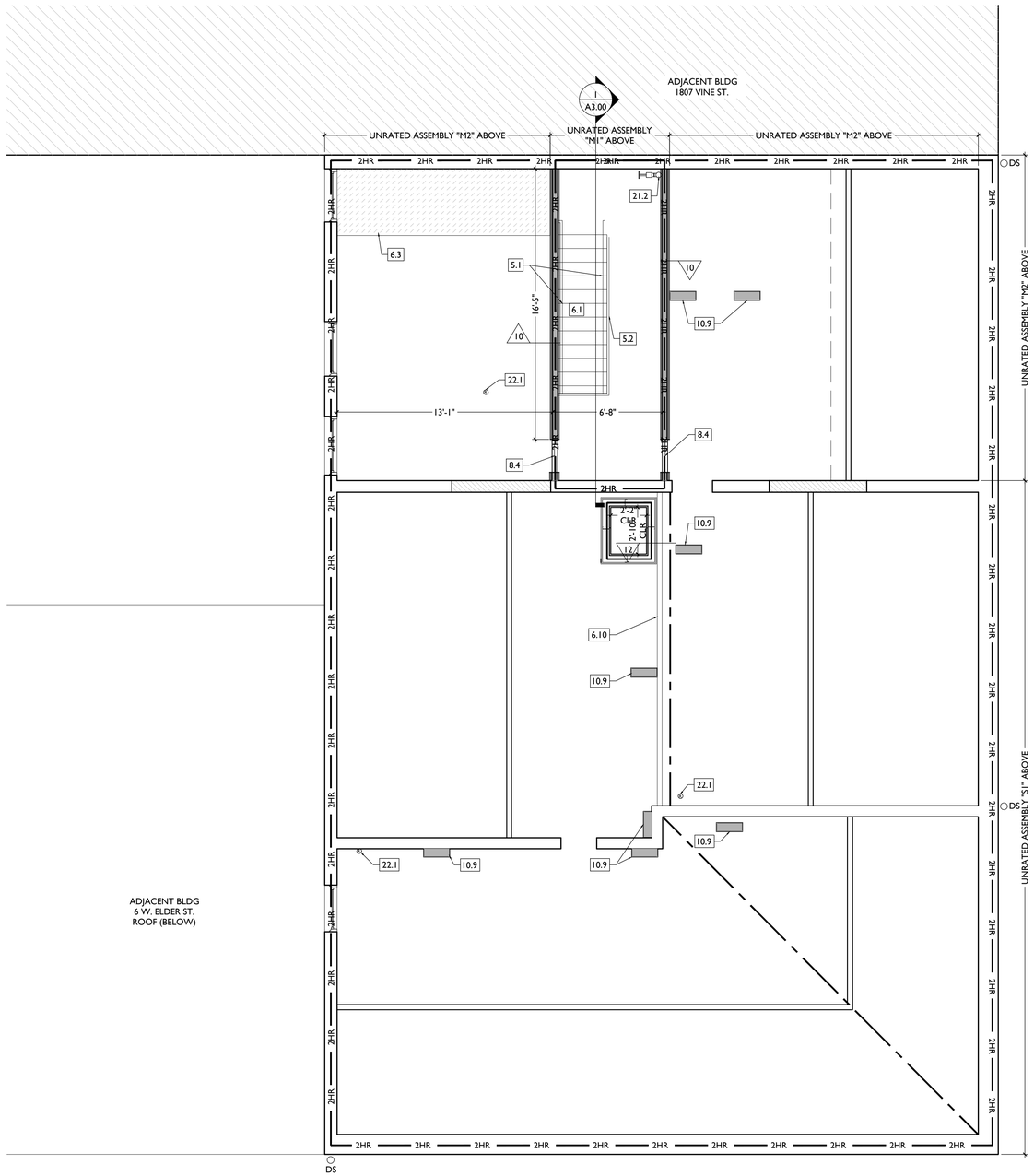
Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
RO, AM

PROPOSED PROJECT:
RENOVATION FOR
1801 - 1805 VINE ST.
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/30/2024

A1.13



SCALE: 1/4" = 1'-0"

PROPOSED PLAN - ATTIC | 1

NEW WORK GRAPHIC KEY:

- PARTITION TYPE - SEE A6.00.
- KEYNOTE.
- EXISTING WALL.
- NEW PARTITION WALL.
- NEW MASONRY WALL.
- OBJECT OVERHEAD.
- 1HR — 1-HR FIRE RATING.
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- NEW FLOOR & FRAMING TO MATCH ADJ - SEE STRUCT DWGS.
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- X'-X" — ELEVATION TAG.

NEW WORK PLANS & ELEVATIONS [#] KEYED NOTES:

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3. CONCRETE
3.1 SLAB TO REMAIN. SCOPE & VERIFY FLOOR DRAINS CONNECT TO SEWER. REPAIR AS REQUIRED.
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3.3 EXG OPENING TO BASEMENT TO BE CAPPED WITH CONCRETE AT GRADE. IF IN PUBLIC R.O.W. COMPLY W/ LOCAL JURISDICTION STANDARDS. SEE STRUCTURAL AND CIVIL DRAWINGS.
3.4 NEW CONCRETE SLAB ON GRADE. SEE CIVIL DRAWINGS.
3.5 NOT USED
3.6 NEW CONCRETE FLOOR OVER EXG WOOD FRAMING. SEE STRUCTURAL.
3.7 INFILL EXG VENTS/GAPS WITH CONCRETE AT T.O. FOUNDATION WALL.

4. MASONRY
4.1 NEW OR EXPANDED OPENING IN EXG MASONRY WALL (SEE STRUCTURAL DWGS). PROVIDE NEW STEEL LINTEL.
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4.3 CMU TO BE LEFT EXPOSED. SCRAPE LOOSE PAINT, CLEAN, AND PAINT.
4.4 TUCKPOINT BRICK AS SHOWN ON EXTERIOR ELEVATIONS & PER SHPO NARRATIVE.
4.5 REPLACE DAMAGED/MISSING BRICK AS SHOWN ON EXTERIOR ELEVATIONS & PER SHPO NARRATIVE.
4.6 PARGING:
A. REMOVE LOOSE AND/OR CRACKED AS SHOWN ON THE ELEVATIONS & REPAIR TO MATCH FINISH OF EXG PARGING.
4.7 PAINT EXG 12" WIDE BRICK COLUMN.
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7.3 NEW PVC AT LOWER 6' OF DOWNSPOUT. PAINT TO MATCH DOWNSPOUT.
7.4 NEW FULLY ADHERED WHITE TPO MEMBRANE ROOF W/ CRICKETS WHERE REQUIRED FOR POSITIVE DRAINAGE AND W/ TERMINATION BARS & METAL COUNTERFLASHING - SEE ROOF DETAILS. INSULATION PER SCHEDULE. B.O.D - 60 MIL WHITE TPO, FULLY ADHERED ROOF SYSTEM, 20 YEAR WARRANTY, BY CARLISLE SYNTEC, CARLISLE, PA, OR EQUIVALENT.
7.5 NEW SLATE-COLORED ROOF SHINGLES. B.O.D. OWENS CORNING TRU DEFINITION DURATION SHINGLES, WITH 30 YEAR MIN. WARRANTY. PROVIDE ICE AND WATER SHIELD WHERE REQUIRED.
7.6 EXG ROOF ACCESS HATCH TO REMAIN.
7.7 PROVIDE ROOF-WALL FLASHING PER DETAIL 18/A5.00.
7.8 PROVIDE CEMENT BOARD STUCCO SYSTEM AT EXTERIOR WALL. B.O.D. = "STOQUIK SILVER DRAINSCREEN".

8. OPENINGS
8.1 PROVIDE FACTORY FROSTED GLASS AT WINDOW.
8.2 NEW ALUMINUM STOREFRONT IN HISTORIC OPENING - SEE EXTERIOR ELEVATIONS.
8.3 NEW STOREFRONT CONSTRUCTION. SEE EXTERIOR ELEVATIONS.
8.4 ATTIC ACCESS PANEL (22"x30" MIN.).
8.5 NEW EXTERIOR BUILDING ENTRY DOOR AND FRAME - SEE DOOR SCHEDULE.
8.6 FIXED DOUBLE DOOR. SEE DOOR SCHEDULE.

9. FINISHES
9.1 EXG PLASTER AT MASONRY WALL TO BE PATCHED AND REPAIRED, WHERE POSSIBLE.
9.2 FIRE-RATING TO BE CONTINUOUS BEHIND PLUMBING/CHASE/ FURRING WALL. FIRE RATING TO BE CONTINUOUS AT INTERSECTION W/ NON-RATED WALL.
9.3 EXG CMU TO REMAIN EXPOSED - PAINT PER FIN. SCHEDULE.
9.4 EXG BRICK MASONRY WALL TO REMAIN EXPOSED. PAINT.
9.5 INSTALL NEW TILE FLOORING AT RECESSED ENTRY. SEE DETAIL 25/A5.00. SEE FINISH PLANS FOR SPEC.
9.6 NEW HARDWOOD FLOORING.
9.7 APPROXIMATE LOCATION OF CHASE WALL FOR PLUMBING AND MECH VENT/EXHAUST RISERS. WRAP IN GYP BD AS REQ'D. SEE PLUMBING AND MECH DWGS.

10. SPECIALTIES
10.1 PROVIDE DRAIN PAN BENEATH WASHING MACHINE/ WATER HEATER. SEE PLUMBING DWGS.
10.2 LOCKABLE & RECESSED MAILBOXES. BOXES TO MEET USPS-4C STANDARDS & ACCESSIBILITY REQUIREMENTS. PROVIDE CONT FIRE-RATING BEHIND MAILBOXES, AS REQ.
10.3 ENTRY SYSTEM CALLBOX B.O.D. = "2N ACCESS CONTROL"
10.4 PROVIDE "NO SMOKING" SIGN AT EXTERIOR WALL.
10.5 CLOSETS W/ BLOCKING AT RODS & BRACKETS:
A. TYP. ENCLOSED CLOSET: 12" DEEP MELAMINE SHELF & CLOTHES ROD AT 66" AFF., TYP U.N.O.
B. OPEN CLOSET- SHELF & CLOTHES ROD.
C. NOT USED
D. ADJUSTABLE SHELVES ON STANDARD MOUNT.
10.6 TENANT TRASH AREA.
10.7 NOT USED.
10.8 SHOWER NICHE. SEE ENLARGED PLANS, INTERIOR ELEVATIONS AND DETAIL 1/A5.00.
10.9 NOT USED.
10.10 PROVIDE BLOCKING FOR WALL-MOUNTED CHANGING STATION, SEE INTERIOR ELEVATIONS.
10.11 FIRE EXTINGUISHER. COORDINATE FINAL LOCATION WITH LOCAL FIRE MARSHAL.
A. SURFACE MOUNTED.
B. IN SINK CABINET IN RESIDENTIAL UNIT, TYPICAL.
10.12 NEW 2HR FIRE-RATED SHAFT FOR 18" DUCT. PROVIDE "CH" CHANNELS 6" WIDE.
10.13 PROVIDE COUNTERTOP SUPPORT BRACKET AT 12" OVERHAND. B.O.D. = "THE ORIGINAL GRANITE BRACKET - T BRACE COUNTERTOP SUPPORT BRACKET, 20" LENGTH.

21. FIRE SUPPRESSION
21.1 APPROX LOCATION OF FDC CONNECTION - COORDINATE W/ CIVIL AND FIRE DEPT.
21.2 PROPOSED SPRINKLER STANDPIPE LOCATION. COORDINATE WITH FIRE SUPPRESSION CONTRACTOR.
21.3 PROVIDE WATERFLOW ALARM DEVICE. CONFIRM LOCATION WITH BUILDING INSPECTOR AND FIRE DEPARTMENT. COORDINATE WITH ELECTRICAL AND FIRE SUPPRESSION CONTRACTOR.
21.4 PROVIDE 2HR FIRE PROTECTION PER 7/A6.02.
21.5 PROVIDE 2HR FIRE PROTECTION PER 8/A6.02.

22. PLUMBING
22.1 PROVIDE RADON RISER, AS REQUIRED BY OWNER'S CONSULTANT. RISER TO EXTEND FROM BASEMENT TO ATTIC. SEE CONSULTANT DESIGN FOR LOCATIONS OF RISERS. COORDINATE WITH PLUMBING.
A. JOG RISER TO AVOID HVAC CONDENSER.
22.2 PLUMBING CHASE (OR WALL) - VERIFY LOCATIONS IN FIELD TO ALIGN CONCEALMENT BETWEEN FLOORS.
22.3 NEW HOSE BIB LOCATION. SEE PLUMBING.

23. HEATING, VENTILATING, AND AIR CONDITIONING
23.1 NOT USED.
23.2 WALL CAVITY FOR EXHAUST DUCT - COORDINATE W/ MECHANICAL DWGS.
23.3 NEW EXHAUST VENT COVER. PAINT TO MATCH ADJACENT WALL SURFACE.

26. ELECTRICAL
26.1 ELECTRIC PANEL RECESSED IN WALL W/ 30"W X 36"D CLEAR IN FRONT. PAINT TO MATCH ADJACENT WALL W APPROPRIATE PAINT TYPE FOR PANEL.
26.2 NEW EXTERIOR LIGHTING. NO EXPOSED CONDUIT ON FACE OF BUILDING. SEE RCP'S AND ELECTRICAL DWGS.

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KURT J. PLATTE
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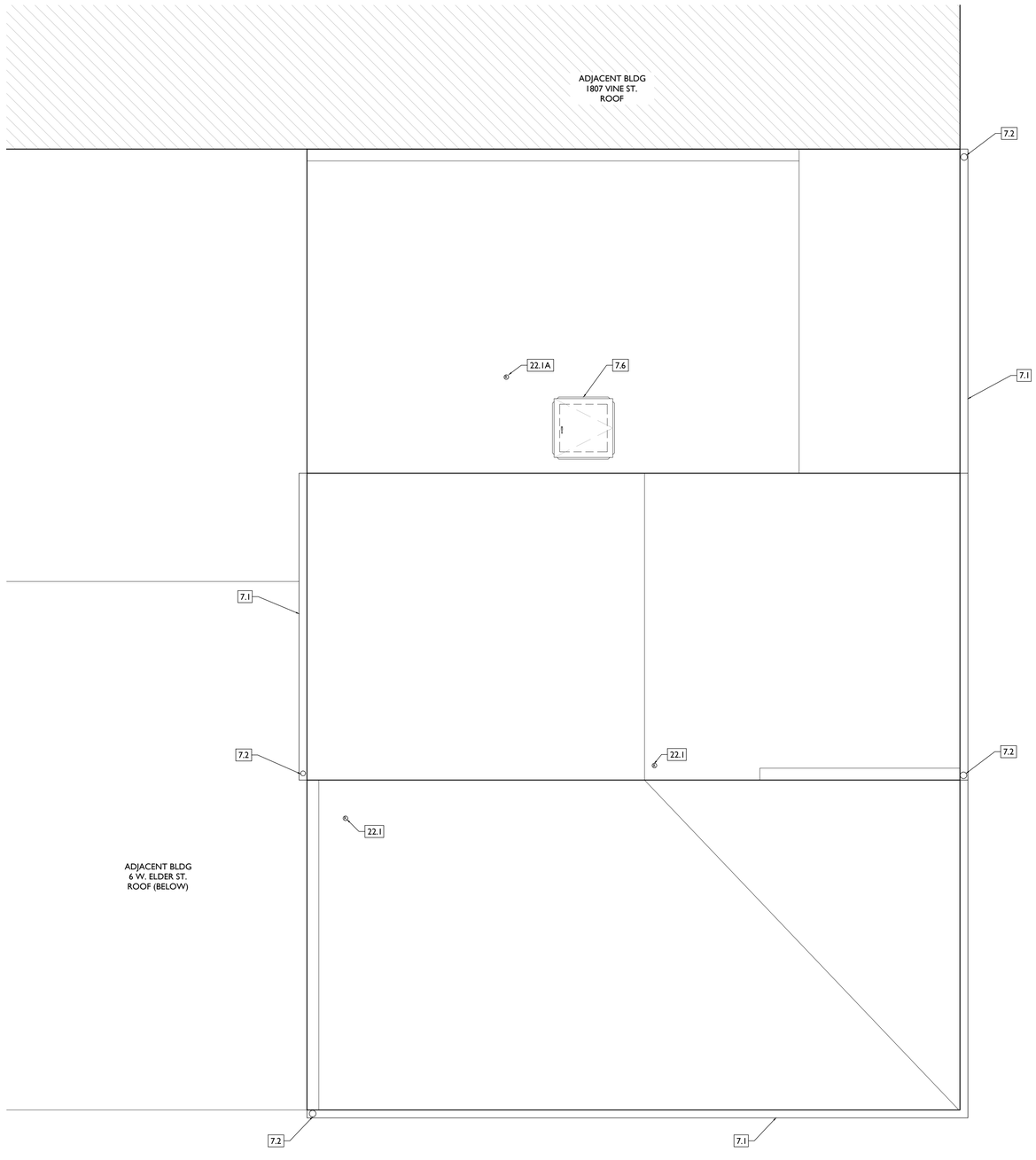
Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
RO, AM

PROPOSED PROJECT:
RENOVATION FOR
1801 - 1805 VINE ST.
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/30/2024

A1.14



NOTE: CONTRACTOR TO DESIGN AND INSTALL ROOF VENTING SYSTEM THAT COMPLIES WITH OBC 1203. CONTRACTOR TO DETERMINE SIZE AND LOCATION OF VENTS. TOTAL AMOUNT OF NET FREE VENTILATING AREA SHOULD BE MINIMUM 1/150 OF ATTIC SF.

AT SHINGLED ROOF (1801-1803 VINE), CONTRACTOR TO SPLIT VENTILATION 50/50 BETWEEN LOW AND HIGH ACCESS POINTS.

SCALE: 1/4" = 1'-0"

PROPOSED ROOF PLAN | 1

NEW WORK GRAPHIC KEY:

- 2 / 4 — PARTITION TYPE - SEE A6.00. / KEYNOTE.
- EXISTING WALL.
- NEW PARTITION WALL.
- NEW MASONRY WALL.
- OBJECT OVERHEAD.
- 1HR — 1-HR FIRE RATING.
- 2HR — 2-HR FIRE RATING.
- NEW FLOOR & FRAMING TO MATCH ADJ - SEE STRUCT DWGS.
- NEW GYP BD SOFFIT/ BULKHEAD/ DROPPED CLG - SEE RCPS.
- AREA OF ATYPICAL FIRE-RATED ASSEMBLY ABOVE. SEE A0.01 & A6.01.
- AREA OF TUCKPOINTING - SEE ELEVS & STRUCT DWGS.
- 100A — DOOR TAG. SEE SCHEDULE / A6.10-13.
- A — WINDOW DESIGNATION. SEE A6.20-25.
- SFA — STOREFRONT DESIGNATION. SEE A6.13.
- EMERGENCY EGRESS EXIT.
- SG — OPG CONTAINS SAFETY GLAZING.
- SH — SINGLE HUNG OPG - UPPER SASH TO BE FIXED WITHIN 3'-0" OF EXHAUST.
- X'-X" — ELEVATION TAG.

NEW WORK PLANS & ELEVATIONS [#] KEYED NOTES:

IMPORTANT !!! HISTORIC ELEMENTS PRESENT IN THIS BUILDING:
- PRESERVE HISTORIC ELEMENTS UNO.

3. CONCRETE
- 3.1 SLAB TO REMAIN. SCOPE & VERIFY FLOOR DRAINS CONNECT TO SEWER. REPAIR AS REQUIRED.
- 3.2 NEW CONCRETE FOOTING. SEE STRUCTURAL.
- 3.3 EXG OPENING TO BASEMENT TO BE CAPPED WITH CONCRETE AT GRADE. IF IN PUBLIC R.O.W. COMPLY W/ LOCAL JURISDICTION STANDARDS. SEE STRUCTURAL AND CIVIL DRAWINGS.
- 3.4 NEW CONCRETE SLAB ON GRADE. SEE CIVIL DRAWINGS.
- 3.5 NOT USED
- 3.6 NEW CONCRETE FLOOR OVER EXG WOOD FRAMING. SEE STRUCTURAL.
- 3.7 INFILL EXG VENTS/GAPS WITH CONCRETE AT T.O. FOUNDATION WALL.

4. MASONRY
- 4.1 NEW OR EXPANDED OPENING IN EXG MASONRY WALL (SEE STRUCTURAL DWGS). PROVIDE NEW STEEL LINTEL.
- 4.2 BRICK TO BE LEFT EXPOSED. SCRAPE LOOSE PAINT, CLEAN, AND PAINT.
- 4.3 CMU TO BE LEFT EXPOSED. SCRAPE LOOSE PAINT, CLEAN, AND PAINT.
- 4.4 TUCKPOINT BRICK AS SHOWN ON EXTERIOR ELEVATIONS & PER SHPO NARRATIVE.
- 4.5 REPLACE DAMAGED/MISSING BRICK AS SHOWN ON EXTERIOR ELEVATIONS & PER SHPO NARRATIVE.
- 4.6 PARGING:
  - A. REMOVE LOOSE AND/OR CRACKED AS SHOWN ON THE ELEVATIONS & REPAIR TO MATCH FINISH OF EXG PARGING.
- 4.7 PAINT EXG 12" WIDE BRICK COLUMN.
- 4.8 INFILL EXISTING WINDOW OPENING WITH CMU & FACE BRICK. KEY IN BRICK FOR SEAMLESS EXTERIOR MASONRY APPEARANCE. SEE DETAIL 17/A5.00.
- 4.9 NEW REPLACEMENT LINTEL ABOVE. SEE STRUCTURAL DWGS.
- 4.10 NEW CMU INFILL PER STRUCTURAL DRAWINGS.
- 4.11 RAISED EXG LINTEL. SEE DEMO PLANS, MECH AND STRUCTURAL.
- 4.12 CONTRACTOR TO COORDINATE PASSAGE OF DUCTWORK THROUGH MASONRY OPENING ABOVE LINTEL. SEE MECH AND STRUCTURAL.
- 4.13 NEW SAWCUT MASONRY OPENING FOR DUCTWORK AND PLUMBING LINES. NEW STEEL LINTEL PER STRUCTURAL. COORDINATE WITH PLUMBING AND MECH.

5. METALS
- 5.1 NOT USED.
- 5.2 NEW STEEL GUARDRAIL. SEE DETAILS.
- 5.3 NOT USED.
- 5.4 EXG. BEAM ABOVE TO REMAIN. SEE STRUCTURAL DWGS.
- 5.5 NEW PAINTED METAL-CLAD COLUMN. SEE 27/A5.00.
- 5.6 NEW PAINTED METAL CEILING, EXTERIOR GRADE.
- 5.7 CAST IRON COLUMN TO REMAIN.
- 5.8 EXISTING FIRE ESCAPE TO REMAIN.
- 5.9 ATTACH SALVAGED FIRE ESCAPE TO ORIGINAL LOCATION.

6. WOOD, PLASTICS, AND COMPOSITES
- 6.1 REPAIR DAMAGED WOOD STAIR TREADS/RISERS AS REQ'D.
- 6.2 NEW INTERIOR WOOD STAIR. SEE SECTION SHEET A3.00.
- 6.3 NEW FLOOR FRAMING (SEE STRUCT DWGS).
- 6.4 RETAIN & REPAIR HISTORIC STOREFRONT BULKHEAD. PAINT. SEE ELEVATIONS.
- 6.5 NEW WOOD BULKHEAD TO MATCH EXG HISTORIC ADJACENT. PAINT. SEE ELEVATIONS.
- 6.6 NEW RAKE TRIM / GUTTERBOARD TO MATCH EXISTING - SEE ELEVATIONS.
- 6.7 NEW COLUMN PER STRUCTURAL DWGS.
- 6.8 NEW STRUCTURAL BEAM ABOVE. SEE STRUCTURAL DWGS.
- 6.9 EXG. BEAM ABOVE TO REMAIN. SEE STRUCTURAL DWGS.
- 6.10 NEW WOOD FRAME BEARING WALL. SEE STRUCTURAL DRAWINGS.

7. THERMAL AND MOISTURE PROTECTION
- 7.1 NEW PRE-FINISHED K-STYLE ALUMINUM GUTTER.
- 7.2 NEW ROUND ALUMINUM DOWNSPOUT PAINTED TO MATCH ADJACENT WALL SURFACE. SEE EXTERIOR ELEVATIONS. TIE INTO EXISTING SEWER SYSTEM.
- 7.3 NEW PVC AT LOWER 6' OF DOWNSPOUT. PAINT TO MATCH DOWNSPOUT.
- 7.4 NEW FULLY ADHERED WHITE TPO MEMBRANE ROOF W/ CRICKETS WHERE REQUIRED FOR POSITIVE DRAINAGE AND W/ TERMINATION BARS & METAL COUNTERFLASHING - SEE ROOF DETAILS. INSULATION PER SCHEDULE. B.O.D - 60 MIL WHITE TPO, FULLY ADHERED ROOF SYSTEM, 20 YEAR WARRANTY, BY CARLISLE SYNTEC, CARLISLE, PA, OR EQUIVALENT.
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  - B. OPEN CLOSET- SHELF & CLOTHES ROD.
  - C. NOT USED
  - D. ADJUSTABLE SHELVES ON STANDARD MOUNT.
- 10.6 TENANT TRASH AREA.
- 10.7 NOT USED.
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- 10.9 NOT USED.
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  - A. JOG RISER TO AVOID HVAC CONDENSER.
- 22.2 PLUMBING CHASE (OR WALL) - VERIFY LOCATIONS IN FIELD TO ALIGN CONCEALMENT BETWEEN FLOORS.
- 22.3 NEW HOSE BIB LOCATION. SEE PLUMBING.

23. HEATING, VENTILATING, AND AIR CONDITIONING
- 23.1 NOT USED.
- 23.2 WALL CAVITY FOR EXHAUST DUCT - COORDINATE W/ MECHANICAL DWGS.
- 23.3 NEW EXHAUST VENT COVER. PAINT TO MATCH ADJACENT WALL SURFACE.

26. ELECTRICAL
- 26.1 ELECTRIC PANEL RECESSED IN WALL W/ 30"W X 36"D CLEAR IN FRONT. PAINT TO MATCH ADJACENT WALL W APPROPRIATE PAINT TYPE FOR PANEL.
- 26.2 NEW EXTERIOR LIGHTING. NO EXPOSED CONDUIT ON FACE OF BUILDING. SEE RCP'S AND ELECTRICAL DWGS.

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STATE OF OHIO — KURT J PLATTE 10833 — REGISTERED ARCHITECT

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2024.08.30 - BID SET 2

Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
RO, AM

PROPOSED PROJECT:
RENOVATION FOR
1801 - 1805 VINE ST.
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/30/2024

A1.15

REFLECTED CEILING PLAN FIXTURE LEGEND:

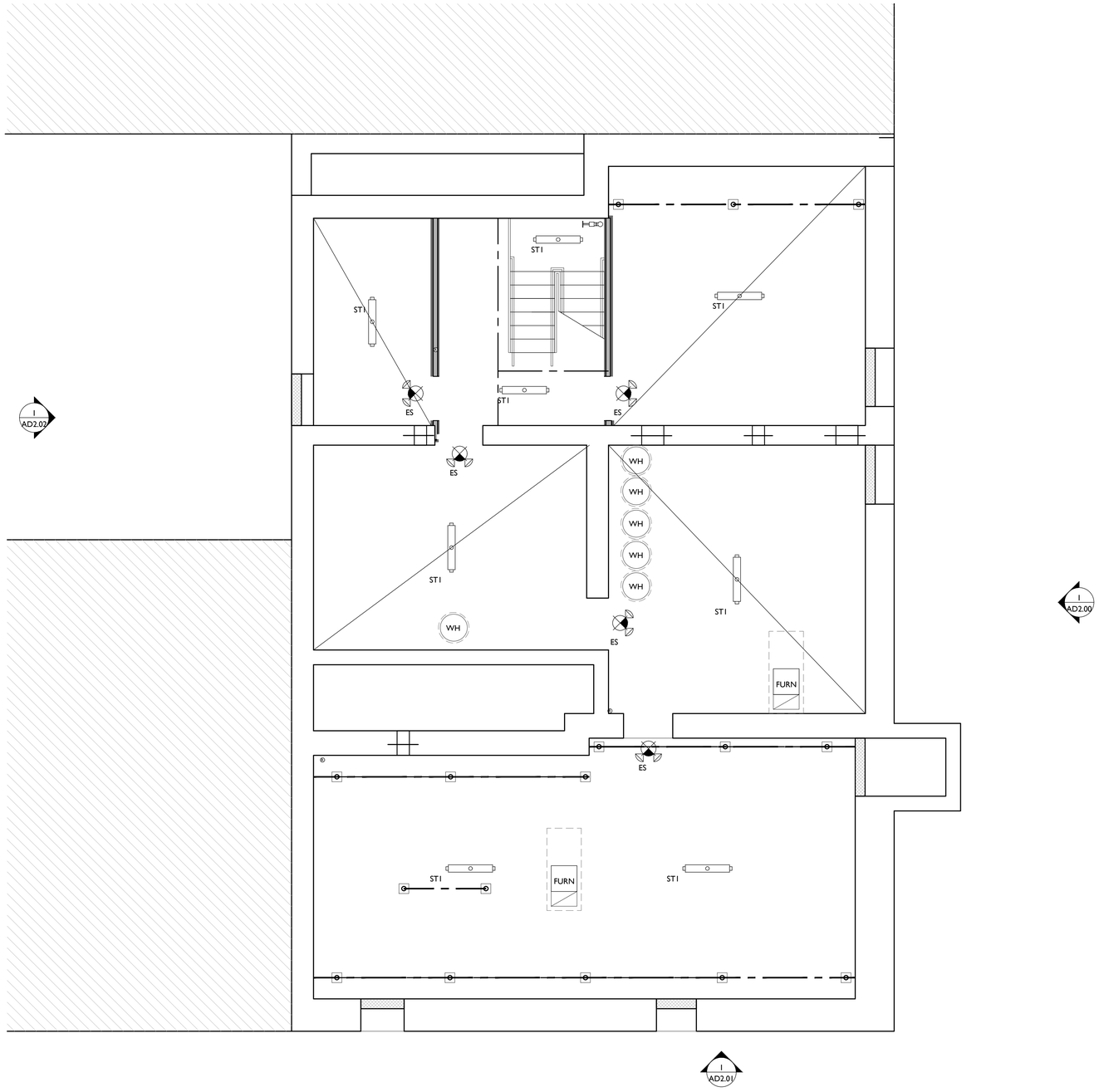
SYMBOL	FIXTURE TYPE	REMARKS
SM1 SM2 SM3	SURFACE MOUNT LED CAN LIGHT	SM1 - GENERAL LIGHTS. PROVIDE DIMMERS IN RESIDENTIAL UNITS. SM2 - DAMP RATED, TYPICAL IN SHOWERS. SM3 - ALWAYS ON , TYPICAL IN COMMON STAIRHALLS..
SM13	SURFACE MOUNT ENTRY LIGHT	STAIR HALL ENTRY VESTIBULE, 1ST FLOOR ONLY
SM8	SURFACE MOUNT LINEAR LED	TYPICAL IN COMMERCIAL TURNKEY SPACES
ST1	SURFACE MOUNT UTILITY FIXTURE	TYPICAL IN ATTICS AND IN BASEMENTS
V1	WALL MOUNT VANITY LIGHT	V1 - TYPICAL OVER BATHROOM VANITIES IN TYPICAL RESIDENTIAL UNITS.
V2	WALL MOUNT VANITY LIGHT	V2 - TYPICAL ON SIDES OF BATHROOM VANITIES IN TYPICAL RESIDENTIAL UNITS.
TL1	SURFACE MOUNT TRACK LIGHT	DIMMABLE, TYPICAL IN COMMERCIAL TURNKEY SPACES AND IN LOBBIES
P1	SURFACE MOUNT PENDANT	TYPICAL OVER KITCHEN ISLANDS
F1	CEILING FAN WITH LIGHT	SMALL FAN, TYPICAL IN BEDROOMS AND LIVING ROOMS
F2	CEILING FAN WITH LIGHT	LARGE FAN, TYPICAL IN BEDROOM AND LIVING ROOM
WM1	WALL MOUNT EXTERIOR LIGHT	EXTERIOR ARCHITECTURAL UP-DOWN LIGHT
WM5	WALL MOUNT EXTERIOR LIGHT	EXTERIOR ARCHITECTURAL GOOSENECK LIGHT
ES	EMERGENCY EGRESS LIGHT	EMERGENCY EGRESS EXIT SIGN
ESL	EMERGENCY EGRESS LIGHT	EMERGENCY EGRESS EXIT SIGN W/ LIGHTS
EF1	BATHROOM VENT	TYPICAL BATHROOM EXHAUST FAN/VENT
RH1	EMERGENCY EGRESS LIGHT	LED REMOTE HEAD EMERGENCY EGRESS LIGHT
EM	EMERGENCY EGRESS LIGHT	EMERGENCY EGRESS LIGHT WALL PACK

REFLECTED CEILING PLAN GENERAL NOTES:

A. NOTE: THIS IS A HISTORIC TAX CREDIT PROJECT. ALL WORK MUST COMPLY W/ APPROVED. PART 2, INCLUDING AMENDMENTS. NO HISTORIC ELEMENTS SHALL BE REMOVED/MODIFIED UNLESS SPECIFICALLY INDICATED IN ARCH DWGS.
B. IF A FIXTURE APPEARS TO BE CENTERED IN A SPACE, THEN CENTER IT.
C. LOWERED CEILINGS AND SOFFITS SHALL BE 8'-0" HIGH A.F.F., U.N.O.
D. CLG HTS AT EXG FLOORS ARE TO BE V.I.F.
E. ALL CEILING FINISHES IN OCCUPIED SPACES TO BE SMOOTH PAINTED DRYWALL U.N.O. SEE FINISH SCHEDULE FOR PAINT COLORS.
F. BASEMENTS & UNOCCUPIED ATTICS TO HAVE EXPOSED JOISTS - NO FINISH CLGS U.N.O.
G. ALL SOFFITS OVER KITCHEN CABINETS TO BE 8'-0" AFF AND 2'-1 1/2" WIDE MINIMUM.
H. PROVIDE UNDER-CABINET LIGHTING BENEATH ALL UPPER KITCHEN CABINETS IN RESIDENTAL UNITS. SEE ELEC DWGS.
I. SEE EXTERIOR ELEVATIONS FOR MOUNTING HEIGHTS OF EXTERIOR LIGHTS.
J. SEE ELECTRICAL DRAWINGS FOR FIXTURE SPECIFICATIONS.
K. ANY FIXTURES LOCATED IN AREAS WITH REMAINING HISTORIC TIN CEILINGS SHOULD BE CENTERED ON THE CEILING TILES, RATHER THAN PERFECTLY CENTERED IN THE SPACE. ADJUST THE GRID PLACEMENT/DIMENSIONS BY A FEW INCHES AS REQUIRED TO ACCOMMODATE THIS.

REFLECTED CEILING PLAN GRAPHIC KEY:

- CH: 8'-0" — CEILING HEIGHT TAG (TYP 8'-0" U.N.O.)
- SOFFIT/LOWERED GYP BD CEILING
- AREA OF ATYPICAL FIRE-RATING. SEE PLANS & SHEET A0.01
- WC — WATER CURTAIN HEAD TO PROVIDE 100% COVERAGE OF WINDOW- COORD W/ F.P PLANS
- (NL) — DENOTES NIGHT LIGHT FIXTURE
- (OS) — DENOTES OCCUPANCY SENSOR
- SD — COMBO SMOKE/CARBON MONOXIDE DETECTOR: IONIZATION (TYP BEDROOMS)
- SD — PHOTOELECTRIC
- CENTER ON ARCHITECTURAL FEATURE
- STRUCTURAL MEMBER - SEE STRUCTURAL DWGS



SCALE: 1/4" = 1'-0"

REFLECTED CEILING PLAN - BASEMENT | 1

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A1.20

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EM	EMERGENCY EGRESS LIGHT	EMERGENCY EGRESS LIGHT WALL PACK

REFLECTED CEILING PLAN GENERAL NOTES:

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C. LOWERED CEILINGS AND SOFFITS SHALL BE 8'-0" HIGH A.F.F., U.N.O.
D. CLG HTS AT EXG FLOORS ARE TO BE V.I.F.
E. ALL CEILING FINISHES IN OCCUPIED SPACES TO BE SMOOTH PAINTED DRYWALL U.N.O. SEE FINISH SCHEDULE FOR PAINT COLORS.
F. BASEMENTS & UNOCCUPIED ATTICS TO HAVE EXPOSED JOISTS - NO FINISH CLGS U.N.O.
G. ALL SOFFITS OVER KITCHEN CABINETS TO BE 8'-0" AFF AND 2'-1 1/2" WIDE MINIMUM.
H. PROVIDE UNDER-CABINET LIGHTING BENEATH ALL UPPER KITCHEN CABINETS IN RESIDENTAL UNITS. SEE ELEC DWGS.
I. SEE EXTERIOR ELEVATIONS FOR MOUNTING HEIGHTS OF EXTERIOR LIGHTS.
J. SEE ELECTRICAL DRAWINGS FOR FIXTURE SPECIFICATIONS.
K. ANY FIXTURES LOCATED IN AREAS WITH REMAINING HISTORIC TIN CEILINGS SHOULD BE CENTERED ON THE CEILING TILES, RATHER THAN PERFECTLY CENTERED IN THE SPACE. ADJUST THE GRID PLACEMENT/DIMENSIONS BY A FEW INCHES AS REQUIRED TO ACCOMMODATE THIS.

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- SD — COMBO SMOKE/CARBON MONOXIDE DETECTOR: IONIZATION (TYP BEDROOMS)
- SD — PHOTOELECTRIC
- CENTER ON ARCHITECTURAL FEATURE
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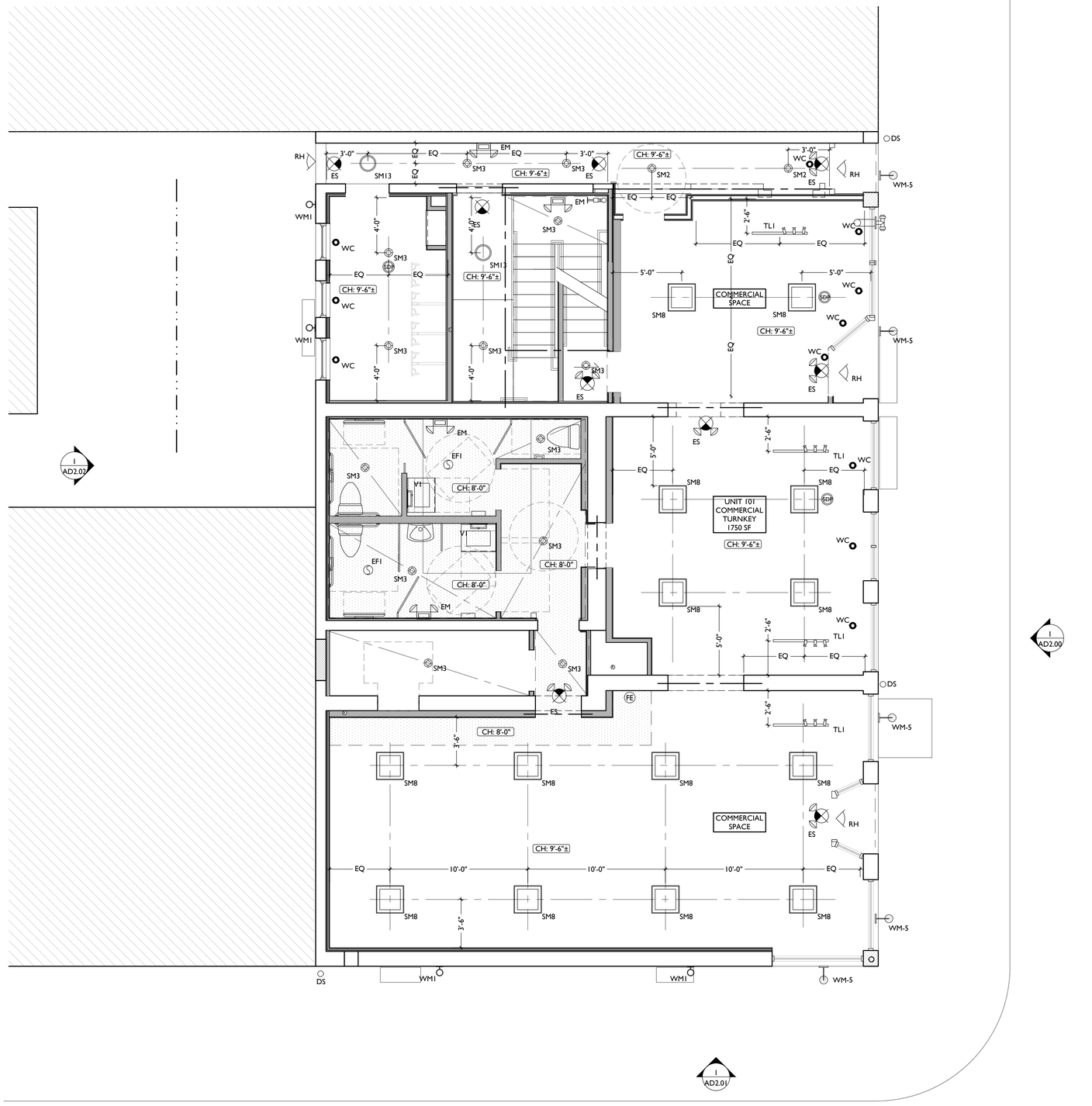

SCALE: 1/4" = 1'-0" REFLECTED CEILING PLAN - FIRST FLOOR | 1

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Drawn by:
RO, AM

PROPOSED PROJECT:
RENOVATION FOR
1801 - 1805 VINE ST.
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/30/2024

A1.21

REFLECTED CEILING PLAN FIXTURE LEGEND:		
SYMBOL	**FIXTURE TYPE**	**REMARKS**
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SM8	SURFACE MOUNT LINEAR LED	TYPICAL IN COMMERCIAL TURNKEY SPACES
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V1	WALL MOUNT VANITY LIGHT	V1 - TYPICAL OVER BATHROOM VANITIES IN TYPICAL RESIDENTIAL UNITS.
V2	WALL MOUNT VANITY LIGHT	V2 - TYPICAL ON SIDES OF BATHROOM VANITIES IN TYPICAL RESIDENTIAL UNITS.
TL1	SURFACE MOUNT TRACK LIGHT	DIMMABLE, TYPICAL IN COMMERCIAL TURNKEY SPACES AND IN LOBBIES
P1	SURFACE MOUNT PENDANT	TYPICAL OVER KITCHEN ISLANDS
F1	CEILING FAN WITH LIGHT	SMALL FAN, TYPICAL IN BEDROOMS AND LIVING ROOMS
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WM1	WALL MOUNT EXTERIOR LIGHT	EXTERIOR ARCHITECTURAL UP-DOWN LIGHT
WM5	WALL MOUNT EXTERIOR LIGHT	EXTERIOR ARCHITECTURAL GOOSENECK LIGHT
ES	EMERGENCY EGRESS LIGHT	EMERGENCY EGRESS EXIT SIGN
ESL	EMERGENCY EGRESS LIGHT	EMERGENCY EGRESS EXIT SIGN W/ LIGHTS
EF1	BATHROOM VENT	TYPICAL BATHROOM EXHAUST FAN/VENT
RH1	EMERGENCY EGRESS LIGHT	LED REMOTE HEAD EMERGENCY EGRESS LIGHT
EM	EMERGENCY EGRESS LIGHT	EMERGENCY EGRESS LIGHT WALL PACK

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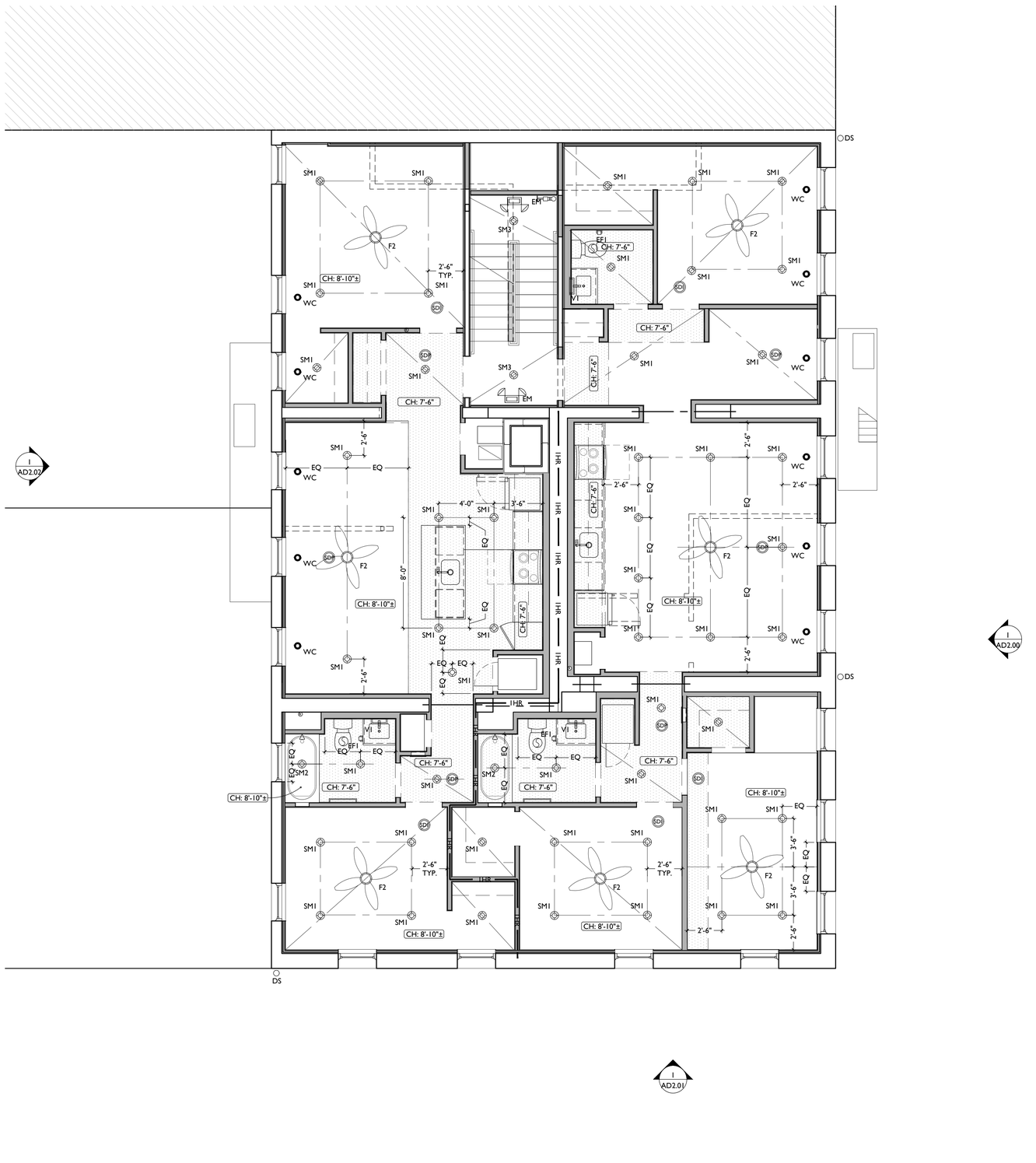

SCALE: 1/4" = 1'-0" REFLECTED CEILING PLAN - SECOND FLOOR | 1

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PROPOSED PROJECT:
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CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/30/2024

A1.22

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Job No: 22042 8/30/2024

A1.23

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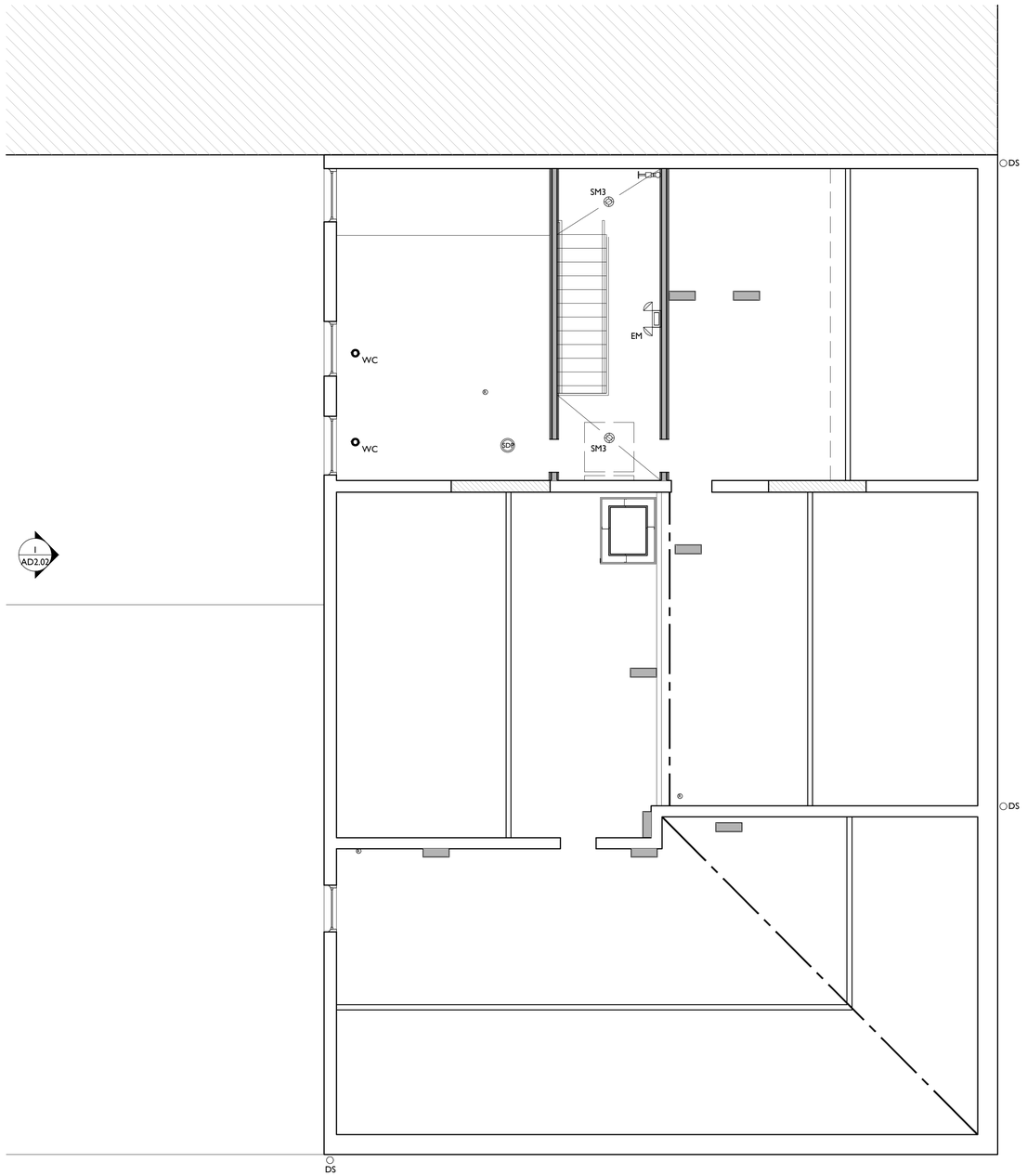

SCALE: 1/4" = 1'-0"

REFLECTED CEILING PLAN - ATTIC | 1

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PROPOSED PROJECT:
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CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/30/2024

A1.24

SCALE: 1/4" = 1'-0"

PROPOSED ELEVATION - EAST | 1

NEW WORK GRAPHIC KEY:

- PARTITION TYPE - SEE A6.00.
- KEYNOTE.
- EXISTING WALL.
- NEW PARTITION WALL.
- NEW MASONRY WALL.
- OBJECT OVERHEAD.
- 1HR — 1-HR FIRE RATING.
- 2HR — 2-HR FIRE RATING.
- NEW FLOOR & FRAMING TO MATCH ADJ - SEE STRUCT DWGS.
- NEW GYP BD SOFFIT/ BULKHEAD/ DROPPED CLG - SEE RCPS.
- AREA OF ATYPICAL FIRE-RATED ASSEMBLY ABOVE. SEE A0.01 & A6.01.
- AREA OF TUCKPOINTING - SEE ELEVS & STRUCT DWGS.
- 100A — DOOR TAG. SEE SCHEDULE / A6.10-13.
- A — WINDOW DESIGNATION. SEE A6.20-25.
- SFA — STOREFRONT DESIGNATION. SEE A6.13.
- EMERGENCY EGRESS EXIT.
- SG — OPG CONTAINS SAFETY GLAZING.
- SH — SINGLE HUNG OPG - UPPER SASH TO BE FIXED WITHIN 3'-0" OF EXHAUST.
- X'-X" — ELEVATION TAG.

NEW WORK PLANS & ELEVATIONS [#] KEYED NOTES:

IMPORTANT !!! HISTORIC ELEMENTS PRESENT IN THIS BUILDING:
- PRESERVE HISTORIC ELEMENTS UNO.

3. CONCRETE
3.1 SLAB TO REMAIN. SCOPE & VERIFY FLOOR DRAINS CONNECT TO SEWER. REPAIR AS REQUIRED.
3.2 NEW CONCRETE FOOTING. SEE STRUCTURAL.
3.3 EXG OPENING TO BASEMENT TO BE CAPPED WITH CONCRETE AT GRADE. IF IN PUBLIC R.O.W. COMPLY W/ LOCAL JURISDICTION STANDARDS. SEE STRUCTURAL AND CIVIL DRAWINGS.
3.4 NEW CONCRETE SLAB ON GRADE. SEE CIVIL DRAWINGS.
3.5 NOT USED
3.6 NEW CONCRETE FLOOR OVER EXG WOOD FRAMING. SEE STRUCTURAL.
3.7 INFILL EXG VENTS/GAPS WITH CONCRETE AT T.O. FOUNDATION WALL.

4. MASONRY
4.1 NEW OR EXPANDED OPENING IN EXG MASONRY WALL (SEE STRUCTURAL DWGS). PROVIDE NEW STEEL LINTEL.
4.2 BRICK TO BE LEFT EXPOSED. SCRAPE LOOSE PAINT, CLEAN, AND PAINT.
4.3 CMU TO BE LEFT EXPOSED. SCRAPE LOOSE PAINT, CLEAN, AND PAINT.
4.4 TUCKPOINT BRICK AS SHOWN ON EXTERIOR ELEVATIONS & PER SHPO NARRATIVE.
4.5 REPLACE DAMAGED/MISSING BRICK AS SHOWN ON EXTERIOR ELEVATIONS & PER SHPO NARRATIVE.
4.6 PARGING:
A. REMOVE LOOSE AND/OR CRACKED AS SHOWN ON THE ELEVATIONS & REPAIR TO MATCH FINISH OF EXG PARGING.
4.7 PAINT EXG 12" WIDE BRICK COLUMN.
4.8 INFILL EXISTING WINDOW OPENING WITH CMU & FACE BRICK. KEY IN BRICK FOR SEAMLESS EXTERIOR MASONRY APPEARANCE. SEE DETAIL 17/A5.00.
4.9 NEW REPLACEMENT LINTEL ABOVE. SEE STRUCTURAL DWGS.
4.10 NEW CMU INFILL PER STRUCTURAL DRAWINGS.
4.11 RAISED EXG LINTEL. SEE DEMO PLANS, MECH AND STRUCTURAL.
4.12 CONTRACTOR TO COORDINATE PASSAGE OF DUCTWORK THROUGH MASONRY OPENING ABOVE LINTEL. SEE MECH AND STRUCTURAL.
4.13 NEW SAWCUT MASONRY OPENING FOR DUCTWORK AND PLUMBING LINES. NEW STEEL LINTEL PER STRUCTURAL. COORDINATE WITH PLUMBING AND MECH.

5. METALS
5.1 NOT USED.
5.2 NEW STEEL GUARDRAIL. SEE DETAILS.
5.3 NOT USED.
5.4 EXG. BEAM ABOVE TO REMAIN. SEE STRUCTURAL DWGS.
5.5 NEW PAINTED METAL-CLAD COLUMN. SEE 27/A5.00.
5.6 NEW PAINTED METAL CEILING, EXTERIOR GRADE.
5.7 CAST IRON COLUMN TO REMAIN.
5.8 EXISTING FIRE ESCAPE TO REMAIN.
5.9 ATTACH SALVAGED FIRE ESCAPE TO ORIGINAL LOCATION.

6. WOOD, PLASTICS, AND COMPOSITES
6.1 REPAIR DAMAGED WOOD STAIR TREADS/RISERS AS REQ'D.
6.2 NEW INTERIOR WOOD STAIR. SEE SECTION SHEET A3.00.
6.3 NEW FLOOR FRAMING (SEE STRUCT DWGS).
6.4 RETAIN & REPAIR HISTORIC STOREFRONT BULKHEAD. PAINT. SEE ELEVATIONS.
6.5 NEW WOOD BULKHEAD TO MATCH EXG HISTORIC ADJACENT. PAINT. SEE ELEVATIONS.
6.6 NEW RAKE TRIM / GUTTERBOARD TO MATCH EXISTING - SEE ELEVATIONS.
6.7 NEW COLUMNS PER STRUCTURAL DWGS.
6.8 NEW STRUCTURAL BEAM ABOVE. SEE STRUCTURAL DWGS.
6.9 EXG. BEAM ABOVE TO REMAIN. SEE STRUCTURAL DWGS.
6.10 NEW WOOD FRAME BEARING WALL. SEE STRUCTURAL DRAWINGS.

7. THERMAL AND MOISTURE PROTECTION
7.1 NEW PRE-FINISHED K-STYLE ALUMINUM GUTTER.
7.2 NEW ROUND ALUMINUM DOWNSPOUT PAINTED TO MATCH ADJACENT WALL SURFACE. SEE EXTERIOR ELEVATIONS. TIE INTO EXISTING SEWER SYSTEM.
7.3 NEW PVC AT LOWER 6' OF DOWNSPOUT. PAINT TO MATCH DOWNSPOUT.
7.4 NEW FULLY ADHERED WHITE TPO MEMBRANE ROOF W/ CRICKETS WHERE REQUIRED FOR POSITIVE DRAINAGE AND W/ TERMINATION BARS & METAL COUNTERFLASHING - SEE ROOF DETAILS. INSULATION PER SCHEDULE. B.O.D - 60 MIL WHITE TPO, FULLY ADHERED ROOF SYSTEM, 20 YEAR WARRANTY, BY CARLISLE SYNTEC, CARLISLE, PA, OR EQUIVALENT.
7.5 NEW SLATE-COLORED ROOF SHINGLES. B.O.D. OWENS CORNING TRU DEFINITION DURATION SHINGLES, WITH 30 YEAR MIN. WARRANTY. PROVIDE ICE AND WATER SHIELD WHERE REQUIRED.
7.6 EXG ROOF ACCESS HATCH TO REMAIN.
7.7 PROVIDE ROOF-WALL FLASHING PER DETAIL 18/A5.00.
7.8 PROVIDE CEMENT BOARD STUCCO SYSTEM AT EXTERIOR WALL. B.O.D. = "STOQUIK SILVER DRAINSCREEN".

8. OPENINGS
8.1 PROVIDE FACTORY FROSTED GLASS AT WINDOW.
8.2 NEW ALUMINUM STOREFRONT IN HISTORIC OPENING - SEE EXTERIOR ELEVATIONS.
8.3 NEW STOREFRONT CONSTRUCTION. SEE EXTERIOR ELEVATIONS.
8.4 ATTIC ACCESS PANEL (22"x30" MIN.).
8.5 NEW EXTERIOR BUILDING ENTRY DOOR AND FRAME - SEE DOOR SCHEDULE.
8.6 FIXED DOUBLE DOOR. SEE DOOR SCHEDULE.

9. FINISHES
9.1 EXG PLASTER AT MASONRY WALL TO BE PATCHED AND REPAIRED, WHERE POSSIBLE.
9.2 FIRE-RATING TO BE CONTINUOUS BEHIND PLUMBING/CHASE/ FURRING WALL. FIRE RATING TO BE CONTINUOUS AT INTERSECTION W/ NON-RATED WALL.
9.3 EXG CMU TO REMAIN EXPOSED - PAINT PER FIN. SCHEDULE.
9.4 EXG BRICK MASONRY WALL TO REMAIN EXPOSED. PAINT.
9.5 INSTALL NEW TILE FLOORING AT RECESSED ENTRY. SEE DETAIL 25/A5.00. SEE FINISH PLANS FOR SPEC.
9.6 NEW HARDWOOD FLOORING.
9.7 APPROXIMATE LOCATION OF CHASE WALL FOR PLUMBING AND MECH VENT/EXHAUST RISERS. WRAP IN GYP BD AS REQ'D. SEE PLUMBING AND MECH DWGS.

10. SPECIALTIES
10.1 PROVIDE DRAIN PAN BENEATH WASHING MACHINE/ WATER HEATER. SEE PLUMBING DWGS.
10.2 LOCKABLE & RECESSED MAILBOXES. BOXES TO MEET USPS-4C STANDARDS & ACCESSIBILITY REQUIREMENTS. PROVIDE CONT FIRE-RATING BEHIND MAILBOXES, AS REQ.
10.3 ENTRY SYSTEM CALLBOX B.O.D. = "2N ACCESS CONTROL"
10.4 PROVIDE "NO SMOKING" SIGN AT EXTERIOR WALL.
10.5 CLOSETS W/ BLOCKING AT RODS & BRACKETS:
A. TYP. ENCLOSED CLOSET: 12" DEEP MELAMINE SHELF & CLOTHES ROD AT 66" AFF., TYP U.N.O.
B. OPEN CLOSET- SHELF & CLOTHES ROD.
C. NOT USED
D. ADJUSTABLE SHELVES ON STANDARD MOUNT.
10.6 TENANT TRASH AREA.
10.7 NOT USED.
10.8 SHOWER NICHE. SEE ENLARGED PLANS, INTERIOR ELEVATIONS AND DETAIL 1/A5.00.
10.9 NOT USED.
10.10 PROVIDE BLOCKING FOR WALL-MOUNTED CHANGING STATION, SEE INTERIOR ELEVATIONS.
10.11 FIRE EXTINGUISHER. COORDINATE FINAL LOCATION WITH LOCAL FIRE MARSHAL.
A. SURFACE MOUNTED.
B. IN SINK CABINET IN RESIDENTIAL UNIT, TYPICAL.
10.12 NEW 2HR FIRE-RATED SHAFT FOR 18" DUCT. PROVIDE "CH" CHANNELS 6" WIDE.
10.13 PROVIDE COUNTERTOP SUPPORT BRACKET AT 12" OVERHAND. B.O.D. = "THE ORIGINAL GRANITE BRACKET - T BRACE COUNTERTOP SUPPORT BRACKET, 20" LENGTH.

21. FIRE SUPPRESSION
21.1 APPROX LOCATION OF FDC CONNECTION - COORDINATE W/ CIVIL AND FIRE DEPT.
21.2 PROPOSED SPRINKLER STANDPIPE LOCATION. COORDINATE WITH FIRE SUPPRESSION CONTRACTOR.
21.3 PROVIDE WATERFLOW ALARM DEVICE. CONFIRM LOCATION WITH BUILDING INSPECTOR AND FIRE DEPARTMENT. COORDINATE WITH ELECTRICAL AND FIRE SUPPRESSION CONTRACTOR.
21.4 PROVIDE 2HR FIRE PROTECTION PER 7/A6.02.
21.5 PROVIDE 2HR FIRE PROTECTION PER 8/A6.02.

22. PLUMBING
22.1 PROVIDE RADON RISER, AS REQUIRED BY OWNER'S CONSULTANT. RISER TO EXTEND FROM BASEMENT TO ATTIC. SEE CONSULTANT DESIGN FOR LOCATIONS OF RISERS. COORDINATE WITH PLUMBING.
A. JOG RISER TO AVOID HVAC CONDENSER.
22.2 PLUMBING CHASE (OR WALL) - VERIFY LOCATIONS IN FIELD TO ALIGN CONCEALMENT BETWEEN FLOORS.
22.3 NEW HOSE BIB LOCATION. SEE PLUMBING.

23. HEATING, VENTILATING, AND AIR CONDITIONING
23.1 NOT USED.
23.2 WALL CAVITY FOR EXHAUST DUCT - COORDINATE W/ MECHANICAL DWGS.
23.3 NEW EXHAUST VENT COVER. PAINT TO MATCH ADJACENT WALL SURFACE.

26. ELECTRICAL
26.1 ELECTRIC PANEL RECESSED IN WALL W/ 30"W X 36"D CLEAR IN FRONT. PAINT TO MATCH ADJACENT WALL W APPROPRIATE PAINT TYPE FOR PANEL.
26.2 NEW EXTERIOR LIGHTING. NO EXPOSED CONDUIT ON FACE OF BUILDING. SEE RCP'S AND ELECTRICAL DWGS.

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Progress Dates
2023.04.28 - BID / PERMIT
2024.08.30 - BID SET 2

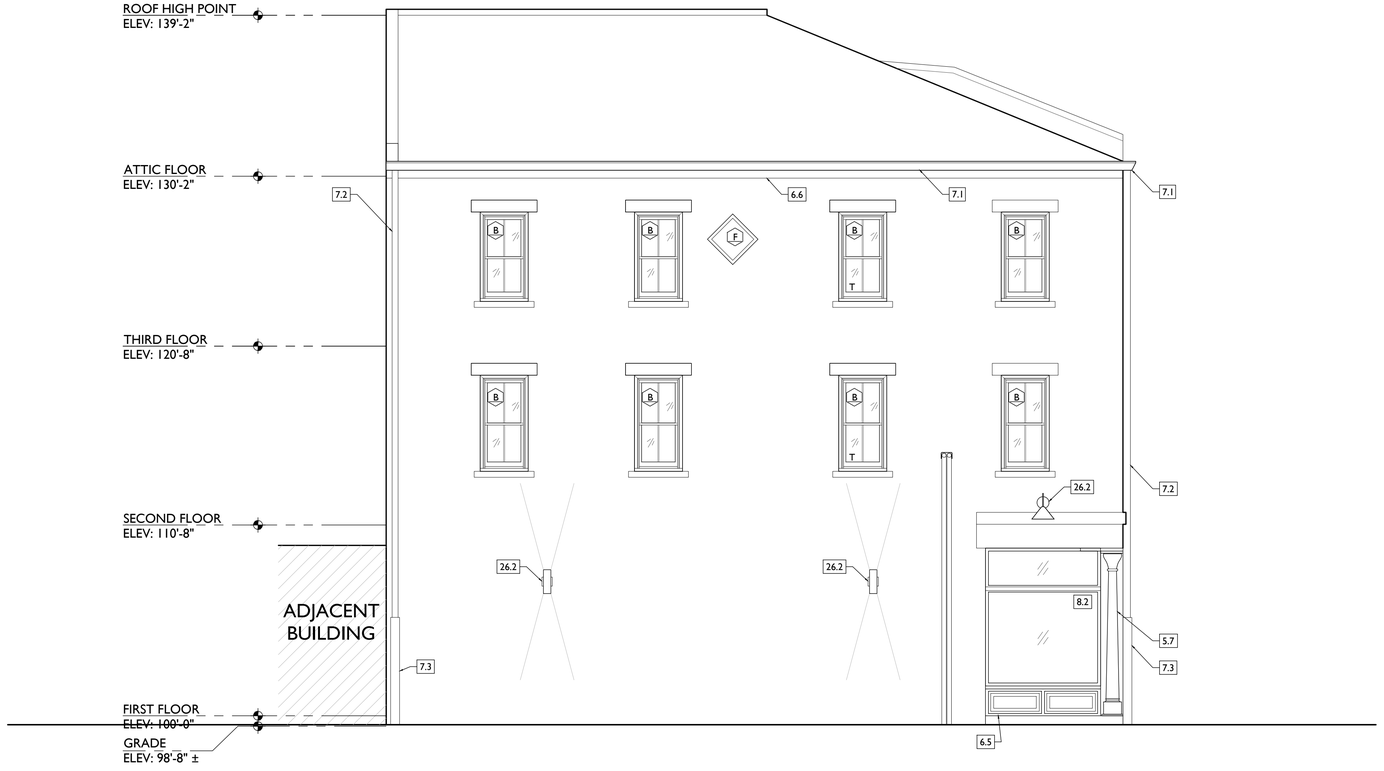
Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
RO, AM

PROPOSED PROJECT:
RENOVATION FOR
1801 - 1805 VINE ST.
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/30/2024

A2.10



SCALE: 1/4" = 1'-0"

PROPOSED ELEVATION - SOUTH | 1

NEW WORK GRAPHIC KEY:

- PARTITION TYPE - SEE A6.00.
- KEYNOTE.
- EXISTING WALL.
- NEW PARTITION WALL.
- NEW MASONRY WALL.
- OBJECT OVERHEAD.
- 1HR — 1-HR FIRE RATING.
- 2HR — 2-HR FIRE RATING.
- NEW FLOOR & FRAMING TO MATCH ADJ - SEE STRUCT DWGS.
- NEW GYP BD SOFFIT/ BULKHEAD/ DROPPED CLG - SEE RCPS.
- AREA OF ATYPICAL FIRE-RATED ASSEMBLY ABOVE. SEE A0.01 & A6.01.
- AREA OF TUCKPOINTING - SEE ELEVS & STRUCT DWGS.
- 100A — DOOR TAG. SEE SCHEDULE / A6.10-13.
- A — WINDOW DESIGNATION. SEE A6.20-25.
- SFA — STOREFRONT DESIGNATION. SEE A6.13.
- EMERGENCY EGRESS EXIT.
- SG — OPG CONTAINS SAFETY GLAZING.
- SH — SINGLE HUNG OPG - UPPER SASH TO BE FIXED WITHIN 3'-0" OF EXHAUST.
- X'-X" — ELEVATION TAG.

NEW WORK PLANS & ELEVATIONS # KEYED NOTES:

IMPORTANT !!! HISTORIC ELEMENTS PRESENT IN THIS BUILDING:
- PRESERVE HISTORIC ELEMENTS UNO.

3. CONCRETE
3.1 SLAB TO REMAIN. SCOPE & VERIFY FLOOR DRAINS CONNECT TO SEWER. REPAIR AS REQUIRED.
3.2 NEW CONCRETE FOOTING. SEE STRUCTURAL.
3.3 EXG OPENING TO BASEMENT TO BE CAPPED WITH CONCRETE AT GRADE. IF IN PUBLIC R.O.W. COMPLY W/ LOCAL JURISDICTION STANDARDS. SEE STRUCTURAL AND CIVIL DRAWINGS.
3.4 NEW CONCRETE SLAB ON GRADE. SEE CIVIL DRAWINGS.
3.5 NOT USED
3.6 NEW CONCRETE FLOOR OVER EXG WOOD FRAMING. SEE STRUCTURAL.
3.7 INFILL EXG VENTS/GAPS WITH CONCRETE AT T.O. FOUNDATION WALL.

4. MASONRY
4.1 NEW OR EXPANDED OPENING IN EXG MASONRY WALL (SEE STRUCTURAL DWGS). PROVIDE NEW STEEL LINTEL.
4.2 BRICK TO BE LEFT EXPOSED. SCRAPE LOOSE PAINT, CLEAN, AND PAINT.
4.3 CMU TO BE LEFT EXPOSED. SCRAPE LOOSE PAINT, CLEAN, AND PAINT.
4.4 TUCKPOINT BRICK AS SHOWN ON EXTERIOR ELEVATIONS & PER SHPO NARRATIVE.
4.5 REPLACE DAMAGED/MISSING BRICK AS SHOWN ON EXTERIOR ELEVATIONS & PER SHPO NARRATIVE.
4.6 PARGING:
A. REMOVE LOOSE AND/OR CRACKED AS SHOWN ON THE ELEVATIONS & REPAIR TO MATCH FINISH OF EXG PARGING.
4.7 PAINT EXG 12" WIDE BRICK COLUMN.
4.8 INFILL EXISTING WINDOW OPENING WITH CMU & FACE BRICK. KEY IN BRICK FOR SEAMLESS EXTERIOR MASONRY APPEARANCE. SEE DETAIL 17/A5.00.
4.9 NEW REPLACEMENT LINTEL ABOVE. SEE STRUCTURAL DWGS.
4.10 NEW CMU INFILL PER STRUCTURAL DRAWINGS.
4.11 RAISED EXG LINTEL. SEE DEMO PLANS, MECH AND STRUCTURAL.
4.12 CONTRACTOR TO COORDINATE PASSAGE OF DUCTWORK THROUGH MASONRY OPENING ABOVE LINTEL. SEE MECH AND STRUCTURAL.
4.13 NEW SAWCUT MASONRY OPENING FOR DUCTWORK AND PLUMBING LINES. NEW STEEL LINTEL PER STRUCTURAL. COORDINATE WITH PLUMBING AND MECH.

5. METALS
5.1 NOT USED.
5.2 NEW STEEL GUARDRAIL. SEE DETAILS.
5.3 NOT USED.
5.4 EXG. BEAM ABOVE TO REMAIN. SEE STRUCTURAL DWGS.
5.5 NEW PAINTED METAL-CLAD COLUMN. SEE 27/A5.00.
5.6 NEW PAINTED METAL CEILING, EXTERIOR GRADE.
5.7 CAST IRON COLUMN TO REMAIN.
5.8 EXISTING FIRE ESCAPE TO REMAIN.
5.9 ATTACH SALVAGED FIRE ESCAPE TO ORIGINAL LOCATION.

6. WOOD, PLASTICS, AND COMPOSITES
6.1 REPAIR DAMAGED WOOD STAIR TREADS/RISERS AS REQ'D.
6.2 NEW INTERIOR WOOD STAIR. SEE SECTION SHEET A3.00.
6.3 NEW FLOOR FRAMING (SEE STRUCT DWGS).
6.4 RETAIN & REPAIR HISTORIC STOREFRONT BULKHEAD. PAINT. SEE ELEVATIONS.
6.5 NEW WOOD BULKHEAD TO MATCH EXG HISTORIC ADJACENT. PAINT. SEE ELEVATIONS.
6.6 NEW RAKE TRIM / GUTTERBOARD TO MATCH EXISTING - SEE ELEVATIONS.
6.7 NEW COLUMN PER STRUCTURAL DWGS.
6.8 NEW STRUCTURAL BEAM ABOVE. SEE STRUCTURAL DWGS.
6.9 EXG. BEAM ABOVE TO REMAIN. SEE STRUCTURAL DWGS.
6.10 NEW WOOD FRAME BEARING WALL. SEE STRUCTURAL DRAWINGS.

7. THERMAL AND MOISTURE PROTECTION
7.1 NEW PRE-FINISHED K-STYLE ALUMINUM GUTTER.
7.2 NEW ROUND ALUMINUM DOWNSPOUT PAINTED TO MATCH ADJACENT WALL SURFACE. SEE EXTERIOR ELEVATIONS. TIE INTO EXISTING SEWER SYSTEM.
7.3 NEW PVC AT LOWER 6' OF DOWNSPOUT. PAINT TO MATCH DOWNSPOUT.
7.4 NEW FULLY ADHERED WHITE TPO MEMBRANE ROOF W/ CRICKETS WHERE REQUIRED FOR POSITIVE DRAINAGE AND W/ TERMINATION BARS & METAL COUNTERFLASHING - SEE ROOF DETAILS. INSULATION PER SCHEDULE. B.O.D - 60 MIL WHITE TPO, FULLY ADHERED ROOF SYSTEM, 20 YEAR WARRANTY, BY CARLISLE SYNTEC, CARLISLE, PA, OR EQUIVALENT.
7.5 NEW SLATE-COLORED ROOF SHINGLES. B.O.D. OWENS CORNING TRU DEFINITION DURATION SHINGLES, WITH 30 YEAR MIN. WARRANTY. PROVIDE ICE AND WATER SHIELD WHERE REQUIRED.
7.6 EXG ROOF ACCESS HATCH TO REMAIN.
7.7 PROVIDE ROOF-WALL FLASHING PER DETAIL 18/A5.00.
7.8 PROVIDE CEMENT BOARD STUCCO SYSTEM AT EXTERIOR WALL. B.O.D. = "STOQUIK SILVER DRAINSCREEN".

8. OPENINGS
8.1 PROVIDE FACTORY FROSTED GLASS AT WINDOW.
8.2 NEW ALUMINUM STOREFRONT IN HISTORIC OPENING - SEE EXTERIOR ELEVATIONS.
8.3 NEW STOREFRONT CONSTRUCTION. SEE EXTERIOR ELEVATIONS.
8.4 ATTIC ACCESS PANEL (22"x30" MIN.).
8.5 NEW EXTERIOR BUILDING ENTRY DOOR AND FRAME - SEE DOOR SCHEDULE.
8.6 FIXED DOUBLE DOOR. SEE DOOR SCHEDULE.

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9.1 EXG PLASTER AT MASONRY WALL TO BE PATCHED AND REPAIRED, WHERE POSSIBLE.
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10.8 SHOWER NICHE. SEE ENLARGED PLANS, INTERIOR ELEVATIONS AND DETAIL 1/A5.00.
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10.10 PROVIDE BLOCKING FOR WALL-MOUNTED CHANGING STATION, SEE INTERIOR ELEVATIONS.
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A. SURFACE MOUNTED.
B. IN SINK CABINET IN RESIDENTIAL UNIT, TYPICAL.
10.12 NEW 2HR FIRE-RATED SHAFT FOR 18" DUCT. PROVIDE "CH" CHANNELS 6" WIDE.
10.13 PROVIDE COUNTERTOP SUPPORT BRACKET AT 12" OVERHAND. B.O.D. = "THE ORIGINAL GRANITE BRACKET - T BRACE COUNTERTOP SUPPORT BRACKET, 20" LENGTH.

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Progress Dates
2023.04.28 - BID / PERMIT
2024.08.30 - BID SET 2

Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
RO, AM

PROPOSED PROJECT:
RENOVATION FOR
1801 - 1805 VINE ST.
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/30/2024

A2.11

SCALE: 1/4" = 1'-0"

PROPOSED ELEVATION - WEST | 1

NEW WORK GRAPHIC KEY:

- PARTITION TYPE - SEE A6.00.
- KEYNOTE.
- EXISTING WALL.
- NEW PARTITION WALL.
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- 1HR — 1-HR FIRE RATING.
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- A — WINDOW DESIGNATION. SEE A6.20-25.
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- X'-X" — ELEVATION TAG.

NEW WORK PLANS & ELEVATIONS [#] KEYED NOTES:

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3. CONCRETE
- 3.1 SLAB TO REMAIN. SCOPE & VERIFY FLOOR DRAINS CONNECT TO SEWER. REPAIR AS REQUIRED.
- 3.2 NEW CONCRETE FOOTING. SEE STRUCTURAL.
- 3.3 EXG OPENING TO BASEMENT TO BE CAPPED WITH CONCRETE AT GRADE. IF IN PUBLIC R.O.W. COMPLY W/ LOCAL JURISDICTION STANDARDS. SEE STRUCTURAL AND CIVIL DRAWINGS.
- 3.4 NEW CONCRETE SLAB ON GRADE. SEE CIVIL DRAWINGS.
- 3.5 NOT USED
- 3.6 NEW CONCRETE FLOOR OVER EXG WOOD FRAMING. SEE STRUCTURAL.
- 3.7 INFILL EXG VENTS/GAPS WITH CONCRETE AT T.O. FOUNDATION WALL.

4. MASONRY
- 4.1 NEW OR EXPANDED OPENING IN EXG MASONRY WALL (SEE STRUCTURAL DWGS). PROVIDE NEW STEEL LINTEL.
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- 4.4 TUCKPOINT BRICK AS SHOWN ON EXTERIOR ELEVATIONS & PER SHPO NARRATIVE.
- 4.5 REPLACE DAMAGED/MISSING BRICK AS SHOWN ON EXTERIOR ELEVATIONS & PER SHPO NARRATIVE.
- 4.6 PARGING:
  - A. REMOVE LOOSE AND/OR CRACKED AS SHOWN ON THE ELEVATIONS & REPAIR TO MATCH FINISH OF EXG PARGING.
- 4.7 PAINT EXG 12" WIDE BRICK COLUMN.
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- 7.6 EXG ROOF ACCESS HATCH TO REMAIN.
- 7.7 PROVIDE ROOF-WALL FLASHING PER DETAIL 18/A5.00.
- 7.8 PROVIDE CEMENT BOARD STUCCO SYSTEM AT EXTERIOR WALL. B.O.D. = "STOQUIK SILVER DRAINSCREEN".

8. OPENINGS
- 8.1 PROVIDE FACTORY FROSTED GLASS AT WINDOW.
- 8.2 NEW ALUMINUM STOREFRONT IN HISTORIC OPENING - SEE EXTERIOR ELEVATIONS.
- 8.3 NEW STOREFRONT CONSTRUCTION. SEE EXTERIOR ELEVATIONS.
- 8.4 ATTIC ACCESS PANEL (22"x30" MIN.).
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  - B. OPEN CLOSET- SHELF & CLOTHES ROD.
  - C. NOT USED
  - D. ADJUSTABLE SHELVES ON STANDARD MOUNT.
- 10.6 TENANT TRASH AREA.
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- 10.11 FIRE EXTINGUISHER. COORDINATE FINAL LOCATION WITH LOCAL FIRE MARSHAL.
  - A. SURFACE MOUNTED.
  - B. IN SINK CABINET IN RESIDENTIAL UNIT, TYPICAL.
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- 21.1 APPROX LOCATION OF FDC CONNECTION - COORDINATE W/ CIVIL AND FIRE DEPT.
- 21.2 PROPOSED SPRINKLER STANDPIPE LOCATION. COORDINATE WITH FIRE SUPPRESSION CONTRACTOR.
- 21.3 PROVIDE WATERFLOW ALARM DEVICE. CONFIRM LOCATION WITH BUILDING INSPECTOR AND FIRE DEPARTMENT. COORDINATE WITH ELECTRICAL AND FIRE SUPPRESSION CONTRACTOR.
- 21.4 PROVIDE 2HR FIRE PROTECTION PER 7/A6.02.
- 21.5 PROVIDE 2HR FIRE PROTECTION PER 8/A6.02.

22. PLUMBING
- 22.1 PROVIDE RADON RISER, AS REQUIRED BY OWNER'S CONSULTANT. RISER TO EXTEND FROM BASEMENT TO ATTIC. SEE CONSULTANT DESIGN FOR LOCATIONS OF RISERS. COORDINATE WITH PLUMBING.
  - A. JOG RISER TO AVOID HVAC CONDENSER.
- 22.2 PLUMBING CHASE (OR WALL) - VERIFY LOCATIONS IN FIELD TO ALIGN CONCEALMENT BETWEEN FLOORS.
- 22.3 NEW HOSE BIB LOCATION. SEE PLUMBING.

23. HEATING, VENTILATING, AND AIR CONDITIONING
- 23.1 NOT USED.
- 23.2 WALL CAVITY FOR EXHAUST DUCT - COORDINATE W/ MECHANICAL DWGS.
- 23.3 NEW EXHAUST VENT COVER. PAINT TO MATCH ADJACENT WALL SURFACE.

26. ELECTRICAL
- 26.1 ELECTRIC PANEL RECESSED IN WALL W/ 30"W X 36"D CLEAR IN FRONT. PAINT TO MATCH ADJACENT WALL W APPROPRIATE PAINT TYPE FOR PANEL.
- 26.2 NEW EXTERIOR LIGHTING. NO EXPOSED CONDUIT ON FACE OF BUILDING. SEE RCP'S AND ELECTRICAL DWGS.

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Progress Dates
2023.04.28 - BID / PERMIT
2024.08.30 - BID SET 2

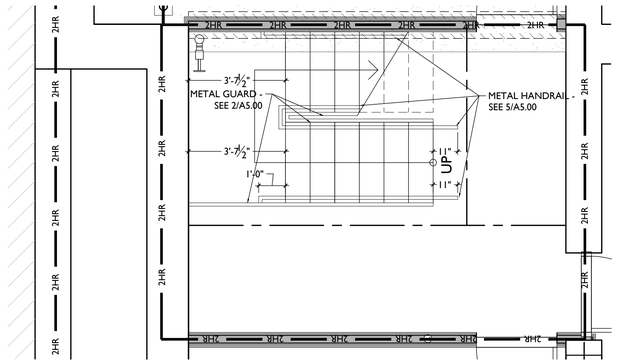
Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
RO, AM

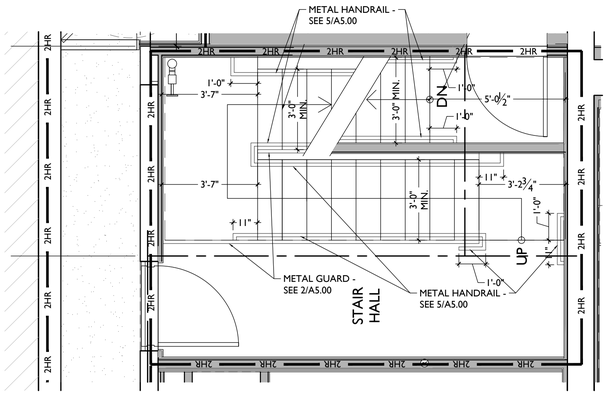
PROPOSED PROJECT:
RENOVATION FOR
1801 - 1805 VINE ST.
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/30/2024

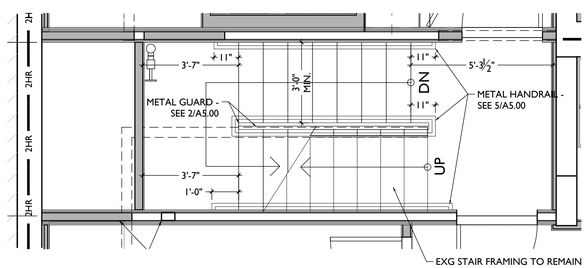
A2.12



ENLARGED STAIR PLAN - BASEMENT | 4



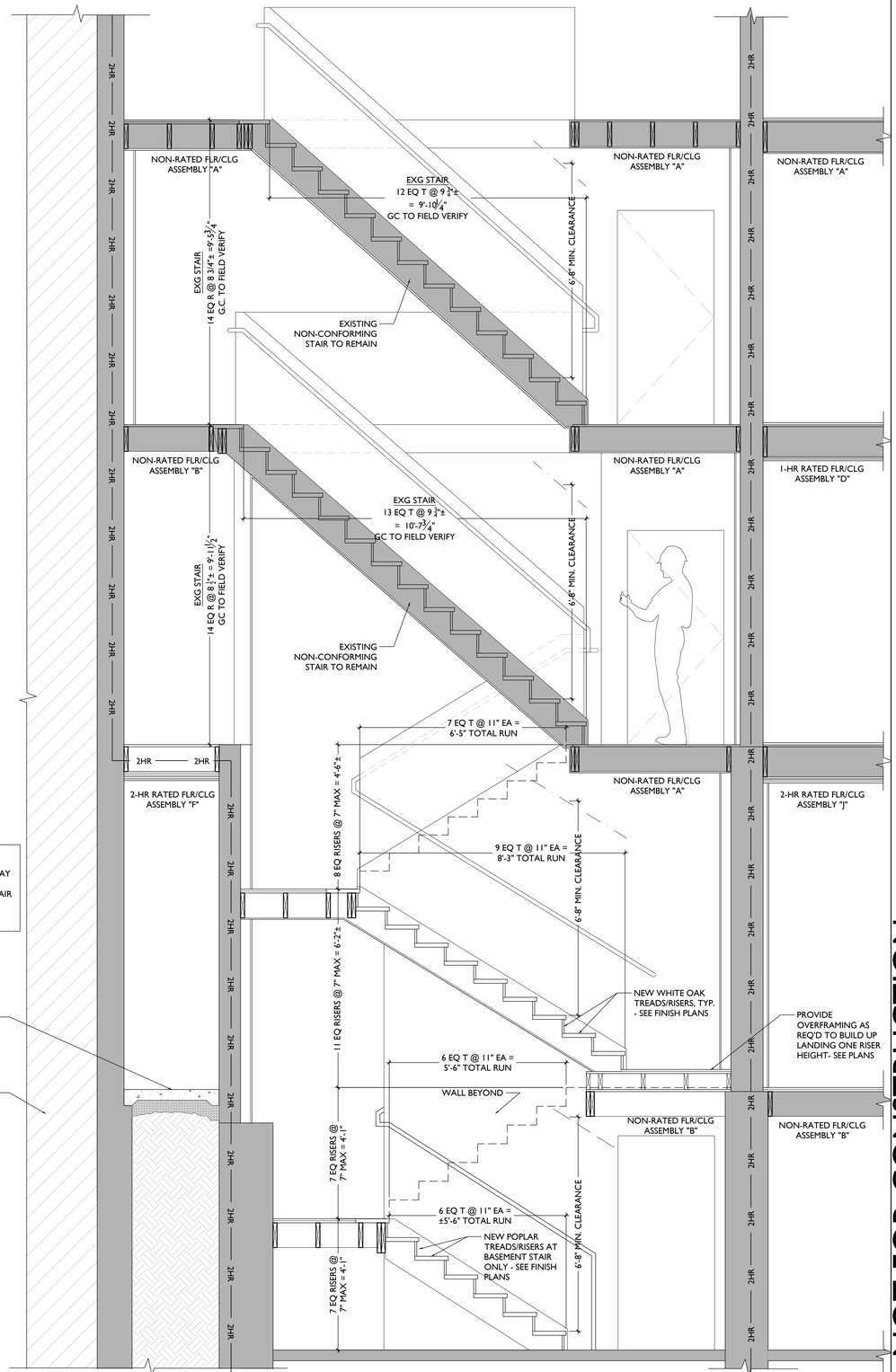
ENLARGED STAIR PLAN - 1ST FLOOR | 3



ENLARGED STAIR PLAN - 2ND FLOOR | 2

SCALE: 3/8" = 1'-0"

ENLARGED STAIR PLANS



SHEET NOTES:
1. EXG WALLS/FLOORS SHOWN W/ SOLID GRAY HATCH
2. STRUCTURE FOR STAIR STRINGERS AND LANDINGS TO BE DELEGATED DESIGN.

STAIR SECTION | 1

SCALE: 1" = 1'-0"

STAIR SECTION

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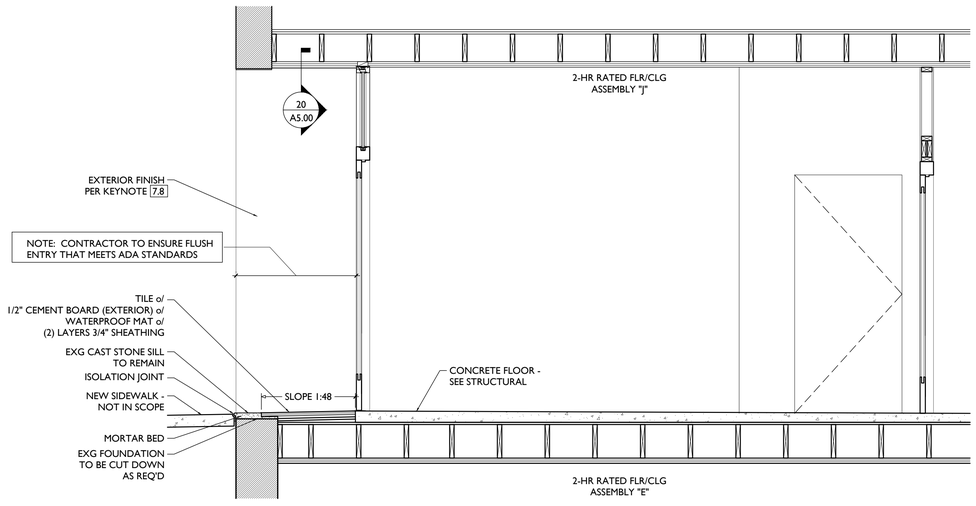
A3.00



ENLARGED 1ST FLOOR ADA ENTRY | 1

SCALE: 1/2" = 1'-0"

RAMP SECTIONS & DETAILS

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A3.01

APPLIANCE/ EQUIPMENT SCHEDULE

ITEM/ LOCATION	CODE	DESCRIPTION	FINISH	NOTES
MICROWAVE HOOD, RESIDENTIAL KITCHENS	EQ-1	MANU: GE - 1.7 CU.FT. OVER-THE-OVEN MICROWAVE OVEN OUTSIDE EXHAUST - VERTICAL VENT MODEL: JVM3162RJSS	STAINLESS	MOUNTING HEIGHT, SEE ELEVATIONS.
RANGE/OVEN, RESIDENTIAL KITCHENS	EQ-2	MANU: GE-PROFILE-30" WIDE 5.3 CU.FT. FREE STANDING ELECTRIC FINGERPRINT RESISTANT RANGE WITH CONVECTION OVEN MODEL: PB935TPFS	STAINLESS	MOUNTING HEIGHT, SEE ELEVATIONS.
DISHWASHER, RESIDENTIAL KITCHENS	EQ-3	MANU: GE-24" WIDE DISHWASHER WITH FRONT CONTROLS MODEL: GDF510PSRSS	STAINLESS	MOUNTING HEIGHT, SEE ELEVATIONS.
REFRIGERATOR, 1 BEDROOM & EFFICIENCY UNITS	EQ-4	MANU: GE - 24" WIDE SMALL SPACE TOP-FREEZER REFRIGERATOR - 11.6 CU.FT MODEL: GPE12FSKSB	STAINLESS WITH BLACK HANDLES	MOUNTING HEIGHT, SEE ELEVATIONS.
REFRIGERATOR 2&3 BEDROOM UNITS	EQ- 5	MANU: GE - 30" WIDE TOP-FREEZER REFRIGERATOR - 19.2 CU.FT. MODEL: GPE12FSKB	FINGERPRINT RESISTANT STAINLESS	MOUNTING HEIGHT, SEE ELEVATIONS.
WASHER, RESIDENTIAL UNITS	EQ-6	MANU: GE - 27" WIDE FRONT LOAD WASHER 4.5 DOE CU.FT. MODEL: GFW430SSMWW	WHITE	MOUNTING HEIGHT,SEE PLANS
DRYER, RESIDENTIAL UNITS	EQ-7	MANU: GE - 27" WIDE FRONT LOAD DRYER 7.5 CU.FT. CAPACITY	WHITE	MOUNTING HEIGHT,SEE PLANS
WASHER, SHARED LAUNDRY FACILITIES	EQ-8	MANU: SPEED QUEEN QUANTUM GOLD FRONT CONTROL FRONT LOAD WASHER	WHITE	MOUNTING HEIGHT,SEE PLANS
DRYER, SHARED LAUNDRY FACILITIES	EQ-9	MANU: SPEED QUEEN QUANTUM GOLD PRO FRONT CONTROL SINGLE DRYER	WHITE	MOUNTING HEIGHT, SEE PLANS
MICROWAVE, ACCESSIBLE RESIDENTIAL KITCHENS	EQ-10	MANU: FRIGIDAIRE GALLERY - 2.2 CU.FT. BELOW COUNTERTOP BUILT-IN MICROWAVE OVEN (#GMBS3068AF) W/ 27" TRIM KIT	STAINLESS	MOUNTING HEIGHT, SEE ELEVATIONS.
RANGE HOOD, ACCESSIBLE RESIDENTIAL KITCHENS	EQ-11	MANU: GE - 30" WIDE OVER THE RANGE CONVERTIBLE HOOD	FINGERPRINT RESISTANT STAINLESS	MOUNTING HEIGHT, SEE ELEVATIONS.

TYPICAL UNIT FINISHES SCHEDULE

MATERIAL / LOCATION	CODE	DESCRIPTION	NOTES	SOURCE
		FLOORING		
EXISTING WOOD FLOORING - WHERE MAINTAINED	FL-1	EXISTING WOOD FLOORING FINISH: MINWAX STAIN COLOR: HEIRLOOM OAK MW441 INFILL WOOD TO MATCH SPECIES, WIDTH, AND STAIN OF EXISTING WOOD FLOORS TOOTH INTO EXISTING WHERE POSSIBLE	STRIP, SAND AND STAIN PER MANUFACTURER'S SPECIFICATIONS	
NEW WOOD FLOORING - WHERE REQUIRED	FL-2	MANU: WOODWARD FLOORING FINISH: NATURAL WHITE OAK PLANK WIDTH: 3.25"	SEE FINISH PLANS FOR INSTALL DIRECTION.	
FLOOR TILE - BATHROOMS AND ADJACENT MEP/LAUNDRY ROOMS	FL-3	MANU: FLORIDA TILE COLLECTION: AURA COLOR: EARTH BEIGE SIZE: 12 X 24 - 3/8" THICKNESS GROUT: LATICRETE; COLOR: 97 IRON INSTALL: RUNNING BOND WITH 1/3 OFFSET	PROVIDE LIQUID APPLIED WATERPROOF MEMBRANE BELOW TILE AND FIRESTOP SEALANT AT FLOOR PENETRATIONS	FLORIDA TILE EMILY FISCHER EMILY.FISCHER@FLORIDATILE.COM 513.824.1791
VCT - MEP/LAUNDRY ROOM FLOORS	FL-4	MANU: ARMSTRONG COLLECTION: EXCELON VCT COLOR: 51861 SOFT WARM GRAY	USE IN LAUNDRY AND MEP ONLY IF ROOM IS NOT ADJACENT TO BATHROOM. UNDERLAYMENT AS REQ'D.	PAUL MCKAY PAMCKAY@ARMSTRONGFLOORING.COM 513.515.0228
FLOOR TILE - KITCHENS WHERE REQUIRED	FL-5	MANU: FLORIDA TILE COLLECTION: AURA COLOR: EARTH BEIGE SIZE: 12 X 24 - 3/8" THICKNESS GROUT: LATICRETE; COLOR: 97 IRON INSTALL: RUNNING BOND WITH 1/3 OFFSET	PROVIDE LIQUID APPLIED WATERPROOF MEMBRANE BELOW TILE AND FIRESTOP SEALANT AT FLOOR PENETRATIONS	FLORIDA TILE EMILY FISCHER EMILY.FISCHER@FLORIDATILE.COM 513.824.1791
FLOOR TILE - RECESSED EXTERIOR ENTRY WHERE REQUIRED	FL-6	MANU: FIRE EARTH COLOR: BLACK, PORCELAIN FINISH: MATTE SIZE:: 1X1 GROUT: LATICRETE; COLOR: 24 NATURAL GRAY STRAIGHT JOINT	SEE FINISH PLANS FOR LOCATION. SEE DETAILS. INSTALL PER MANUFACTURER'S INSTRUCTIONS.	THE TILE SHOP ITEM #615819
		WALL TILE		
TILE - SHOWER WALLS	WT-1	MANU: FLORIDA TILE COLLECTION: ALUSTRA SIZE: 12x24 COLOR: MAJESTIC WHITE GROUT: MAPEI 11; COLOR: 93 WARM GREY INSTALL: HORIZONTAL RUNNING BOND	BLACK SCHLUTER EDGE	LOUISVILLE TILE ROBYN VIDIC RVIDIC@LOUISVILLE-TILE.COM 513-276-4840
TILE - KITCHEN BACKSPLASH	WT-2	MANU: MOSA COLLECTION: COLORS SIZE: 6X6 COLOR: ACCENT WHITE GROUT: MAPEI 11; COLOR: WARM GREY INSTALL: HORIZONTAL RUNNING BOND		
		PAINT		
GENERAL PAINT - UNIT AND CORRIDOR WALLS AND CEILING	PT-1	MANU: PPG ARCHITECTURAL COATINGS COLOR: SILVER FEATHER - PPG 1002-1	WALL FINISH: SATIN CEILING FINISH: FLAT	
PAINT - UNIT TRIM	PT-2	MANU: PPG ARCHITECTURAL COATINGS COLOR: IN THE CLOUD - PPG 0999-1	BASE, TRIM, MILLWORK FINISH: SEMI-GLOSS	
PAINT - UNIT ENTRY DOORS CORRIDOR: HISTORIC MILLWORK & STAIR RISERS AS REQ'D PER BUILDING	PT-3	MANU: PPG ARCHITECTURAL COATINGS COLOR: IN THE CLOUD - PPG 0999-1	FINISH: SEMI-GLOSS	
PAINT - STAIR TREADS AND/OR RISERS, AND RAILING BALUSTER AS REQ'D PER BUILDING	PT-4	MANU: PPG ARCHITECTURAL COATINGS COLOR: STONEHENGE GREIGE - PPG 1024-5	FINISH: SEMI-GLOSS SEE FINISH FLOOR PLANS	
		WALL BASE		
HISTORIC WOOD BASE - WHERE ABLE TO RETAIN	WB-1	IN-UNIT: PT-2 STAIR HALL: PT-3	KEEP ALL HISTORIC BASE - REPAIR/RETAIN WHEN PRESENT. PATCH TO MATCH ADJACENT. CLEAN, SAND, AND PAINT.	
TILE BASE - BATHROOMS	WB-2	MANU: FLORIDA TILE COLLECTION: AURA COLOR: EARTH BEIGE SIZE: 12 X 24 - 3/8" THICKNESS GROUT: LATICRETE - 97 IRON	TILE TO ALIGN WITH WALL BASE 3 X 24" BLACK SCHLUTER EDGE	LOUISVILLE TILE ROBYN VIDIC RVIDIC@LOUISVILLE-TILE.COM 513-276-4840
		SOLID SURFACE		
QUARTZ - KITCHEN COUNTERTOPS & COUNTERTOPS THROUGHOUT	SS-1	MANU: CORIAN - QUARTZ COLOR: CALCATTA VILLA - 2CM		BRIAN FORTIN BRIAN.FORTIN@OVSCO.COM 513.582.2528
		CASEGOODS		
CABINETS - IN UNITS/ COMMERCIAL RR	CG-1	MANUF: SMART CABINETS W/ PLYWOOD BOX DOOR STYLE: SUMMIT (SOLID WOOD) MAPLE, FULL OVERLAY FINISH: STAIN - FAWN	DOOR PULLS - MANU: AMEROCK MONUMENT 5-1/16" CENTER TO CENTER CABINET PULL MODEL: BP36571FB FINISH: BLACK	SMART CABINETRY SALES@SMARTCABINETRY.COM 574.831.5010
		GLASS		
GLASS SHOWER ENCLOSURE - UNIT BATHROOMS	GL-1	CELESTA FRAMELSS 3/8" GLASS SWING DOOR & PANEL SHOWER DOOR MODEL: CELA-935 GLASS: AQUA GLIDE GLASS FINISH: CHROME		
		OTHER		
BLINDS		2" FAUX WOOD BLINDS AT ALL RESIDENTIAL UNITS, WHITE FINISH. VERIFY ALL LOCATIONS WITH OWNER		
UNIT ENTRY SIGNAGE		BECIZY 4"L X 2.5"W FLOATING WALL MOUNT MODERN HOUSE NUMBER, BLACK. VERIFY ALL LOCATIONS WITH OWNER. COORDINATE LOCATIONS WITH ACCESSIBILITY REQUIREMENTS A117.1-2009	FINAL LOCATION TO BE DETERMINED BY OWNER	AMAZON https://tinyurl.com/mr37xwxn

BATHROOM EQUIPMENT SCHEDULE

CODE	ITEM	MANUFACTURER & PRODUCT #	MOUNTING HEIGHT	REMARKS
A	GRAB BARS	MANU: BOBRICK LINE: B-5806X18 SIZE: (18") X 36 (36") & 42 (42")	PER ELEVATIONS & ACCESSIBILITY REQUIREMENTS	COMMERCIAL BATHROOM
B	DIAPER CHANGE STATION	MANU: KOALA KARE MODEL: KB200-SS HORIZONTAL WALL MOUNTED FINISH: GREY 01	48" A.F.F. MAX MOUNTING HEIGHT TO T.O. STATION. WORKSURFACE WHEN OPEN TO BE 34" MAX - 28" MIN.	COMMERCIAL BATHROOM
C1 C2	MEDICINE CABINET	RECESSED: MANU: KOHLER 16"x20" SINGLE DOOR REVERSIBLE HINGE FRAMELESS MIRRORED MEDICINE CABINET MODEL: K-CB-CLR1620FS SURFACE MOUNTED: RANGAIRE SURFACE MOUNT 16"X22" SINGLE DOOR MEDICINE CABINET WITH REVERSIBLE DOOR SWING MODEL: 4565MX	PER ELEVATIONS	UNIT BATHROOMS
D	PAPER TOWEL DISPENSER	ASI TRADITIONAL PAPER TOWEL DISPENSER MULTI, C-FOLD, SURFACE MOUNTED BLACK MODEL: ASI 0210-41	PER ACCESSIBILITY REQUIREMENTS, 48" MAX TO HIGHEST OPERABLE PART	COMMERCIAL BATHROOM
E1	TOILET TISSUE DISPENSER	HARNEY HARDWARE COLLECTION: CLEARWATER TOILER PAPER HOLDER FINISH: MATTE BLACK PRODUCT #10220	PER ELEVATIONS & ACCESSIBILITY REQUIREMENTS	UNIT/COMMERCIAL BATHROOMS
E2	TOWEL HOOK	HARNEY HARDWARE COLLECTION: CLEARWATER 24" TOWEL BAR FINISH: MATTE BLACK PRODUCT #10222	48" A.F.F.	UNIT BATHROOMS
E3	ROBE HOOK	"HARNEY HARDWARE COLLECTION: CLEARWATER ROBE HOOK FINISH: MATTE BLACK PRODUCT # 10218"	48" A.F.F.	UNIT/COMMERCIAL BATHROOMS
F	MIRROR	MANU: NUTYPE (HOME DEPOT) COLLECTION: MEDIUM RECTANGLE BLACK SHELVES AND DRAWERS MODERN MIRROR SIZE: 24 X 36 FINISH: BLACK	PER ELEVATIONS & ACCESSIBILITY REQUIREMENTS	UNIT/COMMERCIAL BATHROOM
G	TOILET PARTITION	MANU: ASI ACCURATE PARTITIONS MATERIAL: SOLID PLASTIC (HDPE)	PER ELEVATIONS & ACCESSIBILITY REQUIREMENTS	COMMERCIAL BATHROOM
H	SHOWER CURTAIN ROD	TBD	PER ELEVATIONS	UNIT BATHROOMS

SCALE: 3/8" = 1'-0" FINISH SCHEDULE 1

FLOOR GENERAL NOTES

1. WHERE EXG. HEARTH TILE IS PRESENT. PROTECT AND MAINTAIN AS IS.
2. WHERE EXG. HEARTH IS CONCRETE, PATCH / PROVIDE SOME SKIM COAT. PAINT CONCRETE. COLOR TBD.
3. TRANSITION TYPES:
   - 3.1. PROVIDE TRANSITION STRIPS WHERE CHANGES IN MATERIAL OCCUR.
   - 3.2. PROVIDE NEW WOOD TRANSITIONS WHERE NEW WOOD FLOOR MEETS HISTORIC WOOD FLOOR
   - 3.3. WHERE FLOOR TILE TRANSITIONS TO WOOD PROVIDE ALUMINUM TILE EDGE. B.O.D BENGARD-SHUR-TRIM. THICKNESS TO BE DETERMINED IN THE FIELD.
4. INFILL WOOD TO MATCH SPECIES, WIDTH, AND STAIN OF EXISTING WOOD FLOORS. TOOTH-IN TO EXISTING WHERE POSSIBLE.

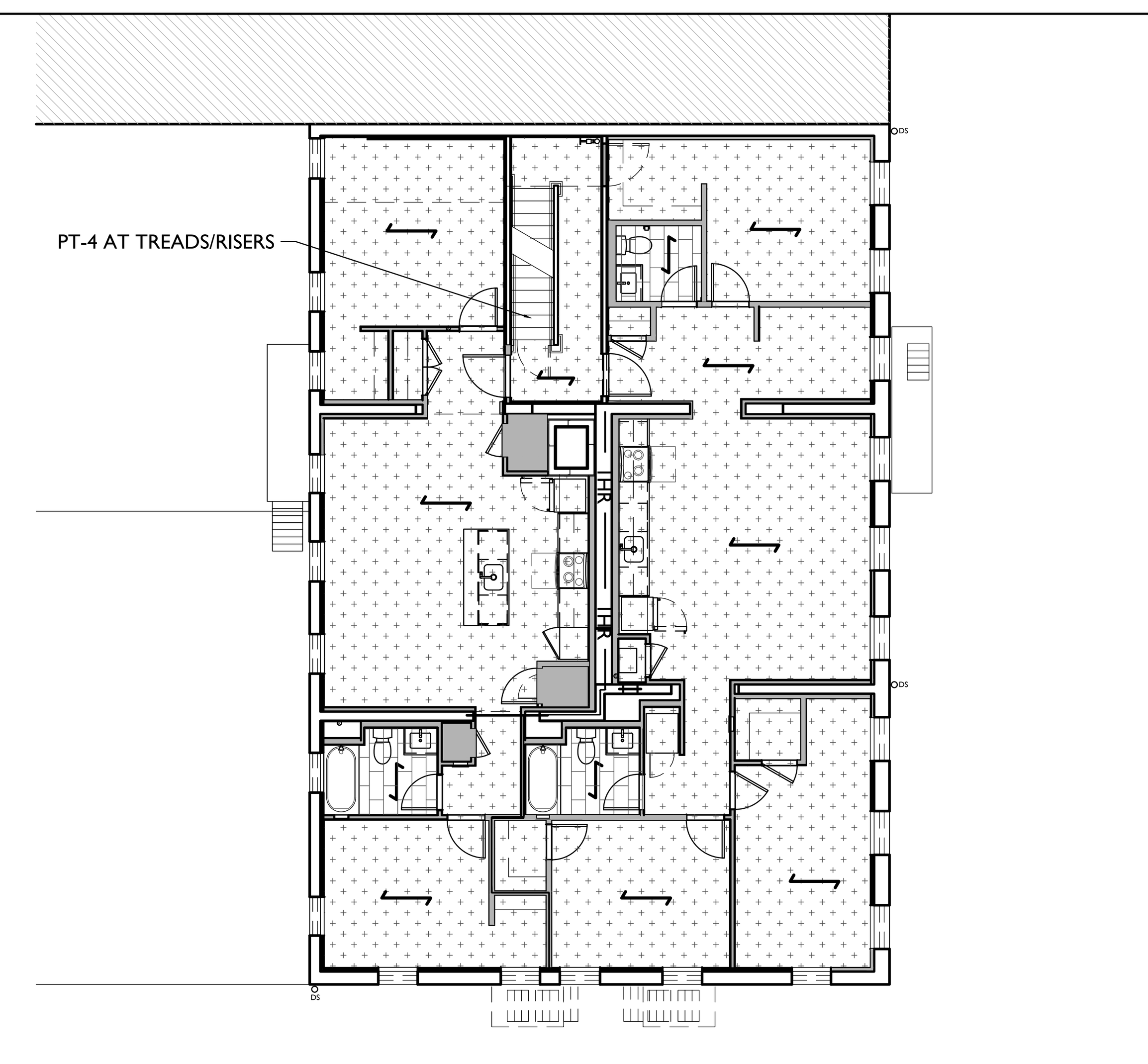
FLOOR FINISH LEGEND (SEE FINISH SCHEDULES A4.00-A4.02 FOR DETAILS)

▤ FL-1 EXG HISTORIC FINISH FLOORS TO REMAIN

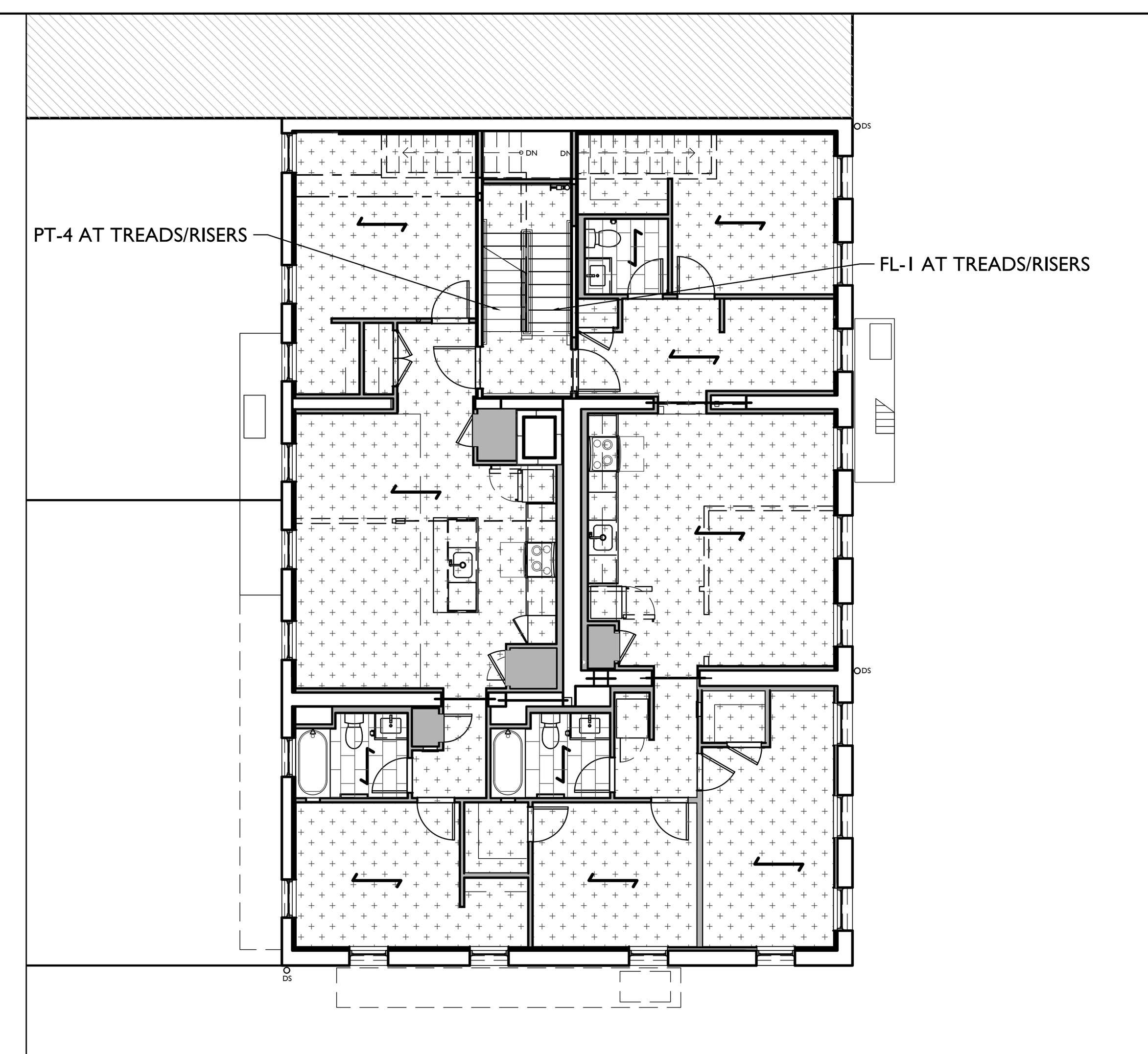
▨ FL-2 NEW WOOD FLOORS

▦ FL-3 RESTROOMS

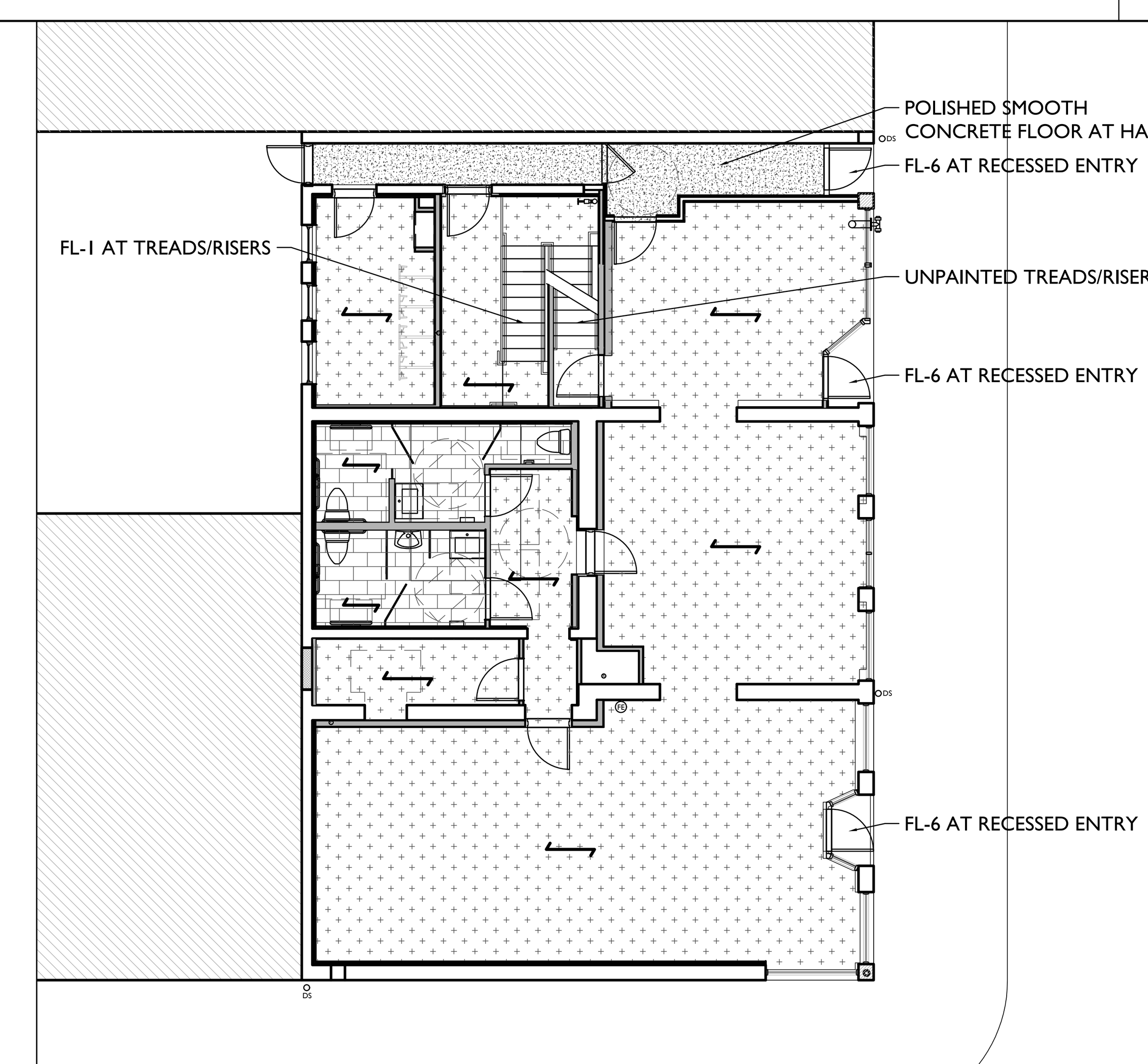
■ FL-4 RESIDENTIAL LAUNDRY/ MECH ROOMS BUILDING STORAGE ROOMS



SCALE: 3/32" = 1'-0" THIRD FLOOR 3



SCALE: 3/32" = 1'-0" SECOND FLOOR 2



SCALE: 3/32" = 1'-0" FIRST FLOOR 1

FINISH FLOOR PLANS

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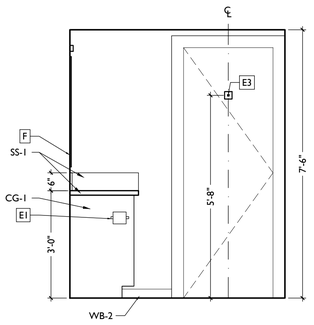
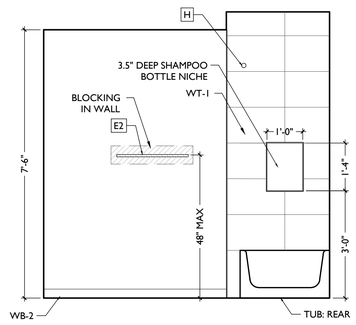
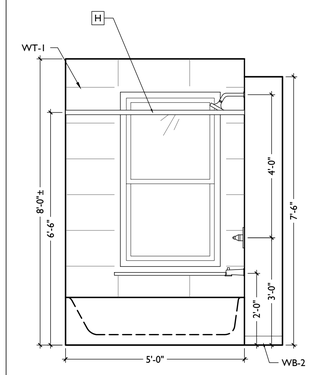


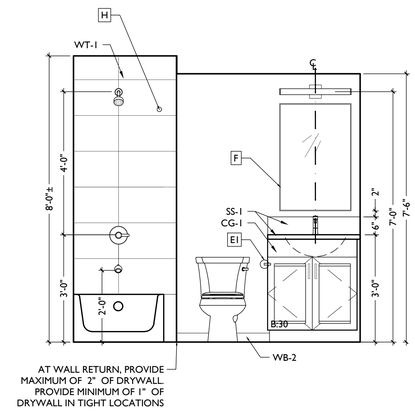
SCALE: 1/2" = 1'-0" INT. ELEVATION 3D



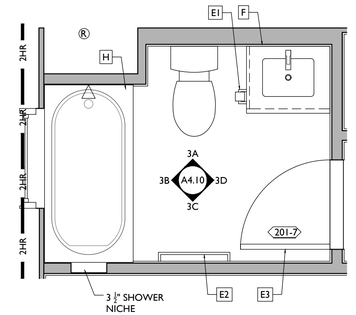
SCALE: 1/2" = 1'-0" INTERIOR ELEVATION 3C



SCALE: 1/2" = 1'-0" INTERIOR ELEVATION 3B

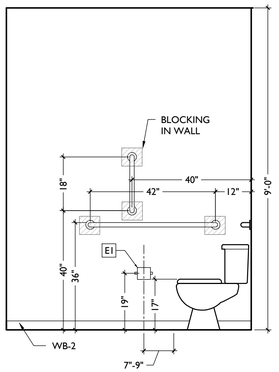


SCALE: 1/2" = 1'-0" INTERIOR ELEVATION 3A

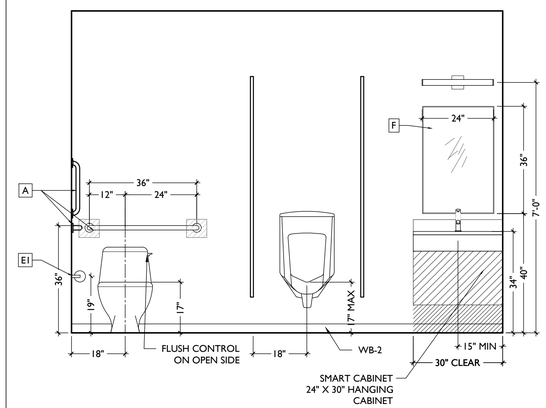


SCALE: 1/2" = 1'-0" ENLARGED PLAN 3

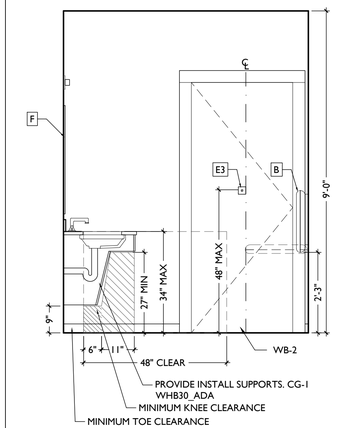
201, 301 BATHROOM - ENLARGED PLANS & INT ELEVATIONS



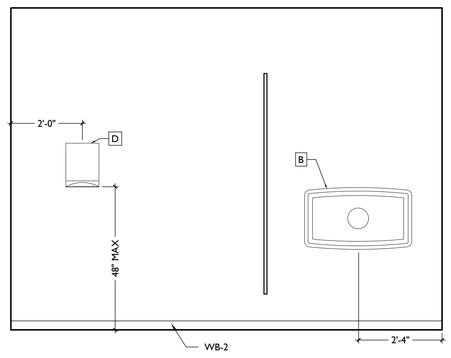
SCALE: 1/2" = 1'-0" INT. ELEVATION 2C



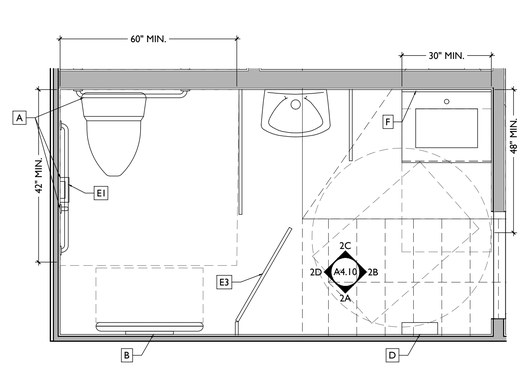
SCALE: 1/2" = 1'-0" INT. ELEVATION 2C



SCALE: 1/2" = 1'-0" INTERIOR ELEVATION 2B

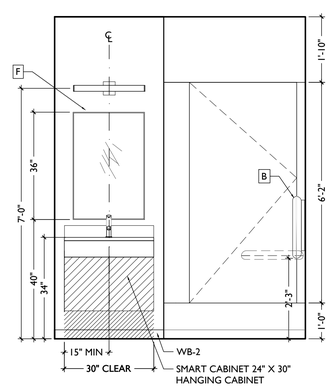


SCALE: 1/2" = 1'-0" INTERIOR ELEVATION 2A

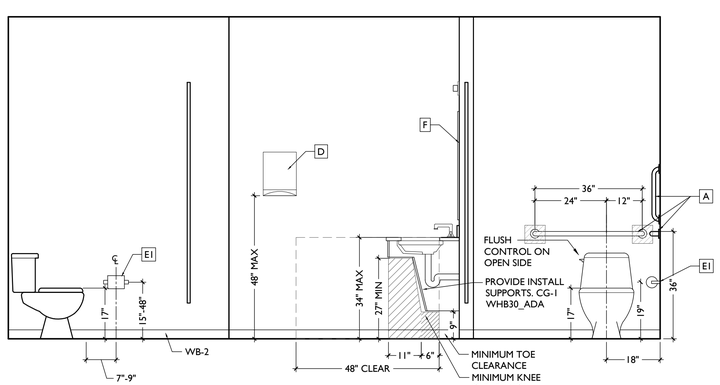


SCALE: 1/2" = 1'-0" ENLARGED PLAN 2

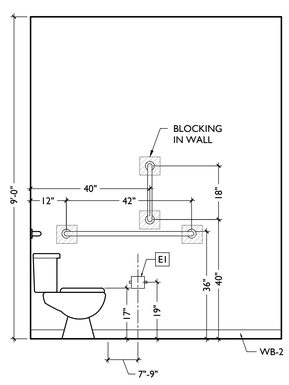
MEN'S COMMERCIAL RESTROOM - ENLARGED PLANS & INT ELEVATIONS



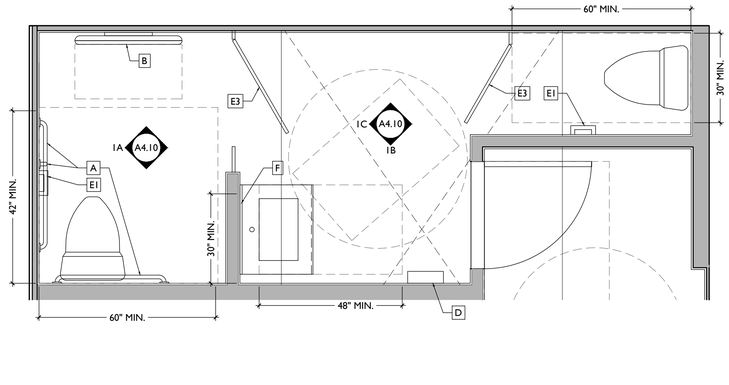
SCALE: 1/2" = 1'-0" INT. ELEVATION 1C



SCALE: 1/2" = 1'-0" INTERIOR ELEVATION 1B



SCALE: 1/2" = 1'-0" INTERIOR ELEVATION 1A



SCALE: 1/2" = 1'-0" ENLARGED PLAN 1

WOMEN'S COMMERCIAL RESTROOM - ENLARGED PLANS & INT ELEVATIONS

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Progress Dates
2023.04.28 - BID / PERMIT
2024.08.30 - BID SET 2

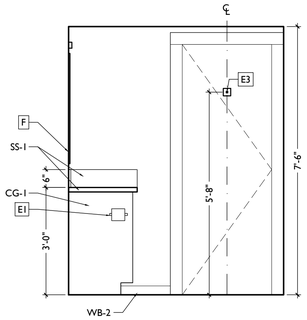
Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
RO, AM

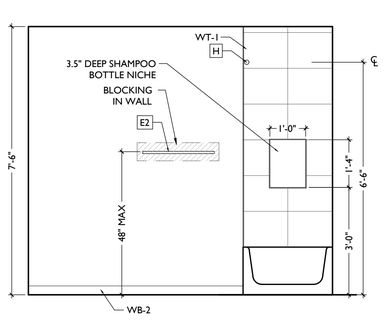
PROPOSED PROJECT:
RENOVATION FOR
1801 - 1805 VINE ST.
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/30/2024

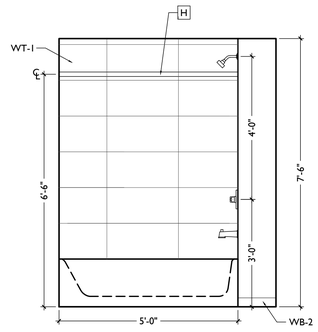
A4.10



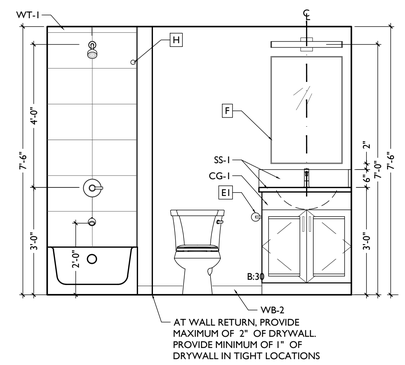
SCALE: 1/2" = 1'-0" INT. ELEVATION 3D



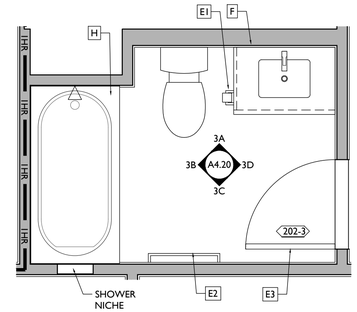
SCALE: 1/2" = 1'-0" INTERIOR ELEVATION 3C



SCALE: 1/2" = 1'-0" INTERIOR ELEVATION 3B

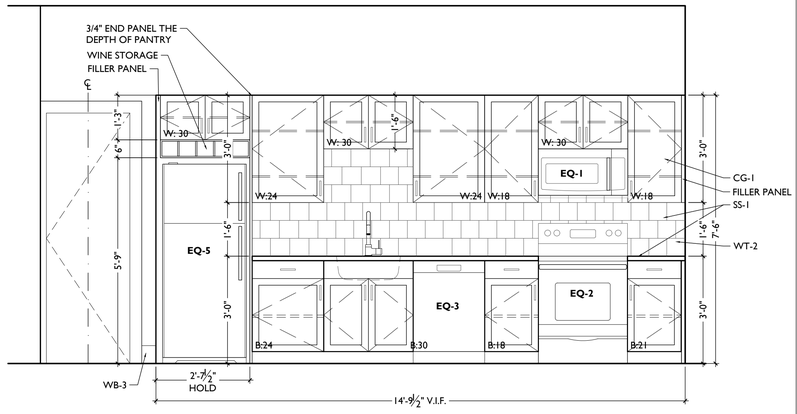


SCALE: 1/2" = 1'-0" INTERIOR ELEVATION 3A

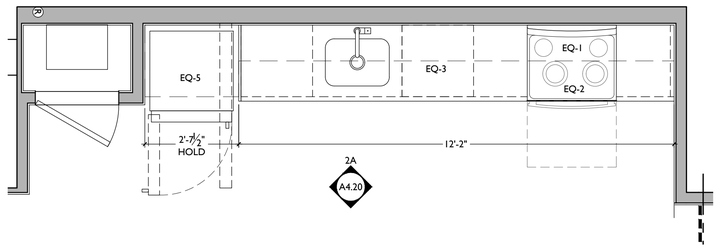


SCALE: 1/2" = 1'-0" ENLARGED PLAN 3

202, 302 BATHROOM - ENLARGED PLANS & INT ELEVATIONS

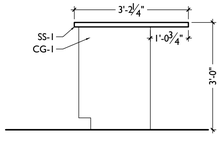


SCALE: 1/2" = 1'-0" INTERIOR ELEVATION 2A

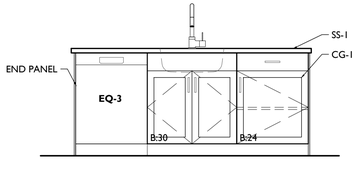


SCALE: 1/2" = 1'-0" ENLARGED PLAN 2

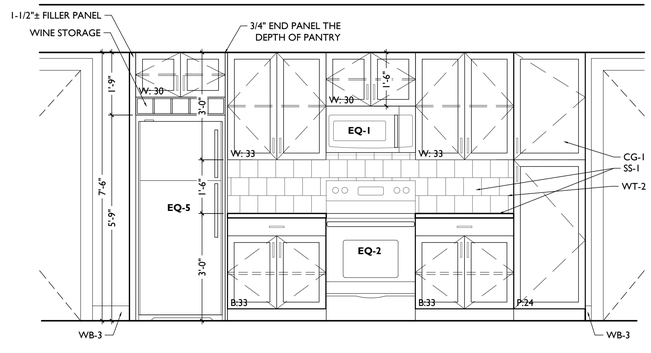
202, 302 KITCHEN - ENGLARGED PLAN & INT ELEVATIONS



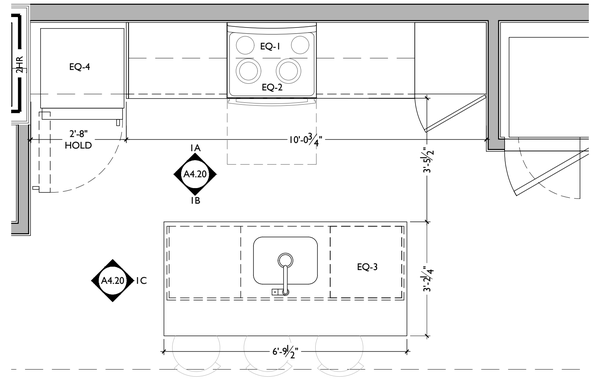
SCALE: 1/2" = 1'-0" INT. ELEVATION 1C



SCALE: 1/2" = 1'-0" INTERIOR ELEVATION 1B



SCALE: 1/2" = 1'-0" INTERIOR ELEVATION 1A



SCALE: 1/2" = 1'-0" ENLARGED PLAN 1

201, 301 KITCHEN - ENGLARGED PLAN & INT ELEVATIONS

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Progress Dates
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2024.08.30 - BID SET 2

Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
RO, AM

PROPOSED PROJECT:
RENOVATION FOR
1801 - 1805 VINE ST.
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/30/2024

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Progress Dates
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Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
RO, AM

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PROPOSED PROJECT:
RENOVATION FOR
1801 - 1805 VINE ST.
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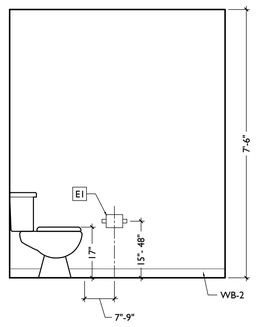
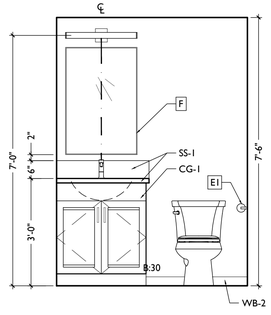
FINDLAY FLATS

Job No: 22042 8/30/2024

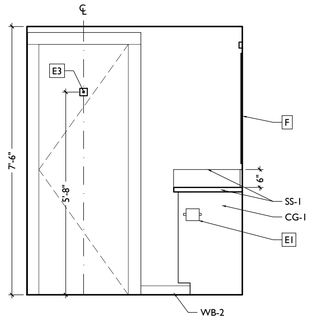
A4.30



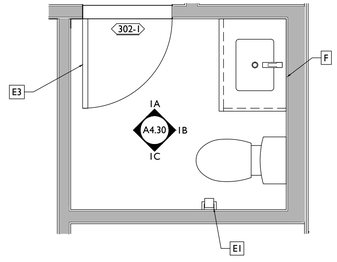
SCALE: 1/2" = 1'-0" INTERIOR ELEVATION 1C



SCALE: 1/2" = 1'-0" INTERIOR ELEVATION 1B

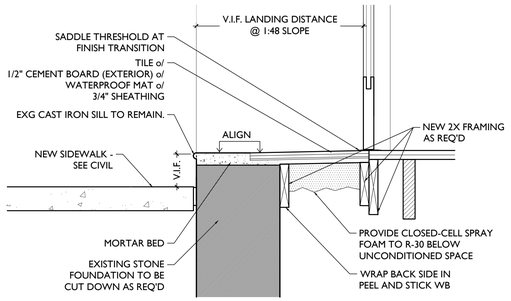


SCALE: 1/2" = 1'-0" INTERIOR ELEVATION 1A

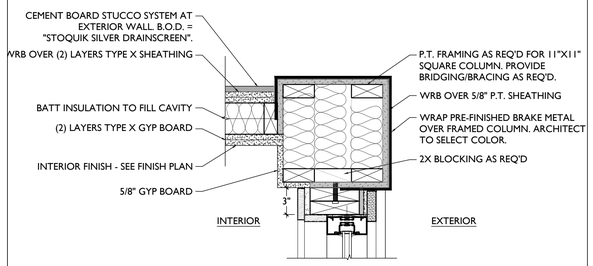


SCALE: 1/2" = 1'-0" ENLARGED PLAN 1

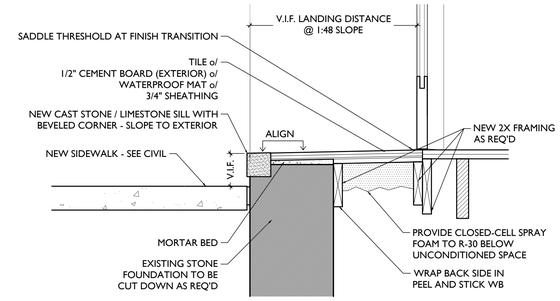
202, 302 BATHROOM - ENLARGED PLANS & INT ELEVATIONS



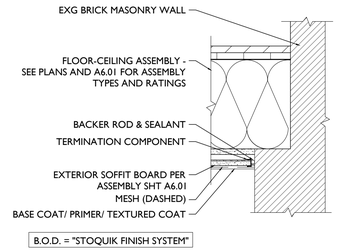
SCALE 1"=1'-0" NEW TILE AT RECESSED ENTRY 27



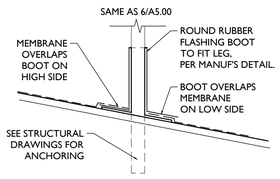
SCALE 1 1/2"=1'-0" COLUMN WRAP AT ENTRY 27



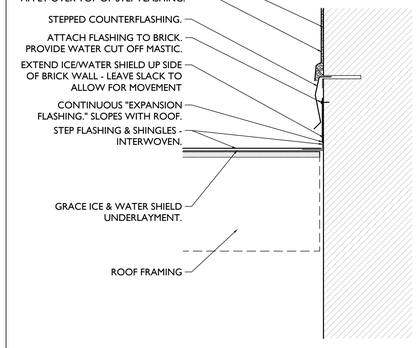
SCALE 1"=1'-0" NEW TILE AT RECESSED ENTRY 25



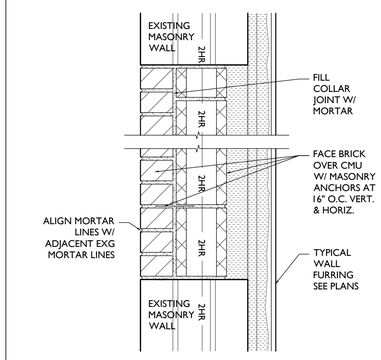
SCALE 1 1/2"=1'-0" BREEZEWAY CEILING 20



SCALE 1 1/2"=1'-0" ROOF BOOT 19

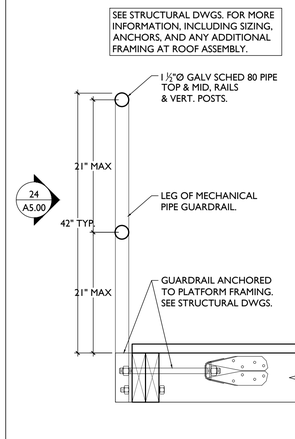


SCALE 1 1/2"=1'-0" ROOF/WALL STEP FLASHING 18

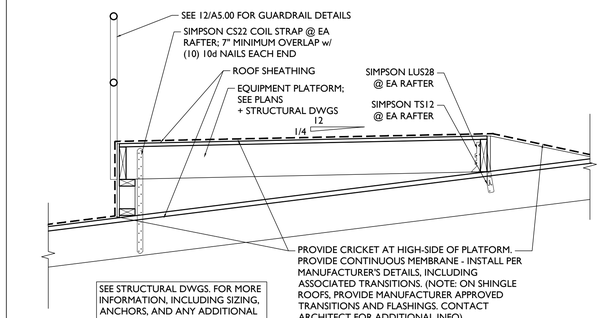


2-HR RATING PER OBC TABLE 721.1 (2). $\frac{3}{4}$" SOLID MORTAR BACKING ON BRICK ON 4" MIN. CMU.

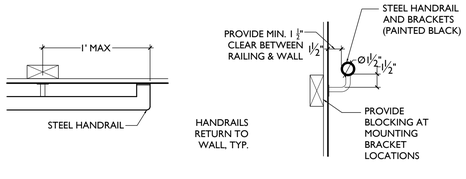
SCALE 1 1/2"=1'-0" BRICK INFILL 17



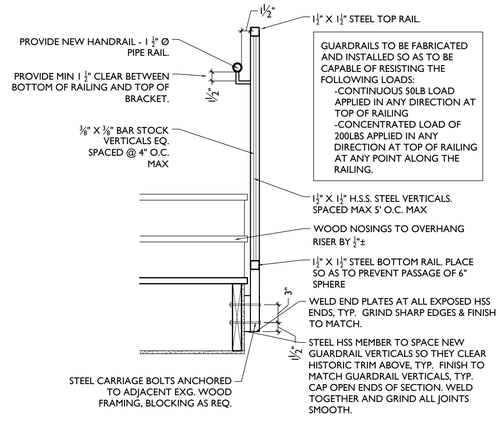
SCALE 1 1/2"=1'-0" PLATFORM GUARD 12



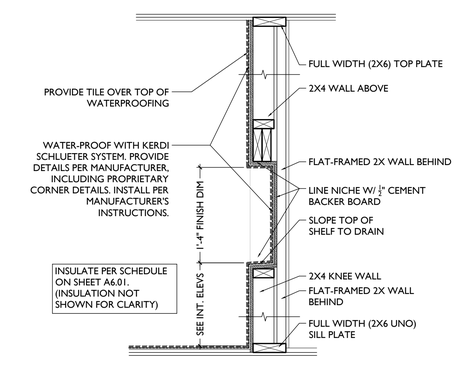
SCALE 3/4"=1'-0" MECHANICAL PLATFORM 11



SCALE 1 1/2"=1'-0" HANDRAIL 5



SCALE 1"=1'-0" HANDRAIL/GUARDRAIL 2



SCALE 1"=1'-0" SHOWER NICHE DETAIL 1

TYPICAL DETAILS

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10833
REGISTERED ARCHITECT

Progress Dates
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2024.08.30 - BID SET 2

Revisions

Design Team:
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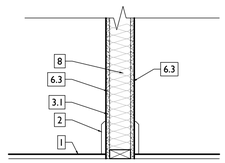
Drawn by:
RO, AM

PROPOSED PROJECT:
RENOVATION FOR
1801 - 1805 VINE ST.
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/30/2024

A5.00

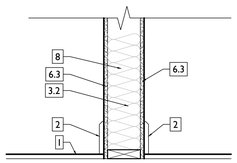
WALL ASSEMBLIES/ PARTITION TYPES



TYPICAL INTERIOR PARTITION WALL | 1

N/A	GYP/UL #	NON RATED	RATING

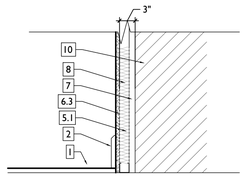
NOTES:
-PROVIDE PT. SILL PLATE IN BASEMENT



TYPICAL PLUMBING WET WALL | 2

N/A	GYP/UL #	NON RATED	RATING

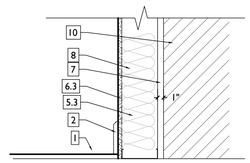
NOTES:
- PROVIDE MOISTURE RESISTANT DRYWALL ON BATHROOM/KITCHEN SIDE.
-PROVIDE PT. SILL PLATE IN BASEMENT



FURRING AT EXG WALLS | 3

N/A	GYP/UL #	NON RATED	RATING

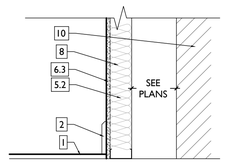
NOTES:
- PROVIDE MOISTURE RESISTANT DRYWALL ON BATHROOM/KITCHEN SIDE.
-PROVIDE PT. SILL PLATE IN BASEMENT



PLUMBING FURRING AT EXG WALLS | 4

N/A	GYP/UL #	NON RATED	RATING

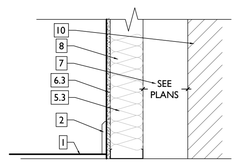
UL #
NOTES:
- PROVIDE MOISTURE RESISTANT DRYWALL ON BATHROOM/KITCHEN SIDE.
-PROVIDE PT. SILL PLATE IN BASEMENT



CHASE WALL | 5

N/A	GYP/UL #	NON RATED	RATING

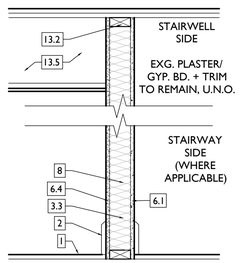
UL #
NOTES:
- PROVIDE MOISTURE RESISTANT DRYWALL ON BATHROOM/KITCHEN SIDE.
-PROVIDE PT. SILL PLATE IN BASEMENT



CHASE WALL | 6

N/A	GYP/UL #	NON RATED	RATING

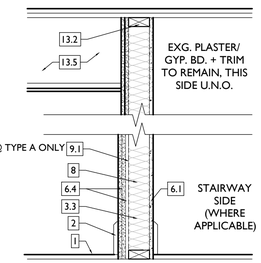
NOTES:
- PROVIDE MOISTURE RESISTANT DRYWALL ON BATHROOM/KITCHEN SIDE.
-PROVIDE PT. SILL PLATE IN BASEMENT



EXG. 1HR RATED BARRIER | 7

PERSCRIPTIVE_FIRE BARRIER	GYP/UL #	1-HR	RATING

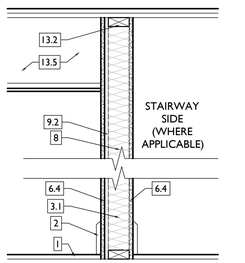
FIRE RATING = 50 MIN EXG (20 MIN STUD (16" O.C.) + 30 MIN EXG FINISH (5/8" EXG PLASTER) + 40 MIN NEW (5/8" TYPE X GYP BD) = 90 MIN TOTAL FIRE RATING



EXG. 2HR RATED BARRIER | 8

PERSCRIPTIVE_FIRE BARRIER	GYP/UL #	2-HR	RATING

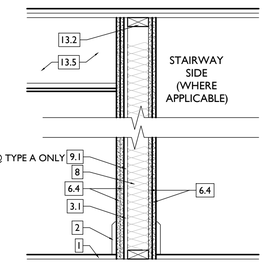
FIRE RATING = 50 MIN EXG (20 MIN STUD (16" O.C.) + 30 MIN EXG FINISH (5/8" EXG PLASTER) + 80 MIN NEW (2 LAYERS TYPE X GYP BD @ 40 MIN EA) = 120 MIN TOTAL FIRE RATING
- 8A - ADD 1/2" RESILIANT CHANNELS 1 SIDE



NEW 1HR RATED BARRIER | 9

U309 - FIRE BARRIER	GYP/UL #	1-HR	RATING

TYPICAL AT STAIRS

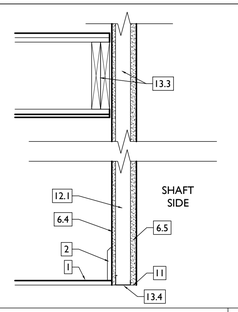


NEW 2HR RATED BARRIER | 10

U301 - FIRE BARRIER	GYP/UL #	2-HR	RATING

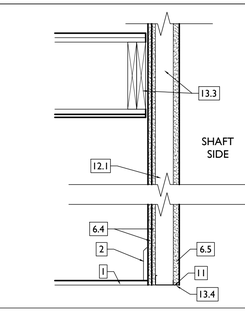
TYPICAL AT STAIRS

- 10A - NO RESILIANT CHANNELS



NEW 1HR SHAFTWALL | 11

U419 A- FIRE BARRIER	GYP/UL #	1-HR	RATING



NEW 2HR SHAFTWALL | 12

U415 B- FIRE BARRIER	GYP/UL #	2-HR	RATING

NOTE: SEE TABLES 721.1(2) AND 722.6 FOR PRESCRIPTIVE FIRE RATINGS. PER 721.1(2) EXCEPTION "E", PLASTER MAY BE SUBSTITUTED FOR GYPSUM WALLBOARD PROVIDED IT IS THE SAME SIZE/THICKNESS/CORE TYPE.

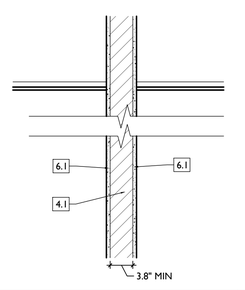
INSULATION SCHEDULE

LOCATION	TYPE	R-VALUE	NOTES
MECHANICAL CLOSET WALLS	SOUND ATTENUATION BATT	-	FILL STUD CAVITY
BATHROOM WALLS	SOUND ATTENUATION BATT	-	FILL STUD CAVITY
PLUMBING CHASE WALLS	FIBERGLASS BATTS STAPLED TO STUDS	R-13 MIN.	CONTINUOUS PIPE INSULATION AT ALL PLUMBING LINES
BETWEEN OFFICE TENANT SPACES	SOUND ATTENUATION BATT	-	FILL CAVITY
BETWEEN DWELLING UNITS	SOUND ATTENUATION BATT	-	FILL CAVITY
FURRING AT EXTERIOR WALLS	SPRAY-APPLIED CELLULOSE	-	FILL CAVITY
STAIR HALL ENCLOSURE WALLS	SOUND ATTENUATION BATTS	-	FILL CAVITY & COORD W/ FIRE-RATING & UL ASSEMBLY
STAIR HALL ENCLOSURE WALLS AT UNCONDITIONED ATTIC	BLOWN-IN CELLULOSE OR FIBERGLASS BATT'S	R-19 MIN.	FILL CAVITY
CLG BETWEEN ATTIC FLOOR AND OCCUPIED UNIT BELOW	BLOWN-IN CELLULOSE OR FIBERGLASS BATTS	R-38	INSULATION BETWEEN JOISTS
CEILING BETWEEN BASEMENT/RESIDENTIAL	CLOSED CELL SPRAY FOAM	R-30	COORD W/ UL ASSEMBLY & FIRE RATING
ATTIC CEILING	NONE REQ	---	REQ INSULATION PROVIDED @ ATTIC FLOOR
CEILING OF OCCUPIED ATTIC	CLOSED CELL SPRAY FOAM	R-38	
CEILING B/W BREEZEWAY/OCCUPIED SPACE	FIBERGLASS BATTS	R-30 MIN.	FILL CAVITY & COORD W/ FIRE-RATING & UL ASSEMBLY
CEILING B/W TWO SEPARATE OCCUPIED RESIDENCES	SOUND ATTENUATION BATT	6" MIN SOUND BATT	COORD W/ UL ASSEMBLY & FIRE RATING
CEILING B/W FLOORS OF SAME RESIDENCE	SOUND ATTENUATION BATTS	6" MIN SOUND BATT	

NOTES: COORDINATE ALL W/ FIRE RATING & U.L. ASSEMBLY.

2017 OHIO BUILDING CODE
721 PRESCRIPTIVE FIRE RESISTANCE - TABLE 720.1 (2) RATED FIRE-RESISTANCE FOR WALLS

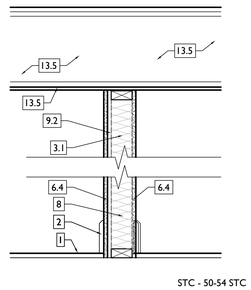
MATERIAL:	ITEM NUMBER	MIN. EQUIV. THICKNESS / RATING		
		3 HR	2 HR	1 HR
1. CLAY OR SHALE BRICK: SOLID BRICK	1-1.1	4.9"	3.8"	2.7"
2. CONCRETE MASONRY UNIT	3-1.2	4.4"	3.6"	2.6"



EXG. MASONRY WALL | 13

PERSCRIPTIVE - FIRE BARRIER	GYP/UL #	2-HR	RATING

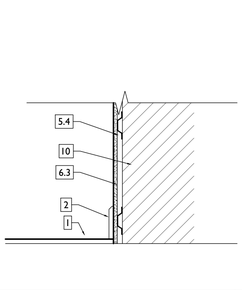
FIRE RATING = 3.8" MIN EXG. SOLID BRICK= 2HR MIN



NEW 1HR RATED UNIT SEPERATION | 14

U309 - FIRE PARTITIONS	GYP/UL #	1-HR	RATING

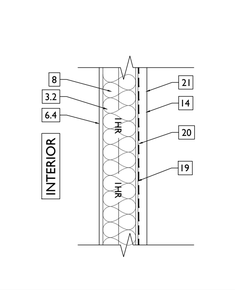
TYPICAL UNIT SEPERATION/CORRIDOR WALLS



FURRING AT EXG WALLS | 15

N/A	GYP/UL #	NON RATED	RATING

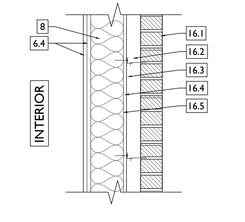
NOTES:
- PROVIDE MOISTURE RESISTANT DRYWALL ON BATHROOM/KITCHEN SIDE.
-PROVIDE PT. SILL PLATE IN BASEMENT



NEW 1HR RATED BREEZEWAY WALL | 16

U305 - FIRE BARRIER	GYP/UL #	1-HR	RATING

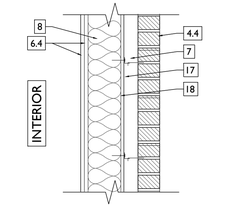
NOTES:



EXG. BRICK VENEER WALL W/ STUD BACKUP | 17

U302 - FIRE BARRIER	GYP/UL#	2-HR	RATING

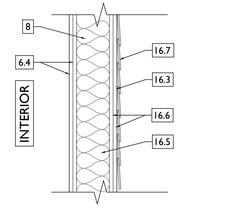
CONTRACTOR TO VERIFY EXG CONDITIONS



NEW BRICK VENEER WALL W/ STUD BACKUP | 18

U302 - FIRE BARRIER	GYP/UL#	2-HR	RATING

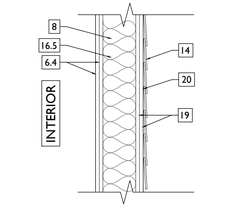
USE SALVAGED HISTORIC BRICK.



EXG. STUD WALL W/ SIDING | 19

U301 - FIRE BARRIER	GYP/UL#	2-HR	RATING

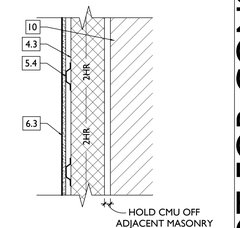
CONTRACTOR TO VERIFY EXG CONDITIONS.



NEW STUD WALL W/ SIDING | 20

U301 - FIRE BARRIER	GYP/UL#	2-HR	RATING

PROVIDE P.T. SILL PLATE IN BASEMENT AND ON CONCRETE SLABS.



NEW 2HR CMU WALL | 21

TABLE 721.1(2)	OBC#	2-HR	RATING

KEYED NOTES:

1. FINISHED FLOOR -SEE FINISH SCHEDULE
2. SCHEDULED BASE - SEE FINISH SCHEDULE
3. WOOD WALL FRAMING
   - 3.1. 2X4 WALL FRAMING @ 16" O.C.
   - 3.2. 2X6 WALL FRAMING @ 16" O.C.
   - 3.3. EXG. FRAMED WALL
4. MASONRY WALL
   - 4.1. EXISTING MASONRY WALL (SEAL WHERE EXPOSED)
   - 4.2. 8" CMU
   - 4.3. 6" CMU
   - 4.4. BRICK VENEER
5. METAL WALL FRAMING (NEW OR EXG)
   - 5.1. 1 5/8" METAL STUD FURRING @ 16" O.C.
   - 5.2. 3 5/8" METAL STUD @ 16" O.C.
   - 5.3. 6" METAL STUD @ 16" O.C.
   - 5.4. 7/8" HAT CHANNEL @ 16" O.C.
6. GYPSUM BOARD
   - 6.1. EXG. GYP/PLASTER
   - 6.2. 1/2"
   - 6.3. 5/8" GYP.
   - 6.4. 5/8" TYPE X
   - 6.5. 1" NOMINAL GYP. LINER
   - 6.6. 1/2" TYPE C
7. AIR GAP AS REQUIRED PER ASSEMBLY TYPE
8. INSULATION PER SCHEDULE
9. RESILIENT CHANNELS
   - 9.1. ½" METAL CHANNELS @ 24" O.C. RUN HORIZONTAL
   - 9.2. ⅝" METAL CHANNELS @ 16" O.C. RUN HORIZONTAL
10. EXG. WALL
11. J - TRACK
12. C- H STUD
    - 12.1. 2 ½" C-H @ 24" O.C.
    - 12.2. 4" C-H @ 24" O.C.
13. FLR/CLG FRAMING
    - 13.1. RATED ASSEMBLY TO BE CONTINUOUS TO RATED PARTITION OR WALL. REFER TO FLR/CLG ASSEMBLIES AND RATING DIAGRAMS FOR DTLS
    - 13.2. EXTEND RATED ASSEMBLY TO UNDERSIDE OF FLOOR SHEATHING ABOVE
    - 13.3. WALL STRUCTURE TO BE INDEPENDENT OF AND CONTINUE THROUGH FLR/CLG. ASSEMBLY. SEE STRUCTURAL FOR FRAMING OF FLR/CLG ASSEMBLY. SEE FLR/CLG ASSEMBLIES AND RATING DIAGRAMS FOR FLR/CLG ASSEMBLY DTLS.
    - 13.4. FRAMING TO BEAR ON FLOOR OF EQUAL RATING. SEE FLR/CLG. ASSEMBLIES AND RATING DIAGRAMS.
    - 13.5. SEE FLR/CLG. ASSEMBLIES AND RATING DIAGRAMS FOR HORIZONTAL ASSEMBLY DTLS
14. HARDIE BOARD SIDING
15. ½" OSB SHEATHING WITH INTEGRAL AIR/MOISTURE BARRIER
16. EXG WALL - CONTRACTOR TO VERIFY
    - 16.1. BRICK VENEER
    - 16.2. AIR CAVITY
    - 16.3. AIR/MOISTURE BARRIER
    - 16.4. 1/2" APA RATED GYPSUM SHEATHING
    - 16.5. 2X6 FRTW STUD FRAMING
    - 16.6. 5/8" TYPE X MAT GYPSUM SHEATHING
    - 16.7. HARDIE BOARD SIDING
17. 1/2" APA RATED GYPSUM SHEATHING WITH INTEGRAL AIR/MOISTURE BARRIER
18. 2X6 FRTW STUD FRAMING
19. 5/8" TYPE X MAT GYPSUM SHEATHING
20. WEATHER-RESISTANT BARRIER
21. 3-COAT STUCCO SYSTEM

GENERAL NOTES

A. CONTRACTOR TO ASSUME WALLS NOT CALLED OUT WITH WALLTAG ARE TO BE WALLTYPE 1.

NOT FOR CONSTRUCTION

SCALE: 1" = 1'-0"

ASSEMBLY TYPES

PLATTE
architecture + design
1810 CAMPBELL ALLEY, SUITE 300 | CINCINNATI, OH 45202
WWW.PLATTEDESIGN.COM | T: 513.871.1850 | F: 513.871.1829

Progress Dates
2023.04.28 - BID / PERMIT
2024.08.30 - BID SET 2

Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
RO, AM

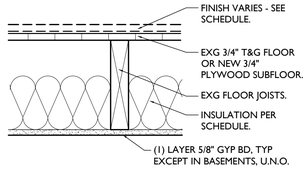
PROPOSED PROJECT:
RENOVATION FOR
1801 - 1805 VINE ST.
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/30/2024

A6.00

TYPICAL FLOOR/CEILING/SHAFT ASSEMBLIES

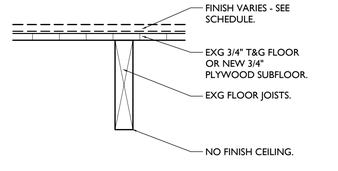
(LABELED ON PLANS AND SECTION DIAGRAM ON SHEET A0.01)



FLR/CLG ASSEMBLY	A

N/A	GYP/UL #	NON RATED	RATING

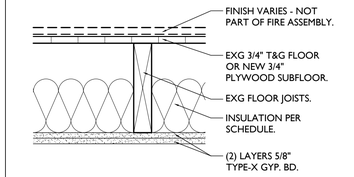
NOTES: PROVIDE MOISTURE RESISTANT DRYWALL IN BASEMENTS



FLR/CLG ASSEMBLY	B

N/A	GYP/UL #	NON RATED	RATING

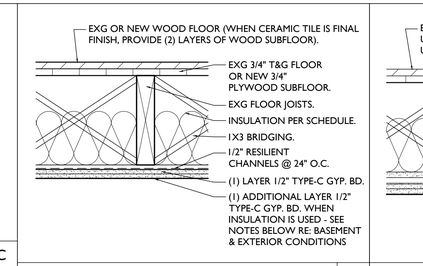
NOTES: PROVIDE MOISTURE RESISTANT DRYWALL IN BASEMENTS



1-HR FLR/CLG MEMBRANE	C

GA-FC-5406	GYP/UL #	1-HR	RATING

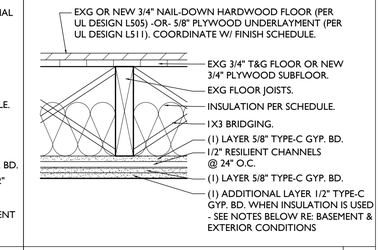
NOTES:
-PROTECTION PROVIDED FROM UNDERSIDE
-PROVIDE MOISTURE RESISTANT DRYWALL IN BASEMENTS



1-HR FLR/CLG DWELLING SEPERATION	D

UL#L514	GYP/UL #	1-HR	RATING

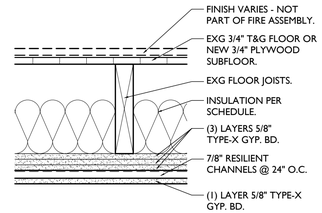
NOTES: PROVIDE MOISTURE RESISTANT DRYWALL IN BASEMENTS + EXTERIOR SOFFIT BOARD EXTERIOR APPLICATIONS



2 HR FLR/CLG CORRIDOR/USE GROUP SEP.	E

UL#L505 -OR- L511	GYP/UL #	2-HR	RATING

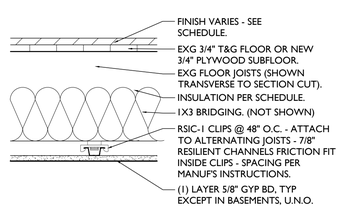
NOTES: PROVIDE MOISTURE RESISTANT DRYWALL IN BASEMENTS + EXTERIOR SOFFIT BOARD IN EXTERIOR APPLICATIONS



2-HR FLR/CLG MEMBRANE	F

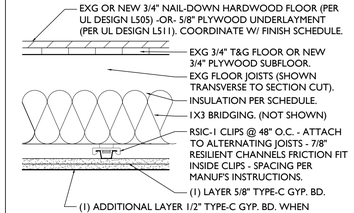
GA-FC-5725	GYP/UL #	2-HR	RATING

NOTES:
-PROVIDES PROTECTION FROM UNDERSIDE
-PROVIDE MOISTURE RESISTANT DRYWALL IN BASEMENTS



FLR/CLG ASSEMBLY	G

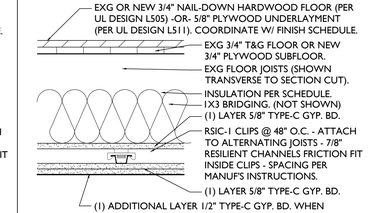
GYP/UL #	NON RATED	RATING



1-HR FLR/CLG MEMBRANE	H

UL #L514	GYP/UL #	1-HR	RATING

NOTES: - PROVIDE MOISTURE RESISTANT DRYWALL IN BASEMENTS + EXTERIOR SOFFIT BOARD IN EXTERIOR APPLICATIONS
- IF INDICATED IN PLAN KEYNOTES, REINSTALL HISTORIC TIN CEILING AT UNDERSIDE OF ASSEMBLY



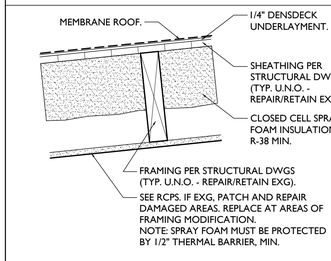
2-HR FLR/CLG MEMBRANE	J

UL #L505 -OR- L511	GYP/UL #	2-HR	RATING

NOTES: - PROVIDE MOISTURE RESISTANT DRYWALL IN BASEMENTS + EXTERIOR SOFFIT BOARD IN EXTERIOR APPLICATIONS
- IF INDICATED IN PLAN KEYNOTES, REINSTALL HISTORIC TIN CEILING AT UNDERSIDE OF ASSEMBLY

TYPICAL ROOF ASSEMBLIES

(LABELED ON PLANS AND SECTION DIAGRAM ON SHEET A0.01)

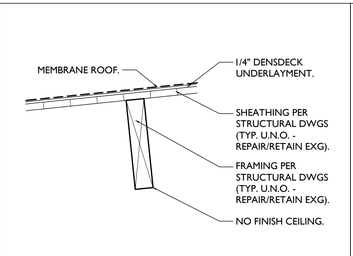


PROVIDE ROOF CLASS RATING AS INDICATED ON CODE ANALYSIS.

INSULATED MEMBRANE ROOF	M1

N/A	GYP/UL #		RATING

NOTES:
- USED WHERE TOP FLOOR IS OCCUPIED

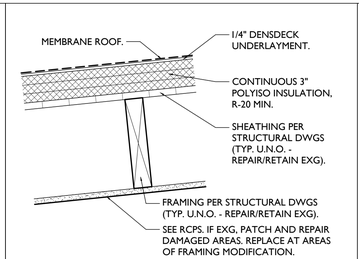


PROVIDE ROOF CLASS RATING AS INDICATED ON CODE ANALYSIS.

UNINSULATED MEMBRANE ROOF	M2

N/A	GYP/UL #		RATING

NOTES:
- USED WHERE ATTIC/INTERSTITIAL SPACE IS UNOCCUPIED
- INSULATION TO BE PROVIDE AT CLG OF OCCUPIED SPACE BELOW

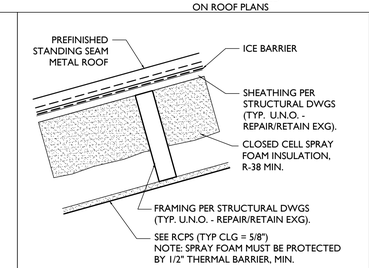


PROVIDE ROOF CLASS RATING AS INDICATED ON CODE ANALYSIS.

OUTBOARD INSULATED MEMBRANE ROOF	M3

N/A	GYP/UL #		RATING

NOTES:
- USED WHERE TOP FLOOR IS OCCUPIED

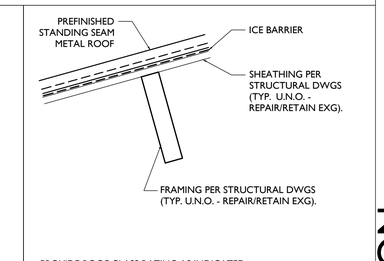


PROVIDE ROOF CLASS RATING AS INDICATED ON CODE ANALYSIS.

INSULATED METAL ROOF	MT1

N/A	GYP/UL #		RATING

NOTES:
- USED WHERE TOP FLOOR IS OCCUPIED

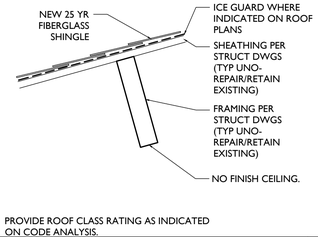


PROVIDE ROOF CLASS RATING AS INDICATED ON CODE ANALYSIS.

UNSULATED METAL ROOF	MT2

N/A	GYP/UL #		RATING

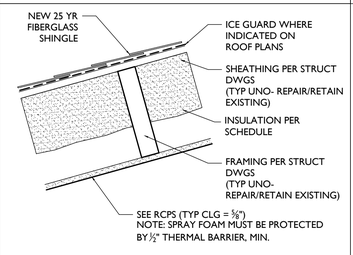
NOTES:
- USED WHERE TOP FLOOR IS OCCUPIED



PROVIDE ROOF CLASS RATING AS INDICATED ON CODE ANALYSIS.

UNINSULATED SHINGLE ROOF	S1

N/A	GYP/UL #		RATING



PROVIDE ROOF CLASS RATING AS INDICATED ON CODE ANALYSIS.

INSULATED SHINGLE ROOF	S2

N/A	GYP/UL #		RATING

NOTES:
- USED WHERE TOP FLOOR IS OCCUPIED.
- COORDINATE W/ INSULATION SCHEDULE

NOT FOR CONSTRUCTION

SCALE: 1 1/2" = 1'-0"

ASSEMBLY TYPES

PLATTE
architecture + design
1810 CAMPBELL ALLEY, SUITE 300 | CINCINNATI, OH 45202
WWW.PLATTEDESIGN.COM | T: 513.871.1850 | F: 513.871.1829

Progress Dates
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2024.08.30 - BID SET 2

Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
RO, AM

PROPOSED PROJECT:
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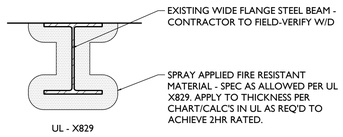
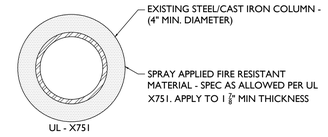
FINDLAY FLATS

Job No: 22042 8/30/2024

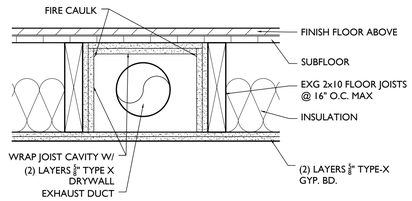
A6.01



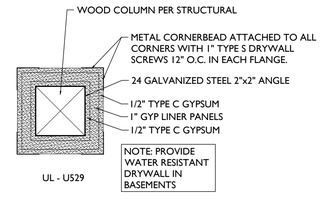
SCALE: 1-1/2" = 1'-0" **2HR RATED STEEL BEAM** 8



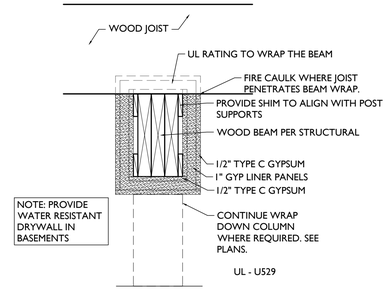
SCALE: 1-1/2" = 1'-0" **2HR RATED STEEL COLUMN** 7



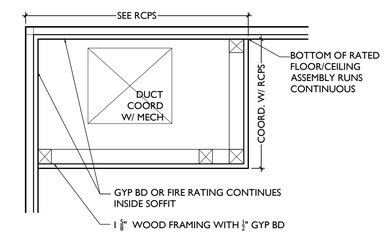
SCALE: 1-1/2" = 1'-0" **1 HR RATED JOIST POCKET** 6



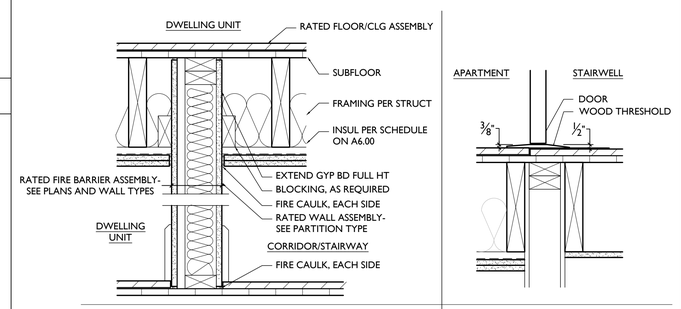
SCALE: 1-1/2" = 1'-0" **2 HR WOOD POST PROTECTION** 5



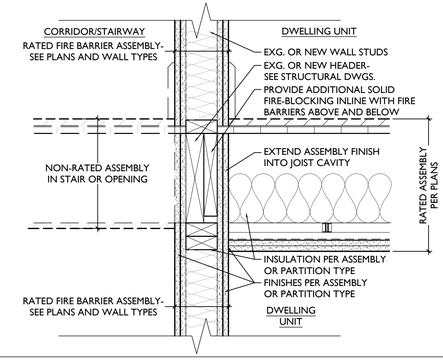
SCALE: 1-1/2" = 1'-0" **2 HR WOOD BEAM PROTECTION** 4



SCALE: 1-1/2" = 1'-0" **SOFFIT DETAIL IN DWELLING** 3



DETAIL 2 2



DETAIL 1 1

SCALE: 1 1/2" = 1'-0" **TYPICAL FIRE RATING DETAILS**

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Progress Dates
2023.04.28 - BID / PERMIT
2024.08.30 - BID SET 2

Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
RO, AM

PROPOSED PROJECT:
RENOVATION FOR
1801 - 1805 VINE ST.
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/30/2024

A6.02

HARDWARE SCHEDULE

HDWR	M	DESCRIPTION
EXISTING DOORS TO REMAIN		
H01	EXISTING TO REMAIN	EXISTING HARDWARE SET TO REMAIN
NEW COMMERCIAL DOORS		
H02	EXTERIOR COMMERCIAL DOOR (TYPICAL)	ENTRY LOCKSET • OUTSIDE KEYLOCK (LOCKED FROM OUTSIDE) • LEVER HANDLES • INSIDE KEYLOCK W/ SINGLE ACTION LEVER RELEASE MECHANISM RELEASES DEADBOLT WHEN INTERIOR HANDLE IS TURNED. MEETS EMERGENCY EGRESS REQUIREMENT. • 1-1/2 PAIR HINGES • (1) CLOSER • WALL/FLOOR STOP • WEATHER SEALS
H02A	EXTERIOR COMMERCIAL DOOR (WITH PANIC HARDWARE)	ENTRY LOCKSET W/ PANIC HARDWARE • RATED HARDWARE • PANIC HARDWARE TO BE EXIT ONLY • OUTSIDE KEY LOCK, INSIDE ALWAYS UNLOCKED • (3) HINGES • (1) CLOSER • WALL/FLOOR STOP • WEATHER SEALS
H02B1	EXTERIOR COMMERCIAL DOOR (DOUBLE FIXED)	• 1-1/2 PAIR HINGES • (4) PUSH PLATE • (2) FLOOR BOLT • WEATHER SEALS
H03	INTERIOR COMMERCIAL DOOR	ENTRY LOCKSET • OUTSIDE KEYLOCK (LOCKED FROM HALLWAY SIDE) • LEVER HANDLES • INSIDE KEYLOCK. • 1-1/2 PAIR HINGES • (1) CLOSER • SMOKE SEAL • WALL/FLOOR STOP
H05A	COMMERCIAL RESTROOM (MULTI-USER)	PASSAGE SET • (1) PULL, PUSH PLATE • (3) HINGES • KICK/MOP PLATE • CLOSER • WALL/FLOOR STOP
H06	DOOR TO BASEMENT/MECHANICAL CLOSET	STORAGE LOCKSET • RATED HARDWARE WHERE REQUIRED • OUTSIDE KEY LOCK, INSIDE ALWAYS UNLOCKED • ACCESSIBLE BY LANDLORD ONLY • (3) HINGES • WALL/FLOOR STOP
H06A	COMMERCIAL TENANT STORAGE	STORAGE LOCKSET • OUTSIDE KEY LOCK, INSIDE ALWAYS UNLOCKED • ACCESSIBLE BY COMMERCIAL TENANT • (3) HINGES • WALL/FLOOR STOP
NEW COMMON RESIDENTIAL DOORS		
H10	DOOR FROM STAIR/CORRIDOR TO EXTERIOR	EGRESS LOCKSET W/ ELECTRONIC ACCESS CONTROL • OUTSIDE ALWAYS LOCKED, INSIDE ALWAYS UNLOCKED • ELECTRONIC ACCESS CONTROL (INTERCOM OR KEY FOB) • ELECTRIC STRIKE • 1 LOCKSET • 1-1/2 PAIR HINGES • (1) CLOSER • WALL/FLOOR STOP • WEATHER SEALS
H10A	PASSAGE DOOR BETWEEN CORRIDOR + EGRESS STAIR	PASSAGE LOCKSET • RATED HARDWARE • NO LOCKSET • (3) HINGES • (1) CLOSER • (1) ELECTROMAGNETIC HOLD OPEN - ELECTRIFIED FOR RELEASE BY FIRE ALARM ACTIVATION • SMOKE SEAL • WALL/FLOOR STOP
H10B	INTERIOR DOOR FROM STAIR CORRIDOR TO PUBLIC CORRIDOR	PASSAGE LOCKSET • OUTSIDE ALWAYS LOCKED, INSIDE ALWAYS UNLOCKED • ELECTRONIC ACCESS CONTROL (INTERCOM OR KEY FOB) • ELECTRIC STRIKE • 1 LOCKSET • (3) HINGES • (1) CLOSER • WALL/FLOOR STOP • SMOKE SEAL
H11	RESIDENTIAL STORAGE/MAIL ROOM	PASSAGE LOCKSET • RATED HARDWARE • NO LOCKSET • (3) HINGES • (1) CLOSER • SMOKE SEAL • WALL/FLOOR STOP
NEW PRIVATE RESIDENTIAL DOORS		
HR01	RESIDENTIAL UNIT ENTRY DOOR	ENTRY LOCKSET • RATED HARDWARE • 1 LOCKSET • THUMB TURN DEADBOLT. • (3) HINGES • (1) SPRING CLOSER • WIDE ANGLE VIEWER • WALL/FLOOR STOP • SMOKE SEAL • DOOR SWEEP • RUBBER THRESHOLD (LOW PROFILE)
HR02	TYPICAL BEDROOM AND BATHROOM	PRIVACY LOCKSET • (1) LOCKSET • (3) HINGES • WALL/FLOOR STOP • WOOD "T" THRESHOLD
HR03	DOOR TO MECHANICAL CLOSET	STORAGE LOCKSET • OUTSIDE KEY LOCK, INSIDE ALWAYS UNLOCKED • ACCESSIBLE BY LANDLORD ONLY • (3) HINGES • WALL/FLOOR STOP • WOOD "T" THRESHOLD
HR04	SINGLE DOOR TO CLOSET/STORAGE/LAUNDRY/ BEDROOM EGRESS	PASSAGE LOCKSET • (3) HINGES • WALL/FLOOR STOP
HR04A	DOUBLE SWINGING DOOR TO CLOSET/STORAGE	CLOSET PULLS • DUMMY LEVER HANDLES • BALL CATCHES • 3 PAIR HINGES

GENERAL HARDWARE NOTES:

1. ALL HARDWARE TO BE OPERABLE IN THE DIRECTION OF EGRESS ALWAYS WITHOUT KNOWLEDGE, KEY OR TIGHT PINCHING OR GRASPING THE DEVICE.
2. ALL HARDWARE TO BE SATIN CHROME, STAINLESS STEEL AND POWDER COAT TO MATCH. EXIT DEVICES, EXTERIOR HINGES, KICK PLATES TO BE US32D, INTERIOR HINGES, LOCKSETS, WALL STOPS US26D, DOOR CLOSERS TO BE POWDER COAT TO MATCH.
3. ALL HARDWARE TO BE AS SPECIFIED OR APPROVED EQUAL.
   A. LOCKSETS ARE BASED ON BEST CYLINDRICAL GRADE 1 (MORTISE LOCK FOR TOILETS WITH INDICATOR). COORDINATE KEYING REQUIREMENTS WITH OWNER. APPROVED MANUFACTURERS: BEST (9K3 SERIES), SCHLAGE (ND SERIES), SARGENT (10 LINE), KEY SYSTEM - PROVIDE MASTER SYSTEM (KEY INTO OWNER'S EXISTING SMALL FORMAT KEY SYSTEM), 5 MASTER KEYS, 3 CHANGE KEYS PER CYLINDER.
   B. EXIT DEVICES ARE BASED ON PRECISION 2100 SERIES GRADE 1. APPROVED MANUFACTURERS: PRECISION (2100 SERIES), VON DUPRIN (98 SERIES)
   C. DOOR CLOSERS ARE BASED ON DORMA 8900 SERIES GRADE 1. PROVIDE WITH FULL COVER. APPROVED MANUFACTURERS: DORMA (8900 SERIES), LCN (4040XP SERIES).
4. HINGES:
   A. HINGE SIZE, DOORS UP TO 3 FEET WIDE 4-1/2" X 4-1/2", DOORS WIDER THAN 3 FEET TO BE 5" X 4-1/2".
   B. HINGE QUANTITY - 3 HINGES PER DOOR LEAF FOR DOORS UP TO 7'6". PROVIDE 4 HINGES FOR DOORS TALLER THAN 7'6".
5. COORDINATE KEYING REQUIREMENTS WITH OWNER.
6. COORDINATE ELECTRONIC ACCESS CONTROL REQUIREMENTS WITH OWNER
7. PROVIDE INTERCHANGEABLE CORES

CALL OUT LEGENDS

DOOR FINISHES (ALSO SEE A4.00 AND A8.00-8.01)

FF	DOOR TO BE FACTORY FINISHED AS PART OF NEW STOREFRONT SYSTEM. SEE STOREFRONT TYPES ON A6.12.
PT	AT EXTERIOR DOORS: SEE EXTERIOR PAINT SCHEDULE ON A8.00-A8.01. AT INTERIOR DOORS: SEE FINISH SCHEDULE ON A4.00.
WL	WOOD LOOK
ST	STAINED

FRAME TYPES (ALSO SEE A6.11)

F1	HISTORIC FRAME/TRIM TO REMAIN - REPAIR/REPLICATE MISSING PIECES AS REQ
F2	NEW METAL FRAME - SEE DTLS 1-5/A6.11 AND TYPICAL TRIM DTLS A6.11
F3	NEW METAL FRAME - SEE DTLS 1-5/A6.11 - TRIM TO MATCH EXG ADJ. HISTORIC TRIM
F4	NEW WOOD FRAME - SEE DTLS 7-8/A6.11 AND TYPICAL DOOR TRIM DTLS A6.11
F5	NEW WOOD FRAME - SEE DTLS 7-8/A6.11 - TRIM TO MATCH EXG ADJ. HISTORIC TRIM
SF	PART OF STOREFRONT SYSTEM - SEE A6.12

NOTE: FRAMES TO BE PAINTED, UNO. SEE FINISH SCHEDULE AND EXTERIOR PAINT SCHEDULE FOR MORE INFORMATION.

TRANSOM TYPES

TR1	NEW HOLLOW METAL FRAMED TRANSOM
TR2	HISTORIC TRANSOM TRIM & GLAZING TO REMAIN. REPAIR/REPLICATE MISSING PIECES AS REQ
TR3	NEW WOOD TRANSOM TRIM TO MATCH EXG ADJACENT HISTORIC TRIM OF DOOR - WITH NEW TEMPERED GLAZING
TR4	HISTORIC TRANSOM TRIM TO REMAIN. REPAIR/REPLICATE MISSING PIECES AS REQ'D. INSTALL NEW CLEAR GLAZING.
SF	NEW TRANSOM TO BE PART OF STOREFRONT SYSTEM. SEE STOREFRONT TYPES.
GA	NEW TRANSOM TO BE PART OF METAL BREEZEWAY GATE. SEE A6.11

SCHEDULE NOTES

1. EXISTING HISTORIC OPENING:
   - 1.A. EXISTING HISTORIC DOOR (& TRANSOM, IF APPLICABLE) TO REMAIN IN SITU. REPAIR AS REQ. CONTRACTOR TO PROVIDE ALLOWANCE FOR DOOR REPAIR FOR ALL EXG. DOORS TO REMAIN.
   - 1.B. EXISTING HISTORIC DOOR IS TO BE FIXED IN PLACE. SEE PLANS.
   - 1.C. OPENING TO HAVE RELOCATED HISTORIC DOOR. SEE EXISTING PLANS FOR PREVIOUS LOCATION AND NEW WORK PLANS FOR NEW LOCATION.
   - 1.D. OPENING TO HAVE RELOCATED HISTORIC FRAME/TRIM. SEE EXISTING PLANS FOR PREVIOUS LOCATION AND NEW WORK PLANS FOR NEW LOCATION.
   - 1.E. NEW OPERABLE DOOR IN HISTORIC OPENING.
   - 1.F. HISTORIC POCKET DOORS TO BE RESTORED TO ORIGINAL FUNCTION AND OPERATION.
2. EXISTING TRANSOM TO BE INFILLED BEHIND WITH GYP. BD. TO MAINTAIN FIRE RATING. SEE DETAILS ON A6.02.
3. PROVIDE HOLD OPEN FOR THIS DOOR - SEE HARDWARE SCHEDULE.
4. PROVIDE HINGES THAT ALLOW FOR EASY DOOR REMOVAL DURING LAUNDRY UNIT INSTALLATION & MAINTENANCE.
5. DOOR TO BE UNDERCUT. SEE MECHANICAL DRAWINGS.
6. DOOR(S) TO BE FIXED IN PLACE AND INOPERABLE.
7. PROVIDE VIEW HOLE AT 48" A.F.F., CENTERED IN DOOR.
8. TIME DELAY FOR ELECTRIC STRIKE TRIGGERED BY INTERCOM OR KEY FOB AT EXTERIOR ENTRY.
9. GATE TO BE PART OF SPECIFIED FENCE SYSTEM. SEE PLANS FOR KEYNOTE WITH B.O.D.

GENERAL NOTES

THIS IS A HISTORIC TAX CREDIT PROJECT WITH SENSITIVE HISTORIC MATERIALS, INCLUDING DOORS & TRIM. DO NOT REMOVE ANY HISTORIC DOORS OR TRIM UNLESS INDICATED IN THESE DRAWINGS & IN THE SHPO NARRATIVE.

DOOR FRAMES

A. FURNISH AND INSTALL ALL DOOR FRAMES AS SHOWN ON THE DRAWINGS AND IN ACCORDANCE WITH FINAL SHOP DRAWINGS AND MANUFACTURER'S DATA AND INSTRUCTIONS.
B. SUBMIT SHOP DRAWINGS FOR FABRICATION AND INSTALLATION OF FRAMES. INCLUDE DETAILS OF EACH FRAME TYPE, CONDITIONS AT OPENINGS, DETAILS OF CONSTRUCTION, LOCATION, AND INSTALLATION REQUIREMENTS OF FINISH HARDWARE AND REINFORCEMENTS, AND DETAILS OF JOINTS AND CONNECTIONS. SHOW ANCHORAGE AND ACCESSORY ITEMS. PROVIDE SCHEDULE OF FRAMES USING SAME REFERENCE FOR DETAILS AND OPENINGS AS THOSE ON CONTRACT DRAWINGS.
C. NEW FRAMES SHALL HAVE UL LABELS TO MATCH RATING NOTED IN DOOR SCHEDULE.
D. SET AND BRACE ALL DOOR FRAMES. FRAMES SHALL BE PREPARED FOR HARDWARE PER TEMPLATES FURNISHED BY HARDWARE SUPPLIER.
E. COORDINATE LOCATIONS FOR OTHER TRADES TO BUILD IN THEIR WORK AS REQUIRED.

DOORS

F. FURNISH AND INSTALL ALL DOORS AS SHOWN ON THE DRAWINGS AND IN ACCORDANCE WITH FINAL SHOP DRAWINGS AND MANUFACTURER'S DATA AND INSTRUCTIONS.
G. SUBMIT DOOR MANUFACTURER'S PRODUCT DATA SPECIFICATIONS AND INSTALLATION INSTRUCTIONS FOR EACH TYPE OF DOOR. PROVIDE SCHEDULE OF DOORS USING SAME REFERENCE FOR DETAILS AND OPENINGS AS THOSE ON CONTRACT DRAWINGS.
H. EXTERIOR DOORS TO BE INSULATED, WITH WEATHERSTRIPPING, AND PROVIDED WITH ACCESSIBLE THRESHOLD. ALL EXTERIOR STOREFRONT DOORS TO BE INSULATED, THERMALLY BROKEN AND WITH WEATHER STRIPPING AND PROVIDED WITH ACCESSIBLE THRESHOLD.
I. GLAZING IN DOOR LITES AND SIDE LITES SHALL BE CLEAR TEMPERED GLASS, 1/4" THICKNESS, UNLESS OTHERWISE NOTED. WIRED GLASS, IS NOT ALLOWED. GLASS FRAMES IN DOORS SHALL HAVE FLUSH STOPS.
J. SEE DOOR SCHEDULE FOR REQUIRED FIRE RATINGS.
K. FIT DOORS TO FRAMES WITH MINIMUM UNIFORM CLEARANCES AND BEVELS. DOORS SHALL BE PREPARED FOR HARDWARE AS REQUIRED BY HARDWARE SCHEDULE. SEAL DOOR EDGE SURFACES AFFECTED BY FITTING AND MACHINING. PROVIDE DOOR CLEARANCES SO THAT DOOR MAY FREELY MOVE ABOVE FINISH FLOOR MATERIAL.
L. VERIFY SIZE OF ALL EXISTING DOORS AND DOOR OPENINGS IN FIELD. WHERE HISTORIC DOORS ARE BEING RELOCATED, VERIFY DOOR FITS IN NEW LOCATION. IF DOOR DOES NOT FIT, CONTACT ARCHITECT.
M. ALL MECHANICAL CLOSETS ARE TO BE LOCKED AT ALL TIMES WITH MECHANICAL ACCESS BY LANDLORD ONLY. CLOSET SHALL BE USED FOR MECHANICAL/WATER HEATING EQUIPMENT ONLY. NO STORAGE OF ANY KIND IS TO BE PERMITTED WITHIN.

DOOR SCHEDULE

DOOR NO.	LOCATION	DOOR				FRAME			HARDWARE	REMARKS	
		WIDTH	HEIGHT	TYPE	FINISH	TYPE	TRANSM	FINISH	TYPE	RATING	NOTES
BASEMENT											
001-1	W. BASEMENT	3'-0"	6'-8"	DM4	PT	F2	-	PT	H06	90 MIN	
001-2	S. BASEMENT	2'-10"	6'-8"	DM4	PT	F2	-	PT	H06	90 MIN	
001-3	E. BASEMENT	3'-0"	6'-8"	DM4	PT	F2	-	PT	H06	90 MIN	
FIRST FLOOR											
101-1	SOUTH COMMERCIAL ENTRY	3'-0"	7'-0" V.I.F.	DA2	FF	SF	SF	FF	H02		
101-2	HALL	3'-0"	6'-8"	DW1	PT				H03		
101-3	STORAGE	3'-0"	6'-8"	DW1	PT	F4	-	PT	H06A		
101-4	MEN'S RESTROOM	3'-0"	6'-8"	DW1	PT	F4	-	PT	H05A		
101-5	WOMEN'S RESTROOM	3'-0"	6'-8"	DW1	PT	F4	-	PT	H05A		
101-6	MID COMMERCIAL STOREFRONT	EXG OPG - V.I.F.	7'-0" V.I.F.	DA3	FF	SF	SF	FF	H02B1		
101-7	BASEMENT ACCESS	3'-0"	6'-8"	DW1	PT	F2	-	PT	H06	90 MIN	
101-8	NORTH COMMERCIAL ENTRY	3'-0"	7'-0" V.I.F.	DA2	FF	SF	SF	FF	H02		6
101-9	ACCESSIBLE ENTRY	3'-0"	6'-8"	DM4	PT	F2	-	PT	H03	90 MIN	
101-10	HALL								H03		
102-1	ACCESSIBLE ENTRY TO COMMERCIAL TENANT	3'-0"	7'-0" V.I.F.	DA1	FF	SF	SF	FF	H10		
102-2	INTERIOR RESIDENTIAL CORRIDOR	2'-10" V.I.F.	6'-8"	DA1	FF	SF	SF	FF	H10B		8
102-3	RESIDENTIAL CORRIDOR ENTRY	2'-10"	6'-8"	DM4	PT	F2	-	PT	H10A	90 MIN	3
102-4	RESIDENTIAL STORAGE	2'-10"	6'-8"	DM4	PT	F2	-	PT	H11	90 MIN	
102-5	COURTYARD ENTRY	2'-8" V.I.F.	7'-0"	DM3	PT	F2	-	PT	H10		
SECOND FLOOR											
201-1	UNIT ENTRY	3'-0"	6'-8"	DM4	PT	F2	-	PT	HR01	90 MIN	7
201-2	BEDROOM	2'-8"	6'-8"	DW1	PT	F4	-	PT	HR02		5
201-3	COAT CLOSET	4'-0"	6'-8"	DW1	PT	F4	-	PT	HR04A		
201-4	MECHANICAL	2'-4"	6'-8"	DW4	PT	F4	-	PT	HR03		5
201-5	LAUNDRY	2'-6"	6'-8"	DW1	PT	F4	-	PT	HR04		4; 5
201-6	LINEN	2'-0"	6'-8"	DW1	PT	F4	-	PT	HR04		
201-7	BATHROOM	2'-6"	6'-8"	DW1	PT	F4	-	PT	HR02		5
201-8	BEDROOM	2'-8"	6'-8"	DW1	PT	F4	-	PT	HR02		5
202-1	UNIT ENTRY	3'-0"	6'-8"	DM4	PT	F2	-	PT	HR01	90 MIN	7
202-2	COAT CLOSET	2'-0"	6'-8"	DW1	PT	F4	-	PT	HR04		
202-3	POWDER	3'-0"	6'-8"	DW1	PT	F4	-	PT	HR02		5
202-4	BEDROOM	2'-8"	6'-8"	DW1	PT	F4	-	PT	HR02		5
202-5	MECHANICAL	2'-6"	6'-8"	DW4	PT	F4	-	PT	HR03		5
202-6	BATHROOM	2'-8"	6'-8"	DW1	PT	F4	-	PT	HR02		5
202-7	BEDROOM	2'-6"	6'-8"	DW1	PT	F4	-	PT	HR02		5
202-8	CLOSET	2'-6"	6'-8"	DW1	PT	F4	-	PT	HR04		
202-9	BEDROOM	2'-8"	6'-8"	DW1	PT	F4	-	PT	HR02		5
202-10	CLOSET	2'-6"	6'-8"	DW1	PT	F4	-	PT	HR04		
THIRD FLOOR											
301-1	UNIT ENTRY	3'-0"	6'-8"	DM4	PT	F2	-	PT	HR01	90 MIN	7
301-2	BEDROOM	2'-8"	6'-8"	DW1	PT	F4	-	PT	HR02		5
301-3	COAT CLOSET	4'-0"	6'-8"	DW1	PT	F4	-	PT	HR04A		
301-4	MECHANICAL	2'-4"	6'-8"	DW4	PT	F4	-	PT	HR03		5
301-5	LAUNDRY	2'-6"	6'-8"	DW1	PT	F4	-	PT	HR04		4; 5
301-6	LINEN	2'-0"	6'-8"	DW1	PT	F4	-	PT	HR04		
301-7	BATHROOM	2'-6"	6'-8"	DW1	PT	F4	-	PT	HR02		5
301-8	BEDROOM	2'-8"	6'-8"	DW1	PT	F4	-	PT	HR02		5
302-1	UNIT ENTRY	3'-0"	6'-8"	DM4	PT	F2	-	PT	HR01	90 MIN	7
302-2	COAT CLOSET	2'-6"	6'-8"	DW1	PT	F4	-	PT	HR04		
302-3	POWDER	2'-6"	6'-8"	DW1	PT	F4	-	PT	HR02		5
302-4	BEDROOM	2'-8"	6'-8"	DW1	PT	F4	-	PT	HR02		5
302-5	MECHANICAL	2'-0"	6'-8"	DW4	PT	F4	-	PT	HR03		5
302-6	BATHROOM	2'-6"	6'-8"	DW1	PT	F4	-	PT	HR02		5
302-7	BEDROOM	2'-8"	6'-8"	DW1	PT	F4	-	PT	HR02		5
302-8	CLOSET	2'-6"	6'-8"	DW1	PT	F4	-	PT	HR04		
302-9	BEDROOM	2'-8"	6'-8"	DW1	PT	F4	-	PT	HR02		5
302-10	CLOSET	2'-6"	6'-8"	DW1	PT	F4	-	PT	HR04		

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Progress Dates
2023.04.28 - BID / PERMIT
2024.08.30 - BID SET 2

Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
RO, AM

NOT FOR CONSTRUCTION

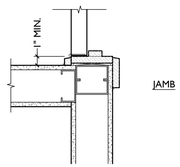
PROPOSED PROJECT:
RENOVATION FOR
1801 - 1805 VINE ST.
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/30/2024

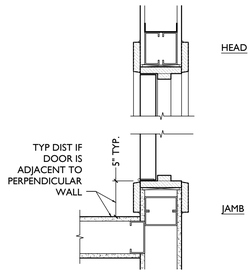
A6.10

DOOR DETAILS NOTE:
SEE NEW PLANS & SHEET A6.00 FOR SPECIFIC ASSEMBLY INFO AND FIRE-RATINGS.

TYPICAL DOOR DETAILS

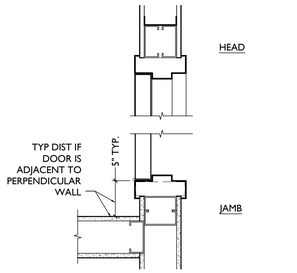


8 WD FRAME JAMB MIN.
SCALE: 1 1/2" = 1'-0"

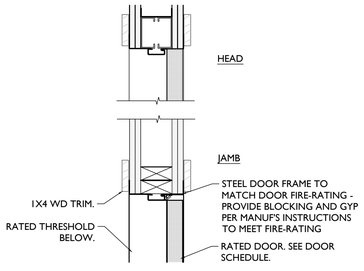


7 WD FRAME HEAD/JAMB
SCALE: 1 1/2" = 1'-0"

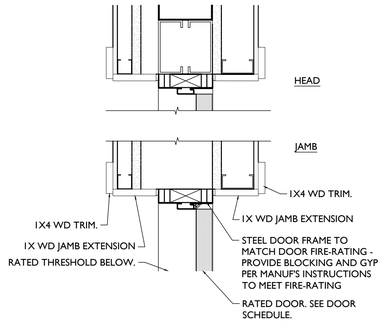
6 NOT USED
SCALE: 1 1/2" = 1'-0"



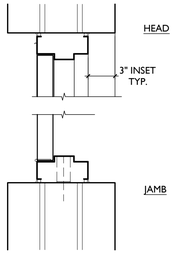
5 MTL FRAME @ STUD WALL
BASEMENT ONLY SCALE: 1 1/2" = 1'-0"



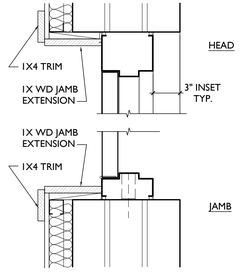
4 MTL FRAME @ STUD WALL
FIRE-RATED ONLY, ABOVE BASEMENT SCALE: 1 1/2" = 1'-0"



3 MTL FRAME @ MSNRY - INTERIOR
FIRE-RATED ONLY SCALE: 1 1/2" = 1'-0"



2 MTL FRAME @ MSNRY - INTERIOR
BASEMENT ONLY SCALE: 1 1/2" = 1'-0"



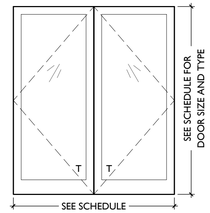
1 MTL FRAME @ MSNRY - EXTERIOR
SCALE: 1 1/2" = 1'-0"

T = TEMPERED GLAZING

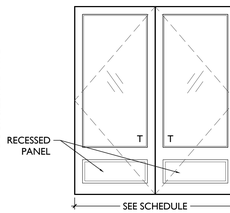
TYPICAL DOOR TYPES

NOTE: SEE A6.12 FOR STOREFRONT FRAMES

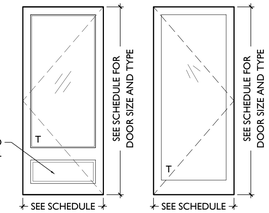
ALUMINUM



DA4 FULL LITE ALUMINUM DOUBLE DOOR



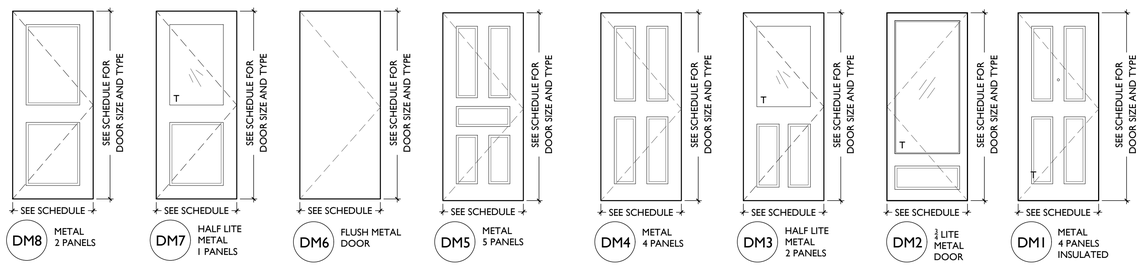
DA3 ¾ LITE ALUMINUM DOUBLE DOOR



DA2 ¾ LITE ALUMINUM DOOR

DA1 FULL LITE ALUMINUM STOREFRONT DOOR

METAL



DM8 METAL 2 PANELS

DM7 HALF LITE METAL 1 PANELS

DM6 FLUSH METAL DOOR

DM5 METAL 5 PANELS

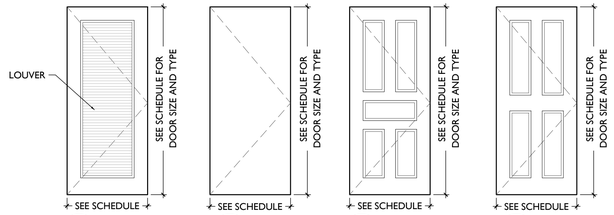
DM4 METAL 4 PANELS

DM3 HALF LITE METAL 2 PANELS

DM2 ¾ LITE METAL DOOR

DM1 METAL 4 PANELS INSULATED

WOOD



DW4 SOLID CORE WOOD 1 PANEL LOUVER

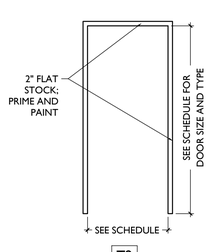
DW3 SOLID CORE WOOD FLUSH

DW2 SOLID CORE WOOD 5 PANEL

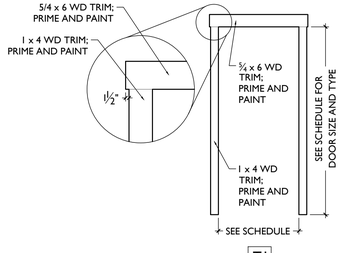
DW1 SOLID CORE WOOD 4 PANEL

T = TEMPERED GLAZING
I = INSULATED GLAZING

TYPICAL NEW WD DOOR TRIM CASING



T2

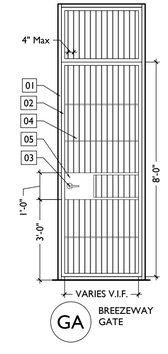


T1

NOTES:
1. AT DOORWAYS WITH NEW TRIM CASING, INSTALL PER "T1". IF WALL SPACE IS CONSTRAINED AT JAMBS, INSTALL PER "T2".
2. NO WOOD DOOR TRIM AT BASEMENT, U.N.O.

T = TEMPERED GLAZING

TYPICAL GATE TYPES



GA BREEZEWAY GATE

KEYED GATE NOTES:
01. 2" x 2" x 2" SQUARE STEEL FRAME ATTACHED TO ADJACENT EXG. MASONRY WALL
02. 1" x 2" x 2" POWDER-COATED STEEL TUBE DOOR FRAME MOUNTED ON HINGES
03. TYPICAL GATE HARDWARE - SEE DOOR AND DOOR HARDWARE SCHEDULE
04. STEEL BAR STOCK AT VERTICAL AND HORIZONTAL, TYPICAL.
05. 16 GA STEEL PLATE WELDED TO ADJACENT FRAME TO HOUSE HARDWARE

NOTE: EXTERIOR STEEL TO BE GALVANIZED, TYP., & PAINTED BLACK.

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CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/30/2024

A6.11

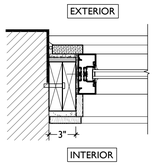
SCALE: 1 1/2" = 1'-0"

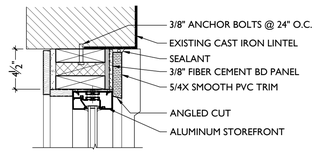
TYPICAL STOREFRONT DETAILS

NOTES
A. EXTERIOR FINISHES:
- ALL EXPOSED NON-ALUMINUM SURFACES PAINTED 1 COAT PRIMER + 2 COATS FINISH.
- FOLLOW MANUFACTURER RECOMMENDATIONS FOR PAINTING OF PVC.
- ALL CONCEALED WOOD SURFACES PAINTED 1 COAT PRIMER MINIMUM.
- REFER TO COLORED ELEVATIONS FOR PAINT COLORS.

B. INTERIOR FINISHES:
- REFER TO FINISH SCHEDULE FOR COMMERCIAL TURNKEY FINISHES.
- REFER TO FUTURE TENANT IMPROVEMENT DRAWINGS FOR ADDITIONAL FINISHES.

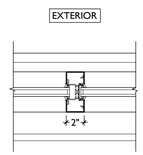
IMPORTANT: DRAWINGS IN THIS GROUPING ARE ASSOCIATED. EACH DRAWING MAY NOT BE FULLY NOTED. NOTES SHOWN APPLY TO LIKE CONDITIONS IN ALL DRAWINGS WITHIN THE GROUP.

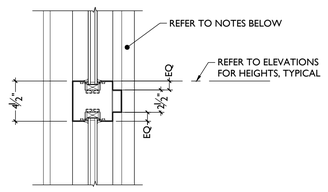




VERTICAL END JAMB | H

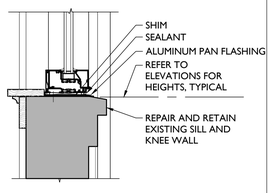
HEAD JAMB | G

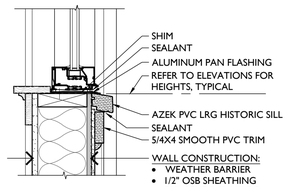




VERTICAL MULLION | F

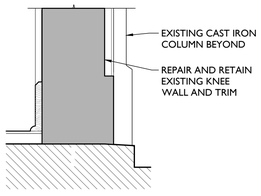
INTERMEDIATE HORIZONTAL MULLION | E

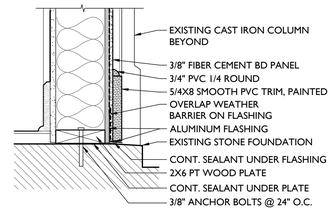




SILL JAMB AT EXG KNEE WALL | D

SILL JAMB | C





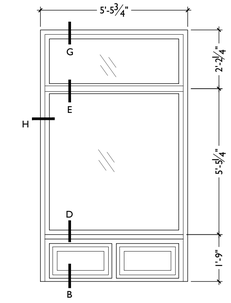
EXG BASE AT FOUNDATION | B

BASE AT FOUNDATION | A

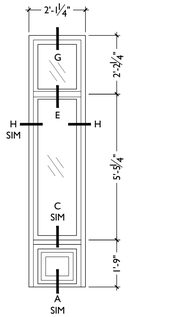
T = TEMPERED GLAZING

STOREFRONT TYPES

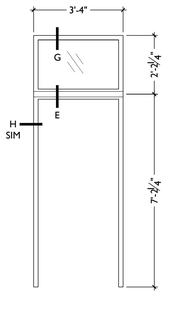
STOREFRONT NOTES:
1. BASIS OF DESIGN FOR NEW ALUMINUM STOREFONT: KAWNEER 451 UT W/ LOW-E ARGON-FILLED I.G.
2. SG = SAFETY GLAZING PER PLANS
3. FIXED UNITS IN STOREFRONT EXCEPT FOR DOOR OR WHERE NOTED OTHERWISE
4. HISTORIC STOREFRONTS & DOORS - SEE PLANS & DOOR SCHEDULE FOR HISTORIC TO REMAIN. REPAIR & REPLICATE PARTS AS REQUIRED.
5. **DIMENSIONS ARE FOR BIDDING PURPOSES ONLY. CONTRACTOR TO VERIFY FINAL DIMENSIONS IN FIELD.**



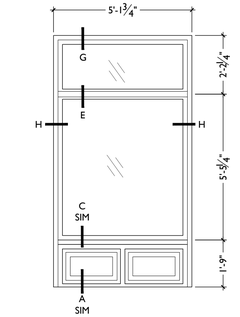
SF10 NEW STOREFRONT; EXG WD BULKHEAD BELOW
SCALE: 3" = 1'-0"



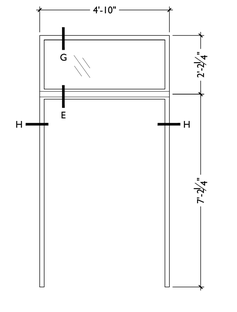
SF9 NEW STOREFRONT; REPLICA WD BULKHEAD BELOW
SCALE: 3" = 1'-0"



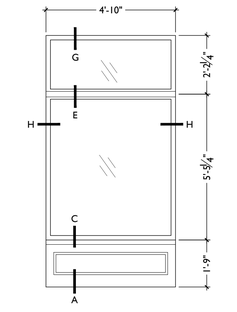
SF8 NEW STOREFRONT DOORWAY W/ TRANSOM
SCALE: 3" = 1'-0"



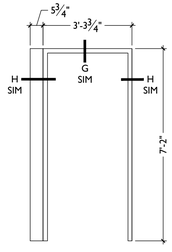
SF7 NEW STOREFRONT; REPLICA WD BULKHEAD BELOW
SCALE: 3" = 1'-0"



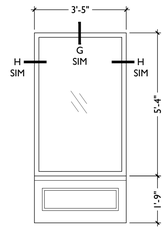
SF6 NEW STOREFRONT DOORWAY W/ TRANSOM
SCALE: 3" = 1'-0"



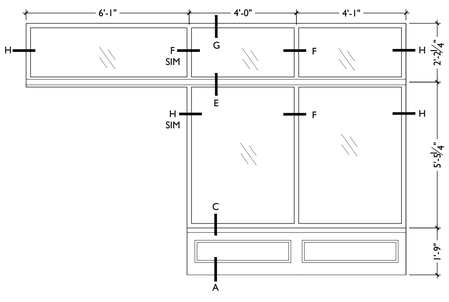
SF5 NEW STOREFRONT; NEW WD BULKHEAD BELOW
SCALE: 3" = 1'-0"



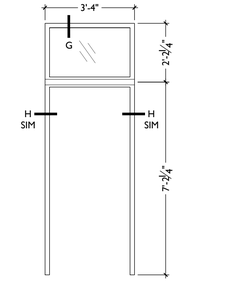
SF4 NEW STOREFRONT DOORWAY W/ METAL PANEL
SCALE: 3" = 1'-0"



SF3 NEW STOREFRONT; NEW WD BULKHEAD BELOW
SCALE: 3" = 1'-0"



SF2 NEW STOREFRONT W/ TRANSOM; NEW WD BULKHEAD BELOW
SCALE: 3" = 1'-0"



SF1 NEW STOREFRONT DOORWAY W/ TRANSOM
SCALE: 3" = 1'-0"

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FINDLAY FLATS

Job No: 22042 8/30/2024

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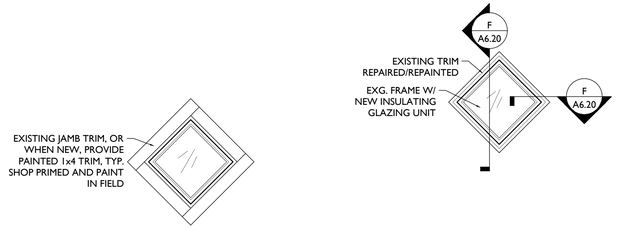
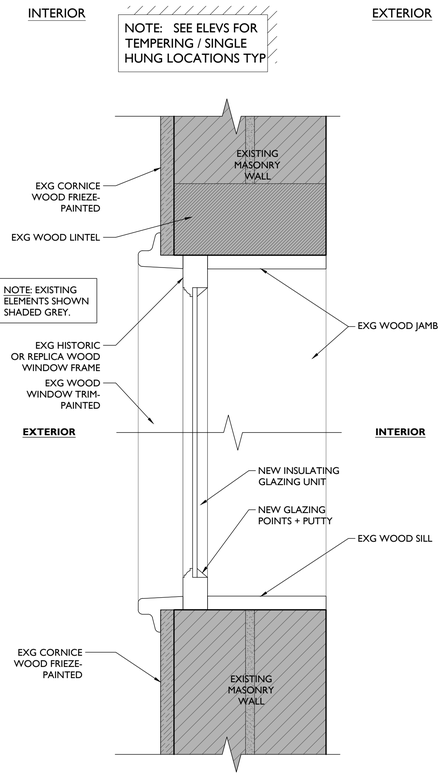
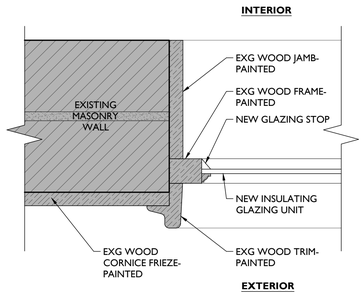


DETAILED ELEVATION

SCALE: ½" = 1'-0"



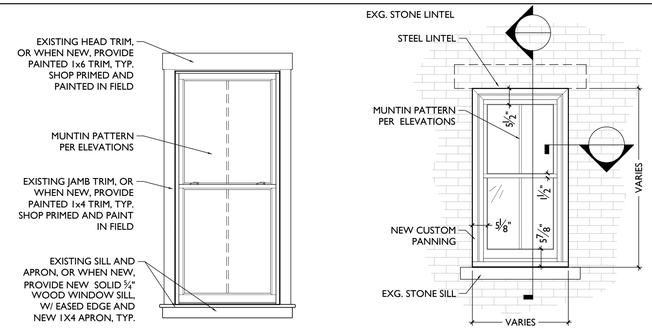
HEAD AND SILL



JAMB

SCALE 3"=1'-0"

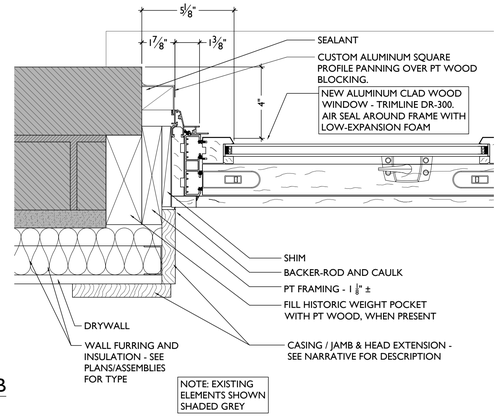
TYPE 'F' - REPLACEMENT GLAZING AT EXG. WINDOW | F



DETAILED ELEVATION

SCALE: ½" = 1'-0"

HEAD AND SILL



JAMB

TYPE 'B' - TRIMLINE MODEL DR-300 ALUM CLAD / NEW BRICK MOLD | B

SCALE: 3" = 1'-0"

WINDOW TYPES & DETAILS

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A6.20

1801 VINE STREET

- #PPG1035-6 SUPERSTITION: EPT-1
- #PPG1058-6 PIZZA PIE: EPT-2
- #PPG1001-1 DELICATE WHITE: EPT-3
- #PPG1092-5 WELCOME HOME: EPT-4

1803 VINE STREET

- #PPG1154-4 TWINKLE: EPT-5
- #PPG1035-6 SUPERSTITION: EPT-1
- #PPG1001-1 DELICATE WHITE: EPT-3
- #PPG1145-6 JUNIPER BERRY: EPT-4

1805 VINE STREET

- #PPG1003-5 SHINING ARMOR: EPT-6
- #PPG1127-4 GARGOYLE: EPT-7
- #PPG1001-7 BLACK MAGIC: EPT-8
- #PPG1145-6 JUNIPER BERRY: EPT-9

1801-1805 PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"

COLORED ELEVATION | 1

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A8.00

1801 VINE STREET

#PPG1035-6 SUPERSTITION: EPT-1

#PPG1058-6 PIZZA PIE: EPT-2

#PPG1001-1 DELICATE WHITE: EPT-3

#PPG1092-5 WELCOME HOME: EPT-4

PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

COLORED ELEVATION | 1

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A8.01

1801 VINE STREET

#PPG1035-6 SUPERSTITION: EPT-1

#PPG1058-6 PIZZA PIE: EPT-2

#PPG1001-1 DELICATE WHITE: EPT-3

#PPG1092-5 WELCOME HOME: EPT-4

1801-1805 PROPOSED WEST ELEVATION

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Progress Dates
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Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
RO, AM

NOT FOR CONSTRUCTION

PROPOSED PROJECT:
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CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/30/2024

A8.02

SCALE: 1/4" = 1'-0"

COLORED ELEVATION | 1

1801 VINE ST / 1805 VINE ST
CINCINNATI, OH 45202

1801-1805 VINE STREET

GENERAL STRUCTURAL NOTES

COPIES OF PUBLICATIONS REFERENCED IN THESE GENERAL STRUCTURAL NOTES ARE AVAILABLE FOR REVIEW AT ADVANTAGE GROUP ENGINEERS, INC. CONTRACTORS UNFAMILIAR WITH THESE PUBLICATIONS MUST REVIEW THEM PRIOR TO CONSTRUCTION.

GOVERNING CODE

2017 OHIO BUILDING CODE

CLASSIFICATION OF BUILDING STRUCTURE
CATEGORY II, TABLE 1604.5

DESIGN LOADS

1. ROOF LOAD:

   A. MINIMUM LIVE LOAD OR SNOW LOAD (Pf): 20 PSF*

*MINIMUM SNOW LOAD GOVERNED BY Pf = 20 * I (PSF)

2. SNOW LOAD:

   A. GROUND SNOW LOAD, Pg = 20 PSF MODIFIED BY APPLICABLE DRIFT COEFFICIENTS.
   B. FLAT ROOF SNOW LOAD, Pf = 17 PSF MODIFIED BY APPLICABLE BUILDING COEFFICIENTS.
   C. SNOW LOAD IMPORTANCE FACTOR I = 1.00
   D. SNOW EXPOSURE FACTOR Ce = 1.0
   E. THERMAL FACTOR, Ct = 1.00

3. FLOOR LOAD:

   A. LIVE LOAD: 100 PSF (COMMERCIAL)
   B. LIVE LOAD: 40 PSF (RESIDENTIAL)

4. WIND LOAD:

   A. MAIN WINDFORCE - RESISTING SYSTEM: 115 MPH PER ASCE 7 (3-SECOND GUST).
   B. WIND EXPOSURE B
   C. BASIC WIND VELOCITY PRESSURE, qh= 12.6 PSF, WORKING STRESS UNFACTORED LOADS
   D. INTERNAL GUST PRESSURE COEFFICIENT GCp = 0.18, ENCLOSED BUILDING.

5. GUARDRAILS:

   A. TOP RAIL: 200 POUNDS CONCENTRATED AT ANY POINT IN ANY DIRECTION OR 50 PLF UNIFORM LOAD HORIZONTALLY SIMULTANEOUSLY WITH 100 PLF UNIFORM LOAD VERTICALLY.
   B. IN-FILL AREAS: 200 POUNDS APPLIED ON A 1 SQUARE FOOT AREA.

6. SPECIAL INSPECTION REQUIREMENTS PER SECTION 1704. SEE CONSTRUCTION SPECIFICATIONS AND OR SPECIAL INSPECTION BOOKLET ADDENDUM REQUIREMENTS.

SPECIAL INSPECTIONS

PER THE REQUIREMENTS OF CHAPTER 17 SECTION 1704.1 OF THE REFERENCED BUILDING CODE, SPECIAL INSPECTION IS REQUIRED FOR THE PROPOSED BUILDING CONSTRUCTION. SPECIAL INSPECTION INVOLVES THE VERIFICATION OF COMPLIANCE OF MATERIALS, INSTALLATION, FABRICATION, ERECTION AND OR PLACEMENT OF COMPONENTS WITH THE OFFICIAL SET OF CONSTRUCTION DOCUMENTS AND REFERENCED STANDARDS. SPECIAL INSPECTION IS PART OF THE PERMIT APPLICATION PROCESS FUNDED BY THE OWNER OR THE OWNER'S AGENT.

A STATEMENT OF SPECIAL INSPECTION LISTING THE REQUIREMENTS ALONG WITH A SCHEDULE OF TESTING, SUBMITTAL REVIEWS, AND FIELD OBSERVATION REQUIREMENTS HAS BEEN PREPARED BY THE STRUCTURAL ENGINEER OF RECORD IN ACCORDANCE WITH SECTION 106.1 OF THE BUILDING CODE. THIS STATEMENT INCLUDES A COMPLETE LIST OF MATERIAL AND ACTIVITY REQUIRING INSPECTION. IT IS THE RESPONSIBILITY OF ALL PARTIES TO BECOME FAMILIAR WITH THIS REQUIREMENT AND UNDERSTAND THE GUIDELINES AND REQUIREMENTS OF EACH PARTY INVOLVED WITH THE CONSTRUCTION. A COPY OF THE STATEMENT OF SPECIAL INSPECTION IS AVAILABLE UPON REQUEST. THE SPECIAL INSPECTOR COORDINATOR SHALL COORDINATE WITH THE OWNER,

CONTRACTOR AND THE DESIGN PROFESSIONALS AND SCHEDULE THE INSPECTIONS ACCORDINGLY.

CONSTRUCTION AND SAFETY

1. CONTRACTOR SHALL BRACE ENTIRE STRUCTURE AS REQUIRED DURING DEMOLITION AND CONSTRUCTION TO MAINTAIN STABILITY UNTIL THE STRUCTURE IS COMPLETE AND FUNCTIONING AS THE DESIGNED UNIT.
2. ENGINEER SHALL NOT BE RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF CONSTRUCTION SELECTED BY CONTRACTOR.
3. THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. WHEN ON SITE, THE ENGINEER IS RESPONSIBLE FOR HIS OWN SAFETY BUT HAS NO RESPONSIBILITY FOR THE SAFETY OF OTHER PERSONNEL OR SAFETY CONDITIONS AT THE SITE.
4. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. SHOULD ANY DISCREPANCY BE FOUND, THE CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER IMMEDIATELY OF THE CONDITION.
5. THE GENERAL CONTRACTOR SHALL VERIFY ALL THE INFORMATION IN THESE DRAWINGS AND SHALL REPORT ANY ERRORS, OMISSIONS, OR DISCREPANCIES TO THE OWNER AND ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DEPARTURES FROM THESE PLANS NOT APPROVED IN WRITING BY THE OWNER AND ENGINEER. THE INTENT OF THESE DRAWINGS ARE FOR STABILIZATION ONLY. ANY FUTURE RENOVATION TO THE BUILDING BY THE OWNER WOULD REQUIRE ARCHITECTURAL AND STRUCTURAL DRAWINGS TO BRING THE BUILDING UP TO CURRENT CODE.
6. THE OWNER AND ENGINEER HAS MADE NO INVESTIGATION TO DETERMINE IF ASBESTOS OR ANY OTHER HAZARDOUS MATERIAL IS PRESENT IN EXISTING CONSTRUCTION AND ASSUMES NO RESPONSIBILITY WITH REGARD TO ASBESTOS OR ANY OTHER HAZARDOUS MATERIAL.
7. THE CONTRACTOR IS TO REVIEW THESE DRAWINGS AND VISIT THE SITE BEFORE COMMENCING THE PROJECT IN ORDER TO FAMILIARIZE HIM OR HERSELF WITH THE PROPOSED WORK.
8. THE CONTRACTOR IS TO PROTECT AND SAVE BUILDING ELEMENTS CONNECTED TO, OR ADJACENT TO, THOSE ELEMENTS WHICH ARE SLATED TO BE REMOVED.
9. THE CONTRACTOR SHALL NOT REMOVE ANY ELEMENTS WHICH MAY CAUSE THE STRUCTURE TO BECOME UNSTABLE, OR THAT WILL POSE A RISK TO PERSONS OR PROPERTY, EVEN IF INDICATED IN PLANS. IF ANY ELEMENTS BECOME UNSTABLE, CONTRACTOR IS TO STABILIZE AND SHALL INFORM THE ENGINEER/OWNER IMMEDIATELY.
10. IT IS UP TO THE CONTRACTOR TO CONTINUALLY EVALUATE THE STRUCTURAL STABILITY OF THE BUILDING AND THE INTEGRITY OF ELEMENTS BOTH STRUCTURAL AND NON-STRUCTURAL THAT ARE SHOWN TO REMAIN. IF THE CONTRACTOR DETERMINES THAT SOME OF THESE ELEMENTS SHOULD BE REMOVED, HE/SHE MUST FIRST RECEIVE PERMISSION FROM THE ENGINEER/ OWNER, OR MAY BE FINANCIALLY RESPONSIBLE FOR THE REPLACEMENT OF THESE ELEMENTS.
11. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ALL TRASH AND DEBRIS THROUGHOUT THE WORK. ALL DEBRIS MUST BE REMOVED AND DISCARDED IN A SAFE AND LEGAL MANNER.
12. THE CONTRACTOR IS RESPONSIBLE FOR THE PROCUREMENT OF ANY ADDITIONAL MATERIALS, EQUIPMENT, AND PERMITS AND FOR ANY FEE, PENALTIES OR RENTAL COSTS ASSOCIATED WITH THE DEMOLITION WORK.
13. THE CONTRACTOR IS TO PROTECT THE BUILDING FROM THE ELEMENTS, THEFT AND VANDALISM AT ALL TIMES DURING WORK.

EXPANSION AND EPOXY ADHESIVE ANCHORS

1. EXPANSION ANCHORS:

   A. EXPANSION ANCHORS SHALL BE MANUFACTURED BY ITW Ramset/RedHead AND SHALL BE THE TYPE, SIZE, AND EMBEDMENT INDICATED ON DRAWINGS. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. SUBSTITUTES MAY BE CONSIDERED; SUBMIT MANUFACTURER'S DATA PRIOR TO INSTALLATION.

2. EPOXY ADHESIVE ANCHORS:

   A. EPOXY ADHESIVE SHALL BE HIT HY 270 ADHESIVE MANUFACTURED BY THE HILTI COMPANY. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. SUBSTITUTES MAY BE CONSIDERED; SUBMIT MANUFACTURER'S DATA PRIOR TO INSTALLATION.
   B. THREADED RODS SHALL BE ASTM A36. SIZES AND EMBEDMENT AS INDICATED ON THE DRAWINGS.
   C. CONDUCT JOB-SITE TRAINING OF ALL CONTRACTOR'S PERSONNEL INSTALLING THIS PRODUCT FOR SAFE AND PROPER INSTALLATION, HANDLING, AND STORAGE OF THE EPOXY SYSTEM.

WOOD

1. MATERIALS:

   A. FRAMING LUMBER:

      a. 2x8 AND LARGER: NO.1 GRADE OR BETTER SOUTHERN PINE KILN DRIED.
      b. 2x4: STUD GRADE OR BETTER SPRUCE PINE FIR KILN DRIED.
      c. 2x6: NO.2 GRADE OR BETTER SPRUCE PINE FIR KILN DRIED.
      d. ACQ-C (ALT CA-B OR SBX-DOT) PRESSURE TREAT PIECES IN CONTACT WITH FOUNDATION OR EXPOSED TO WEATHER.

2. SHEATHING AND SUBFLOORING:
   A. 48/24 APA RATED TONGUE AND GROOVE SUBFLOOR EXPOSURE 1.
   B. 32/16 APA RATED ROOF SHEATHING EXPOSURE 1.
   C. 24/16 APA RATED STRUCTURAL WALL SHEATHING EXPOSURE 1.
   D. ALL SHEATHING TO BE NAILED WITH 8d NAILS AT 6" ON CENTER AT PANEL EDGES AND 12" ON CENTER AT INTERMEDIATE SUPPORTS UNLESS NOTED OTHERWISE.
   E. ROOF AND WALL SHEATHING SHALL BE SPACED A MINIMUM 1/8" AT PANEL EDGES AND ENDS OF SHEETS. USE APPROPRIATE PLYWOOD CLIPS AS RECOMMENDED BY THE APA.
   F. ALL PLYWOOD SUBFLOORING SHALL BE GLUED AND NAILED.

3. NAIL SIZES AS CALLED OUT IN THE STRUCTURAL DRAWINGS AND FOR SIMPSON CONNECTORS ARE LISTED BELOW. NAIL GUN NAILS SHALL MEET DIAMETER AND LENGTH OF NAILS LISTED BELOW, OR ELSE NAILS SHALL BE DRIVEN WITH A HAMMER.

   A. 6d NAILS ARE 0.120"Ø x 1¾" LONG (MIN 3/8" HEAD)
   B. 8d NAILS ARE 0.131"Ø x 2½" LONG
   C. 10d NAILS ARE 0.148"Ø x 3" LONG
   D. 16d NAILS ARE 0.162"Ø x 3½" LONG

4. SIMPSON HANGERS:

   A. ALWAYS USE THE NAIL OR FASTENER AS SPECIFIED BY SIMPSON, INCLUDING THE CORRECT DIAMETER AND LENGTH.
   B. WHEN FASTENING TO A SINGLE PLY 1½" OR 1¾" MEMBER, 1½" FLANGE NAILS ARE ACCEPTABLE. USE FULL LENGTH NAILS FOR DIAGONAL NAILS OF DOUBLE SHEAR HANGERS.

5. ADHESIVE FOR PLYWOOD SUBFLOORING SHALL CONFORM TO PERFORMANCE SPECIFICATION AFG-01 DEVELOPED BY APA.

6. LVL (LAMINATED VENEER LUMBER) BEAMS: DISTRIBUTED AS TRUSS JOIST MACMILLAN, MICRO-LAM OR GEORGIA–PACIFIC CORPORATION, G-P LAM INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

   A. LVL BEAMS SHALL HAVE MINIMUM DESIGN STRESS VALUES AS FOLLOWS:

      a. F_b = 2600 PSI BENDING
      b. F_v = 285 PSI HORIZONTAL SHEAR
      c. $F_{c\perp}$ = 750 PSI COMPRESSION PERPENDICULAR TO GRAIN
      d. E = 2,000,000 PSI MODULUS OF ELASTICITY

   B. MULTIPLE LVL BEAMS AND HEADERS SHALL BE FASTENED TOGETHER AS FOLLOWS:

      a. 12" AND SMALLER MEMBERS:
         - TWO-PIECE MEMBERS: 2 ROWS OF 16d COMMON NAILS AT 12" ON CENTER.
         - THREE-PIECE MEMBERS: 2 ROWS OF ¼" DIAMETER X 4 ½" LONG SIMPSON SDS STRUCTRURAL SCREWS AT 12" ON CENTER.

      b. 14" AND LARGER MEMBERS:
         - TWO-PIECE MEMBERS – 3 ROWS OF 16d COMMON NAILS AT 12" ON CENTER.
         - THREE-PIECE MEMBERS – 2 ROWS OF 1/2" DIAMETER BOLTS AT 16" ON CENTER STAGGERED.

7. INSTALL TYPICAL FLOOR CROSS BRIDGING AT 8'-0" MAXIMUM INTERVALS IN EVERY JOIST SPACE TO AID IN LOAD SHARE DISTRIBUTION AND CONTROL POTENTIAL VIBRATION PROBLEMS.
8. UNLESS NOTED OTHERWISE, CONNECTORS SHALL BE MADE PER TABLE 2304.10.1, "RECOMMENDED FASTENING SCHEDULE", IN REFERENCED BUILDING CODE. STAPLES NOT PERMITTED FOR FASTENING APA RATED SHEATHING AND SUBFLOORING.
9. ALL PLYWOOD SUBFLOORING SHALL BE GLUED AND NAILED.
10. ALL CONNECTION HARDWARE SPECIFIED ON THE STRUCTURAL DRAWINGS SHALL BE MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY AND SHALL BE FASTENED AS SPECIFIED IN THE SIMPSON PRODUCT AND INSTRUCTION MANUAL.
11. FOR WOOD ROOF RAFTERS AND TRUSSES, INSTALL ONE SIMPSON H3 HURRICANE TIE AT EACH MEMBER AT EACH BEARING LOCATION IN ADDITION TO THE TYPICAL NAILING REQUIREMENT IN THE "RECOMMENDED FASTENING SCHEDULE".
12. BRIDGING IN ALL FLOOR AND CEILING JOISTS, INCLUDING MANUFACTURED WOOD I-JOISTS, SHALL BE 1"x3" CROSS BRIDGING (DOUBLE NAILED) AT 8'-0" ON CENTER MAXIMUM.
13. PROVIDE SOLID BLOCKING IN FLOOR CONSTRUCTION UNDER POSTS, MULTIPLE STUDS OR BEAM BEARINGS.
14. DOUBLE JOISTS SHALL BE PROVIDED BELOW ALL INTERIOR PARTITIONS THAT RUN PARALLEL WITH THE JOISTS.
15. NOTCHES IN JOISTS SHALL NOT EXCEED ONE-SIXTH THE JOIST DEPTH IN HEIGHT AND LENGTH AND SHALL NOT BE LOCATED WITHIN THE MIDDLE THIRD OF THE JOIST SPAN. HOLES BORED IN JOISTS SHALL BE NO MORE THAN ONE-FOURTH THE JOIST DEPTH AND SHALL NOT BE LOCATED WITHIN 2 FEET OF EITHER JOIST END. HOLES AND NOTCHES SHALL BE SPACED A MINIMUM OF 18" APART.
16. LOAD BEARING STUDS MAY BE CUT OR NOTCHED TO A DEPTH NOT TO EXCEED ONE-FOURTH OF THE WIDTH. EXTERIOR OR LOAD BEARING STUDS MAY BE BORED OR DRILLED TO A DIAMETER NOT TO EXCEED ONE-FOURTH ITS WIDTH AND THE EDGE OF ANY HOLE SHALL BE ¾" CLEAR FROM THE STUD EDGE.

TYPICAL ABBREVIATION LIST

AEF	=	Alternate Each Face	LG	=	Long
ARCH	=	Architect	LL	=	Live Load
BLDG	=	Building	LLH	=	Long Leg Horizontal
BM	=	Beam	LLV	=	Long Leg Vertical
B/FTG	=	Bottom of Footing	LSL	=	Laminated Strand Lumber
B/DECK	=	Bottom of Deck	LVL	=	Laminated Veneer Lumber
BRG	=	Bearing	MAX	=	Maximum
CIP	=	Cast In Place	MECH	=	Mechanical
CJ	=	Control Joint	MIN	=	Minimum
CL	=	Center Line	ML	=	Micro Laminated
CLR	=	Clear	NS	=	Non Shrink
CMU	=	Concrete Masonry Unit	NTS	=	Not to Scale
CONC	=	Concrete	o.c.	=	On Center
CONT	=	Continuous	PAF	=	Powder Actuated Fastener
DL	=	Dead Load	PC	=	Piece
DWG	=	Drawings	PEMB	=	Pre-Engineered Metal Building
EJ	=	Expansion Joint	PL	=	Plate
EL	=	Elevation	psf	=	Pounds Per Square Foot
EMBD	=	Embedment	RD	=	Roof Drain
ENGR	=	Engineer	REINF	=	Reinforcement
EQ	=	Equal Distance	RTU	=	Roof Top Unit
EW	=	Each Way	SDS	=	Self Drilling Screw
EF	=	Each Face	SF	=	Step Footing
EX	=	Existing	SW	=	Step Wall
EXT	=	Exterior	SB	=	Solid Bearing
FTG	=	Footing	SCH	=	Schedule
FND	=	Foundation	SIM	=	Similar
ga	=	Gauge	STL	=	Steel
GALV	=	Galvanized	SRD	=	Secondary Roof Drain
GC	=	General Contractor	T/FTG	=	Top Of Footing
GRAN	=	Granular	TS	=	Tube Steel
HORZ	=	Horizontal	TYP	=	Typical
HD	=	Hold Down Anchor	UNO	=	Unless Noted Otherwise
HSS	=	Hollow Structural Section	VERT	=	Vertical
k	=	Kips	WWF	=	Welded Wire Fabic
ksf	=	Kips Per Square Foot	WF	=	Wide Flange
lbs	=	Pounds	WP	=	Work Point

NOT ALL ABBREVIATIONS APPLY. INCLUDED FOR REFERENCE ONLY.

STRUCTURAL INFORMATION NOTED IS BASED ON ASSUMPTIONS OF CONDITION OF EXISTING FRAMING AND FRAMING HIDDEN FROM VISUAL OBSERVATION. DETAILS OF PROPOSED FRAMING MODIFICATION/REPAIRS ARE SUBJECT TO CHANGE ONCE DEMOLITION IS UNDERWAY.

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5	BID SET	08/30/2024
3	DESIGN DEVELOPMENT	02/05/2024
2	PERMIT SUBMITTAL	01/24/2024
1	Addendum 1	07/7/2023
		04/28/2023
		02/17/2023

Design Team: RJB / MC
Date: 04/28/2023

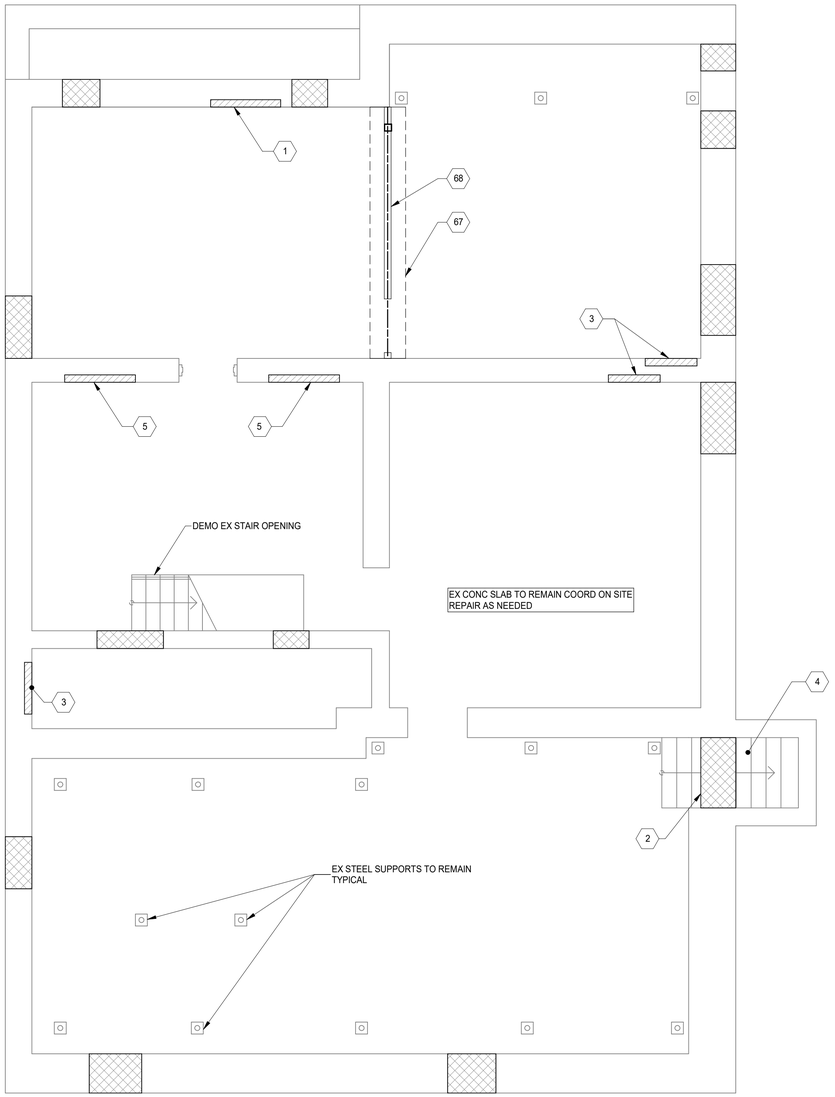
PREPARED FOR: PLATTE ARCHITECTURE

PROPOSED PROJECT:
FINDLAY FLATS
1801 VINE ST / 1805 VINE ST
1801 VINE ST / 1805 VINE ST
CINCINNATI, OH 45202

Proj. No.: 22146.26

DRAWING TITLE: GENERAL STRUCTURAL NOTES

Drawing No.
S001



FOUNDATION PLAN
SCALE 1/4" = 1'-0"

NORTH

KEY NOTES:

1. PATCH AND REPLACE MISSING STONE AT BASE OF WALL. TUCKPOINT ADJACENT AREAS WHERE MORTAR IS MISSING.
2. INFILL EXISTING OPENINGS IN STONE WITH FULLY GROUTED CMU. DRILL AND DOWEL SIDES OF OPENINGS USING A #4 REBAR AT TOP AND BOTTOM. SEAL ALL JOINTS WITH MORTAR.
3. PATCH AND REPLACE MISSING STONE AT TOP OF WALL. REBUILD JOIST BEARING LEDGE AS NEEDED. TUCKPOINT ADJACENT AREAS WHERE MORTAR IS MISSING.
4. INFILL OPENING W/ CMU AND FILL STAIRWELL W/ FILLCRETE MIX.
5. REPLACE MISSING STONE / BRICK BEARING AT TOP OF EXISTING FOUNDATION WALLS. PROVIDE SOLID MASONRY BEARING FOR EXISTING WOOD FLOOR FRAMING AND BEARING OF MASONRY ABOVE. REMOVE ALL LOOSE OR DAMAGED STONE / BRICK AND REPLACE WITH NEW GROUTED CMU. ALL VOIDS SHALL BE FILLED TO CREATE A SOLID WALL.
6. AT ALL NEW LVL MEMBERS BEARING INTO EXISTING STONE OR MASONRY EXTERIOR WALLS, PROVIDE WATERTIGHT PEEL AND STICK WRAP AT BEARING ENDS IN DIRECT CONTACT WITH STONE OR MASONRY.
7. REMOVE EXISTING WOOD FRAMING IN THIS AREA. RECONSTRUCT TO INFILL EXISTING OPENING WITH NEW 2X12 JOISTS SPACED AT 16 INCHES ON CENTER. RECONSTRUCT BEARING LEDGE WHERE APPLICABLE OR REUSE EXISTING JOIST POCKETS.
8. REMOVE OR SISTER DAMAGED WOOD FLOOR JOISTS IN AREAS COMPROMISED BY WATER DAMAGE. ALL SISTER FRAMING TO BE FULL LENGTH PRESSURE TREATED MATERIAL, FASTENED WITH (2) 16D NAILS AT 16 INCHES ON CENTER SPACING. REBUILD MASONRY BEARING AS NEEDED. WHERE APPLICABLE EXISTING JOIST POCKETS CAN BE REUSED. SEE TYPICAL JOIST REPAIR DETAIL SHEET S300.
9. SHORE AND CUT EXISTING WOOD FLOOR JOISTS MEMBERS. HANG EXISTING CUT JOISTS FROM NEW HEADER WITH SIMPSON U210-R HANGER OR EQUAL. WHERE APPLICABLE, BEARING ENDS CAN BE SHAVED DOWN TO FIT THE HANGER WHERE WOOD THICKNESS EXCEEDS WIDTH OF HANGER.
10. REMOVE ALL EXISTING CONCRETE AT THE ENTRY WAY. REBUILT FRAMING IN THIS AREA WITH TREATED 2X10'S SPACED AT 12 INCHES ON CENTER. REPLACE ALL EXISTING FLOOR SHEATHING IN THIS AREA WITH A TREATED ¾" PLYWOOD SHEATHING. PROVIDE A NEW 3-INCH-THICK CONCRETE SLAB AND RAMP ACCORDINGLY. COORDINATE RAMP, FLASHING, AND WATERPROOFING REQUIREMENTS WITH THE ARCHITECTURAL DRAWINGS.
11. CLEAN EXISTING STEEL TO REMOVE ALL RUST. PAINT AND PROTECT STEEL WITH RUST INHIBITING PAINT.
67. CONSTRUCT NEW 2'-0" WIDE X1'-0" CONCRETE FOOTING WITH (2) #5's CONTINUOUS T/FTG FLUSH WITH EX BASEMENT SLAB
68. FRAMED 2x6 BEARING WALL ALIGN WITH STAIR/HALLWAY WALL ABOVE

PLAN NOTES:

1. COORDINATE WITH ARCHITECT FOR LOCATION OF ALL PROPOSED NEW OPENINGS.
2. COORDINATE WITH ARCHITECT DEMO PLAN FOR THE REMOVAL OF FRAMING AND MASONRY. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THESE DRAWINGS PRIOR TO CONSTRUCTION.
3. THE FRAMING DRAWINGS ARE A REPRESENTATIVE OF THE EXISTING STRUCTURE AND FIELD CONDITIONS. DO NOT SCALE DRAWINGS BUT USE AS A GUIDE FOR AREAS OF ISSUE OR LOCATION OF NEEDED REPAIR.
4. THE FRAMING DRAWINGS AND NOTES PROVIDED ARE BASED ON FIELD CONDITIONS AT THE TIME THE DOCUMENTS WERE CREATED. THESE DRAWINGS REPRESENT THE OVERALL INTENT AND UNDERSTANDING OF THE SCOPE OF WORK. IT IS ANTICIPATED THAT UNFORESEEN ISSUES WILL ARISE THAT WILL REQUIRE FURTHER COLLABORATION BETWEEN THE ENGINEER, ARCHITECT, AND CONTRACTOR. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT / ENGINEER OF THESE ISSUES.
5. THE CONTRACTOR SHALL PROVIDE TEMPORARY SHORING WHERE NEEDED BEFORE CUTTING OR REMOVING ANY STRUCTURAL ITEMS. COORDINATE WITH PROJECT ENGINEER WHERE DISCREPANCIES MAY BE FOUND.
6. REPLACE OR SISTER AS NEEDED ANY EXISTING JOISTS FOUND TO HAVE BEEN COMPROMISED REGARDLESS IF NOTED ON THE PLAN. COORDINATE WITH FIELD CONDITIONS.
7. REFER TO THE STRUCTURAL GENERAL NOTES FOR ALL TYPICAL FASTENING REQUIREMENTS. ALL JOISTS AND RAFTERS SHALL BE CONNECTED WITH METAL JOIST HANGERS OR UPLIFT RESISTANT TIES.
8. ALL CONNECTION HARDWARE SPECIFIED ON THE DRAWINGS SHALL BE MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY AND SHALL BE FASTENED PER THE MANUFACTURER RECOMMENDATIONS.
9. PROVIDE FULL DEPTH BLOCKING BETWEEN ALL NEW AND EXISTING FLOOR JOISTS AT MID-SPAN. COORDINATE ON SITE WITH EXISTING FIELD CONDITIONS. WHERE ROOF LOAD IS BEING TRANSFERRED TO THE FLOOR BELOW, BLOCKING AT THESE POINTS OF LOADING IS ALSO REQUIRED.
10. REPLACE ALL EXISTING WOOD LINTELS SUPPORTING BRICK MASONRY WHERE FOUND TO BE COMPROMISED BY ROT OR DECAY WITH 8X4 PRECAST MEMBER FOR EACH WYTHE OF BRICK BEING SUPPORTED. ALL PRECAST LINTELS TO HAVE A MINIMUM OF 8-INCH BEARING ON EACH END.
11. WHERE EXISTING BRICK MASONRY HAS VOIDS FROM VACANT BEARING POCKETS, DETERIORATED WOOD NAILERS, AND MISSING BRICK, THE CONTRACTOR SHALL FILL ALL VOIDS WITH MASONRY AND POINT ALL JOISTS MISSING MORTAR WITH NEW MORTAR THAT IS COMPATIBLE WITH THE EXISTING BRICK.
12. ALL NEW REPLACEMENT BRICKS SHALL BE OF THE SAME ERA AND OF SAME SIZE AND SHAPE COMPATIBLE WITH EXISTING CONDITIONS. COORDINATE AND SALVAGE ALL DEMO MATERIAL WHERE APPLICABLE.
13. FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY ADVANTAGE GROUP ENGINEERS OF ALL DISCREPANCIES.
14. AT PROPOSED NEW STAIR PROVIDE NEW FRAMING AS SHOWN. SHORE EXISTING AS NEEDED AND RE-CONSTRUCT ACCORDINGLY. COORDINATE WITH ARCHITECT. WHERE WALL ON FRAMING IS MISSING OR LACKING THE CONTRACTOR IS REQUIERED TO RECONSTRUCT IN KIND.
15. SEE SHEET S120 FOR MASONRY LINTEL SCHEDULE.

STRUCTURAL INFORMATION NOTED IS BASED ON ASSUMPTIONS OF CONDITION OF EXISTING FRAMING AND FRAMING HIDDEN FROM VISUAL OBSERVATION. DETAILS OF PROPOSED FRAMING MODIFICATION/REPAIRS ARE SUBJECT TO CHANGE ONCE DEMOLITION IS UNDERWAY.

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PREPARED FOR: PLATTE ARCHITECTURE

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DRAWING TITLE: FOUNDATION PLAN

Proj. No.: 22146.26
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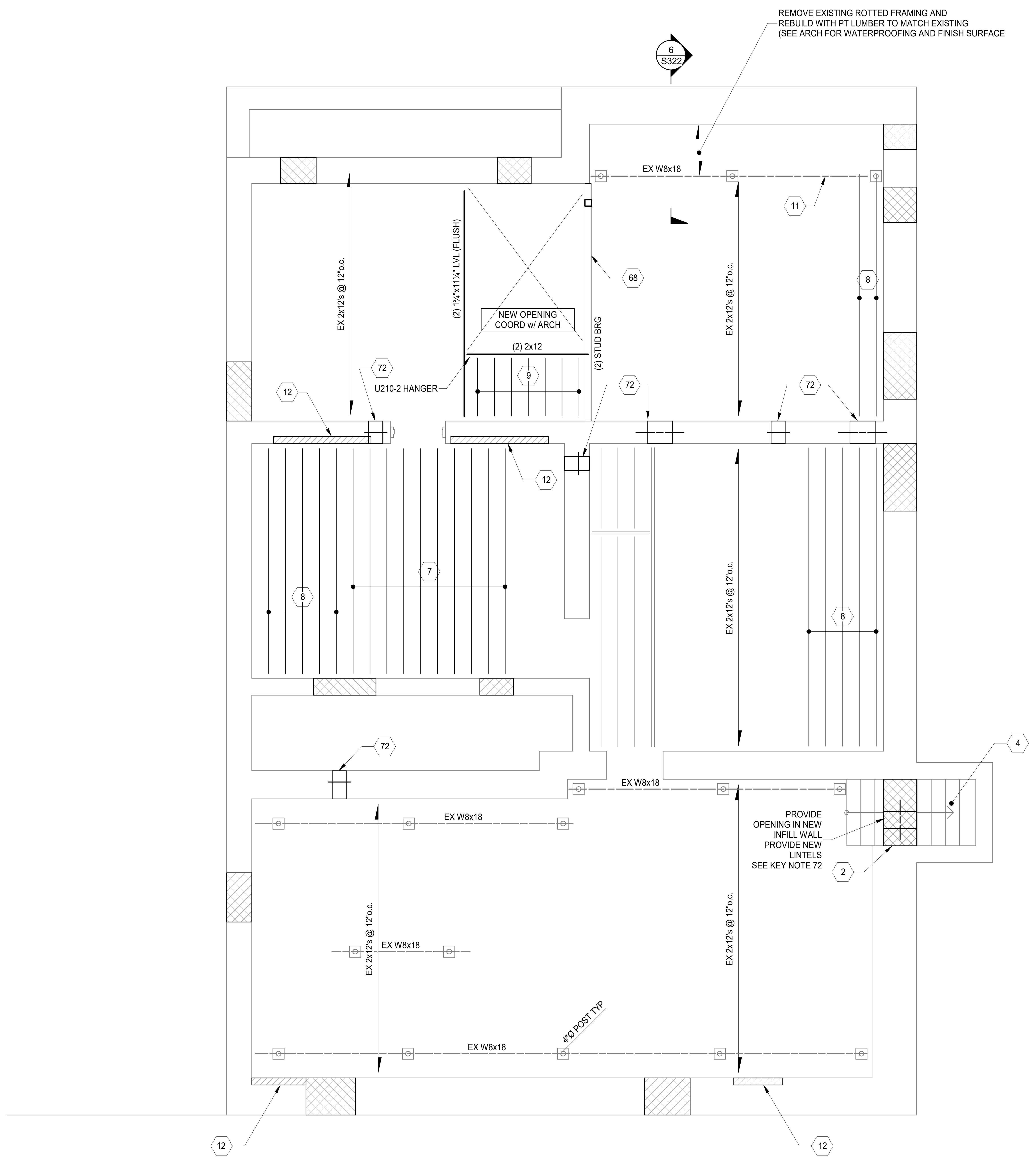
S100

1801 VINE ST / 1805 VINE ST
CINCINNATI, OH 45202
1801-1805 VINE STREET

1801 VINE ST / 1805 VINE ST
CINCINNATI, OH 45202

1801-1805 VINE STREET



1ST FLOOR FRAMING PLAN
SCALE 1/4" = 1'-0"

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8 REMOVE OR SISTER DAMAGED WOOD FLOOR JOISTS IN AREAS COMPROMISED BY WATER DAMAGE. ALL SISTER FRAMING TO BE FULL LENGTH PRESSURE TREATED MATERIAL, FASTENED WITH (2) 16D NAILS AT 16 INCHES ON CENTER SPACING. REBUILD MASONRY BEARING AS NEEDED. WHERE APPLICABLE EXISTING JOIST POCKETS CAN BE REUSED. SEE TYPICAL JOIST REPAIR DETAIL SHEET S300.

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10 NOT USED

11 CLEAN EXISTING STEEL TO REMOVE ALL RUST. PAINT AND PROTECT STEEL WITH RUST INHIBITING PAINT.

12 WHERE APPLICABLE, POINT, PATCH, AND REPAIR BRICK MASONRY WALLS WHERE MASONRY HAS BEEN DAMAGED, DETERIORATED, OR COMPROMISED. WHERE BRICK IS MISSING, PROVIDE A NEW CMU TO INFILL AREAS ALONG WITH EXISTING BRICK TO CREATE A FULL MULTI-WYTHE WALL MATCHING EXISTING. CONNECT ALL WYTHES WITH #345 BUCK ANCHORS AT 16 INCHES ON CENTER. GROUT ALL VOIDS SOLID.

68 FRAMED 2x6 BEARING WALL ALIGN WITH STAIR/HALLWAY WALL ABOVE.

69 PROPOSED RELOCATED STEEL BEAM, COORD WITH ARCHITECHT. CLEAN STEEL AND PROVIDE NEW FOOTING. AT CONTRACTORS OPTN PROVIDE NEW W 8x18 STEEL BEAM, SPLICE @ EITHER COLUMN LOCATION IS ACCEPTABLE. COORDINATE WITH ENGINEER PLACEMENT OF COLUMNS PRIOR TO CONSTRUCTION. ALL NEW COLUMNS TO BE HSS 4x4x3/16 W/ 10x10x3/4 BASE AND (4) 1/2"Ø ANCHOR RODS (POST INSTALLED) WITH EPOXY ADHESIVE. CAP PLATE TO BE 6x6x1/2 STEEL-FIELDWELD BEAM TO COLUMN CAP.

72 PROVIDE NEW OPENING INTO EXISTING FOUNDATION WALL FOR MECHANICAL DUCTS AND PIPES. OPENING SHALL BE 4" GREATER IN HEIGHT AND WIDTH OF THE FINAL MECHANICAL DUCT WORK. COORD WITH MEP DRAWINGS. PROVIDE (2) HSS 6x4x1/4 STEEL LINTEL PER TYPICAL DETAIL ON S321. PATCH VERTICAL SURFACE OF PROPOSED OPENING AND TUCKPOINT ALL STONE ACCORDINGLY.

PLAN NOTES:

1. COORDINATE WITH ARCHITECT FOR LOCATION OF ALL PROPOSED NEW OPENINGS.
2. COORDINATE WITH ARCHITECT DEMO PLAN FOR THE REMOVAL OF FRAMING AND MASONRY. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THESE DRAWINGS PRIOR TO CONSTRUCTION.
3. THE FRAMING DRAWINGS ARE A REPRESENTATIVE OF THE EXISTING STRUCTURE AND FIELD CONDITIONS. DO NOT SCALE DRAWINGS BUT USE AS A GUIDE FOR AREAS OF ISSUE OR LOCATION OF NEEDED REPAIR.
4. THE FRAMING DRAWINGS AND NOTES PROVIDED ARE BASED ON FIELD CONDITIONS AT THE TIME THE DOCUMENTS WERE CREATED. THESE DRAWINGS REPRESENT THE OVERALL INTENT AND UNDERSTANDING OF THE SCOPE OF WORK. IT IS ANTICIPATED THAT UNFORESEEN ISSUES WILL ARISE THAT WILL REQUIRE FURTHER COLLABORATION BETWEEN THE ENGINEER, ARCHITECT, AND CONTRACTOR. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT / ENGINEER OF THESE ISSUES.
5. THE CONTRACTOR SHALL PROVIDE TEMPORARY SHORING WHERE NEEDED BEFORE CUTTING OR REMOVING ANY STRUCTURAL ITEMS. COORDINATE WITH PROJECT ENGINEER WHERE DISCREPANCIES MAY BE FOUND.
6. REPLACE OR SISTER AS NEEDED ANY EXISTING JOISTS FOUND TO HAVE BEEN COMPROMISED REGARDLESS IF NOTED ON THE PLAN. COORDINATE WITH FIELD CONDITIONS.
7. REFER TO THE STRUCTURAL GENERAL NOTES FOR ALL TYPICAL FASTENING REQUIREMENTS. ALL JOISTS AND RAFTERS SHALL BE CONNECTED WITH METAL JOIST HANGERS OR UPLIFT RESISTANT TIES.
8. ALL CONNECTION HARDWARE SPECIFIED ON THE DRAWINGS SHALL BE MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY AND SHALL BE FASTENED PER THE MANUFACTURER RECOMMENDATIONS.
9. PROVIDE FULL DEPTH BLOCKING BETWEEN ALL NEW AND EXISTING FLOOR JOISTS AT MID-SPAN. COORDINATE ON SITE WITH EXISTING FIELD CONDITIONS. WHERE ROOF LOAD IS BEING TRANSFERRED TO THE FLOOR BELOW, BLOCKING AT THESE POINTS OF LOADING IS ALSO REQUIRED.
10. REPLACE ALL EXISTING WOOD LINTELS SUPPORTING BRICK MASONRY WHERE FOUND TO BE COMPROMISED BY ROT OR DECAY WITH 8X4 PRECAST MEMBER FOR EACH WYTHE OF BRICK BEING SUPPORTED. ALL PRECAST LINTELS TO HAVE A MINIMUM OF 8-INCH BEARING ON EACH END.
11. WHERE EXISTING BRICK MASONRY HAS VOIDS FROM VACANT BEARING POCKETS, DETERIORATED WOOD NAILERS, AND MISSING BRICK, THE CONTRACTOR SHALL FILL ALL VOIDS WITH MASONRY AND POINT ALL JOISTS MISSING MORTAR WITH NEW MORTAR THAT IS COMPATIBLE WITH THE EXISTING BRICK.
12. ALL NEW REPLACEMENT BRICKS SHALL BE OF THE SAME ERA AND OF SAME SIZE AND SHAPE COMPATIBLE WITH EXISTING CONDITIONS. COORDINATE AND SALVAGE ALL DEMO MATERIAL WHERE APPLICABLE.
13. FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY ADVANTAGE GROUP ENGINEERS OF ALL DISCREPANCIES.
14. AT PROPOSED NEW STAIR PROVIDE NEW FRAMING AS SHOWN. SHORE EXISTING AS NEEDED AND RE-CONSTRUCT ACCORDINGLY. COORDINATE WITH ARCHITECT. WHERE WALL ON FRAMING IS MISSING OR LACKING THE CONTRACTOR IS REQUIERED TO RECONSTRUCT IN KIND.
15. SEE SHEET S120 FOR MASONRY LINTEL SCHEDULE.

STRUCTURAL INFORMATION NOTED IS BASED ON ASSUMPTIONS OF CONDITION OF EXISTING FRAMING AND FRAMING HIDDEN FROM VISUAL OBSERVATION. DETAILS OF PROPOSED FRAMING MODIFICATION/REPAIRS ARE SUBJECT TO CHANGE ONCE DEMOLITION IS UNDERWAY.

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	DESIGN DEVELOPMENT	02/17/2023

Design Team: RJB / MC
Date: 04/28/2023

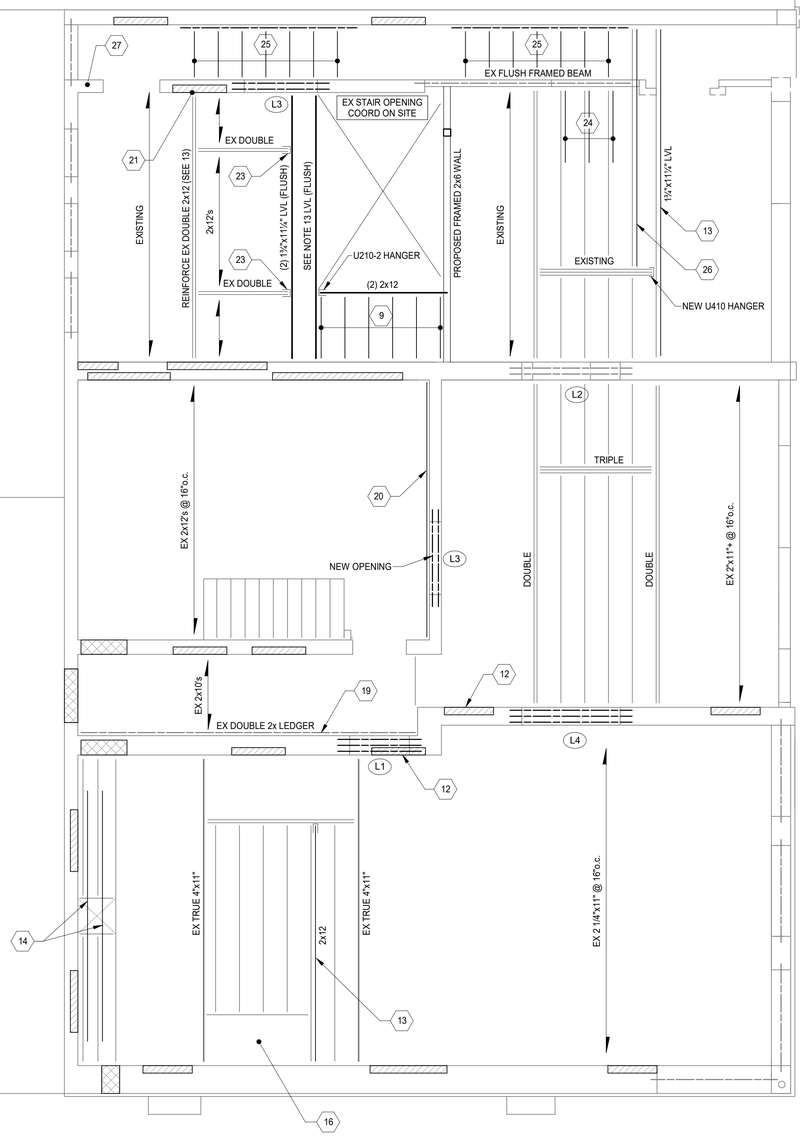
PROPOSED PROJECT: PREPARED FOR: PLATTE ARCHITECTURE

FINDLAY FLATS
1801 VINE ST / 1805 VINE ST
1801 VINE ST / 1805 VINE ST
CINCINNATI, OH 45202

Proj. No.: 22146.26

DRAWING TITLE: 1ST FLOOR FRAMING PLAN

Drawing No.
S110



2ND FLOOR FRAMING PLAN

SCALE 1/4" = 1'-0"

NORTH

KEY NOTES:

9 SHORE AND CUT EXISTING WOOD FLOOR JOISTS MEMBERS. HANG EXISTING CUT JOISTS FROM NEW HEADER WITH SIMPSON U210-R HANGER OR EQUAL. WHERE APPLICABLE, BEARING ENDS CAN BE SHAVED DOWN TO FIT THE HANGER WHERE WOOD THICKNESS EXCEEDS WIDTH OF HANGER.

12 WHERE APPLICABLE, POINT, PATCH, AND REPAIR BRICK MASONRY WALLS WHERE MASONRY HAS BEEN DAMAGED, DETERIORATED, OR COMPROMISED. WHERE BRICK IS MISSING, PROVIDE A NEW CMU TO INFILL AREAS ALONG WITH EXISTING BRICK TO CREATE A FULL MULTI-WYTHE WALL MATCHING EXISTING. CONNECT ALL WYTHES WITH #345 BUCK ANCHORS AT 16 INCHES ON CENTER. GROUT ALL VOIDS SOLID.

13 REINFORCE EXISTING FLOOR JOISTS WITH MATCHING HEIGHT 2X12 OR LVL AS NOTED. SISTERED NEW MEMBER FULL LENGTH FASTENING WITH (2) 16D NAILS AT 12-INCH ON CENTER. PROVIDE NEW HANGER U412 WHERE THIS MEMBER FRAMES INTO AN EXISTING HEADER. WHERE ENDS BEAR INTO BRICK MASONRY, A WIDER BEARING POCKET SHALL BE CREATED TO ALLOW A MINIMUM OF 2 INCHES OF BEARING.

14 REPAIR CUT JOISTS BY SISTERING A NEW MATCHING HEIGHT 2X12 JOIST X 14 FT LONG, CENTERED ABOUT THE EXISTING OPENING IN THE FLOOR. FASTEN NEW MEMBERS WITH (2) 16D NAILS AT 12 INCHES ON CENTER ALONG THE LENGTH.

15 EXISTING OPENINGS SHALL BE FURTHER INFILLED FOR FULL THICKNESS OF EXISTING MASONRY WALL. AT INNER WYTHE, ADD 4-INCH CMU ALONG WITH MORTARING THE CAVITY BETWEEN THE NEW AND EXISTING, CONNECTING WITH #345 BUCK ANCHORS.

16 INFILL FRAMING AT EXISTING HEARTH SHALL BE CONNECTED WITH USE OF PROPER JOIST HANGERS. REPLACE SHEATHING WHERE DETERIORATED. REMOVE EXISTING METAL STRAPS AND SISTER ANY DAMAGED OR NOTCHED FLOOR JOISTS.

17 INFILL EXISTING OPENING JUST BELOW JOIST BEARING WITH CMU. CONSTRUCT TIGHT TO ALL SIDES OF OPENING.

18 INFILL EXISTING WALL OPENING WITH 8-INCH CMU. COORDINATE ON SITE TO MATCH WALL THICKNESS.

19 CONNECT EXISTING 2X LEDGER TO EXISTING BRICK MASONRY WALL WITH USE OF HALF-INCH DIAMETER THREADED RODS AND HILTI HIT HY 270 ADHESIVE STAGGERED AT 16 INCHES ON CENTER ALONG THE LENGTH OF THE MEMBER. MINIMUM EMBEDMENT OF FOUR INCHES REQUIRED.

20 REPLACE CUT JOIST PARALLEL WITH EXISTING BRICK MASONRY WALL WITH NEW FULL LENGTH 2X12 JOIST. BOLT JOIST MEMBER TO EXISTING BRICK MASONRY WITH HALF-INCH DIAMETER THREADED RODS AND HILTI HIT HY 270 ADHESIVE STAGGERED AT 24INCHES ON CENTER ALONG THE LENGTH OF THE MEMBER. MINIMUM EMBEDMENT OF FOUR INCHES REQUIRED.

21 REPAIR BRICK MASONRY BEARING POCKET AT LOCATION OF EXISTING DOUBLE JOIST MEMBER.

22 NOT USED

23 AT EXISTING FRAMING, SHORE EACH HEADER AND CUT BACK TO ALLOW INSTALLATION OF A NEW DOUBLE LVL. RECONNECT HEADER WITH SIMPSON U410 METAL JOIST HANGER.

24 SISTER ENDS OF EXISTING JOIST FOR LAST FOUR FEET. FASTEN WITH (2) 16D NAILS AT 12 INCHES ON CENTER THROUGHOUT LENGTH. ATTACH TO THE EXISTING FLUSH HEADER WITH SIMPSON L90 FRAMING ANGLE ON ONE SIDE.

25 REMOVE EXISTING STAIR FRAMING AND INFILL FLOOR WITH SHORT RUN OF 2X12 MEMBERS SPACED AT 16 INCHES ON CENTER. PROVIDE CONTINUOUS RIM BOARD ATTACHED TO EXTERIOR MASONRY WALL WITH HALF INCH THREADED RODS AND HILTI HIT HY 270 ADHESIVE HAVING 4-INCH EMBEDMENT SPACED AT 16 INCHES ON CENTER, STAGGERED. INSTALL SCREEN TUBE INSERTS AT ALL CMU WALL LOCATIONS.

26 DOUBLE UP EXISTING SINGLE PLY FLOOR JOIST WITH 2X12, FULL LENGTH. FASTEN WITH (2) 16D NAILS AT 12 INCHES ON CENTER THROUGHOUT THE LENGTH. PROVIDE FRAMING SIMPSON L90 AT END WITH THE EXISTING FLUSH HEADER. EXTEND OPPOSITE END INTO A NEW MASONRY BEARING POCKET CUT IN THE EXISTING BRICK MASONRY.

27 REBUILD EXISTING MASONRY JAMB WITH 8-INCH CMU TOOTH WITH EXISTING. GROUT CORE SOLID FULL HEIGHT.

LINTEL SCHEDULE

MARK	SIZE	REMARKS
L1	8x4 PRECAST w/ (1) #4 T+B FOR EACH WYTHE OF BRICK REMOVED	8" BRG EACH END
L2	EXPAND OPENING TO UTILIZE EX LINTEL IN PLACE. CONTRACTOR TO FURTHER VERIFY INTEGRITY OF WALL AND LINTEL AND REPORT DISCREPANCIES TO ENGINEER.	
L3	(2) 8x4 PRECAST w/ (1) #4 T+B	8" BRG EACH END
L4	(3) 8x4 PRECAST w/ (1) #4 T+B	8" BRG EACH END

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10. REPLACE ALL EXISTING WOOD LINTELS SUPPORTING BRICK MASONRY WHERE FOUND TO BE COMPROMISED BY ROT OR DECAY WITH 8X4 PRECAST MEMBER FOR EACH WYTHE OF BRICK BEING SUPPORTED. ALL PRECAST LINTELS TO HAVE A MINIMUM OF 8-INCH BEARING ON EACH END.
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DESIGN DEVELOPMENT	
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Design Team: RJB / MC
Date: 04/28/2023

PREPARED FOR: PLATTE ARCHITECTURE

PROPOSED PROJECT:
FINDLAY FLATS
1801 VINE ST / 1805 VINE ST
1801 VINE ST / 1805 VINE ST
CINCINNATI, OH 45202

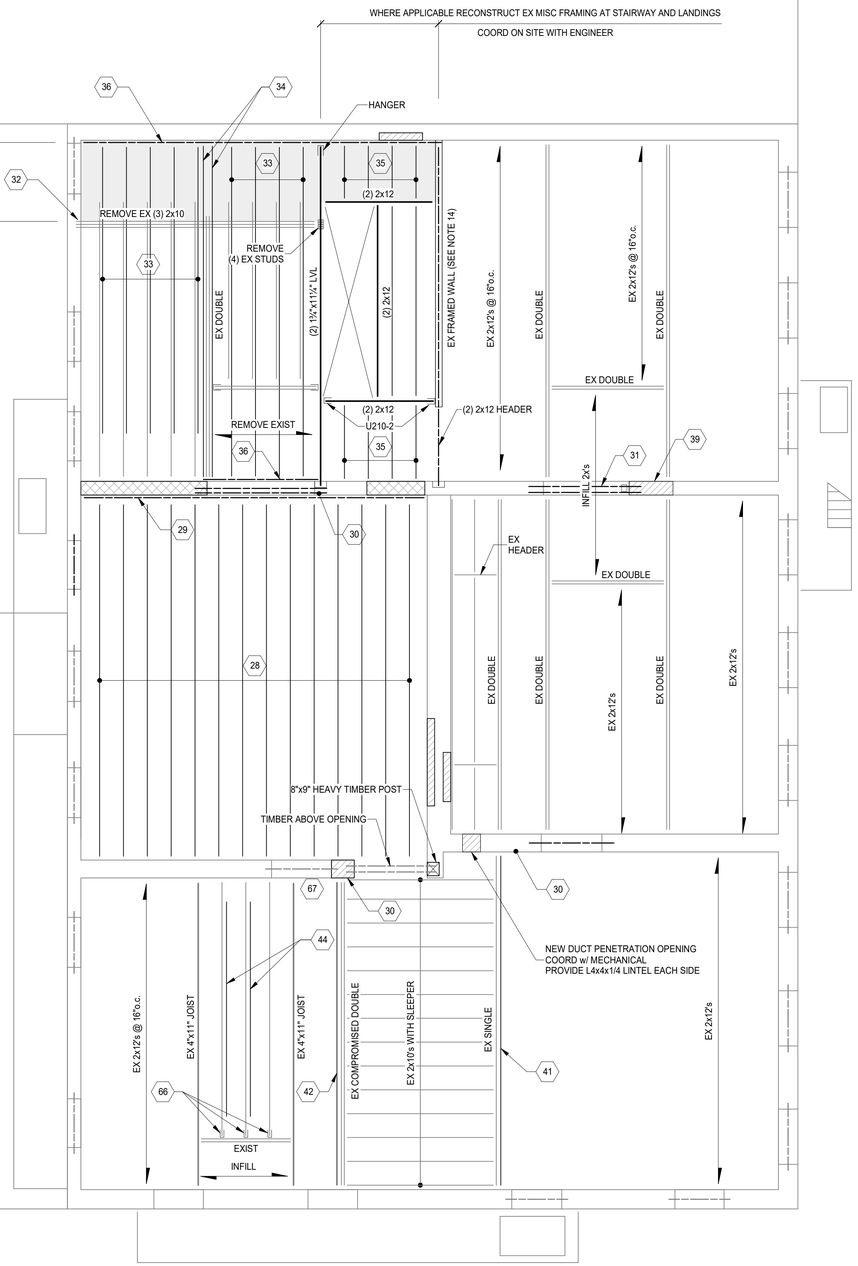
Proj. No.: 22146.26

DRAWING TITLE: 2ND FLOOR FRAMING PLAN

Drawing No.
S120

1801 VINE ST / 1805 VINE ST
CINCINNATI, OH 45202

1801-1805 VINE STREET



3RD FLOOR FRAMING PLAN
SCALE 1/4" = 1'-0"

NORTH

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KEY NOTES:

28 REMOVE ALL EXISTING FRAMING AT AREA AND REFRAME WITH NEW 2X12 JOISTS AT 16-INCH SPACINGS, SPANNING THE ENTIRE WIDTH OF THE ROOM. REUSE EXISTING BEARING POCKET ON ONE END AND AFFIX A CONTINUOUS 2X12 LEDGER AT OPPOSITE END. HANG NEW JOISTS WITH SIMPSON LUS210 METAL HANGERS.

29 NEW CONTINUOUS 2X12 LEDGER BOLTED TO NEW / EXISTING MASONRY WALL ATTACHED WITH HALF INCH THREADED RODS AND HILTI HIT HY 270 ADHESIVE HAVING 4-INCH EMBEDMENT SPACED AT 16 INCHES ON CENTER, STAGGERED. INSTALL SCREEN TUBE INSERTS AT ALL CMU WALL LOCATIONS IF THE WALL CELL IS NOT GROUTED.

30 WHERE APPLICABLE, POINT, PATCH, AND REPAIR BRICK MASONRY WALLS WHERE MASONRY HAS BEEN DAMAGED, DETERIORATED, OR COMPROMISED. WHERE BRICK IS MISSING, PROVIDE A NEW CMU TO INFILL AREAS ALONG WITH EXISTING BRICK TO CREATE A FULL MULTI-WYTHE WALL MATCHING EXISTING. CONNECT ALL WYTHES WITH #345 BUCK ANCHORS AT 16 INCHES ON CENTER. GROUT ALL VOIDS SOLID.

31 NEW DOUBLE 9 ¼" LVL HEADER SPANNING EXISTING OPENING. SHORE EXISTING FRAMING AND REMOVE EXISTING WOOD HEADER IN PLACE ALONG WITH THE 4X4 POST. NEW HEADER TO HAVE A MINIMUM OF 4-INCHES OF BEARING ON RECONSTRUCTED BEARING POCKETS AT EACH END. EXTEND BEARING LONGER WHERE NEEDED TO ACCOMMODATE BEARING OF EXISTING DOUBLE FLOOR JOISTS.

32 THE EXISTING DROPPED WOOD BEAM SHALL BE REMOVED ONCE ALL EXISTING FLOOR JOISTS HAVE BEEN SISTERED AND EXTENDED TO THE NORTH BEARING WALL. KEEP IN PLACE AS A MEANS FOR SHORING EXISTING JOISTS UNTIL ALL FRAMING IS IN PLACE AND FASTENED.

33 SISTER EXISTING FLOOR JOIST MEMBERS TO EXTEND BEARING TO NORTH MASONRY WALL. PROVIDE NEW 2X12X 18 FT LONG FASTENED TO EXISTING MEMBERS WITH (2) ¼" DIAMETER SDS SCREWS SPACED AT 12-INCH ON CENTER. AT LAP OVER EXISTING TRIPLE DROPPED BEAM, PROVIDE GROUP OF (6) SDS SCREWS IN TWO ROWS WITHIN THE LAST 12-INCHES O F EXISTING MEMBER. SEE RELATING SISTERING DETAIL SHEET S300. EXTEND JOIST FULL LENGHT WHERE APPLICABLE.

34 AT LOCATION OF EXISTING DOUBLE JOIST MEMBER, SISTER EACH SIDE WITH (1) 11 ¼" LVL MEMBER FULL LENGTH. FASTENED NEW LVL TO EXISTING MEMBERS WITH (2) ¼" DIAMETER SDS SCREWS SPACED AT 12-INCH ON CENTER THROUGHOUT THE LENGTH.

35 REMOVE EXISTING STAIR FRAMING AND INFILL FLOOR WITH SHORT RUN OF 2X12 MEMBERS SPACED AT 16 INCHES ON CENTER. PROVIDE CONTINUOUS 2X12 RIM BOARD ATTACHED TO EXTERIOR MASONRY WALL WITH HALF INCH THREADED RODS AND HILTI HIT HY 270 ADHESIVE HAVING 4-INCH EMBEDMENT SPACED AT 16 INCHES ON CENTER, STAGGERED. INSTALL SCREEN TUBE INSERTS AT ALL CMU WALL LOCATIONS.

36 PROVIDE CONTINUOUS 2X12 RIM BOARD ATTACHED TO EXTERIOR MASONRY WALL WITH HALF INCH THREADED RODS AND HILTI HIT HY 270 ADHESIVE HAVING 4-INCH EMBEDMENT SPACED AT 16 INCHES ON CENTER, STAGGERED. INSTALL SCREEN TUBE INSERTS AT ALL CMU WALL LOCATIONS.

37 NOT USED

38 NOT USED

39 INFILL EXISTING WALL OPENING WITH 8-INCH CMU. COORDINATE ON SITE TO MATCH WALL THICKNESS. REMOVE ALL EXISTING WOOD INFILL FRAMING AND REPLACE WITH MASONRY. WHERE APPLICABLE, TOOTH NEW CMU WITH EXISTING.

41 REINFORCE EXISTING SINGLE JOIST WITH NEW 11 ¼" LVL FULL LENGTH. FASTEN WITH (2) ¼" DIAMETER SDS SCREWS SPACED AT 12-INCH ON CENTER THROUGHOUT THE LENGTH.

42 REINFORCE EXISTING COMPROMISED JOISTS WITH NEW 11 ¼" LVL FULL LENGTH. FASTEN WITH (2) ¼" DIAMETER SDS SCREWS SPACED AT 12-INCH ON CENTER THROUGHOUT THE LENGTH.

44 SISTER EXISTING FLOOR JOIST COMPROMISED BY NOTCHES ALONG BOTTOM WITH NEW 2X12 X 12 FT LONG. FASTEN WITH (2) 16D NAILS AT 12-INCH ON CENTER. PROVIDE SIMPSON METAL JOIST HANGER (U210-R) AT ORIGINAL END FRAMING TO EXISTING FLUSH HEADER. WHERE NEEDED, SHAVE END OF WOOD JOIST TO FIT OVERSIZED HANGER.

50 NOT USED

57 NOT USED

65 POST UP FROM THE ATTIC FLOOR (4X4) TO PROVIDE ADDITIONAL SUPPORT OF THE DIAGONAL HIP MEMBER CURRENTLY IN PLACE. AT BASE OF FLOOR, PROVIDE 6X6 X 4FT LONG TIMBER PERPENDICULAR TO THE DIRECTION OF THE ATTIC FLOOR JOISTS. CENTER THE 4X4 POST OFF OF THIS DISTRIBUTION SILL UP TO THE HIP MEMBER. SECURE THE 4X4 POST AT BASE WITH A SIMPSON BC46 POST BASE AND AT TOP WITH (2) LTS12 TWIST STRAPS, ONE EACH FACE (OR APPROVED EQUAL).

66 ADD SIMPSON U210R HANGERS.

67 COORDINATE PROPOSED DUCT PENETRATION OPENING BETWEEN EXIST FLOOR JOISTS ABOVE EXIST LINTEL. OPENING LIMITED TO 10" x 10". NO LINTEL REQUIRED.

PLAN NOTES:

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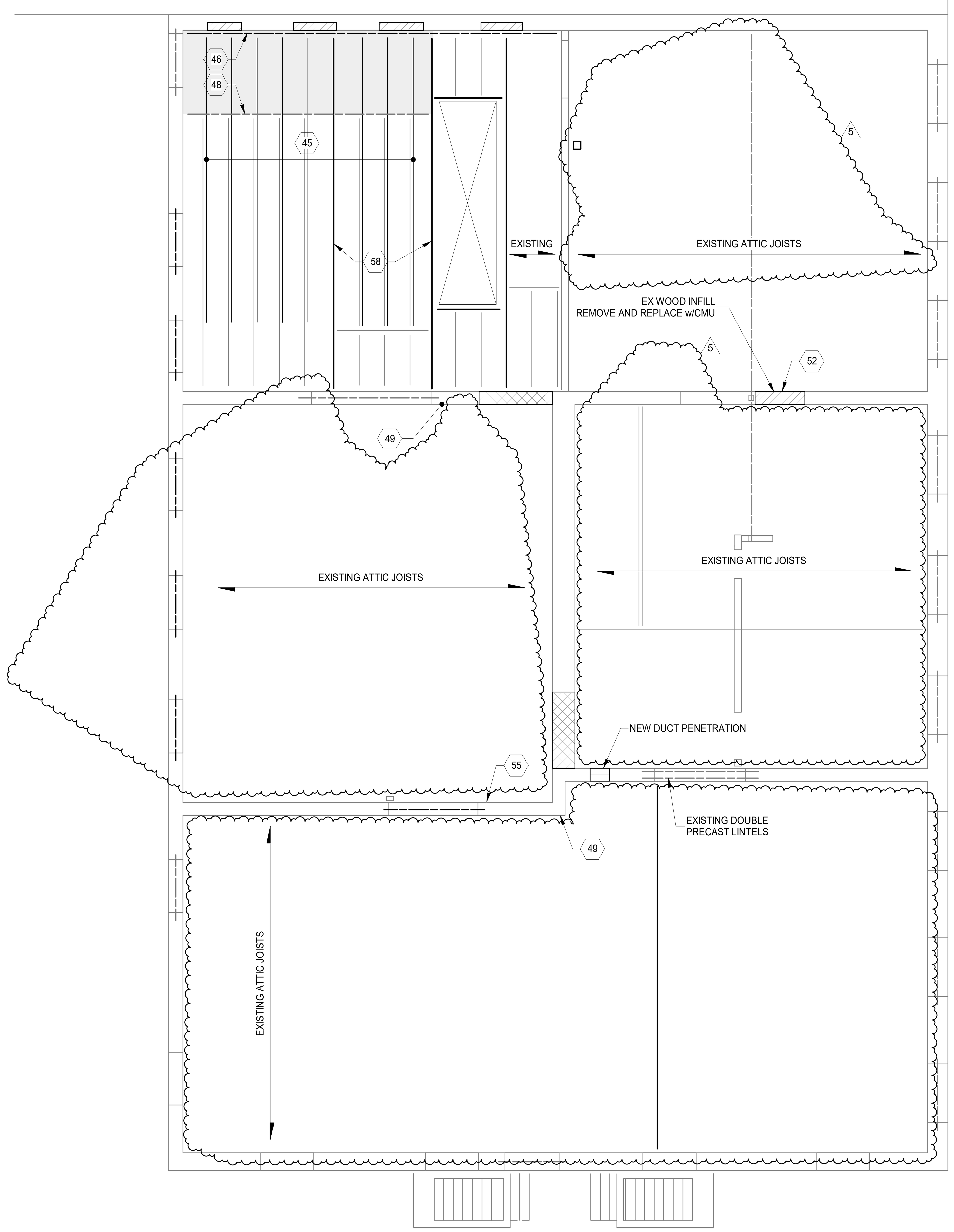
Proj. No.: 22146.26

DRAWING TITLE: 3RD FLOOR FRAMING PLAN

Drawing No.
S130

1801-1805 VINE STREET

1801 VINE ST / 1805 VINE ST
CINCINNATI, OH 45202



ATTIC FLOOR FRAMING PLAN
SCALE 1/4" = 1'-0"

NORTH

KEY NOTES:

45 AT ATTIC FLOOR FRAMING (CEILING OF THIRD FLOOR) PROVIDE NEW 2X10 JOISTS X 18 FT LONG MEMBER SISTERED TO EACH EXISTING 2X6 CEILING JOIST. ATTACH TO CENTER BEARING WALL USING A CONTINUOUS 2X10 LEDGER BOLTED TO THIS WALL WITH HALF-INCH THREADED RODS AND HILTI HIT HY 270 ADHESIVE, 4-INCH EMBEDMENT. FASTEN NEW JOISTS TO EXISTING WITH 16D NAIL STAGGERED AT 12-INCH ON CENTER ALONG THE LENGTH. AT EACH LAP WHERE EACH END OF EACH MEMBER IS CONNECTED, PROVIDE A GROUP OF (3) SDS SCREWS WITHIN THE LAST 12-INCHES OF SHORTENED MEMBER AT THIS LAP.

46 PROVIDE CONTINUOUS 2x10 LEDGER BOARD ATTACHED TO INTERIOR MASONRY WALL WITH 1/2" THREADED RODS AND HILTI HIT-HY 270 ADHESIVE HAVING 4" EMBEDMENT SPACED AT 16"o.c., STAGGERED. INSTALL SCREEN TUBE INSERTS AT ALL CMU WALL LOCATIONS.

47 NOT USED 5

48 THE EXISTING MISC 2X SUPPLEMENTAL FRAMING LOCATED AT THE THIRD FLOOR SUPPORTING THE EXISTING ATTIC JOISTS SHALL REMAIN IN PLACE UNTIL ALL NEW REINFORCEMENT OF THE ATTIC FLOOR HAS BEEN ACHIEVED. WHERE APPLICABLE, JACK UP SUPPORTING MEMBERS TO REMOVE ALL SAG BEFORE FASTENING NEW SISTERED JOIST MEMBERS.

49 WHERE APPLICABLE POINT, PATCH AND REPAIR BRICK MASONRY WALLS WHERE MASONRY HAS BEEN DAMAGED, DETERIORATED OR COMPROMISED. WHERE BRICK IS MISSING PROVIDE A NEW CMU TO INFILL AREAS ALONG WITH EXISTING BRICK TO CREATE A FULL MULTI-WYTHE WALL MATCHING EXISTING. CONNECT ALL WYTHES WITH #345 BUCK ANCHORS AT 16"o.c. GROUT ALL VOIDS SOLID.

50 NOT USED

51 NOT USED

52 INFILL EXISTING OPENING IN WALL WITH 8" CMU WHERE APPLICABLE, TOOTH SIDES WITH EXISTING BRICK. POINT EXISTING AS NECESSARY ON ALL SIDES.

53 NOT USED 5

54 NOT USED

55 NOT USED

56 NOT USED 5

57 NOT USED

58 PROVIDE FOR NEW DOUBLE LVL MEMBERS TO SUPPORT HEADER FRAMING OF EXISTING FLOOR. SHORE EXISTING FRAMING AS NEEDED. COORDINATE PLACEMENT ON SITE FOR PROPER SUPPORT OF EXISTING FRAMING. WHERE APPLICABLE, CUT EXISTING HEADER AND RE=ATTACH WITH SIMPSON U210-2 HANGERS.

59 NOT USED 5

64 NOT USED

65 NOT USED

PLAN NOTES:

1. COORDINATE WITH ARCHITECT FOR LOCATION OF ALL PROPOSED NEW OPENINGS.
2. COORDINATE WITH ARCHITECT DEMO PLAN FOR THE REMOVAL OF FRAMING AND MASONRY. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THESE DRAWINGS PRIOR TO CONSTRUCTION.
3. THE FRAMING DRAWINGS ARE A REPRESENTATIVE OF THE EXISTING STRUCTURE AND FIELD CONDITIONS. DO NOT SCALE DRAWINGS BUT USE AS A GUIDE FOR AREAS OF ISSUE OR LOCATION OF NEEDED REPAIR.
4. THE FRAMING DRAWINGS AND NOTES PROVIDED ARE BASED ON FIELD CONDITIONS AT THE TIME THE DOCUMENTS WERE CREATED. THESE DRAWINGS REPRESENT THE OVERALL INTENT AND UNDERSTANDING OF THE SCOPE OF WORK. IT IS ANTICIPATED THAT UNFORESEEN ISSUES WILL ARISE THAT WILL REQUIRE FURTHER COLLABORATION BETWEEN THE ENGINEER, ARCHITECT, AND CONTRACTOR. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT / ENGINEER OF THESE ISSUES.
5. THE CONTRACTOR SHALL PROVIDE TEMPORARY SHORING WHERE NEEDED BEFORE CUTTING OR REMOVING ANY STRUCTURAL ITEMS. COORDINATE WITH PROJECT ENGINEER WHERE DISCREPANCIES MAY BE FOUND.
6. REPLACE OR SISTER AS NEEDED ANY EXISTING JOISTS FOUND TO HAVE BEEN COMPROMISED REGARDLESS IF NOTED ON THE PLAN. COORDINATE WITH FIELD CONDITIONS.
7. REFER TO THE STRUCTURAL GENERAL NOTES FOR ALL TYPICAL FASTENING REQUIREMENTS. ALL JOISTS AND RAFTERS SHALL BE CONNECTED WITH METAL JOIST HANGERS OR UPLIFT RESISTANT TIES.
8. ALL CONNECTION HARDWARE SPECIFIED ON THE DRAWINGS SHALL BE MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY AND SHALL BE FASTENED PER THE MANUFACTURER RECOMMENDATIONS.
9. PROVIDE FULL DEPTH BLOCKING BETWEEN ALL NEW AND EXISTING FLOOR JOISTS AT MID-SPAN. COORDINATE ON SITE WITH EXISTING FIELD CONDITIONS. WHERE ROOF LOAD IS BEING TRANSFERRED TO THE FLOOR BELOW, BLOCKING AT THESE POINTS OF LOADING IS ALSO REQUIRED.
10. REPLACE ALL EXISTING WOOD LINTELS SUPPORTING BRICK MASONRY WHERE FOUND TO BE COMPROMISED BY ROT OR DECAY WITH 8X4 PRECAST MEMBER FOR EACH WYTHE OF BRICK BEING SUPPORTED. ALL PRECAST LINTELS TO HAVE A MINIMUM OF 8-INCH BEARING ON EACH END.
11. WHERE EXISTING BRICK MASONRY HAS VOIDS FROM VACANT BEARING POCKETS, DETERIORATED WOOD NAILERS, AND MISSING BRICK, THE CONTRACTOR SHALL FILL ALL VOIDS WITH MASONRY AND POINT ALL JOISTS MISSING MORTAR WITH NEW MORTAR THAT IS COMPATIBLE WITH THE EXISTING BRICK.
12. ALL NEW REPLACEMENT BRICKS SHALL BE OF THE SAME ERA AND OF SAME SIZE AND SHAPE COMPATIBLE WITH EXISTING CONDITIONS. COORDINATE AND SALVAGE ALL DEMO MATERIAL WHERE APPLICABLE.
13. FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY ADVANTAGE GROUP ENGINEERS OF ALL DISCREPANCIES.
14. AT PROPOSED NEW STAIR PROVIDE NEW FRAMING AS SHOWN. SHORE EXISTING AS NEEDED AND RE-CONSTRUCT ACCORDINGLY. COORDINATE WITH ARCHITECT. WHERE WALL ON FRAMING IS MISSING OR LACKING THE CONTRACTOR IS REQUIERED TO RECONSTRUCT IN KIND.
15. SEE SHEET S120 FOR MASONRY LINTEL SCHEDULE.

STRUCTURAL INFORMATION NOTED IS BASED ON ASSUMPTIONS OF CONDITION OF EXISTING FRAMING AND FRAMING HIDDEN FROM VISUAL OBSERVATION. DETAILS OF PROPOSED FRAMING MODIFICATION/REPAIRS ARE SUBJECT TO CHANGE ONCE DEMOLITION IS UNDERWAY.

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	DESIGN DEVELOPMENT	02/17/2023

Design Team: RJB / MC
Date: 04/28/2023

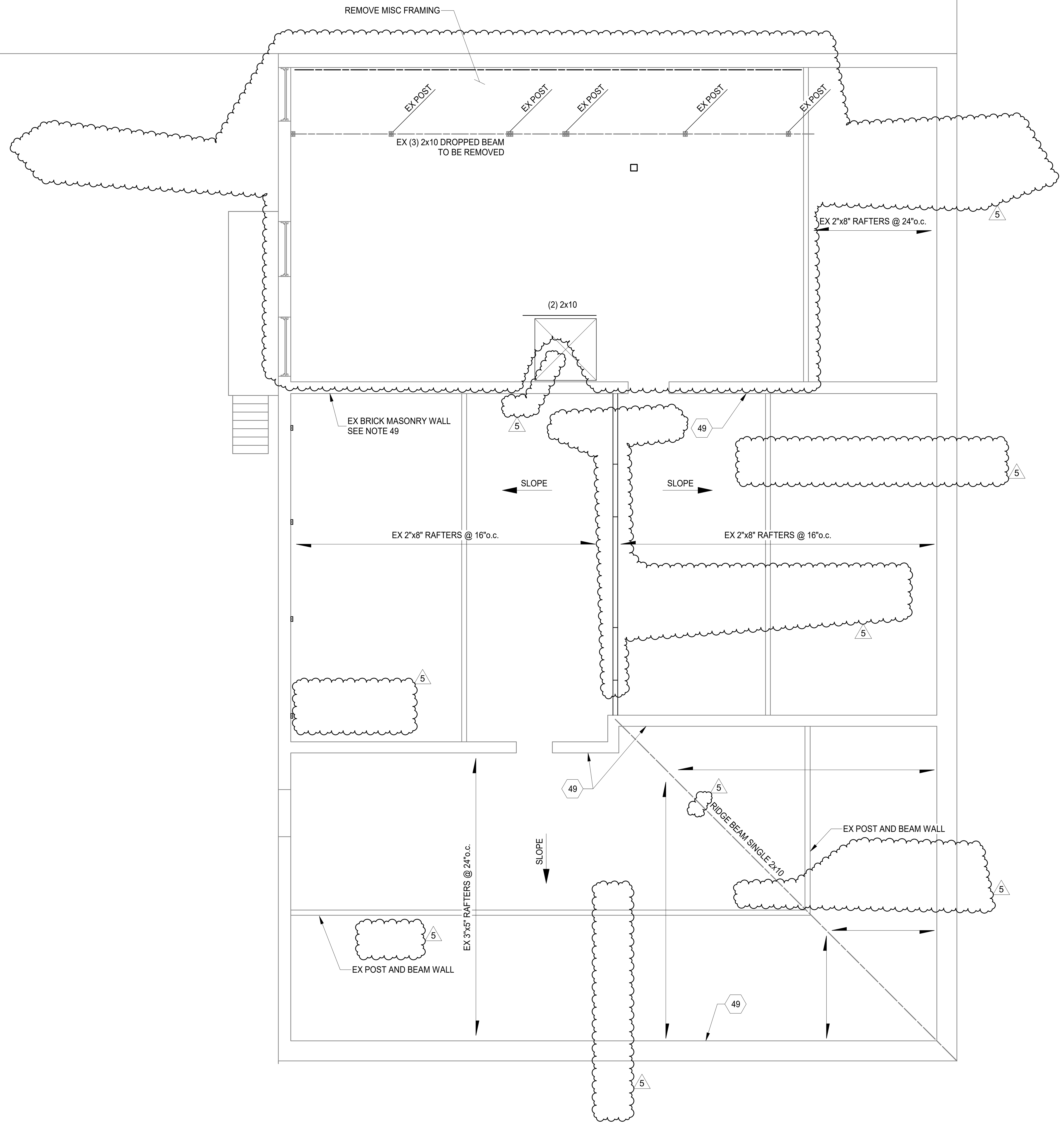
PROPOSED PROJECT: PREPARED FOR: PLATTE ARCHITECTURE
FINDLAY FLATS
1801 VINE ST / 1805 VINE ST
1801 VINE ST / 1805 VINE ST
CINCINNATI, OH 45202

DRAWING TITLE: ATTIC FLOOR FRAMING PLAN

Proj. No.: 22146.26
Drawing No.
S140

1801 VINE ST / 1805 VINE ST
CINCINNATI, OH 45202

1801-1805 VINE STREET



ROOF FRAMING PLAN
SCALE 1/4" = 1'-0"

NORTH

KEY NOTES:

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53	NOT USED
60	NOT USED
61	NOT USED
62	NOT USED
63	NOT USED
64	NOT USED
65	NOT USED
70	NOT USED
71	NOT USED

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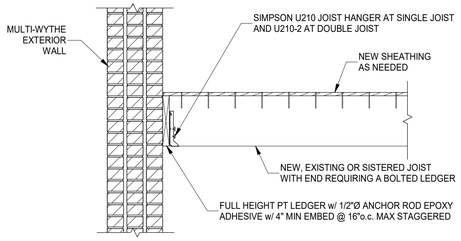
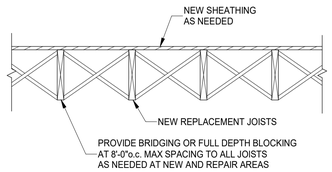
FINDLAY FLATS
1801 VINE ST / 1805 VINE ST
1801 VINE ST / 1805 VINE ST
CINCINNATI, OH 45202

DRAWING TITLE: ROOF FRAMING PLAN

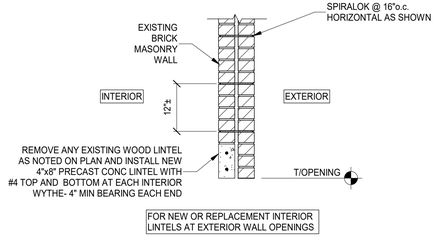
Proj. No.: 22146.26
Drawing No.
S150



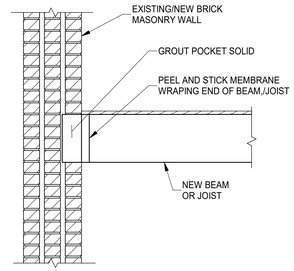
TYPICAL LEDGER DETAIL
SCALE 3/4" = 1'-0"



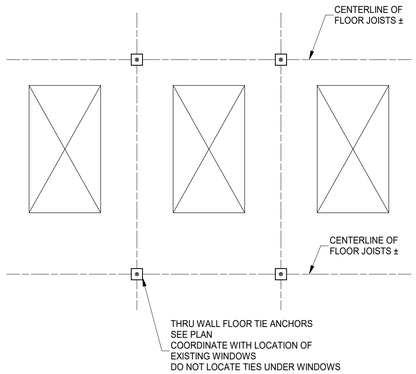
TYPICAL WOOD JOIST BRIDGING DETAIL
SCALE 3/4" = 1'-0"



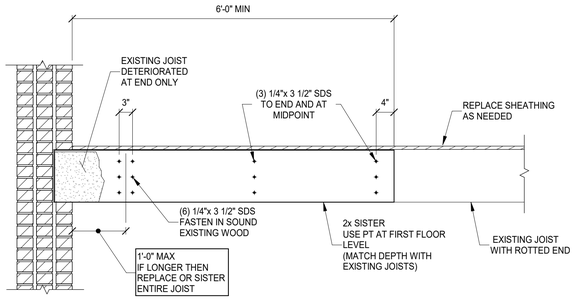
TYPICAL INTERIOR LINTEL DETAIL 3
SCALE 3/4" = 1'-0"



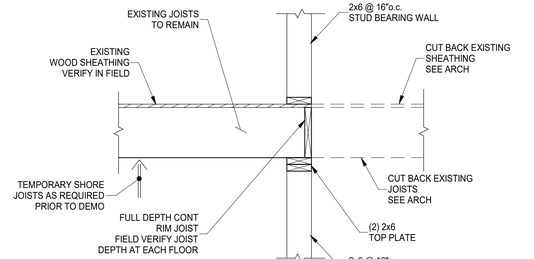
TYPICAL JOIST/BEAM POCKET DETAIL
SCALE 3/4" = 1'-0"



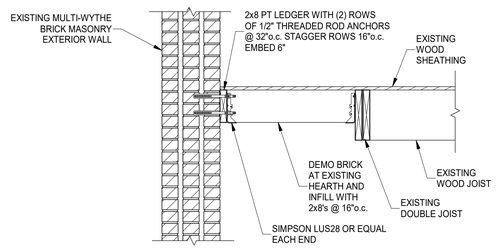
TYPICAL EXTERIOR ELEVATION WITH NEW WALL TIES
SCALE 3/8" = 1'-0"



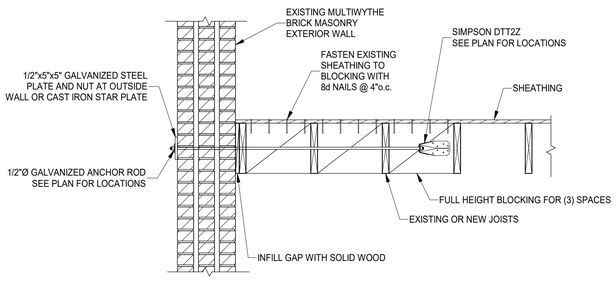
TYPICAL JOIST END SISTER DETAIL
SCALE 3/4" = 1'-0"



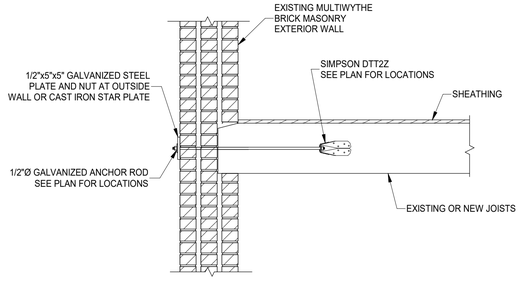
TYPICAL AT NEW OPENING
SCALE 3/4" = 1'-0"



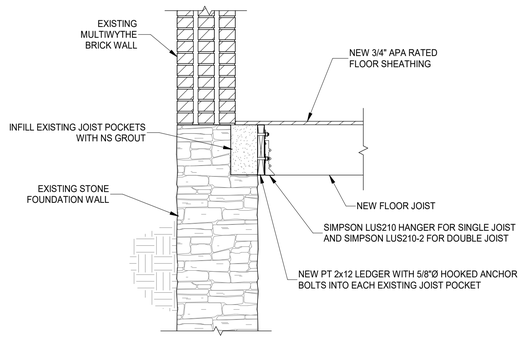
TYPICAL HEARTH INFILL FRAMING DETAIL
SCALE 3/4" = 1'-0"



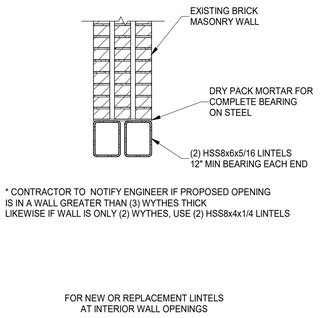
TYPICAL WALL TIE JOIST PERPENDICULAR
SCALE 3/4" = 1'-0"



TYPICAL WALL TIE JOIST PARALLEL
SCALE 3/4" = 1'-0"



TYPICAL T/FND WALL LEDGER DETAIL
SCALE 3/4" = 1'-0"



TYPICAL INTERIOR LINTEL DETAIL 2
SCALE 3/4" = 1'-0"

STRUCTURAL INFORMATION NOTED IS BASED ON ASSUMPTIONS OF CONDITION OF EXISTING FRAMING AND FRAMING HIDDEN FROM VISUAL OBSERVATION. DETAILS OF PROPOSED FRAMING MODIFICATION/REPAIRS ARE SUBJECT TO CHANGE ONCE DEMOLITION IS UNDERWAY.

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Date: 04/28/2023

PREPARED FOR: PLATTE ARCHITECTURE

PROPOSED PROJECT:
FINDLAY FLATS
1801 VINE ST / 1805 VINE ST
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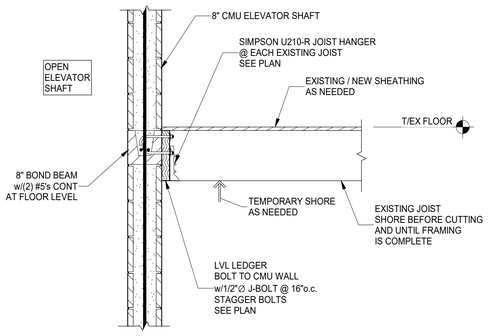
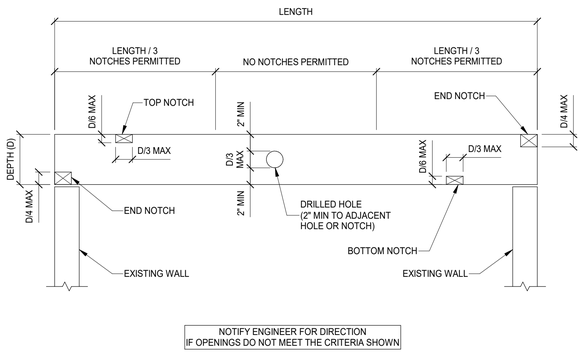
CINCINNATI, OH 45202

DRAWING TITLE: FRAMING DETAILS

Proj. No.: 22146.26
Drawing No.
S320

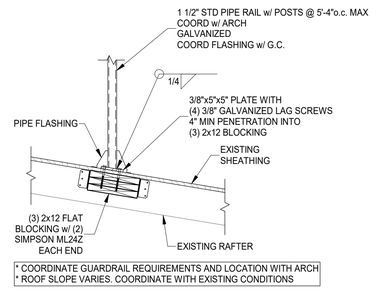


TYPICAL ELEVATOR NEW CMU SHAFT WALL AT EX FLOOR
SCALE 3/4" = 1'-0"



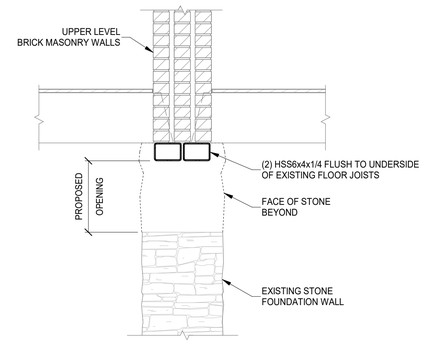
NOTIFY ENGINEER FOR DIRECTION
IF OPENINGS DO NOT MEET THE CRITERIA SHOWN

ALLOWABLE WOOD JOIST OPENINGS
SCALE 3/4" = 1'-0"



* COORDINATE GUARDRAIL REQUIREMENTS AND LOCATION WITH ARCH
* ROOF SLOPE VARIES. COORDINATE WITH EXISTING CONDITIONS

TYPICAL RAILING CONNECTION TO ROOF
SCALE 3/4" = 1'-0"



TYPICAL HVAC PENETRATION OPENING IN STONE WALL
SCALE 3/4" = 1'-0"

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Proj. No.: 22146.26

DRAWING TITLE: FRAMING DETAILS

Drawing No.
S321

1801-1805 VINE STREET

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1801-1805 VINE STREET

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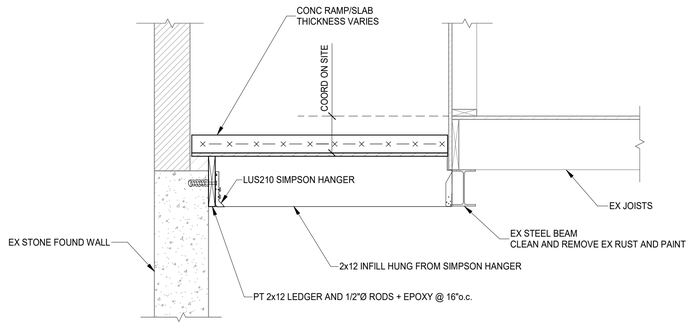

SECTION 6 / S322
SCALE 3/4" = 1'-0"

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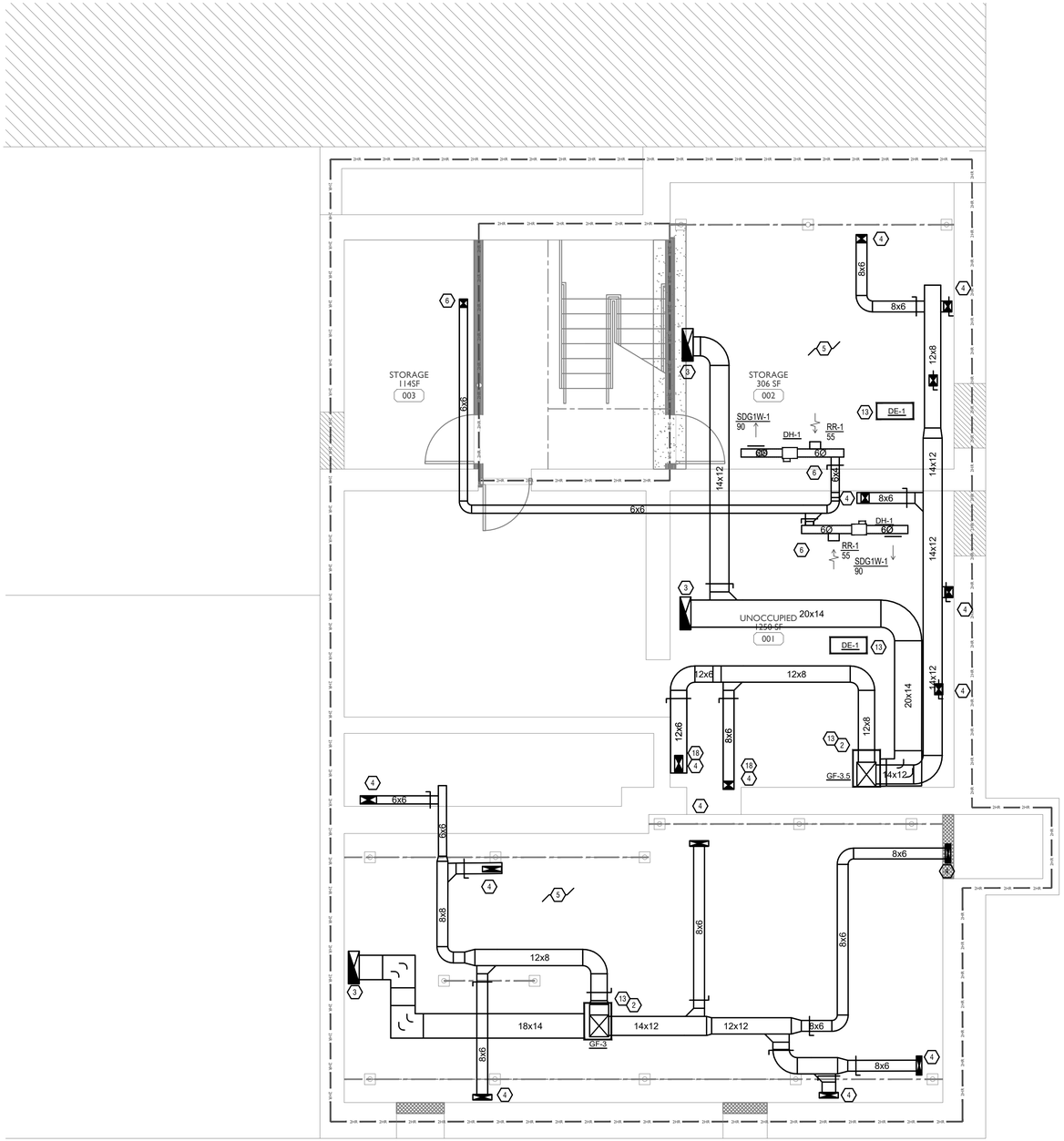
PREPARED FOR: PLATTE ARCHITECTURE

Proj. No.: 22146.26
Drawing No.
S322



KEYED SHEET NOTES

1. ROUTE 3/4" CONDENSATE DRAIN LINE TO FLOOR DRAIN IN MECHANICAL CLOSET. SLOPE PIPE A MINIMUM OF 1/8 " PER FOOT AWAY FROM UNIT.
2. ROUTE LINE SET FROM OUTDOOR UNIT TO INDOOR AIR HANDLER. ALL PIPING SHALL BE CONCEALED IN FINISHED AREA. SIZE PER MANUFACTURES RECOMMENDATIONS.
3. RETURN DUCT UP TO FIRST FLOOR.
4. SUPPLY DUCT UP TO FIRST FLOOR.
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6. FRESH AIR INTAKE THRU WALL TO WALL CAP.
7. DUCT EXHAUST UP THROUGH ROOF WITH RAIN-PROOF CAP.
8. 4" EXHAUST DUCT TO BE ROUTED DIRECTLY TO ROOF, AS ALLOWED PER 717.6.1 EXCEPTION. DUCT MUST BE MINIMUM 26 GA. AND BE CONTAINED WITHIN WALL CAVITY FOR FULL LENGTH. FIRE CAULK AROUND ALL PENETRATIONS. REFER TO DETAIL.
9. N/A
10. UNDERCUT DOOR 1" ABOVE FINISHED FLOOR FOR RETURN/MAKE UP AIR.
11. DUCTED RETURN BETWEEN TRANSFER GRILLES TO AVOID EXPOSED WALL CAVITY.
12. ROUTE EXHAUST TO EXTERIOR WALL. INSTALL A LOUVERED VENT. SEE ARCHITECT BEFORE PENETRATION FOR EXACT LOCATION AND COLOR COORDINATION. ALL EXHAUST SHALL MEET THE FOLLOWING REQUIREMENTS.
    - 12.1. 3' FROM PROPERTY LINE.
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13. ROUTE 3/4" CONDENSATE DRAIN LINE TO FLOOR DRAIN IN BASEMENT. SLOPE PIPE A MINIMUM OF 1/8 " PER FOOT AWAY FROM UNIT. PROVIDE CONDENSATE PUMP AS REQUIRED.
14. DUCTED RETURN SLEEVE TO AVOID EXPOSED WALL CAVITY.
15. ROUTE EXHAUST DUCT UP IN JOIST POCKET. RATING SHALL BE MAINTAINED AROUND JOIST TO PREVENT FIRE DAMPER. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
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17. ROUTE SUPPLY DUCT UP INTO JOIST POCKET UP AND OVER EXISTING LINTEL. RATING SHALL BE MAINTAINED AROUND JOIST TO PREVENT FIRE DAMPER. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
18. MECHANICAL CONTRACTOR TO COORDINATE ALL DUCT ROUTING AND LOCATIONS WITH PLUMBING CONTRACTORS.

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MECHANICAL SCOPE OF WORK IS TO PROVIDE NEW HVAC EQUIPMENT TO RESIDENTIAL AND COMMERCIAL SPACES. MECHANICAL CONTRACTOR SHALL REFERENCE ALL DISCIPLINE DRAWING, ETC. TO REVEAL FULL SCOPE OF WORK. REFER TO MECHANICAL SPECIFICATIONS FOR ADDITIONAL DETAILS.

HVAC DESIGN CONDITIONS

COMMERCIAL		RESIDENTIAL	
COOLING	HEATING	COOLING	HEATING
OUTDOOR: 93 DB / 75 WB INDOOR: 72	OUTDOOR: 0 DB INDOOR: 70	OUTDOOR: 93 DB / 75 WB INDOOR: 75	OUTDOOR: 0 DB INDOOR: 70

GENERAL NOTES

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D. INSTALL ALL EQUIPMENT PER MANUFACTURER'S REQUIREMENTS. MAINTAIN ALL CODE RECOMMENDED CLEARANCES FOR ACCESS AND MAINTENANCE.

E. REFER TO ARCHITECTURAL PLANS FOR DIMENSIONS, AND FINAL CEILING DIFFUSER LOCATIONS.

F. PROVIDE BACKDRAFT DAMPERS FOR ALL EXHAUST SYSTEMS AND EITHER LOUVER, BRICK VENT, OR CAPS AT ALL EXTERIOR BUILDING PENETRATIONS.

G. IN DWELLING UNITS, ROUTE ALL SUPPLY, RETURN, AND EXHAUST DUCTWORK ABOVE DROP CEILING OR IN BULKHEADS. COORDINATE ROUTING WITH ARCHITECTURAL DRAWINGS. DUCTS SHALL BE RUN BELOW THE RATED FLOOR/CEILING.

H. ROUTE ALL AIR CONDITIONER CONDENSATE TO NEARBY FLOOR DRAIN. PROVIDE MINIMUM SLOPE OF 1/8 " PER FOOT. SIZE CONDENSATE PER SECTION 307.2.2 OF THE OHIO MECHANICAL CODE.

I. MOUNT THERMOSTATS 60" ABOVE FINISHED FLOOR. MOUNT THERMOSTATS IN ADA UNITS 40" ABOVE FINISHED FLOOR.

J. ANY EQUIPMENT THAT IS SUBSTITUTED SHALL FIT IN THE SPACE PROVIDED WITH ADEQUATE ROOM FOR SERVICING, INCLUDING SUBSTITUTE EQUIPMENT NAMED IN THE SPECIFICATIONS. SUBMIT A 1/4" SCALE DRAWING OF ALL EQUIPMENT SUBSTITUTED FOR APPROVAL PRIOR TO INSTALLATION, INCLUDING, BUT NOT LIMITED TO, STRUCTURAL AND ARCHITECTURAL IMPACT, CLEARANCE REQUIREMENTS AND UTILITY REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR TO COORDINATE ALL NEW ELECTRICAL AND PLUMBING REQUIREMENTS WITH THE ELECTRICAL AND PLUMBING CONTRACTORS.

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- J.A. EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH AND BE CONSTRUCTED OF METAL A MINIMUM OF 28 GAGE.
- J.B. DUCT SIZE SHALL BE 4 INCHES NOMINAL DIAMETER.
- J.C. DUCTS SHALL BE SUPPORTED AT 4-FOOT INTERVALS AND SECURED IN PLACE. THE INSERT END OF THE DUCT SHALL EXTEND INTO THE ADJOINING DUCT OR FITTING IN THE DIRECTION OF AIRFLOW.
- J.D. DUCTS SHALL NOT BE JOINED WITH SCREWS OF SIMILAR FASTENERS THAT PROTRUDE MORE THAN ½ INCH INTO THE INSIDE OF THE DUCT.
- J.E. PROTECTIVE SHIELD PLATES SHALL BE PLACED WHERE NAILS OR SCREWS FROM FINISH OR OTHER WORK ARE LIKELY TO PENETRATE THE CLOTHES DRYER EXHAUST DUCT.SHIELD PLATES SHALL BE PLACED ON THE FINISHED FACE OF ALL FRAMING MEMBERS WHERE THERE IS LESS THAN 1-1/4 INCHES BETWEEN THE DUCT AND THE FINISHED FACE OF THE FRAMING MEMBER. SHIELD PLATES SHALL BE CONSTRUCTED OF STEEL, HAVE A THICKNESS OF 0.062 INCHES, AND EXTEND NOT LESS THAN 2 INCHES ABOVE SOLE PLATES AND BELOW TOP PLATES.
- J.F. TRANSITION DUCTS USED TO CONNECT THE DRYER TO THE EXHAUST DUCT SYSTEM SHALL BE A SINGLE LENGTH THAT IS LISTED AND LABELED IN ACCORDANCE WITH UL 2158A. TRANSITION DUCTS SHALL BE NOT GREATER THAN 8 FEET IN LENGTH AND SHALL NOT BE CONCEALED WITHIN CONSTRUCTION.
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MECHANICAL PLAN - BASEMENT | 1

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WWW.PLATTEDESIGN.COM T: 513.871.1850 | F: 513.871.1829

STATE OF OHIO
SCOTT SEVERT STILKEY
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08/30/2024 BID SET 2

Revisions
1 07/07/2023 ADDENDUM 1

Checked By: SSS

Drawn by: RPG

PR-09757
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TEAMWORK • COLLABORATION
SHARED SUCCESS
515 Monmouth Street, Suite 204
Newport, KY 41071 (859) 261-0585
MEP Consulting Services, Inc. in OH

PROPOSED PROJECT:
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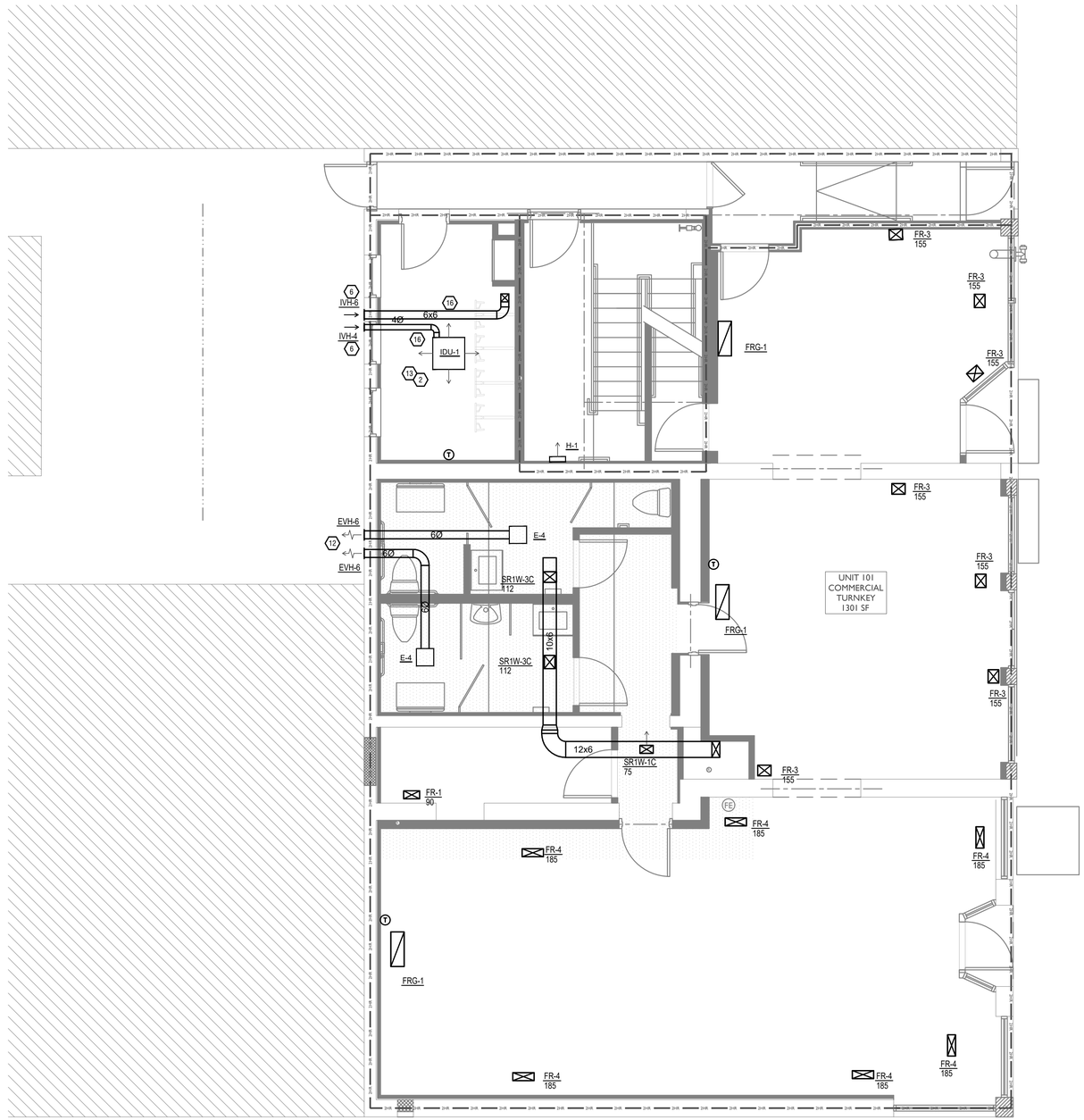
FINDLAY FLATS

Job No: 22042 8/10/2022

M1.00



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MECHANICAL PLAN - FIRST FLOOR | 1

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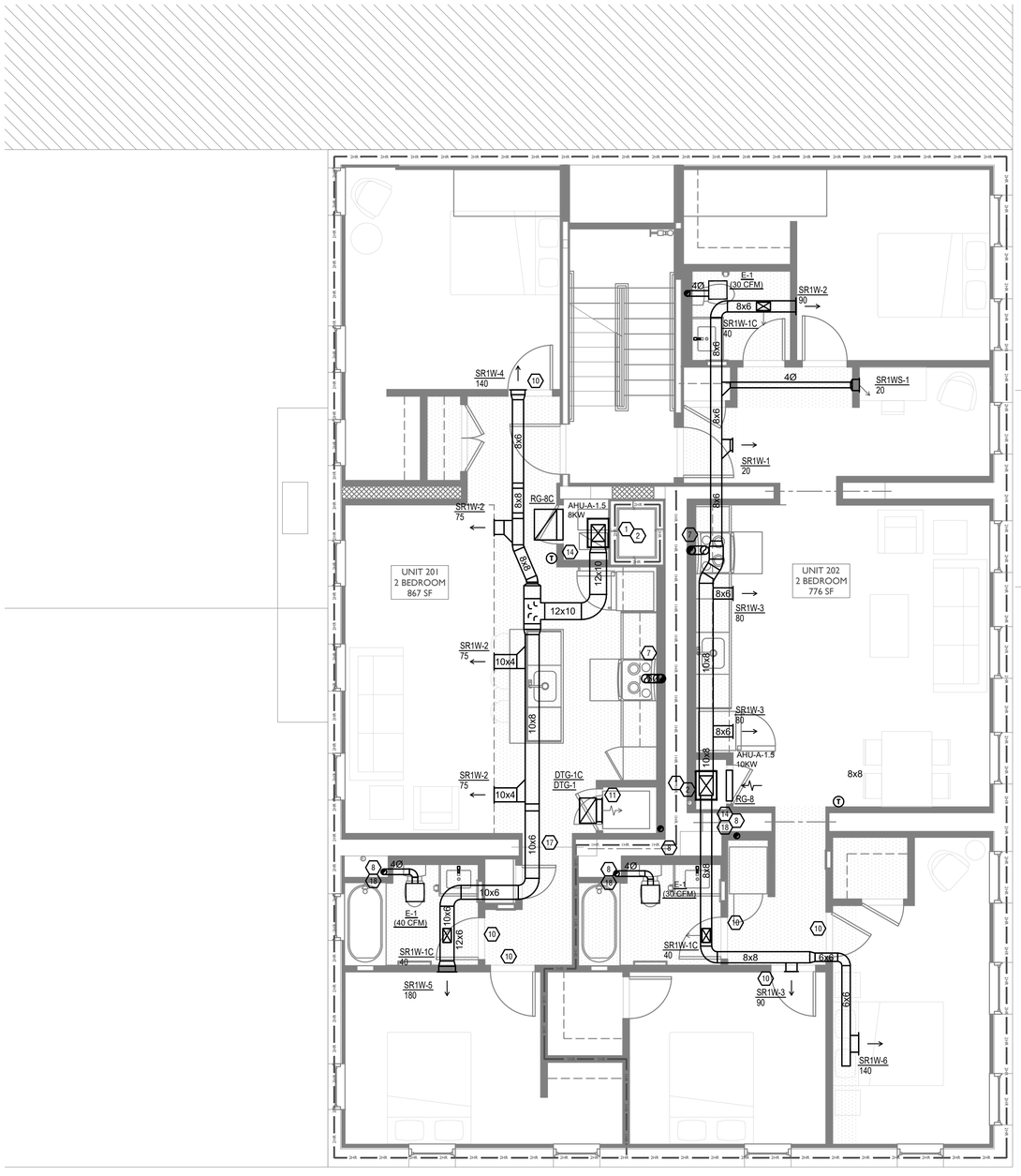
Job No: 22042 8/10/2022

M1.01



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SYMBOLS LEGEND – HVAC

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	CEILING DIFFUSER
	SIDE WALL GRILL
	RETURN WALL GRILL
	AIR FLOW DIRECTION
14x10	DUCTWORK
	TYPICAL SUPPLY DUCT DN
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	FLEXIBLE DUCT, 8'-0" LONG MAX.
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	MVD MANUAL VOLUME DAMPER
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N

SCALE: 1/4" = 1'-0"

MECHANICAL PLAN - SECOND FLOOR | 1

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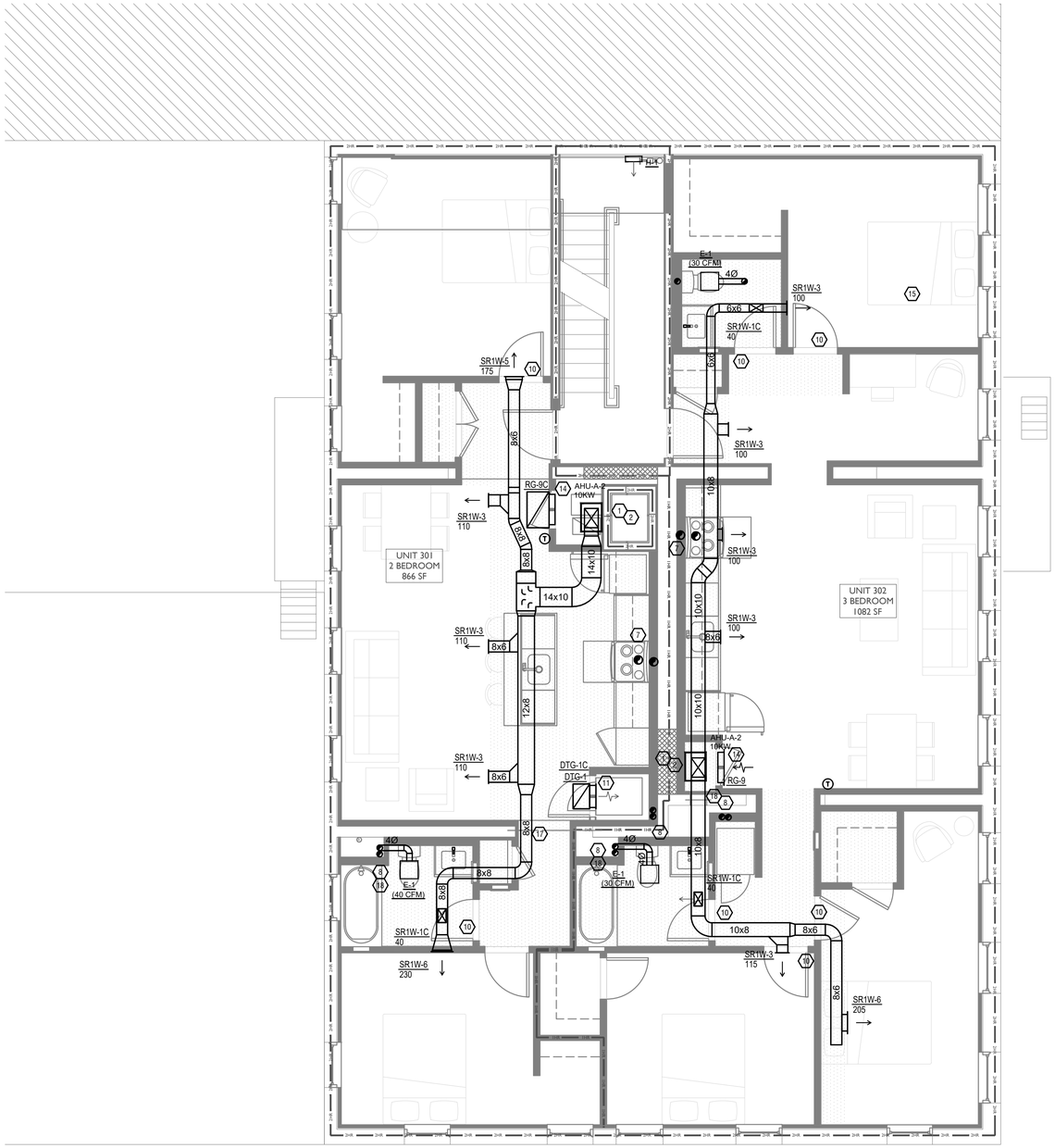
M1.02



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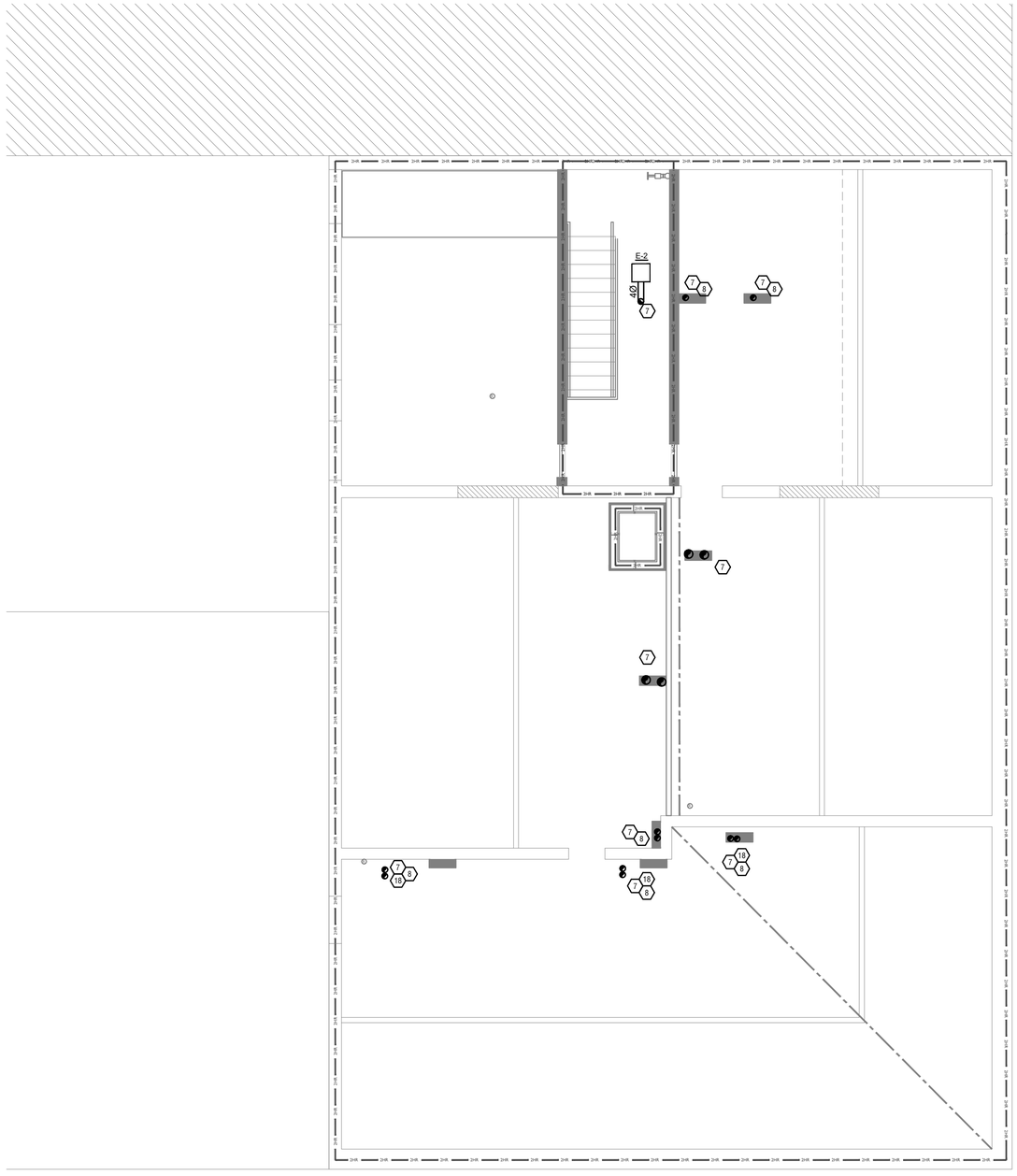

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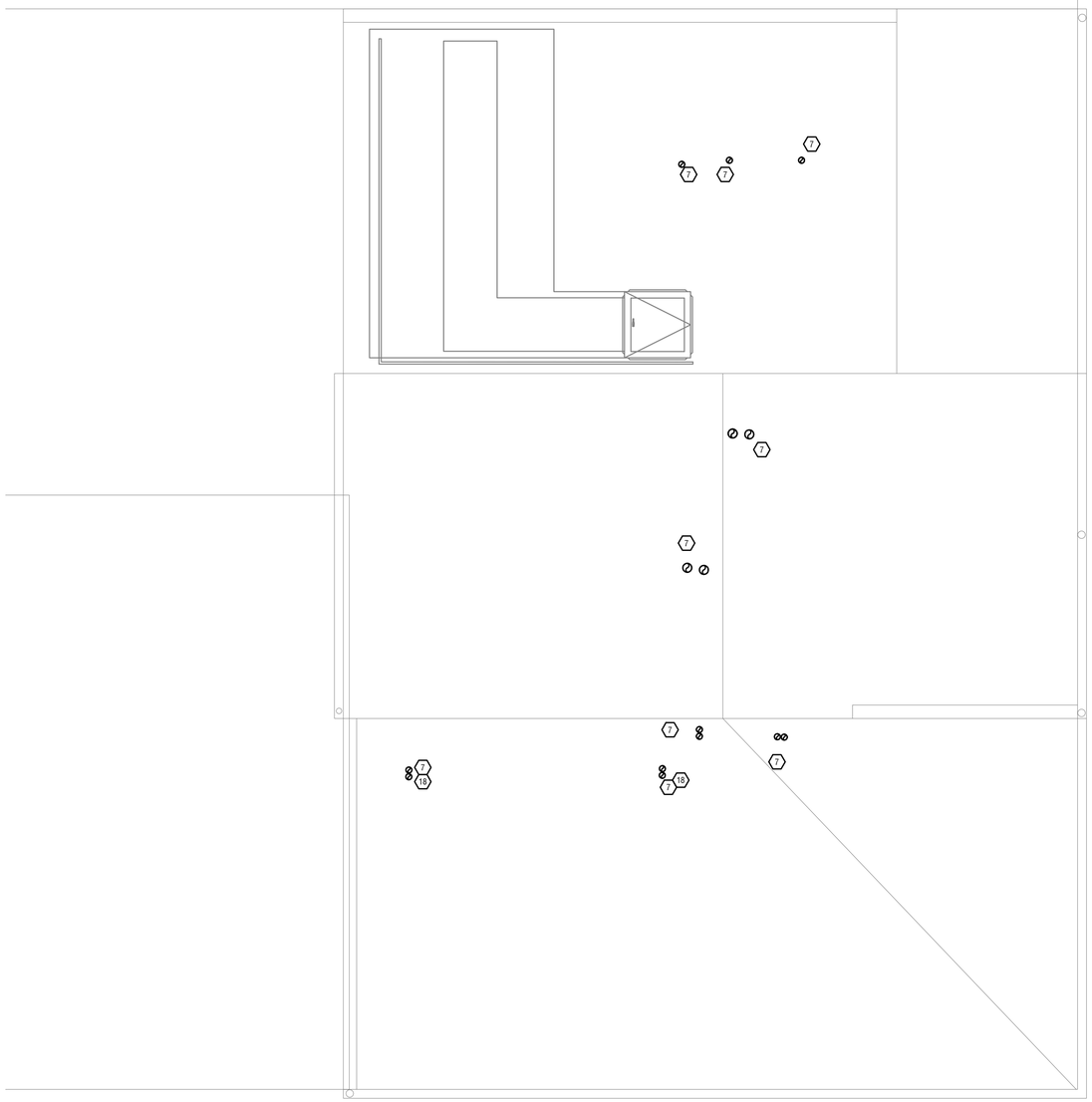

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D. INSTALL ALL EQUIPMENT PER MANUFACTURER'S REQUIREMENTS. MAINTAIN ALL CODE RECOMMENDED CLEARANCES FOR ACCESS AND MAINTENANCE.

E. REFER TO ARCHITECTURAL PLANS FOR DIMENSIONS, AND FINAL CEILING DIFFUSER LOCATIONS.

F. PROVIDE BACKDRAFT DAMPERS FOR ALL EXHAUST SYSTEMS AND EITHER LOUVER, BRICK VENT, OR CAPS AT ALL EXTERIOR BUILDING PENETRATIONS.

G. IN DWELLING UNITS, ROUTE ALL SUPPLY, RETURN, AND EXHAUST DUCTWORK ABOVE DROP CEILING OR IN BULKHEADS. COORDINATE ROUTING WITH ARCHITECTURAL DRAWINGS. DUCTS SHALL BE RUN BELOW THE RATED FLOOR/CEILING.

H. ROUTE ALL AIR CONDITIONER CONDENSATE TO NEARBY FLOOR DRAIN. PROVIDE MINIMUM SLOPE OF 1/8 " PER FOOT. SIZE CONDENSATE PER SECTION 307.2.2 OF THE OHIO MECHANICAL CODE.

I. MOUNT THERMOSTATS 60" ABOVE FINISHED FLOOR. MOUNT THERMOSTATS IN ADA UNITS 40" ABOVE FINISHED FLOOR.

J. ANY EQUIPMENT THAT IS SUBSTITUTED SHALL FIT IN THE SPACE PROVIDED WITH ADEQUATE ROOM FOR SERVICING, INCLUDING SUBSTITUTE EQUIPMENT NAMED IN THE SPECIFICATIONS. SUBMIT A 1/4" SCALE DRAWING OF ALL EQUIPMENT SUBSTITUTED FOR APPROVAL PRIOR TO INSTALLATION, INCLUDING, BUT NOT LIMITED TO, STRUCTURAL AND ARCHITECTURAL IMPACT, CLEARANCE REQUIREMENTS AND UTILITY REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR TO COORDINATE ALL NEW ELECTRICAL AND PLUMBING REQUIREMENTS WITH THE ELECTRICAL AND PLUMBING CONTRACTORS.

K. MATERIALS WITHIN PLENUMS SHALL BE NONCOMBUSTIBLE OR SHALL BE LISTED AND LABLED AS HAVING A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND SMOKE-DEVELOPED INDEX OF NOT MORE THAN 50 WHEN TESTED IN ACCORDANCE WITH ASTM E 84 OR UL 723.

J. THE FOLLOWING GUIDELINES MUST BE FOLLOWED FOR THE DOMESTIC DRYER EXHAUST SYSTEMS.
- J.A. EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH AND BE CONSTRUCTED OF METAL A MINIMUM OF 28 GAGE.
- J.B. DUCT SIZE SHALL BE 4 INCHES NOMINAL DIAMETER.
- J.C. DUCTS SHALL BE SUPPORTED AT 4-FOOT INTERVALS AND SECURED IN PLACE. THE INSERT END OF THE DUCT SHALL EXTEND INTO THE ADJOINING DUCT OR FITTING IN THE DIRECTION OF AIRFLOW.
- J.D. DUCTS SHALL NOT BE JOINED WITH SCREWS OF SIMILAR FASTENERS THAT PROTRUDE MORE THAN ½ INCH INTO THE INSIDE OF THE DUCT.
- J.E. PROTECTIVE SHIELD PLATES SHALL BE PLACED WHERE NAILS OR SCREWS FROM FINISH OR OTHER WORK ARE LIKELY TO PENETRATE THE CLOTHES DRYER EXHAUST DUCT.SHIELD PLATES SHALL BE PLACED ON THE FINISHED FACE OF ALL FRAMING MEMBERS WHERE THERE IS LESS THAN 1-1/4 INCHES BETWEEN THE DUCT AND THE FINISHED FACE OF THE FRAMING MEMBER. SHIELD PLATES SHALL BE CONSTRUCTED OF STEEL, HAVE A THICKNESS OF 0.062 INCHES, AND EXTEND NOT LESS THAN 2 INCHES ABOVE SOLE PLATES AND BELOW TOP PLATES.
- J.F. TRANSITION DUCTS USED TO CONNECT THE DRYER TO THE EXHAUST DUCT SYSTEM SHALL BE A SINGLE LENGTH THAT IS LISTED AND LABELED IN ACCORDANCE WITH UL 2158A. TRANSITION DUCTS SHALL BE NOT GREATER THAN 8 FEET IN LENGTH AND SHALL NOT BE CONCEALED WITHIN CONSTRUCTION.
- J.G. PROVIDE DRYER WALL BOX EQUAL TO DUNDAS JAFINE MODEL DRB4XZW NEAR DRYER.
- J.H. PROVIDE A PERMANENT LABEL OR TAG (EQUAL TO DRYERPLACARD) INDICATING ACTUAL EQUIVALENT LENGTH OF EXHAUST DUCT. LENGTH SHALL INCLUDE 5' FOR 90 . LABEL/TAG MUST BE WITHIN 6' OF DRYER EXHAUST CONNECTION. DRYER EXHAUST DUCT FITTING EQUIVALENT LENGTH SHALL BE 2'-6" FOR A RADIUS MITERED 45-DEGREE ELBOW AND 5 FEET FOR A RADIUS MITERED 90-DEGREE ELBOW.

SYMBOLS LEGEND – HVAC

T	THERMOSTAT
	CEILING DIFFUSER
	SIDE WALL GRILL
	RETURN WALL GRILL
	AIR FLOW DIRECTION
14x10	DUCTWORK
	TYPICAL SUPPLY DUCT DN
	TYPICAL RETURN DUCT DN
	TYPICAL EXHAUST DUCT
	TURNING VANES
	FLEXIBLE DUCT, 8'-0" LONG MAX.
	TYPICAL ROUND DUCT DN
	ROUND DUCT UP
	MVD MANUAL VOLUME DAMPER
	DROPPED CEILING/SOFFIT

N

SCALE: 1/4" = 1'-0" MECHANICAL PLAN - ROOF 1

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STATE OF OHIO
SCOTT SEVERT STILKEY
E-77795
REGISTERED PROFESSIONAL ENGINEER

Progress Dates
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Revisions

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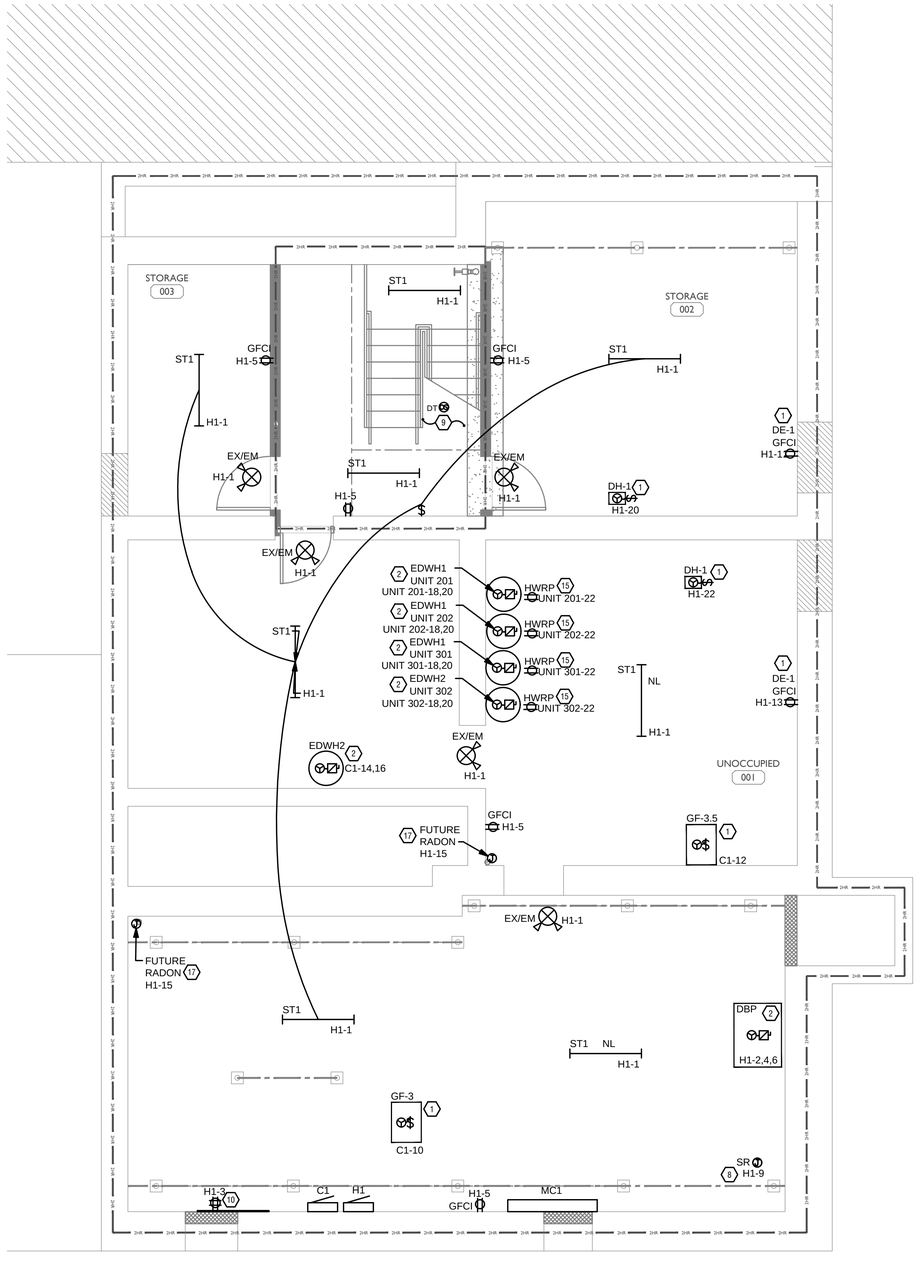
M1.05



GENERAL NOTES-DWELLING UNITS

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B. FURNISH AND INSTALL SMOKE DETECTORS AS REQUIRED BY CODE. SMOKE DETECTORS SHOWN ON EBS DRAWINGS ARE INTENDED TO CONVEY GENERAL COMPLIANCE FOR BUILDING DEPARTMENT SUBMITTALS. PROVIDE INTERWIRING BETWEEN SMOKE DETECTORS LOCATED IN THE SAME UNIT. SMOKE DETECTORS SHALL BE HARD WIRED WITH BATTERY BACK-UP. FIRE ALARM AND/OR SMOKE DETECTOR SYSTEMS ARE FURNISHED ON A DESIGN-BUILD BASIS BY THE ELECTRICIAN.

C. WHERE CIRCUITING IS SHOWN TYPICAL FOR MULTIPLE UNITS, COORDINATE BREAKER/WIRE SIZES FOR EQUIPMENT FURNISHED BY OTHERS WITH SHOP DRAWINGS PROVIDED BY THE CONTRACTOR SUPPLYING THE EQUIPMENT. VERIFY BREAKER/WIRE SIZES FOR EQUIPMENT OR APPLIANCE FOR EACH UNIT PRIOR TO ROUGH-IN.

D. SEE ARCHITECTURAL REFLECTED CEILING PLANS FOR DIMENSIONED LOCATIONS OF ALL LIGHT FIXTURES.

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RENOVATION OF EXISTING BUILDING MULTIFAMILY BUILDING WITH COMMERCIAL FIRST FLOOR. PROVIDE NEW ELECTRICAL DISTRIBUTION, POWER AND LIGHTING. SEE SINGLE LINE DIAGRAM FOR MORE DETAILS.

GENERAL NOTES-OVERALL PROJECT

A. EBS DRAWINGS INDICATE DESIGN INTENT AND REQUIRED OUTCOMES. IF CONDITIONS ARISE IN THE FIELD THAT REQUIRE DEVIATIONS FROM THE DRAWINGS IT IS ASSUMED THAT THE CONTRACTOR WILL DETERMINE THE APPROPRIATE DEVIATION WITH APPROVAL FROM THE OWNER. EBS IS AVAILABLE TO ASSIST WHEN REQUIRED IF ISSUES ARISE.

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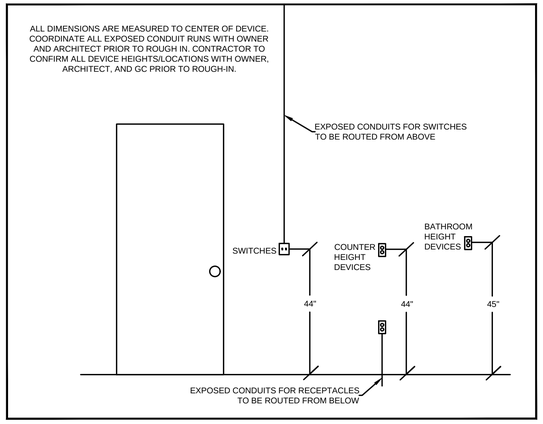

STANDARD MOUNTING HEIGHTS

N

SCALE: 1/4" = 1'-0"

ELECTRICAL POWER PLAN - BASEMENT | 1

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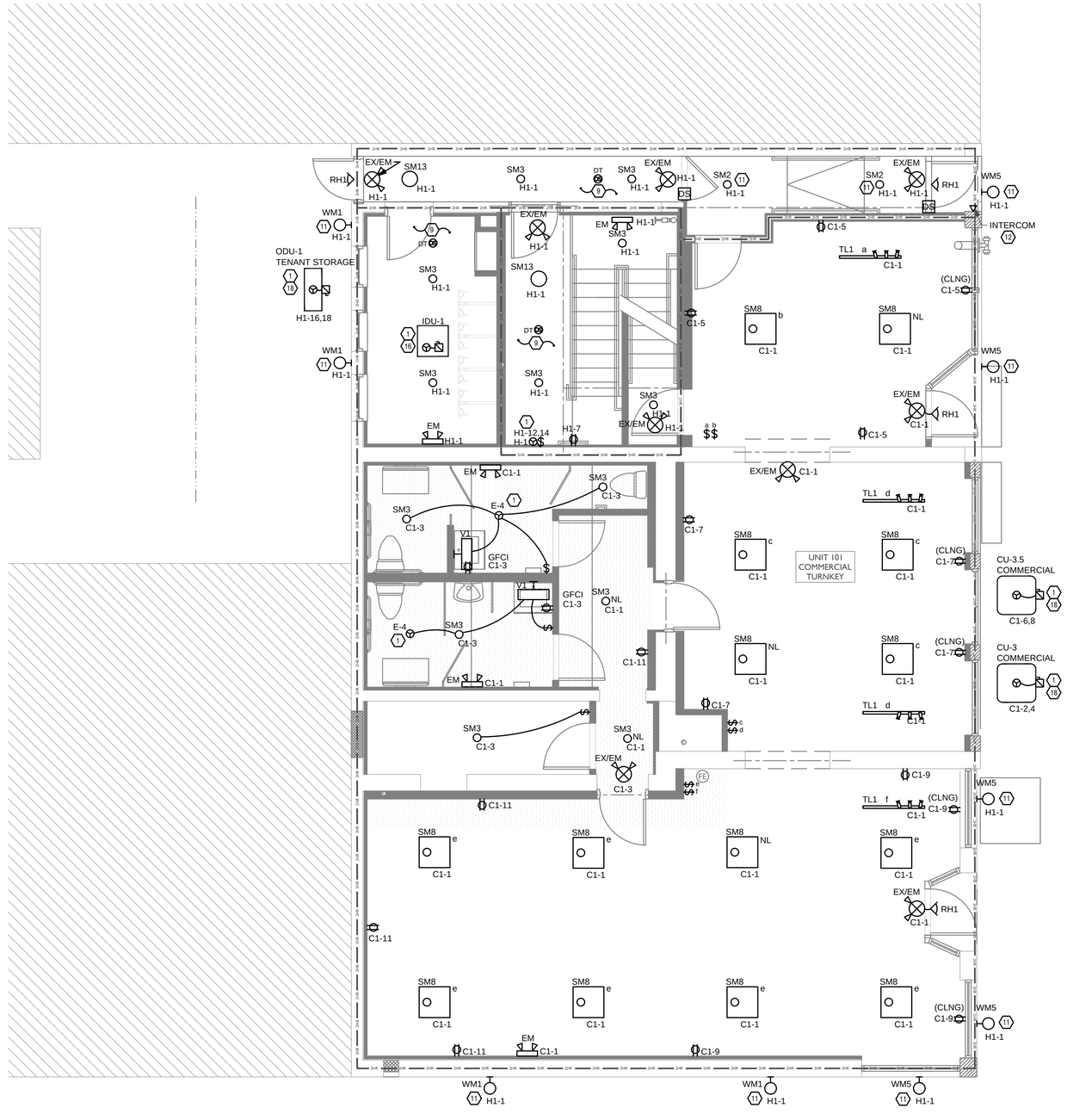

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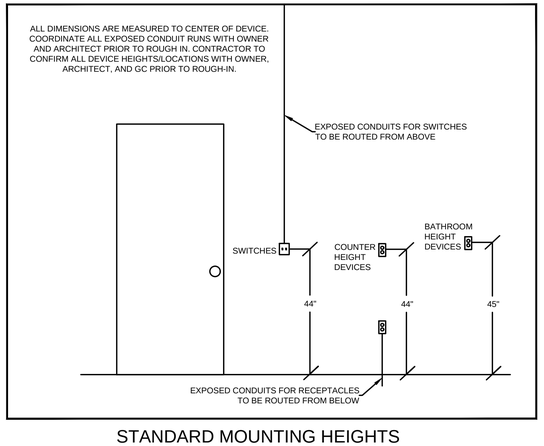

STANDARD MOUNTING HEIGHTS

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ELECTRICAL POWER PLAN - FIRST FLOOR | 1

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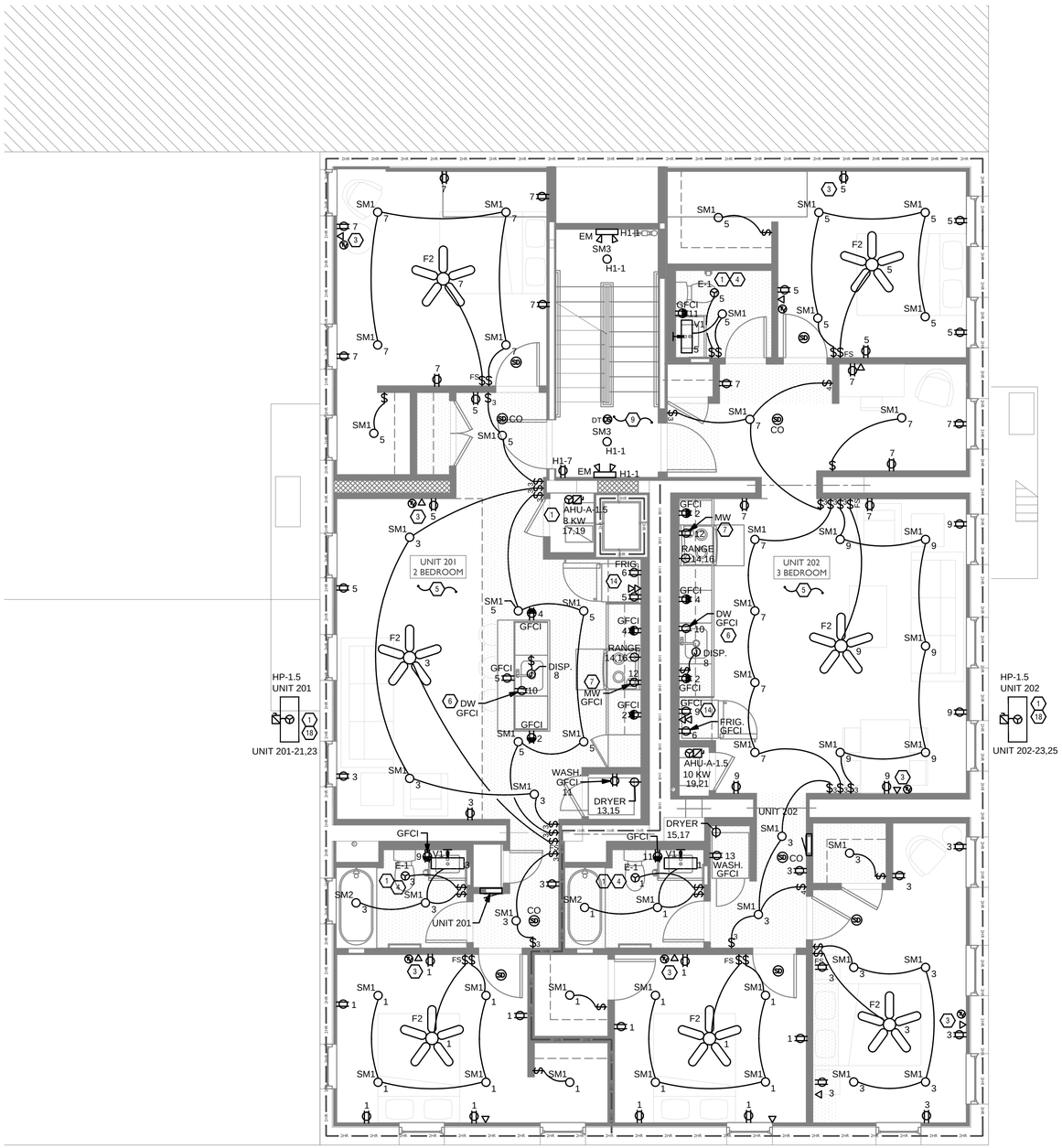
Newport, KY 41071 (859) 261-0585
MEP Consulting Services, Inc. in OH

PROPOSED PROJECT:
RENOVATION FOR
1801 VINE ST / 1805 VINE ST
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/10/2022

E1.01



GENERAL NOTES-DWELLING UNITS

A. PROVIDE AFCI PROTECTION IN ACCORDANCE WITH NEC 210.12. AFCI PROTECTION MUST BE PROVIDED WHERE EXISTING BRANCH CIRCUIT WIRING IS MODIFIED, OR RECEPTACLES ARE REPLACED, IN ACCORDANCE WITH NEC AND LOCAL ELECTRICAL INSPECTION REQUIREMENTS. REFER TO NEC 406.4 (D) AND NEC 210.12 (D)

B. FURNISH AND INSTALL SMOKE DETECTORS AS REQUIRED BY CODE. SMOKE DETECTORS SHOWN ON EBS DRAWINGS ARE INTENDED TO CONVEY GENERAL COMPLIANCE FOR BUILDING DEPARTMENT SUBMITTALS. PROVIDE INTERWIRING BETWEEN SMOKE DETECTORS LOCATED IN THE SAME UNIT. SMOKE DETECTORS SHALL BE HARD WIRED WITH BATTERY BACK-UP. FIRE ALARM AND/OR SMOKE DETECTOR SYSTEMS ARE FURNISHED ON A DESIGN-BUILD BASIS BY THE ELECTRICIAN.

C. WHERE CIRCUITING IS SHOWN TYPICAL FOR MULTIPLE UNITS, COORDINATE BREAKER/WIRE SIZES FOR EQUIPMENT FURNISHED BY OTHERS WITH SHOP DRAWINGS PROVIDED BY THE CONTRACTOR SUPPLYING THE EQUIPMENT. VERIFY BREAKER/WIRE SIZES FOR EQUIPMENT OR APPLIANCE FOR EACH UNIT PRIOR TO ROUGH-IN.

D. SEE ARCHITECTURAL REFLECTED CEILING PLANS FOR DIMENSIONED LOCATIONS OF ALL LIGHT FIXTURES.

E. PROVIDE CONDUIT AND PULL STRING TO APPROVED LOCATION FOR VOICE, DATA, AND CATV CABLES.

F. CIRCUITING ON DRAWINGS AND PANEL SCHEDULE IS SHOWN TYPICAL FOR SIMILAR UNITS. REFER TO DWELLING UNIT LOAD SUMMARIES FOR INDIVIDUAL DWELLING UNIT LOAD CALCULATIONS

G. COORDINATE RECEPTACLE, PHONE, AND TV DEVICE PLACEMENT WITH FURNITURE LOCATIONS. VERIFY WITH ARCHITECT PRIOR TO ROUGH IN. LOCATIONS SHOWN ON DRAWINGS ARE INTENDED TO CONVEY DESIGN INTENT, AND DEMONSTRATE GENERAL COMPLIANCE WITH CODE. WHERE ACTUAL STUD LOCATIONS REQUIRE DEVICE LOCATIONS TO BE ADJUSTED, ADDED OR MINOR VARIATIONS AMONG UNITS THAT ARE SHOWN AS "TYPICAL", ETC. OCCUR, CONTRACTOR, UNDER HIS BASE BID, TO MAKE NECESSARY ADJUSTMENTS / ADDITIONS IN THE FIELD TO MAINTAIN NEC DWELLING UNIT RECEPTACLE SPACING REQUIREMENTS. WHERE ACTUAL WINDOW CONSTRUCTION PROHIBITS THE INSTALLATION OF A WALL RECEPTACLE, PROVIDE FLOOR RECEPTACLE WITHIN 18 INCHES OF THE BASE OF THE WALL. PROVIDE TAMPER PROOF RECEPTACLES AS REQUIRED BY NEC ART. 406.12

KEYED SHEET NOTES

1. MECHANICAL EQUIPMENT PROVIDED BY MECHANICAL CONTRACTOR, WIRED BY ELECTRICAL CONTRACTOR. VERIFY ELECTRICAL REQUIREMENTS WITH MECHANICAL REQUIREMENTS PRIOR TO ROUGH-IN.
2. PLUMBING EQUIPMENT PROVIDED BY PLUMBING CONTRACTOR, WIRED BY ELECTRICAL CONTRACTOR. VERIFY ELECTRICAL REQUIREMENTS WITH PLUMBING REQUIREMENTS PRIOR TO ROUGH-IN.
3. COORDINATE TV RECEPTACLE AND DATA LOCATIONS WITH OWNER AND ARCHITECT PRIOR TO ROUGH-IN.
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RENOVATION OF EXISTING BUILDING MULTIFAMILY BUILDING WITH COMMERCIAL FIRST FLOOR. PROVIDE NEW ELECTRICAL DISTRIBUTION, POWER AND LIGHTING. SEE SINGLE LINE DIAGRAM FOR MORE DETAILS.

GENERAL NOTES-OVERALL PROJECT

A. EBS DRAWINGS INDICATE DESIGN INTENT AND REQUIRED OUTCOMES. IF CONDITIONS ARISE IN THE FIELD THAT REQUIRE DEVIATIONS FROM THE DRAWINGS IT IS ASSUMED THAT THE CONTRACTOR WILL DETERMINE THE APPROPRIATE DEVIATION WITH APPROVAL FROM THE OWNER. EBS IS AVAILABLE TO ASSIST WHEN REQUIRED IF ISSUES ARISE.

GENERAL NOTES-LIGHTING

A. REFER TO ARCHITECT'S PLANS AND ELEVATIONS FOR DIMENSIONED LOCATIONS OF LIGHT FIXTURES.

B. PROVIDE HOLD-ON-TYPE BREAKERS FOR EGRESS/EMERGENCY LIGHTING CIRCUITS. WIRE ALL EGRESS/EMERGENCY FIXTURES AHEAD OF ANY LOCAL SWITCHING.

C. LIGHT FIXTURES CONTROLLED BY SWITCH IN SAME ROOM UNLESS OTHERWISE NOTED.

D. WHERE DIMMERS AND/OR DIMMING SYSTEMS ARE REQUIRED, CONTRACTOR TO FURNISH DIMMERS THAT ARE COMPATIBLE WITH FIXTURE SOURCE AND RATED FOR THE WATTAGE OF THE DIMMING ZONE. PROVIDE ADDITIONAL DIMMERS AS REQUIRED TO MEET ZONE LOAD REQUIREMENTS.

E. ELECTRICAL SWITCHES ON OPPOSITE SIDES OF A WALL ARE TO BE SPACED SO THAT THEIR ELECTRICAL BOX ARE A MINIMUM OF ONE STUD BETWEEN BOXES.

F. WHERE APPLICABLE, PROVIDE TOGGLE STYLE LIGHT SWITCHES.

GENERAL NOTES-POWER

A. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ALL CONDUIT/CABLE ROUTING. COORDINATE ROUTING WITH ALL OTHER TRADES AND BUILDING CONDITIONS.

B. SEE SINGLE LINE DIAGRAM FOR FEEDER WIRE AND CONDUIT SIZE. ALL CIRCUITS NOT SIZED ON DRAWING SHALL BE INSTALLED TO MEET MINIMUM SIZE REQUIRED BY NEC.

C. PROVIDE MOTOR STARTERS FOR EQUIPMENT AS INDICATED ON DRAWINGS. COORDINATE ANY INTERLOCKING WIRING WITH HVAC CONTRACTOR AND PROVIDE WIRING, COILS, AND AUXILIARY CONTACTS AS NECESSARY. SIZE ALL CIRCUITS FOR ACTUAL EQUIPMENT TO BE CONNECTED.

D. ALL PANELS AND DISCONNECTS LOCATED OUTDOORS SHALL BE LABELED NEMA 3R.

E. ROOF MOUNTED AND OUTDOOR EQUIPMENT SHALL HAVE 120V RECEPTACLE MOUNTED WITHIN 25' OF EACH PIECE. RECEPTACLES SHALL BE IN WEATHER PROOF BOX AND HAVE GFCI PROTECTION.

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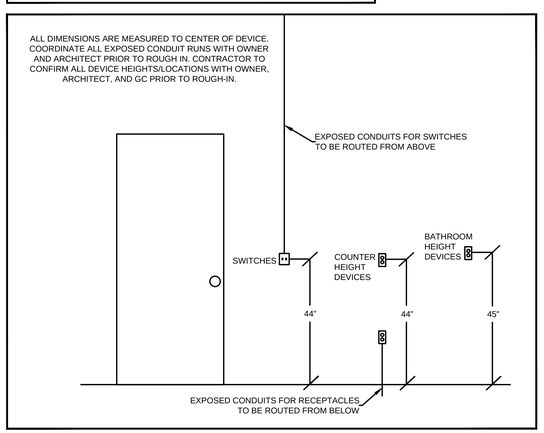

STANDARD MOUNTING HEIGHTS

SCALE: 1/4" = 1'-0" ELECTRICAL POWER PLAN - SECOND FLOOR | 1

PLATTE
architecture + design
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Revisions

Checked By: PRS

Drawn by: AJW

PR-09757
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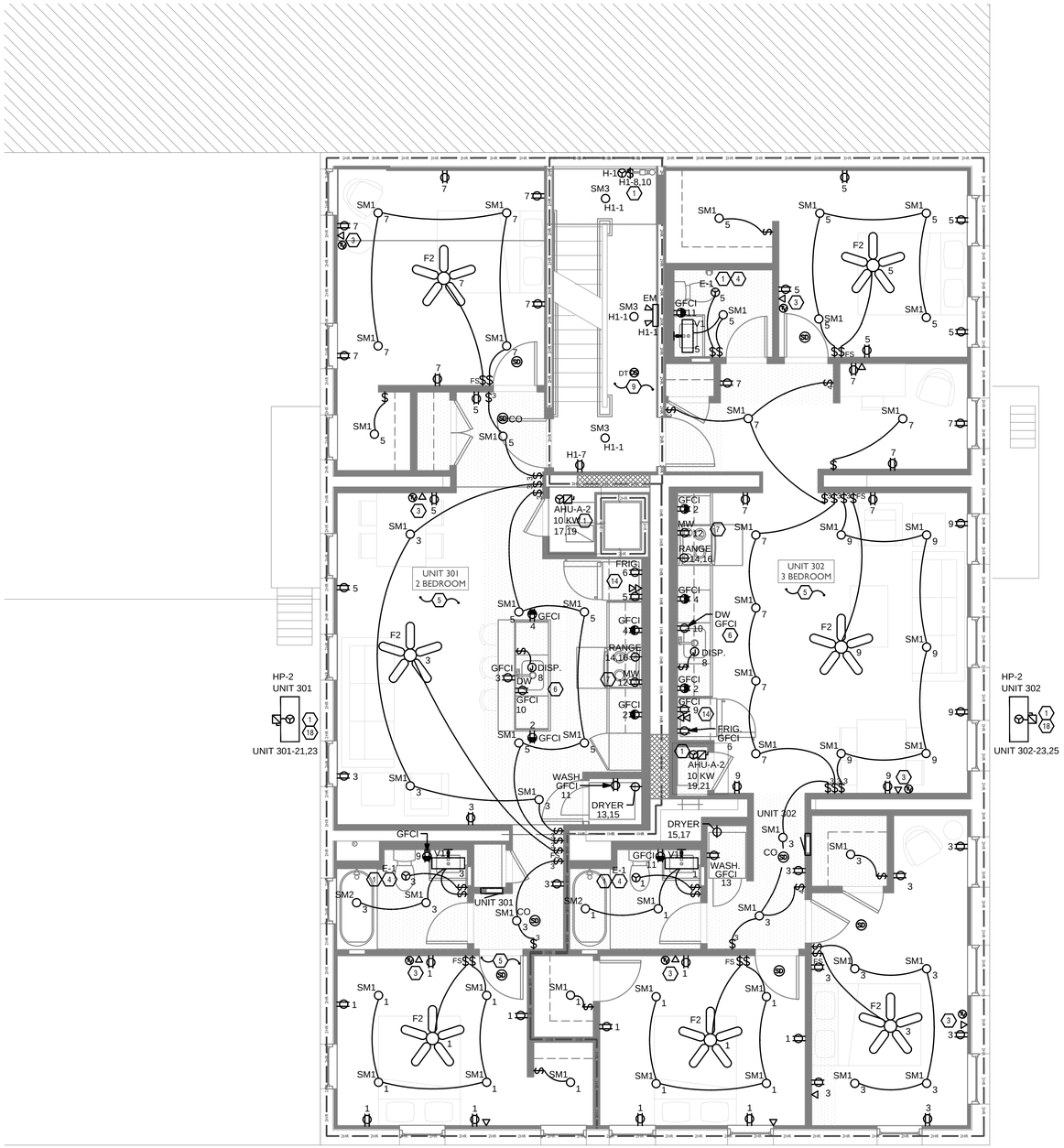

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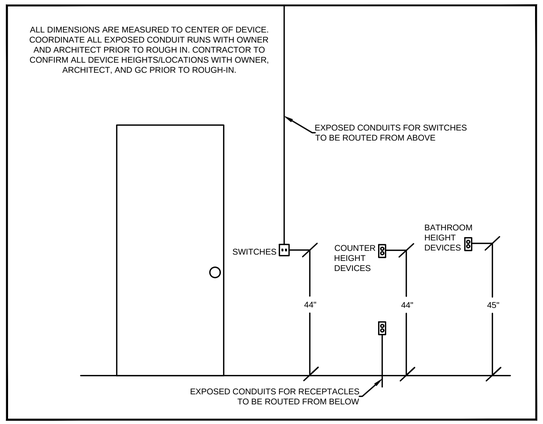

STANDARD MOUNTING HEIGHTS

N

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PLATTE
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Revisions

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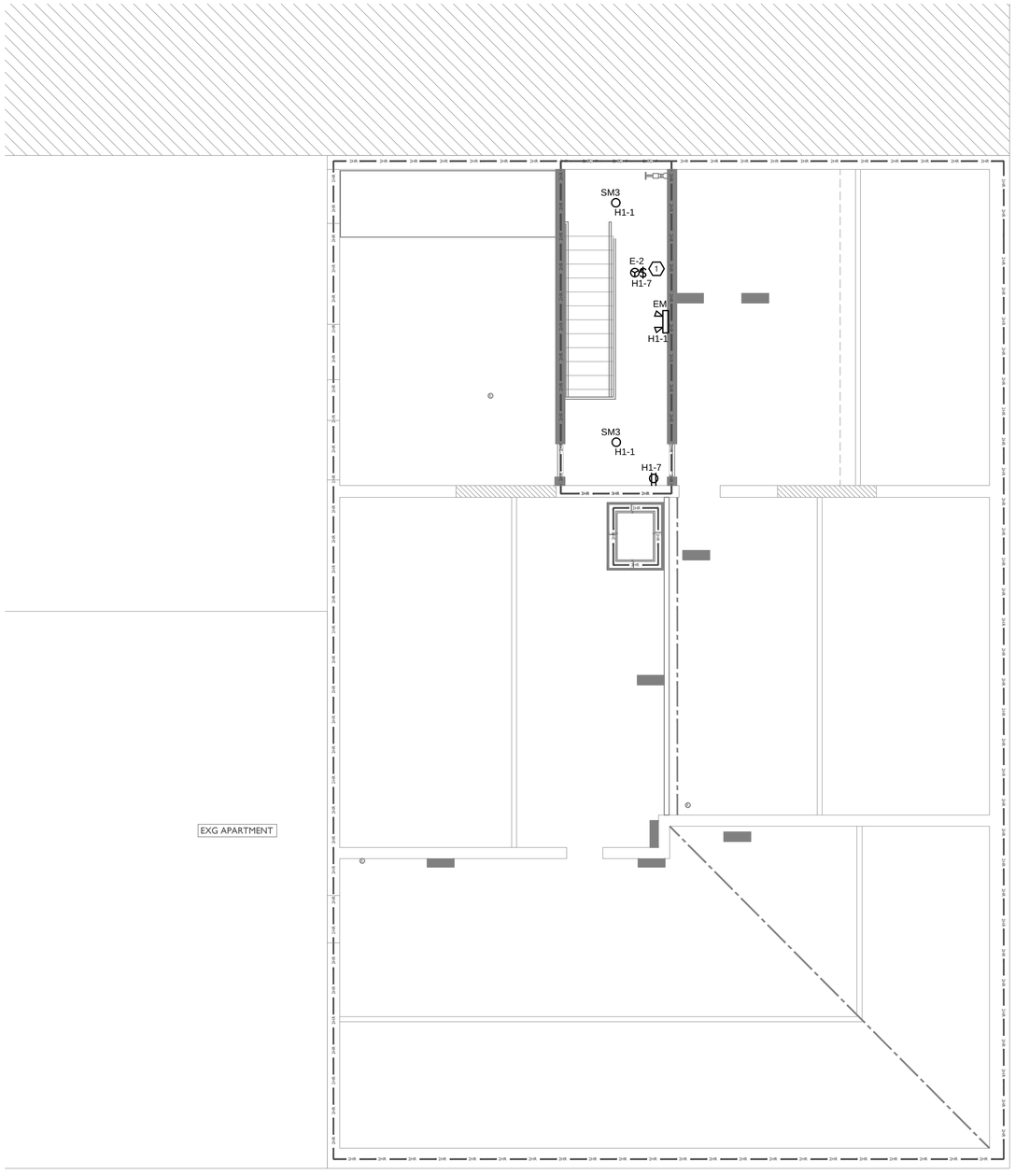

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18. MECHANICAL UNITS SHOWN FOR CIRCUITRY REFERENCE ONLY. REFER TO 1807 VINE STREET PERMIT FOR LOCATION OF MECHANICAL UNITS.

SCOPE OF WORK

RENOVATION OF EXISTING BUILDING MULTIFAMILY BUILDING WITH COMMERCIAL FIRST FLOOR. PROVIDE NEW ELECTRICAL DISTRIBUTION, POWER AND LIGHTING. SEE SINGLE LINE DIAGRAM FOR MORE DETAILS.

GENERAL NOTES-OVERALL PROJECT

A. EBS DRAWINGS INDICATE DESIGN INTENT AND REQUIRED OUTCOMES. IF CONDITIONS ARISE IN THE FIELD THAT REQUIRE DEVIATIONS FROM THE DRAWINGS IT IS ASSUMED THAT THE CONTRACTOR WILL DETERMINE THE APPROPRIATE DEVIATION WITH APPROVAL FROM THE OWNER. EBS IS AVAILABLE TO ASSIST WHEN REQUIRED IF ISSUES ARISE.

GENERAL NOTES-LIGHTING

A. REFER TO ARCHITECT'S PLANS AND ELEVATIONS FOR DIMENSIONED LOCATIONS OF LIGHT FIXTURES.

B. PROVIDE HOLD-ON-TYPE BREAKERS FOR EGRESS/EMERGENCY LIGHTING CIRCUITS. WIRE ALL EGRESS/EMERGENCY FIXTURES AHEAD OF ANY LOCAL SWITCHING.

C. LIGHT FIXTURES CONTROLLED BY SWITCH IN SAME ROOM UNLESS OTHERWISE NOTED.

D. WHERE DIMMERS AND/OR DIMMING SYSTEMS ARE REQUIRED, CONTRACTOR TO FURNISH DIMMERS THAT ARE COMPATIBLE WITH FIXTURE SOURCE AND RATED FOR THE WATTAGE OF THE DIMMING ZONE. PROVIDE ADDITIONAL DIMMERS AS REQUIRED TO MEET ZONE LOAD REQUIREMENTS.

E. ELECTRICAL SWITCHES ON OPPOSITE SIDES OF A WALL ARE TO BE SPACED SO THAT THEIR ELECTRICAL BOX ARE A MINIMUM OF ONE STUD BETWEEN BOXES.

F. WHERE APPLICABLE, PROVIDE TOGGLE STYLE LIGHT SWITCHES.

GENERAL NOTES-POWER

A. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ALL CONDUIT/CABLE ROUTING. COORDINATE ROUTING WITH ALL OTHER TRADES AND BUILDING CONDITIONS.

B. SEE SINGLE LINE DIAGRAM FOR FEEDER WIRE AND CONDUIT SIZE. ALL CIRCUITS NOT SIZED ON DRAWING SHALL BE INSTALLED TO MEET MINIMUM SIZE REQUIRED BY NEC.

C. PROVIDE MOTOR STARTERS FOR EQUIPMENT AS INDICATED ON DRAWINGS. COORDINATE ANY INTERLOCKING WIRING WITH HVAC CONTRACTOR AND PROVIDE WIRING, COILS, AND AUXILIARY CONTACTS AS NECESSARY. SIZE ALL CIRCUITS FOR ACTUAL EQUIPMENT TO BE CONNECTED.

D. ALL PANELS AND DISCONNECTS LOCATED OUTDOORS SHALL BE LABELED NEMA 3R.

E. ROOF MOUNTED AND OUTDOOR EQUIPMENT SHALL HAVE 120V RECEPTACLE MOUNTED WITHIN 25' OF EACH PIECE. RECEPTACLES SHALL BE IN WEATHER PROOF BOX AND HAVE GFCI PROTECTION.

F. FOR ITEMS FURNISHED BY OTHER TRADES, ELECTRICAL CONTRACTOR TO FULLY COORDINATE BREAKER AND WIRE SIZES WITH ACTUAL EQUIPMENT BEING CONNECTED PRIOR TO ROUGH-IN, OR INSTALLATION. THE SIZES ON PANEL SCHEDULES REFER TO BASIS OF DESIGN SELECTIONS, AND ACTUAL ITEMS MAY DEVIATE FROM BASIS OF DESIGN. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO CONFIRM REQUIRED WIRE AND BREAKER SIZES WITH THE CONTRACTOR FURNISHING THE EQUIPMENT.

G. REFER TO ARCHITECT'S PLANS AND ELEVATIONS FOR ALL DEVICE MOUNTING HEIGHTS.

H. CONTRACTOR TO PROVIDE GROUNDING AND BONDING AS REQUIRED FOR ELECTRICAL SYSTEMS. GROUNDING AND BONDING IS CONSIDERED MEANS AND METHODS OF CONSTRUCTION, AND SHOULD BE COMPLETED BY THE ELECTRICAL CONTRACTOR IN ACCORDANCE WITH NEC 250. GAS PIPING SYSTEMS MUST BE BONDED PER UTILITY PROVIDER'S INSTALLATION GUIDELINES WHERE REQUIRED.

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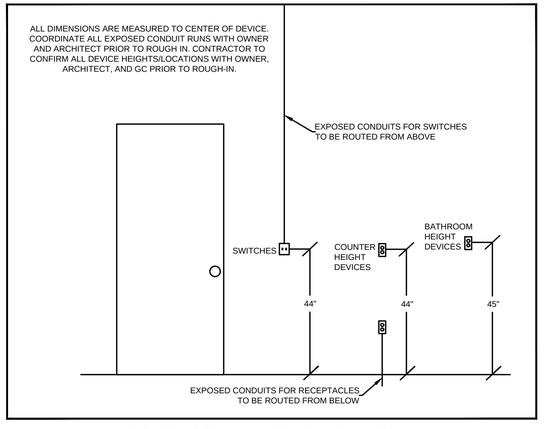

STANDARD MOUNTING HEIGHTS

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SCALE: 1/4" = 1'-0" ELECTRICAL POWER PLAN - ATTIC | 1

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Progress Dates
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Revisions

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Drawn by: AJW

PR-09757
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PROPOSED PROJECT:
RENOVATION FOR
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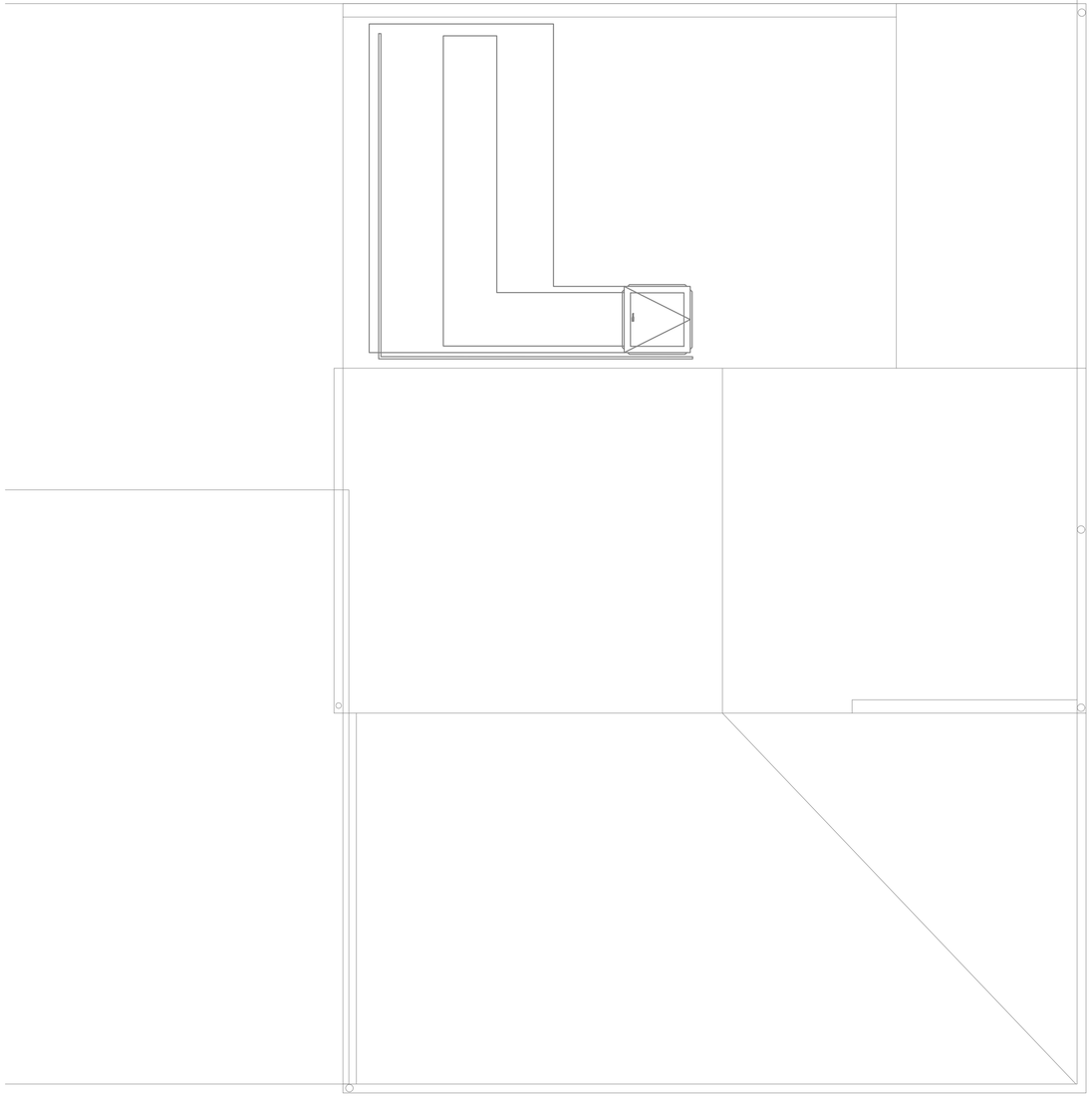
FINDLAY FLATS

Job No: 22042 8/10/2022

E1.04



GENERAL NOTES-DWELLING UNITS

A. PROVIDE AFCI PROTECTION IN ACCORDANCE WITH NEC 210.12. AFCI PROTECTION MUST BE PROVIDED WHERE EXISTING BRANCH CIRCUIT WIRING IS MODIFIED, OR RECEPTACLES ARE REPLACED, IN ACCORDANCE WITH NEC AND LOCAL ELECTRICAL INSPECTION REQUIREMENTS. REFER TO NEC 406.4 (D) AND NEC 210.12 (D)

B. FURNISH AND INSTALL SMOKE DETECTORS AS REQUIRED BY CODE. SMOKE DETECTORS SHOWN ON EBS DRAWINGS ARE INTENDED TO CONVEY GENERAL COMPLIANCE FOR BUILDING DEPARTMENT SUBMITTALS. PROVIDE INTERWIRING BETWEEN SMOKE DETECTORS LOCATED IN THE SAME UNIT. SMOKE DETECTORS SHALL BE HARD WIRED WITH BATTERY BACK-UP. FIRE ALARM AND/OR SMOKE DETECTOR SYSTEMS ARE FURNISHED ON A DESIGN-BUILD BASIS BY THE ELECTRICIAN.

C. WHERE CIRCUITING IS SHOWN TYPICAL FOR MULTIPLE UNITS, COORDINATE BREAKER/WIRE SIZES FOR EQUIPMENT FURNISHED BY OTHERS WITH SHOP DRAWINGS PROVIDED BY THE CONTRACTOR SUPPLYING THE EQUIPMENT. VERIFY BREAKER/WIRE SIZES FOR EQUIPMENT OR APPLIANCE FOR EACH UNIT PRIOR TO ROUGH-IN.

D. SEE ARCHITECTURAL REFLECTED CEILING PLANS FOR DIMENSIONED LOCATIONS OF ALL LIGHT FIXTURES.

E. PROVIDE CONDUIT AND PULL STRING TO APPROVED LOCATION FOR VOICE, DATA, AND CATV CABLES.

F. CIRCUITING ON DRAWINGS AND PANEL SCHEDULE IS SHOWN TYPICAL FOR SIMILAR UNITS. REFER TO DWELLING UNIT LOAD SUMMARIES FOR INDIVIDUAL DWELLING UNIT LOAD CALCULATIONS

G. COORDINATE RECEPTACLE, PHONE, AND TV DEVICE PLACEMENT WITH FURNITURE LOCATIONS. VERIFY WITH ARCHITECT PRIOR TO ROUGH IN. LOCATIONS SHOWN ON DRAWINGS ARE INTENDED TO CONVEY DESIGN INTENT, AND DEMONSTRATE GENERAL COMPLIANCE WITH CODE. WHERE ACTUAL STUD LOCATIONS REQUIRE DEVICE LOCATIONS TO BE ADJUSTED, ADDED OR MINOR VARIATIONS AMONG UNITS THAT ARE SHOWN AS "TYPICAL", ETC. OCCUR, CONTRACTOR, UNDER HIS BASE BID, TO MAKE NECESSARY ADJUSTMENTS / ADDITIONS IN THE FIELD TO MAINTAIN NEC DWELLING UNIT RECEPTACLE SPACING REQUIREMENTS. WHERE ACTUAL WINDOW CONSTRUCTION PROHIBITS THE INSTALLATION OF A WALL RECEPTACLE, PROVIDE FLOOR RECEPTACLE WITHIN 18 INCHES OF THE BASE OF THE WALL. PROVIDE TAMPER PROOF RECEPTACLES AS REQUIRED BY NEC ART. 406.12

KEYED SHEET NOTES

1. MECHANICAL EQUIPMENT PROVIDED BY MECHANICAL CONTRACTOR, WIRED BY ELECTRICAL CONTRACTOR. VERIFY ELECTRICAL REQUIREMENTS WITH MECHANICAL REQUIREMENTS PRIOR TO ROUGH-IN.
2. PLUMBING EQUIPMENT PROVIDED BY PLUMBING CONTRACTOR, WIRED BY ELECTRICAL CONTRACTOR. VERIFY ELECTRICAL REQUIREMENTS WITH PLUMBING REQUIREMENTS PRIOR TO ROUGH-IN.
3. COORDINATE TV RECEPTACLE AND DATA LOCATIONS WITH OWNER AND ARCHITECT PRIOR TO ROUGH-IN.
4. PROVIDE SWITCH AND CONNECTION FOR CONTINUOUSLY RUNNING 2-SPEED BATHROOM FAN. VERIFY REQUIREMENTS WITH MECHANICAL CONTRACTOR PRIOR TO ROUGH-IN.
5. PROVIDE HARD-WIRED SMOKE DETECTORS WITH BATTERY BACK-UP AS REQUIRED. ONE SMOKE DETECTOR IN EACH UNIT MUST BE A SMOKE/CO DETECTOR COMBO.
6. DISHWASHER MUST BE GFCI PROTECTED PER NEC 210.8(D) RECEPTACLE SHALL BE LOCATED IN AN ACCESSIBLE LOCATION.
7. MICROWAVE RECEPTACLE LOCATED IN CABINET ABOVE, COORDINATE LOCATION WITH GENERAL CONTRACTOR PRIOR TO ROUGH-IN.
8. PROVIDE 120 VOLT DEDICATED CIRCUIT FOR SPRINKLER RISER TAMPER AND FLOW SWITCH. COORDINATE LOCATION WITH FIRE PROTECTION CONTRACTOR.
9. CORRIDOR LIGHTS TO BE CONTROLLED BY OCCUPANCY SENSOR UNLESS OTHERWISE NOTED.
10. LOCATION OF BUILDING UTILITY DATA DEMARC. PROVIDE A 4'X4'X¾" PLYWOOD BACKBOARD FOR DATA/PHONE UTILITIES. COORDINATE ALL REQUIREMENTS WITH OWNER, ARCHITECT, AND ALTA FIBER PRIOR TO ROUGH-IN. PROVIDE DEDICATED QUAD RECEPTACLE AS SHOWN.
11. EXTERIOR LIGHTING ON PHOTOCELL. CONFIRM LOCATION OF PHOTOCELL DEVICE WITH OWNER AND ARCHITECT PRIOR TO ROUGH-IN.
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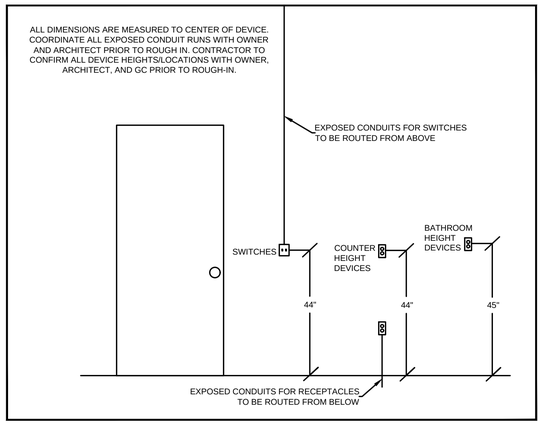

STANDARD MOUNTING HEIGHTS

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SCALE: 1/4" = 1'-0" ELECTRICAL POWER PLAN - ROOF 1

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Revisions

Checked By: PRS

Drawn by: AJW

PR-09757
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SHARED SUCCESS
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MEP Consulting Services, Inc. in OH

PROPOSED PROJECT:
RENOVATION FOR
1801 VINE ST / 1805 VINE ST
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/10/2022

E1.05

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ELECTRICAL SPECIFICATIONS

1. General Demolition
   a. Refer to architectural drawings, general notes, instructions to bidders, general conditions, supplementary general conditions, base building specifications and drawings, shop drawing manuals and as-built plans, except as noted herein, which apply in all respects to this section. The contractor shall visit the site and familiarize himself with all existing conditions prior to bidding the work
2. Use of Drawings And Specifications
   a. EBS drawings and specifications are intended to convey design intent only. All means and methods sequences, techniques, and procedures of construction as well as any associated safety precautions and programs, and all incidental and temporary devices required to construct the project, and to provide a complete and fully operational electrical system are the responsibility of the electrical contractor.
3. Standards
   a. Materials equipment and materials shall conform with appropriate provisions of NEC, ASTM, UL, ETL, NEMA, ANSI, as applicable to each individual unit or assembly.
4. Codes
   a. All work shall be performed in strict accordance with all applicable state and local codes and ordinances. In case of conflict between the drawings/specifications and the codes and ordinances, the highest standard shall apply. The electrical contractor shall satisfy code requirements as a minimum standard without any extra cost to owner.
5. Permits and Fees
   a. The electrical contractor shall procure and pay for all permits, fees and inspections necessary to complete the electrical work.
6. Warranty
   a. The electrical contractor shall unconditionally warrant all work to be free of defects in material and workmanship for a period of one (1) year from the date of final acceptance, and will repair or replace any defective work promptly and without charge and restore any other existing work damaged in the course of repairing defective materials and workmanship.
7. Site Examination
   a. The electrical contractor shall thoroughly examine all areas of work where equipment will be installed and shall report any condition that, in his opinion, prevents the proper installation of the electrical work prior to bid. He shall also examine the drawings and specifications of other branches of work making reference to them for details of new or existing building conditions.
   b. All work shall be done at times convenient to the owner and only during normal working hours, unless specified otherwise.
   c. Electrical contractor shall take his own measurements and be responsible for them.
   d. Access panels are not shown on drawings. During site examination, contractor shall identify all areas where access panels are required, and report to general contractor. Designation of who furnishes and who installs access panels must be coordinated with general contractor prior to starting work.
8. Contractor Coordination
   a. The electrical drawings and specifications convey design intent only. Means and methods, sequences, techniques, and procedures of construction as well as any associated safety precautions and programs, and all incidental and temporary devices required to construct the project are the responsibility of the electrical contractor.
   b. All systems installed by each sub-contractor shall be coordinated with one another and approved by general contractor/construction manager, etc. prior to installation and/or fabrication. Where the electrical contractor is making a connection to equipment/components that are furnished by others, electrical contractor to verify all connection requirements with actual equipment being connected, including but not limited to OCP size, means of disconnect, special connection requirements, or other items indicated on shop drawings, or manufacturer's installation instructions and/or installation diagrams, and furnish all labor and materials required for the installation and operation of the equipment. No allowances will be made for failure to coordinate, after electrical connections have been installed.
   c. If questions concerning design intent arise during coordination, EBS can assist where appropriate.
   d. The architectural drawings shall take precedence over all other drawings. Do not scale distances off the electrical drawings; use actual building dimensions.
   e. Coordination drawings showing system and component installation layout, routing, details, etc. shall be produced by the electrical contractor and under the supervision of the general contractor/construction manager, or appropriate party as applicable. All systems installed by each sub-contractor shall be coordinated with one another and approved by general contractor/construction manager, etc. prior to installation and/or fabrication. If questions concerning design intent arise during coordination, EBS can assist where appropriate.
9. Utility Coordination
   a. Electrical contractor to verify installation of metering and utility demarcation equipment with utility provider prior to start of work and furnish and install required items per utility company's installation requirements and/or manuals.
10. Submittals
    a. Products installed by the electrical contractor and provided by others must be submitted for review prior to purchasing. Products shall not be selected based on permit drawings without express permission - products shall be selected based on construction drawings.
11. Record Drawing
    a. The electrical contractor shall be responsible for creating record drawings where required. Drawings shall be produced in Autocad 2004 format or later.
12. Shop Drawings
    a. Submit to the architect pdf file copies of complete & certified shop drawings, descriptive data, performance data & ratings, diagrams and specifications on all specified equipment, including accessories, and materials for review.
    b. The make, model number, type, finish & accessories of all equipment and materials shall be reviewed & approved by the electrical contractor & general contractor prior to submitting to the architect for their review & approval.
    c. Review of shop drawings does not relieve the electrical contractor/vendor from compliance with the requirements of the contract drawings, specifications & applicable codes.
13. Testing
    a. All electrical systems shall be tested for proper operation. Balance all branch circuit loads between the phases of the system to within 10% of the highest phase load in each panelboard.
14. Temporary Power
    a. The electrical contractor shall provide temporary electrical wiring for construction. The temporary service shall be a minimum of 60 amps, single phase, three wire, 120/208 volts fused at main disconnect. All receptacles on this temporary service shall be protected by a GFI breaker.
15. Mechanical Equipment
    a. All final connections to mechanical equipment shall be done by the electrical contractor.
16. Demolition
    a. The electrical contractor shall be responsible for deenergizing circuits in demolition areas to insure a safe condition. Electrical devices and associated wiring located within the demolition area that will no longer be used shall be removed and properly disposed of at contractor's expense unless otherwise noted.
17. Power Outages
    a. The electrical contractor shall schedule all electrical system(s) outages with the general contractor and owner at least 24 hours in advance. Unless approved otherwise all outages shall occur between 11:00pm and 5:00am.
18. Grounding and Bonding
    a. Contractor to provide grounding and bonding as required for electrical systems. Grounding and bonding is considered means and methods of construction, and should be completed by the electrical contractor in accordance with NEC 250.
    b. Any gas piping systems must be bonded per utility provider's installation guidelines where required.
19. Materials
    a. Provide all new material and equipment unless noted otherwise. All equipment shall be UL approved and labeled, or other approved testing organization which has acceptance by the local jurisdiction, for the purpose for which they are used, in addition to meeting all requirements of the current applicable codes and regulations. No substitution to materials specified will be allowed unless approved by the owner.
    b. Electrical contractor shall not order or purchase any materials or equipment until permit drawings have been approved. No allowances will be made for any changes that occur if permit drawings have not been approved prior to ordering.
20. Cutting and Fitting
    a. Perform cutting, coring, fitting, repairing and finishing of the work necessary for the installation of the equipment of this section. However, no cutting of the work of other trades or of any structural member shall be done without the consent of the owner. Properly fill, seal, fireproof, and waterproof all openings, sleeves, and holes in slabs, walls, and casework.
21. Wiring Methods
    a. Provide code approved wiring methods for branch circuiting indoors, such as NM cable (only where permitted by NEC 334), EMT conduit, or MC cable for mechanical equipment, lighting, and power.
    b. Conduit runs on exterior of building shall be rigid steel conduit with weather tight, corrosion-resistant fittings. Schedule 40 PVC is acceptable where permitted by code and or underground runs or concrete encasement where not exposed to physical damage.
    c. The minimum size of conduit shall be 3/4" unless otherwise noted. Conduit connectors shall be double locknut type, UL listed and labeled, with compression or set screw fittings.
    d. Rigid conduit shall be hot dipped galvanized.
    e. Where raceways are installed for others to use, or for future use, provide nylon pull string.
    f. Penetrations through fire rated construction shall be sealed using 3M fire barrier cauk, Nelson Electric Flameseal or T&B Flamesafe or other approved method.
22. Conductors and Terminations
    a. Branch conductors shall be copper, feeders as indicated on riser diagram. Conductors shall be insulated for 600v number 12 AWG minimum. Provide wires and cables as indicated listed and suitable for temperature, conditions, and location where installed.
23. Motors and Other Wiring
    a. The electrical contractor shall provide all required conduit, wiring, and safety switches for all motors, and other electrical equipment, even though the motors and electrical equipment may be supplied by others. The electrical contractor shall include all work and connections required to make the system complete and operational. Provide magnetic starters for equipment as indicated on the drawings.
    b. The electrical equipment may include but not be limited to such items as grille motors and interlocks, exterior and interior signage, starting devices, motor controllers, float switches, alarm devices or systems, push buttons, exhaust fans, data systems, intercoms and stereo systems. The electrical contractor shall verify equipment location and sizes with the trade supplying the equipment before installing the conduit or outlets.
24. Devices
    a. Hubbell, Leviton, or approved equal with matching coverplates.
    b. Provide specification grade wiring devices, in types, characteristics, grades, colors, and electrical ratings for applications indicated, which are UL-listed and which comply with NEMA WD1 and other applicable UL and NEMA standards. Verify color selections with architect. Provide device plates to match device colors.
    c. Provide GFCI protection for all kitchen 15 and 20-amp receptacles. Where the receptacle is rendered inaccessible by equipment provide GFCI protection at the circuit breaker.
25. Service entrance and distribution equipment
    a. Electrical contractor must submit drawings for permit and receive approval prior to ordering equipment. No allowances will be made for equipment changes that occur prior to receipt of approved plans.
26. Disconnects and Fused Switches
    a. Heavy duty type, horsepower rated with interlocking cover. NEMA 1 typical. Outdoor and wet location switches shall be raintight type NEMA 3Rr. All switches shall be lockable. Fuses in circuits rated at 600 amperes or less shall be UL class RK1 dual-element, time-delay, current limiting fuses. Fuses in circuits rated at 601 amperes or larger shall be UL class l time-delay, current limiting fuses.
27. Nameplates
    a. Provide permanent nameplate labeling on all disconnects. Include load served, voltage, phase, horsepower, fuse size, and type.
28. Mounting
    a. Mount independent of the mechanical unit housing unless specifically accepted by the local code authority. Provide Unistrut support channels mounted in coordination with roof penetration and patching work. Coordinate with general contractor.
29. Grounding and bonding for electrical systems and equipment
    a. Provide grounding and bonding for electrical service in accordance with NEC article 250.
    b. All major parts not carrying current, including but not limited to, secondary feeder circuit, equipment and panelboard enclosures, pull and junction boxes, shall be properly grounded. Metallic raceways shall utilize double locknuts and other fittings as required to provide ground continuity.
30. Multi-tenant Meter Centers
    a. Provide meter centers(s) as shown on the drawings and as specified herein. Meter centers shall have main lugs only or main breakers as required, and shall have branch breaker installed for each meter socket. Meter centers shall be Eaton, Square D, GE by ABB, or equal, and shall be of the same manufacture as load centers or panelboards served. Meter centers shall be enclosed NEMA 1, NEMA 3R as required. Final configuration (number of meters per section, end-main/center-main, etc. shall be determined by contractor. All bussing must be rated for the loads served. Meter centers shall be rated to withstand the available fault current.
31. Panelboards
    a. Provide branch circuit panelboard(s) as shown on the drawings and as specified herein. Panelboards shall have bolted, thermal and magnetic breakers with main lugs only or main breakers as required. Panelboards shall be Eaton, Square D, GE by ABB, or equal, and be enclosed in NEMA 1 type housing unless noted otherwise. Enclosure(s) shall be complete with a hinged door, cylinder lock, and a neatly typed directory under plastic cover in each panel door. All multiple pole breakers shall have a common trip handle. All panels and breakers shall be rated to withstand available fault current.
32. Residential Load Centers
    a. Provide load centers as shown on drawings and as specified herein. Load centers shall be Eaton, Square D, GE by ABB, or equal. Load centers shall contain a neatly typed directory in each door. All multiple pole breakers shall have a common trip handle. All panels and breakers shall be rated to withstand available fault current. Load centers may be used in areas other than dwelling units where appropriate and where approved by Owner's representative.
33. Lighting
    a. Provide a new lighting system complete and fully operational and in conformance with code and UL listing requirements. Clean all fixtures at time of job completion utilizing manufacturers approved or recommended cleaning solutions. All fixtures and lamps are provided by this contractor as scheduled unless noted otherwise. Contractor shall furnish all boxes, mounting kits, transformers, controllers, and other components necessary for a complete and fully functional installation.
    b. Where dimmers and/or dimming systems are required, contractor to furnish dimmers that are compatible with fixture source and rated for the wattage of the dimming zone. Provide additional dimmers as required to meet zone load requirements.
34. Telephone System
    a. Telephone wiring and system provided by owner. Verify system requirements and rough-in locations with owner prior to start of construction. Electrical contractor shall provide plaster ring and pull string from each device location to above accessible ceiling.
35. Security System Notes
    a. Security wiring and system provided by owner. Verify system requirements and rough-in locations with owner prior to start of construction. Provide power for owner's head-end equipment and remote power for secure doors as required.
36. Data/Pos/A-V/System Notes
    a. Data, POS and/or A-V wiring and systems provided by owner. Verify system requirements and rough-in locations with owner prior to start of construction. Electrical contractor shall provide plaster ring and pull string from each device location to above accessible ceiling.
37. Fire Alarm System
    a. Fire alarm system to be design-build by contractor. Contractor shall provide all required drawings and submit to authorities. Refer to architect's code sheet for relevant design criteria. Submit drawings to Owner/Architect for review prior to submitting to authorities. Provide required items including but not limited to relay modules, monitor modules, return-air detectors, elevator recall, etc. Provide remote annunciator panel(s) at location(s) approved by Architect and authorities.

FINDLAY FLATS LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	LAMP	DESCRIPTION	MODEL	INPUT VA	NOTES	LOCATIONS
EM		(2) 1W LED	EMERGENCY WALL PACK HIGH CAPACITY	SURE LITES - SEL50	1		
EMW		(1) 15W LED	EMERGENCY WALL PACK	MEZZO - MEZ LED ACEM DB 120/277 CL	15		
EX		(1) 1.31W LED	EXIT FIXTURE	SURE-LITES - APX7R	1.31		
EX/EM		(1) 1.31W LED	COMBINATION EXIT/EMERGENCY FIXTURE	SURE-LITES - APCH7R	1.31		
F1		(1) 38W LED/FAN	36" CEILING FAN	HUNTER - 59301	38	FRESH WHITE	LIVING ROOM AND BEDROOM
F2		(1) 54W LED	52" CEILING FAN	HUNTER - 51433	54	FRESH WHITE	LIVING ROOM AND BEDROOM
RH1		(1) 0.78W LED	SINGLE REMOTE HEAD	SURE-LITES - APWR1	0.78		
SM1		(1) 9.7W LED	4" ROUND SURFACE MOUNT DOWNLIGHT	HALO - SMD4	9.7	WHITE FINISH	GENERAL DOWNLIGHT THROUGHOUT, U.N.O.
SM2		(1) 9.7W LED	4" ROUND SURFACE MOUNT DOWNLIGHT - DAMP RATED	HALO - SMD4	9.7	WHITE FINISH	CEILING DOWNLIGHTS IN SHOWERS
SM3		(1) 9.7W LED	4" ROUND SURFACE MOUNT DOWNLIGHT	HALO - SMD4	9.7	WHITE FINISH	CEILING DOWNLIGHTS IN CORRIDORS
SM8		(1) 31.4W LED	2X2 LED PANEL LIGHT FIXTURE	METALUX - CGT LED PANEL SERIES	31.4		COMMERCIAL FIRST FLOOR ONLY
SM13		(1) 9W LED	SURFACE MOUNT ENTRY VESTIBULE LIGHT	EFFECIENT LIGHTING - EL-831-109E26LED-BN	9	POWDER COAT BLACK	STAIR HALL ENTRY VESTIBULE LIGHT - 1ST FLOOR ONLY
ST1		(1) 18W LED	4' LED STRIP LIGHT	METALUX - 4SNLED-LD5-28SL-UNV-L835-CD1-U	18		BASEMENT AND ATTIC ONLY
TL1		(1) 10.5W LED	TRACK LIGHT - HEAD	HALO - L81208FL9027P L651P	10.5		COMMERCIAL 1ST FLOOR ONLY
V1		(1) 25W LED	LED VANITY LIGHT	EFFICIENT - EL222L-24	25	BLACK	RESIDENTIAL AND COMMERCIAL BATHROOMS
WM1		(1) 15W LED	EXTERIOR LED LIGHT FIXTURE	LIGMAN LIGHTING USA - UJE-30351 - XX - X - W30 - 01	15	COLOR 01-BLACK RAL 9011	EXTERIOR - DARK SKY COMPLIANT
WM5		(1) 15W LED	EXTERIOR LED LIGHT FIXTURE	STEEL LIGHTING CO - VENICE WALL MOUNT - A09-01- ST11-01-XX-01 (3000K LED LAMP)	15	11" STRAIGHT ARM (VERIFY MOUNTING WITH ARCHITECT)	EXTERIOR - DARK SKY COMPLIANT

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PR-09757

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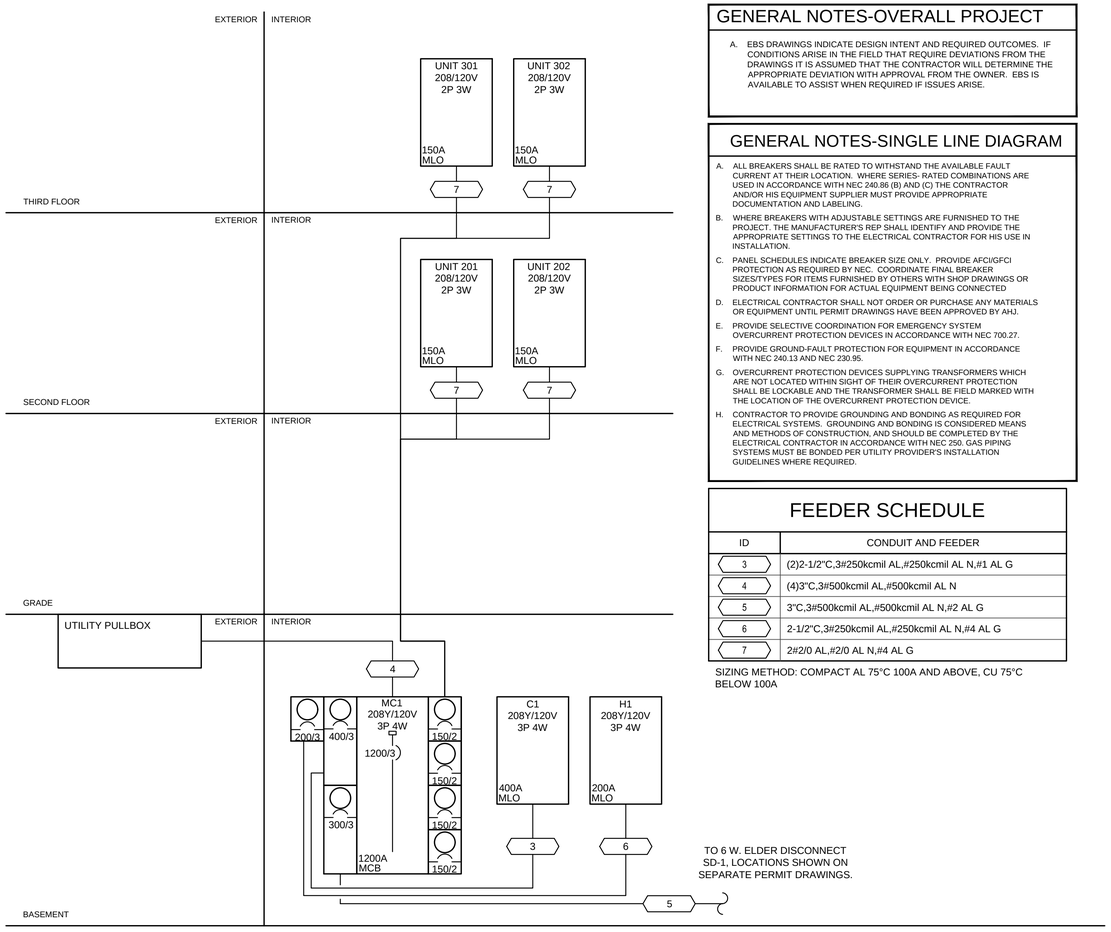
PROPOSED PROJECT:
RENOVATION FOR
1801 VINE ST / 1805 VINE ST
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/10/2022

E2.00



SCOPE OF WORK

RENOVATION OF EXISTING BUILDING MULTIFAMILY BUILDING WITH COMMERCIAL FIRST FLOOR. PROVIDE NEW ELECTRICAL DISTRIBUTION, POWER AND LIGHTING. SEE SINGLE LINE DIAGRAM FOR MORE DETAILS.

GENERAL NOTES-OVERALL PROJECT

A. EBS DRAWINGS INDICATE DESIGN INTENT AND REQUIRED OUTCOMES. IF CONDITIONS ARISE IN THE FIELD THAT REQUIRE DEVIATIONS FROM THE DRAWINGS IT IS ASSUMED THAT THE CONTRACTOR WILL DETERMINE THE APPROPRIATE DEVIATION WITH APPROVAL FROM THE OWNER. EBS IS AVAILABLE TO ASSIST WHEN REQUIRED IF ISSUES ARISE.

GENERAL NOTES-SINGLE LINE DIAGRAM

A. ALL BREAKERS SHALL BE RATED TO WITHSTAND THE AVAILABLE FAULT CURRENT AT THEIR LOCATION. WHERE SERIES- RATED COMBINATIONS ARE USED IN ACCORDANCE WITH NEC 240.86 (B) AND (C) THE CONTRACTOR AND/OR HIS EQUIPMENT SUPPLIER MUST PROVIDE APPROPRIATE DOCUMENTATION AND LABELING.

B. WHERE BREAKERS WITH ADJUSTABLE SETTINGS ARE FURNISHED TO THE PROJECT, THE MANUFACTURER'S REP SHALL IDENTIFY AND PROVIDE THE APPROPRIATE SETTINGS TO THE ELECTRICAL CONTRACTOR FOR HIS USE IN INSTALLATION.

C. PANEL SCHEDULES INDICATE BREAKER SIZE ONLY. PROVIDE AFCI/GFCI PROTECTION AS REQUIRED BY NEC. COORDINATE FINAL BREAKER SIZES/TYPES FOR ITEMS FURNISHED BY OTHERS WITH SHOP DRAWINGS OR PRODUCT INFORMATION FOR ACTUAL EQUIPMENT BEING CONNECTED

D. ELECTRICAL CONTRACTOR SHALL NOT ORDER OR PURCHASE ANY MATERIALS OR EQUIPMENT UNTIL PERMIT DRAWINGS HAVE BEEN APPROVED BY AHJ.

E. PROVIDE SELECTIVE COORDINATION FOR EMERGENCY SYSTEM OVERCURRENT PROTECTION DEVICES IN ACCORDANCE WITH NEC 700.27.

F. PROVIDE GROUND-FAULT PROTECTION FOR EQUIPMENT IN ACCORDANCE WITH NEC 240.13 AND NEC 230.95.

G. OVERCURRENT PROTECTION DEVICES SUPPLYING TRANSFORMERS WHICH ARE NOT LOCATED WITHIN SIGHT OF THEIR OVERCURRENT PROTECTION SHALL BE LOCKABLE AND THE TRANSFORMER SHALL BE FIELD MARKED WITH THE LOCATION OF THE OVERCURRENT PROTECTION DEVICE.

H. CONTRACTOR TO PROVIDE GROUNDING AND BONDING AS REQUIRED FOR ELECTRICAL SYSTEMS. GROUNDING AND BONDING IS CONSIDERED MEANS AND METHODS OF CONSTRUCTION, AND SHOULD BE COMPLETED BY THE ELECTRICAL CONTRACTOR IN ACCORDANCE WITH NEC 250. GAS PIPING SYSTEMS MUST BE BONDED PER UTILITY PROVIDER'S INSTALLATION GUIDELINES WHERE REQUIRED.

FEEDER SCHEDULE

ID	CONDUIT AND FEEDER
3	(2)2-1/2"C,3#250kcmil AL,#250kcmil AL N,#1 AL G
4	(4)3"C,3#500kcmil AL,#500kcmil AL N
5	3"C,3#500kcmil AL,#500kcmil AL N,#2 AL G
6	2-1/2"C,3#250kcmil AL,#250kcmil AL N,#4 AL G
7	2#2/0 AL,#2/0 AL N,#4 AL G

SIZING METHOD: COMPACT AL 75°C 100A AND ABOVE, CU 75°C BELOW 100A

ELECTRICAL LEGEND

*SEE LIGHT FIXTURE SCHEDULE FOR FIXTURE TYPES.

$	SINGLE POLE LIGHT SWITCH
$3	THREE WAY LIGHT SWITCH
$4	FOUR WAY LIGHT SWITCH
$D	DIMMER SWITCH
$FS	FAN SPEED CONTROL
$DT	OCC SENSOR - CEILING - DUAL TECHNOLOGY
$PIR	OCC SENSOR - CEILING - PASSIVE INFRARED
$DT	OCC SENSOR - WALL - DUAL TECHNOLOGY
$PIR	OCC SENSOR - WALL - PASSIVE INFRARED
	OCC SENSOR POWER PACK
	OCC SENSOR POWER PACK - 2 CKT
	DUPLEX RECEPTACLE
USB	DUPLEX RECEPTACLE W/USB JACKS
	COUNTER HEIGHT DUPLEX RECEPTACLE
	QUAD RECEPTACLE
	COUNTER HEIGHT QUAD RECEPTACLE
(CLNG)	CEILING (SHOW WINDOW) RECEPTACLE
GFCI	DUPLEX - GFCI RECEPTACLE
GFCI	COUNTER HEIGHT DUPLEX - GFCI RECEPTACLE
	SPLIT-WIRED (SWITCHED) RECEPTACLE
WP GFCI	WEATHER PROOF - GFCI RECEPTACLE
DW GFCI	DISHWASHER - GFCI RECEPTECLE
DISP.	GARBAGE DISPOSAL
MW	MICROWAVE RECEPTACLE
FRIG	REFRIGERATOR RECEPTACLE
RANGE	RANGE - 208-240V/ 1-PHASE 50 AMP RECEPTACLE
WASH GFCI	WASHER - GFCI RECEPTACLE
DRYER	DRYER - 208-240V/ 1-PHASE 30 AMP RECEPTACLE
W/D	STACKED WASHER/DRYER - 208-240V/ 1-PHASE 30 AMP RECEPTACLE
	DUPLEX - MONUMENT FLOOR BOX
	DUPLEX - RECESSED FLOOR BOX
	PANELBOARD
	PANELBOARD W/ BUS (MCB OR MLO) - SINGLE LINE DIAGRAM
	TRANSFORMER - SINGLE LINE DIAGRAM
	TRANSFORMER W/ GROUND - SINGLE LINE DIAGRAM
	PADMOUNT TRANSFORMER - SINGLE LINE DIAGRAM
	AUTOMATIC TRANSFER SWITCH (ATS) - SINGLE LINE DIAGRAM
	STANDBY/EMERGENCY GENERATOR - SINGLE LINE DIAGRAM
	* METER BASE - SINGLE LINE DIAGRAM
	FUSED DISCONNECT - SINGLE LINE DIAGRAM
	* CT CABINET - SINGLE LINE DIAGRAM

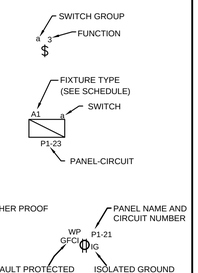
L5-20R	LOCKING 125V/20 AMP - RECEPTACLE
L6-20R	LOCKING 250V/20 AMP (1-PHASE) - RECEPTACLE
L5-30R	LOCKING 125V/30 AMP - RECEPTACLE
L6-30R	LOCKING 250V/20 AMP (1-PHASE) - RECEPTACLE
PP	FURNITURE POWER POLE - RECEPTACLE
RFF	FURNITURE RECESSED FLOOR FEED
WFF	FURNITURE WALL FEED
FB	RECESSED FLOOR BOX - MULTI-SERVICE (POWER/DATA)
AV	RECESSED FLOOR BOX - MULTI-SERVICE W/AV
PT	RECESSED MULTI-SERVICE POKE THRU
	SPECIAL CONNECTION
	SIMPLEX RECEPTACLE
	EQUIPMENT CONNECTION
$M	MANUAL MOTOR STARTER
	NON-FUSED DISCONNECT
	FUSED DISCONNECT
	FUSED DISCONNECT W/MAGNETIC MOTOR STARTER
	JUNCTION BOX
HNE	HOME NETWORK ENCLOSURE
	SECURITY CAMERA
	DATA LOCATION (RING & STRING, U.N.O)
	VOICE DROP - LOCATION
	VOICE/DATA DROP - LOCATION
	CABLE TV (COAX) - LOCATION
CR	CARD READER
DR	DOOR RELEASE - ACCESS CONTROL
DS	DOOR STRIKE - ACCESS CONTROL
ML	MAG-LOCK - ACCESS CONTROL
PS	POSITION SWITCH
PR	PROXY READER
RE	REQUEST TO EXIT SWITCH
WAP	WIRELESS INTERNET ACCESS POINT
	DOOR HOLD - FIRE ALARM
DSD	DUCT SMOKE DETECTOR
FABP	FIRE ALARM BOOSTER PANEL
FACP	FIRE ALARM CONTROL PANEL
FARA	FIRE ALARM REMOTE ANNUNCIATOR
FS	SPRINKLER FLOW SWITCH
H	HEAT DETECTOR - FIRE ALARM
	HORN - FIRE ALARM
	HORN/STROBE - FIRE ALARM
PIV	POST INDICATOR VALVE - (PIV)
PRE-A	PRE-ACTION PANEL
PS	PRESSURE SWITCH
F	PULL STATION - FIRE ALARM
SD	SMOKE DAMPER
SD	SMOKE DETECTOR
CO SD	COMBINATION SMOKE/CO2 DETECTOR
SP	SPEAKER - FIRE ALARM
SSP	SPEAKER/STROBE - FIRE ALARM
	STROBE - FIRE ALARM

* FINAL METER CONFIGURATION TBD/ APPROVED BY LOCAL UTILITY COMPANY PRIOR TO CONSTRUCTION.

ABBREVIATIONS:

#	Number	HP	Heat Pump
Ω	Ohm	HZ	Hertz
Φ	Phase	IG	Isolated Ground
A	Amperes	IMC	Intermediate Metal Conduit
AC	Alternating Current	KCMIL	Thousand Circular Mils
A/C	Air Conditioning	KVA	Kilovolt-Amperes
AFCI	Arc Fault Current Interrupter	LFMC	Liquid Tight Metal Conduit
AHU	Air Handling Unit	LTG	Lighitng
AIC	Ampere Interrupting Capacity	LRA	Locked Rotor Amperes
AL	Aluminum	MC	Metal Clad Cable
ATS	Automatic Transfer Switch	MCB	Main Circuit Breaker
ATC	Automatic Temperature Control	MCC	Motor Control Center
AWG	American Wire Gauge	MLO	Main Lug Only
C	Conduit	NC	Normally Closed
CATV	Cable Television	NEC	National Electrical Code
CB	Critical Branch	NEMA	National Electrical Manufactures Association
C/B	Circuit Breaker	NFPA	National Fire Protection Association
CKT	Circuit	NL	Night Lighting (Egress Illumination)
CCTV	Closed Circuit Television	NO	Normally Open
CT	Current Transformer	NTS	Not To Scale
CU	Condensing Unit	P	Pole
DC	Direct Current	PB	Push Button or Panic Button or Pull Box
DIA	Diameter	PNL	Panel
EC	Electrical Contractor	PWR	Power
EF	Exhaust Fan	QTY	Quantity
ELEV	Elevator	REQ	Required
EM	Emergency	RMC	Rigid Metal Conduit
EMT	Electrical Metallic Tubing	RNC	Rigid Non-Metallic Conduit
EPO	Emergency Power Off	RTU	Roof Top Unit
EWC	Electric Water Cooler	ST	Shunt Trip
EWH	Electric Water Heater	SW	Switch
FA	Fire Alarm	TSTAT	Thermostat
FAA	Fire Alarm Annuciator	TYP	Typical
FLA	Full Load Amperes	UG	Underground
FMC	Flexible Metal Conduit	UL	Underwriters Labratory
GF	Gas Furnace	UNO	Unless Noted Otherwise
GFCI	Ground Fault Current Interrupter	V	Volt
GND	Ground	VA	Volt-Amperes
GWH	Gas Water Heater	W	Watt or Wire
HOA	Hand-Off-Automatic Switch	WP	Weather Proof
HVAC	Heating, Ventilation, Air Conditioning	XFMR	Transformer

EXAMPLES:



NOTE: ALL ITEMS MAY NOT BE USED.

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RENOVATION FOR
1801 VINE ST / 1805 VINE ST
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/10/2022

E2.01

H1

ROOM
MOUNTING **FLUSH**
FED FROM **MC1**
NOTE

VOLTS **208Y/120V 3P 4W**
BUS AMPS **200**
NEUTRAL **100%**

AIC **T.B.D.**
MAIN BKR **MLO**
LUGS **STANDARD**

CKT #	CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION		CKT #	CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION
1	20/1	0.471	LIGHTING	a	2	100/3	28.8	(DBP) DOMESTIC BOOSTER PUMP
3	20/1	0.36	RECEPTACLE	b	4	|		
5	20/1	0.9	RECEPTACLE	c	6	|		
7	20/1	0.82	E-2, RECEPTACLE	a	8	20/2	2	H-1
9	20/1	0.5	(SR) SPRINKLER RISER MONITORING SYSTEM	b	10	|		
11	20/1	0.96	(DE-1) DEHUMIDIFIER	c	12	20/2	2	H-1
13	20/1	0.96	(DE-1) DEHUMIDIFIER	a	14	|		
15	20/1	0.5	FUTURE RADON	b	16	20/2	2.56	ODU-1
17	20/1	0	SPACE	c	18	|		
19	20/1	0	SPACE	a	20	20/1	1	DH-1
21	20/1	0	SPACE	b	22	20/1	1	DH-1
23	20/1	0	SPACE	c	24	20/1	0	SPACE
25	20/1	0	SPACE	a	26	20/1	0	SPACE
27	20/1	0	SPACE	b	28	20/1	0	SPACE
29	20/1	0	SPACE	c	30	20/1	0	SPACE

	CONN KVA	CALC KVA			CONN KVA	CALC KVA	
LIGHTING	0.471	0.589	(125%)	RECEPTACLES	1.98	1.98	(50%>10)
LARGEST MOTOR	28.8	7.21	(25%)	NONCONTINUOUS	2.42	2.42	(100%)
MOTORS	29.4	29.4	(100%)	HEATING	8.56	8.56	(100%)
				COOLING	2.56	0	(0%)
				TOTAL LOAD		50.2	
				BALANCED 3-PHASE LOAD		139 A	
				PHASE A		104%	
				PHASE B		99.7%	
				PHASE C		96.2%	

C1

ROOM
MOUNTING **FLUSH**
FED FROM **MC1**
NOTE

VOLTS **208Y/120V 3P 4W**
BUS AMPS **400**
NEUTRAL **100%**

AIC **T.B.D.**
MAIN BKR **MLO**
LUGS **STANDARD**

CKT #	CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION		CKT #	CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION
1	20/1	0.508	LIGHTING	a	2	25/2	3.47	CU-3
3	20/1	0.7	E-4, LIGHTING, RECEPTACLE	b	4	|		
5	20/1	0.72	RECEPTACLE	c	6	50/2	6.82	CU-3.5
7	20/1	0.72	RECEPTACLE	a	8	|		
9	20/1	0.72	RECEPTACLE	b	10	15/1	1.63	GF-3
11	20/1	0.72	RECEPTACLE	c	12	15/1	1.63	GF-3.5
13	20/2	0	SPACE	a	14	30/2	4.5	EDWH2
15	|			b	16	|		
17	20/1	0	SPACE	c	18	20/1	0	SPACE
19	20/1	0	SPACE	a	20	20/1	0	SPACE
21	20/1	0	SPACE	b	22	20/1	0	SPACE
23	20/1	0	SPACE	c	24	20/1	0	SPACE
25	20/1	0	SPACE	a	26	20/1	0	SPACE
27	20/1	0	SPACE	b	28	20/1	0	SPACE
29	20/1	0	SPACE	c	30	20/1	0	SPACE
31	20/1	0	SPACE	a	32	20/1	0	SPACE
33	20/1	0	SPACE	b	34	20/1	0	SPACE
35	20/1	0	SPACE	c	36	20/1	0	SPACE
37	20/1	0	SPACE	a	38	20/1	0	SPACE
39	20/1	0	SPACE	b	40	20/1	0	SPACE
41	20/1	0	SPACE	c	42	20/1	0	SPACE

	CONN KVA	CALC KVA			CONN KVA	CALC KVA	
LIGHTING	0.598	0.748	(125%)	MOTORS	3.51	3.51	(100%)
LARGEST MOTOR	6.82	1.71	(25%)	RECEPTACLES	3.24	3.24	(50%>10)
				CONTINUOUS	4.5	5.63	(125%)
				COOLING	10.3	10.3	(100%)
				TOTAL LOAD		25.1	
				BALANCED 3-PHASE LOAD		69.7 A	
				PHASE A		114%	
				PHASE B		97.4%	
				PHASE C		89.1%	

MC1

ROOM
MOUNTING **FLUSH**
FED FROM **UTILITY PULLBOX**
NOTE

VOLTS **208Y/120V 3P 4W**
BUS AMPS **1200**
NEUTRAL **100%**

AIC **T.B.D.**
MAIN BKR **1200**
LUGS **STANDARD**

CKT #	BREAKER TRIP/POLES	CIRCUIT DESCRIPTION	LOAD KVA A	LOAD KVA B	LOAD KVA C	FEEDER RACEWAY AND CONDUCTORS
1	400/3	PANEL C1	8.63	7.04	6.48	(2)2-1/2"C,3#250kcmil AL,#250kcmil AL N,#1 AL G
2	200/3	PANEL H1	13.7	14.9	14.2	2-1/2"C,3#250kcmil AL,#250kcmil AL N,#4 AL G
3	300/3	6 W. ELDER	0.99	4.01	6.89	3"C,3#500kcmil AL,#500kcmil AL N,#2 AL G
4	150/2	UNIT 201	20	22		2#2/0 AL,#2/0 AL N,#4 AL G
5	150/2	UNIT 202		23.9	22.5	2#2/0 AL,#2/0 AL N,#4 AL G
6	150/2	UNIT 301	24.1		22	2#2/0 AL,#2/0 AL N,#4 AL G
7	150/2	UNIT 302	24.8	23.5		2#2/0 AL,#2/0 AL N,#4 AL G
		TOTAL CONNECTED KVA BY PHASE	92.3	95.3	72.1	

OPTIONAL MULTIFAMILY DWELLING CALCULATION (NEC 220.84)

DWELLING UNIT LOADS

	KVA			KVA
LIGHTING AND RECEPTACLES	13.1	4,356 SF (3 VA/SF)	CONNECTED LOAD	175
SMALL-APPLIANCE	12		DWELLING UNITS	4
LAUNDRY	6		DEMAND FACTOR	(45%)
APPLIANCES	55		CALCULATED LOAD	78.9
ELECTRIC COOKING	34			
MOTORS	1			
HEATING	54.3	(100%)		
COOLING	17.1	(0%)		

HOUSE LOADS

	CONN KVA	CALC KVA			CONN KVA	CALC KVA	
LIGHTING	2.2	2.74	(125%)	CONTINUOUS	4.5	5.63	(125%)
LARGEST MOTOR	28.8	7.21	(25%)	NONCONTINUOUS	2.42	2.42	(100%)
MOTORS	6.32	6.32	(100%)	HEATING	8.56	0	(0%)
RECEPTACLES	6.84	6.84	(50%>10)	COOLING	19.8	19.8	(100%)
				TOTAL HOUSE LOAD		51	

TOTAL LOAD

	KVA		KVA
TOTAL DWELLING UNIT LOAD	78.9	TOTAL LOAD	130
TOTAL HOUSE LOAD	51	BALANCED 3-PHASE LOAD	360 A

Meter Center Breakdown (MC)

220.84 Multi-Family Calculation	KVA	Qty	Total KVA
UNIT 201	40.70	1	40.70
UNIT 202	43.95	1	43.95
UNIT 301	44.92	1	44.92
UNIT 302	45.82	1	45.82
Total Quantity and Connected Load =		**4**	**175.38**

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RENOVATION FOR
1801 VINE ST / 1805 VINE ST
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/10/2022

E2.02

UNIT 201

ROOM
MOUNTING **FLUSH**
FED FROM **MC1**
NOTE

VOLTS **208/120V 2P 3W**
BUS AMPS **150**
NEUTRAL **100%**

AIC **T.B.D.**
MAIN BKR **MLO**
LUGS **STANDARD**

CKT #	CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION		CKT #	CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION
1	15/1	1	LIGHTING, RECEPTACLE	a	2	20/1	1.5	SMALL APPLIANCE
3	15/1	0.802	E-1, LIGHTING, RECEPTACLE	b	4	20/1	1.5	SMALL APPLIANCE
5	15/1	0.958	LIGHTING, RECEPTACLE	a	6	15/1	0.5	FRIG.
7	15/1	1.17	LIGHTING, RECEPTACLE	b	8	15/1	0.75	DISPOSAL
9	20/1	0.18	BATH	a	10	15/1	1.2	DISHWASHER
11	20/1	1.5	LAUNDRY	b	12	20/1	1.8	MICROWAVE
13	30/2	5	DRYER	a	14	50/2	8.5	RANGE
15	|			b	16	|		
17	50/2	7.55	AHU-A-1.5	a	18	30/2	4.5	EDWH1
19	|			b	20	|		
21	25/2	3.33	HP-1.5	a	22	15/1	0.25	HWRP
23	|			b	24	20/1	0	SPACE
25	20/1	0	SPACE	a	26	20/1	0	SPACE
27	20/1	0	SPACE	b	28	20/1	0	SPACE
29	20/1	0	SPACE	a	30	20/1	0	SPACE

OPTIONAL DWELLING UNIT CALCULATION (NEC 220.82)

	CONN KVA	
LIGHTING AND RECEPTACLES	2.82	939 SF (3 VA/SF)
SMALL-APPLIANCE	3	
LAUNDRY	1.5	
APPLIANCES	13.8	
ELECTRIC COOKING	8.5	
MOTORS	0.25	
TOTAL GENERAL LOAD	29.8	

	CONN KVA	CALC KVA	
GENERAL LOAD			
UP TO 10 KVA	10	10	(100%)
OVER 10 KVA	19.8	7.93	(40%)
MAX HEATING OR COOLING		8.24	(220.82(C)(3))
TOTAL LOAD		26.2	
BALANCED LOAD		126 A	
PHASE A		96%	
PHASE B		104%	

Multi-Family Dwelling Unit Calc	KVA
Total General Load	29.82
Largest Heating or Cooling Load 220.84	10.88
220.84 CONNECTED LOAD CALC	**40.70**

APPLIANCE BREAKDOWN	
TYPE	**KVA**
REFRIGERATOR	0.5
DISHWASHER	1.2
DISPOSAL	0.75
MICROWAVE	1.8
WATER HEATER	4.5
DRYER	5
HOW WATER RECIRC PUMP	0.25
TOTAL	**14.00**

HVAC Load Calculation	KVA	NEC Code
Heating	10.88	
Cooling	3.33	
Mini Split	0.00	
100% of Nameplate Rating of AC and Cooling	3.33	220.82 C(1)
100% of Nameplate Rating of Heat Pump w/o Supplmental Heat	0.00	220.82 C(2)
Heat Pump plus 65% of Supplemental Heat	8.24	220.82 C(3)
Largest Heating or Cooling Load	10.88	220.84 C(5)

UNIT 202

ROOM
MOUNTING **FLUSH**
FED FROM **MC1**
NOTE

VOLTS **208/120V 2P 3W**
BUS AMPS **150**
NEUTRAL **100%**

AIC **T.B.D.**
MAIN BKR **MLO**
LUGS **STANDARD**

CKT #	CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION		CKT #	CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION
1	15/1	1.17	E-1, LIGHTING, RECEPTACLE	a	2	20/1	1.5	SMALL APPLIANCE
3	15/1	1.38	LIGHTING, RECEPTACLE	b	4	20/1	1.5	SMALL APPLIANCE
5	15/1	1.16	E-1, LIGHTING, RECEPTACLE	a	6	15/1	0.5	FRIG.
7	15/1	1.14	LIGHTING, RECEPTACLE	b	8	15/1	0.75	DISPOSAL
9	15/1	1	LIGHTING, RECEPTACLE	a	10	15/1	1.2	DISHWASHER
11	20/1	0.36	BATH	b	12	20/1	1.8	MICROWAVE
13	20/1	1.5	LAUNDRY	a	14	50/2	8.5	RANGE
15	30/2	5	DRYER	b	16	|		
17	|			a	18	30/2	4.5	EDWH1
19	60/2	9.9	AHU-A-1.5	b	20	|		
21	|			a	22	20/1	0.25	HWRP
23	25/2	3.33	HP-1.5	b	24	20/1	0	SPACE
25	|			a	26	20/1	0	SPACE
27	20/1	0	SPACE	b	28	20/1	0	SPACE
29	20/1	0	SPACE	a	30	20/1	0	SPACE

OPTIONAL DWELLING UNIT CALCULATION (NEC 220.82)

	CONN KVA	
LIGHTING AND RECEPTACLES	3.72	1,239 SF (3 VA/SF)
SMALL-APPLIANCE	3	
LAUNDRY	1.5	
APPLIANCES	13.8	
ELECTRIC COOKING	8.5	
MOTORS	0.25	
TOTAL GENERAL LOAD	30.7	

	CONN KVA	CALC KVA	
GENERAL LOAD			
UP TO 10 KVA	10	10	(100%)
OVER 10 KVA	20.7	8.29	(40%)
MAX HEATING OR COOLING		9.76	(220.82(C)(3))
TOTAL LOAD		28.1	
BALANCED LOAD		135 A	
PHASE A		103%	
PHASE B		97.5%	

Multi-Family Dwelling Unit Calc	KVA
Total General Load	30.72
Largest Heating or Cooling Load 220.84	13.23
220.84 CONNECTED LOAD CALC	**43.95**

APPLIANCE BREAKDOWN	
TYPE	**KVA**
REFRIGERATOR	0.5
DISHWASHER	1.2
DISPOSAL	0.75
MICROWAVE	1.8
WATER HEATER	4.5
DRYER	5
HOW WATER RECIRC PUMP	0.25
TOTAL	**14.00**

HVAC Load Calculation	KVA	NEC Code
Heating	13.23	
Cooling	3.33	
Mini Split	0.00	
100% of Nameplate Rating of AC and Cooling	3.33	220.82 C(1)
100% of Nameplate Rating of Heat Pump w/o Supplmental Heat	0.00	220.82 C(2)
Heat Pump plus 65% of Supplemental Heat	9.77	220.82 C(3)
Largest Heating or Cooling Load	13.23	220.84 C(5)

UNIT 301

ROOM
MOUNTING **FLUSH**
FED FROM **MC1**
NOTE

VOLTS **208/120V 2P 3W**
BUS AMPS **150**
NEUTRAL **100%**

AIC **T.B.D.**
MAIN BKR **MLO**
LUGS **STANDARD**

CKT #	CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION		CKT #	CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION
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3	15/1	0.802	E-1, LIGHTING, RECEPTACLE	b	4	20/1	1.5	SMALL APPLIANCE
5	15/1	0.778	LIGHTING, RECEPTACLE	a	6	15/1	0.5	FRIG.
7	15/1	1.17	LIGHTING, RECEPTACLE	b	8	15/1	0.75	DISPOSAL
9	20/1	0.18	BATH	a	10	15/1	1.2	DISHWASHER
11	20/1	1.5	LAUNDRY	b	12	20/1	1.8	MICROWAVE
13	30/2	5	DRYER	a	14	50/2	8.5	RANGE
15	|			b	16	|		
17	60/2	9.9	AHU-A-2	a	18	30/2	4.5	EDWH1
19	|			b	20	|		
21	35/2	5.2	HP-2	a	22	15/1	0.25	HWRP
23	|			b	24	20/1	0	SPACE
25	20/1	0	SPACE	a	26	20/1	0	SPACE
27	20/1	0	SPACE	b	28	20/1	0	SPACE
29	20/1	0	SPACE	a	30	20/1	0	SPACE

OPTIONAL DWELLING UNIT CALCULATION (NEC 220.82)

	CONN KVA	
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LAUNDRY	1.5	
APPLIANCES	13.8	
ELECTRIC COOKING	8.5	
MOTORS	0.25	
TOTAL GENERAL LOAD	29.8	

	CONN KVA	CALC KVA	
GENERAL LOAD			
UP TO 10 KVA	10	10	(100%)
OVER 10 KVA	19.8	7.93	(40%)
MAX HEATING OR COOLING		11.6	(220.82(C)(3))
TOTAL LOAD		29.6	
BALANCED LOAD		142 A	
PHASE A		96.1%	
PHASE B		104%	

Multi-Family Dwelling Unit Calc	KVA
Total General Load	29.82
Largest Heating or Cooling Load 220.84	15.10
220.84 CONNECTED LOAD CALC	**44.92**

APPLIANCE BREAKDOWN	
TYPE	**KVA**
REFRIGERATOR	0.5
DISHWASHER	1.2
DISPOSAL	0.75
MICROWAVE	1.8
WATER HEATER	4.5
DRYER	5
HOW WATER RECIRC PUMP	0.25
TOTAL	**14.00**

HVAC Load Calculation	KVA	NEC Code
Heating	15.10	
Cooling	5.20	
Mini Split	0.00	
100% of Nameplate Rating of AC and Cooling	5.20	220.82 C(1)
100% of Nameplate Rating of Heat Pump w/o Supplmental Heat	0.00	220.82 C(2)
Heat Pump plus 65% of Supplemental Heat	11.64	220.82 C(3)
Largest Heating or Cooling Load	15.10	220.84 C(5)

UNIT 302

ROOM
MOUNTING **FLUSH**
FED FROM **MC1**
NOTE

VOLTS **208/120V 2P 3W**
BUS AMPS **150**
NEUTRAL **100%**

AIC **T.B.D.**
MAIN BKR **MLO**
LUGS **STANDARD**

CKT #	CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION		CKT #	CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION
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7	15/1	1.14	LIGHTING, RECEPTACLE	b	8	15/1	0.75	DISPOSAL
9	15/1	1	LIGHTING, RECEPTACLE	a	10	15/1	1.2	DISHWASHER
11	20/1	0.36	BATH	b	12	20/1	1.8	MICROWAVE
13	20/1	1.5	LAUNDRY	a	14	50/2	8.5	RANGE
15	30/2	5	DRYER	b	16	|		
17	|			a	18	30/2	4.5	EDWH2
19	60/2	9.9	AHU-A-2	b	20	|		
21	|			a	22	15/1	0.25	HWRP
23	35/2	5.2	HP-2	b	24	20/1	0	SPACE
25	|			a	26	20/1	0	SPACE
27	20/1	0	SPACE	b	28	20/1	0	SPACE
29	20/1	0	SPACE	a	30	20/1	0	SPACE

OPTIONAL DWELLING UNIT CALCULATION (NEC 220.82)

	CONN KVA	
LIGHTING AND RECEPTACLES	3.72	1,239 SF (3 VA/SF)
SMALL-APPLIANCE	3	
LAUNDRY	1.5	
APPLIANCES	13.8	
ELECTRIC COOKING	8.5	
MOTORS	0.25	
TOTAL GENERAL LOAD	30.7	

	CONN KVA	CALC KVA	
GENERAL LOAD			
UP TO 10 KVA	10	10	(100%)
OVER 10 KVA	20.7	8.29	(40%)
MAX HEATING OR COOLING		11.6	(220.82(C)(3))
TOTAL LOAD		29.9	
BALANCED LOAD		144 A	
PHASE A		102%	
PHASE B		97.6%	

Multi-Family Dwelling Unit Calc	KVA
Total General Load	30.72
Largest Heating or Cooling Load 220.84	15.10
220.84 CONNECTED LOAD CALC	**45.82**

APPLIANCE BREAKDOWN	
TYPE	**KVA**
REFRIGERATOR	0.5
DISHWASHER	1.2
DISPOSAL	0.75
MICROWAVE	1.8
WATER HEATER	4.5
DRYER	5
HOW WATER RECIRC PUMP	0.25
TOTAL	**14.00**

HVAC Load Calculation	KVA	NEC Code
Heating	15.10	
Cooling	5.20	
Mini Split	0.00	
100% of Nameplate Rating of AC and Cooling	5.20	220.82 C(1)
100% of Nameplate Rating of Heat Pump w/o Supplmental Heat	0.00	220.82 C(2)
Heat Pump plus 65% of Supplemental Heat	11.64	220.82 C(3)
Largest Heating or Cooling Load	15.10	220.84 C(5)

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Progress Dates
05/05/2023 BID P/E/FP
08/30/2024 BID SET 2

Revisions

Checked By: PRS

Drawn by: AJW

PR-09757
ENGINEERED BUILDING SYSTEMS INC.
TEAMWORK • COLLABORATION
SHARED SUCCESS
515 Monmouth Street, Suite 204
Newport, KY 41071 (859) 261-0585
MEP Consulting Services, Inc. in OH

PROPOSED PROJECT:
RENOVATION FOR
1801 VINE ST / 1805 VINE ST
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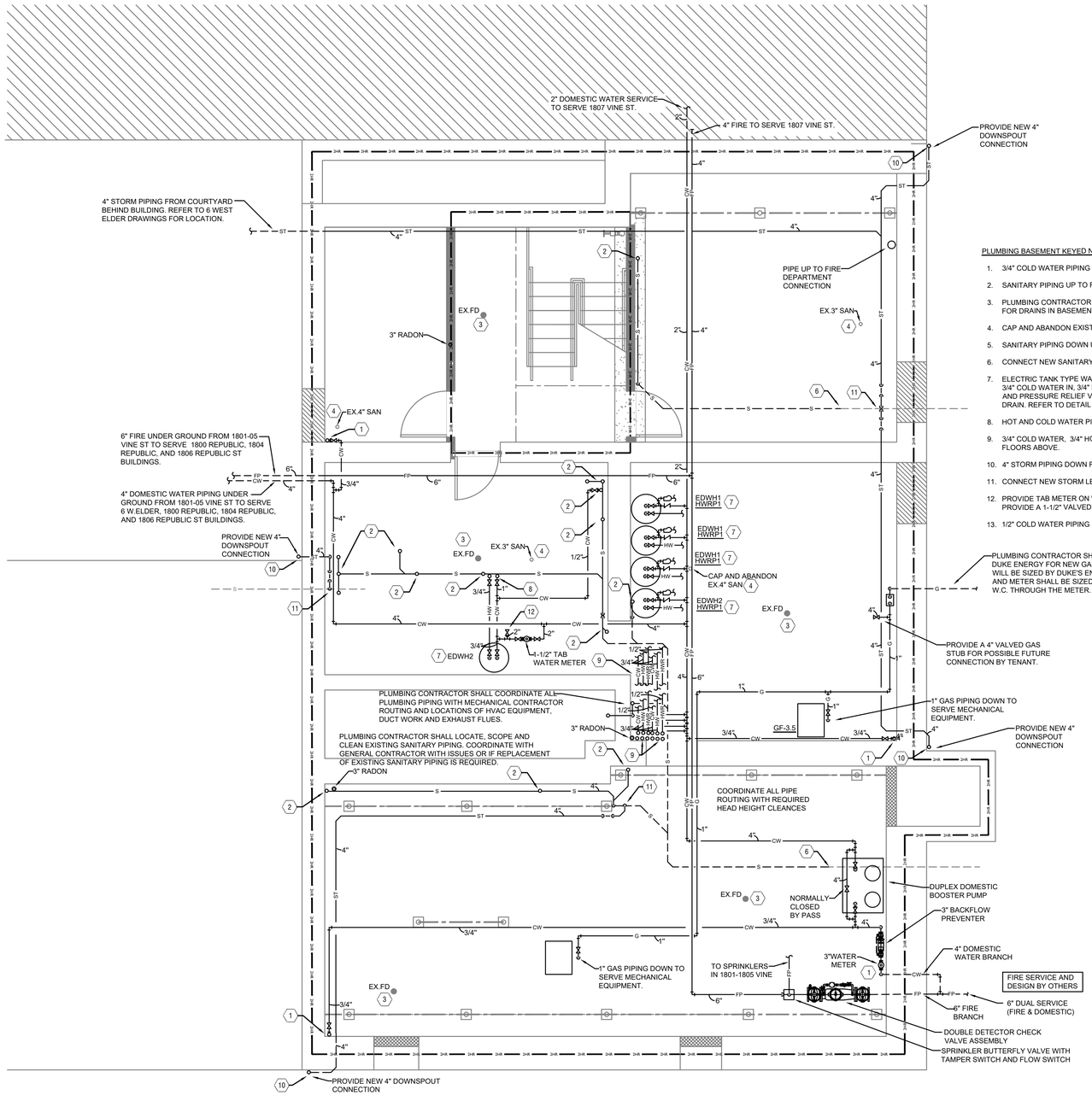
FINDLAY FLATS

Job No: 22042 8/10/2022

E2.03



PLUMBING LEGEND

SYMBOL	DESCRIPTION
— — S — —	SANITARY/WASTE PIPING BELOW FLOOR
—— S ——	SANITARY/WASTE PIPING ABOVE CEILING
—— V ——	VENT PIPING
—— CW ——	COLD WATER PIPING
—— HW ——	HOT WATER PIPING
—— HWR ——	HOT WATER RETURN PIPING
—— G ——	NATURAL GAS PIPING
—— ST ——	STORM PIPING
FD ●	FLOOR DRAIN
RD ◎	ROOF DRAIN
OD ◎	OVERFLOW DRAIN
—⋈—	BALL VALVE
—⋈—	CHECK VALVE
—⋈—	BALANCING VALVE
CO ○	CLEANOUT
WH H	FROST PROOF WALL HYDRANT
(#)	VENT THROUGH ROOF RISER INDICATOR
⊂	HOT WATER RETURN PUMP

PLUMBING BASEMENT KEYED NOTES

1. 3/4" COLD WATER PIPING UP TO SERVE WALL HYDRANT ON FLOOR ABOVE.
2. SANITARY PIPING UP TO FLOOR ABOVE. REFER TO ISOMETRICS FOR PIPE SIZES.
3. PLUMBING CONTRACTOR TO INSPECT, CLEAN AND REWORK IF NECESSARY ALL FOR DRAINS IN BASEMENT. REPLACE IF REQUIRED.
4. CAP AND ABANDON EXISTING SANITARY BELOW SLAB.
5. SANITARY PIPING DOWN UNDER SLAB. REFER TO ISOMETRICS FOR PIPE SIZES.
6. CONNECT NEW SANITARY PIPING TO EXISTING SANITARY PIPING.
7. ELECTRIC TANK TYPE WATER HEATER WITH HEAT TRAPS ON INLET AND OUTLET. 3/4" COLD WATER IN, 3/4" HOT WATER OUT. PROVIDE DRAIN PAN AND PIPE DRAIN AND PRESSURE RELIEF VALVE INDEPENDENTLY AND INDIRECTLY TO FLOOR DRAIN. REFER TO DETAIL SHEETS FOR SPECIFICATIONS.
8. HOT AND COLD WATER PIPING UP TO FLOOR ABOVE.
9. 3/4" COLD WATER, 3/4" HOT WATER AND 1/2" HOT WATER RETURN PIPING UP TO FLOORS ABOVE.
10. 4" STORM PIPING DOWN FROM FLOOR ABOVE.
11. CONNECT NEW STORM LEADERS WITH RUNNING TRAP TO SANITARY PIPING.
12. PROVIDE TAB METER ON WATER SERVICE FOR COMMERCIAL TENANT AND PROVIDE A 1-1/2" VALVED DOMESTIC WATER LINE FOR FUTURE TENANT.
13. 1/2" COLD WATER PIPING UP TO FLOOR ABOVE.

SCALE: 1/4" = 1'-0"

PLUMBING BASEMENT FLOOR PLAN - DEMOLITION

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STATE OF OHIO
SCOTT SEVERT STILKEY
E-77795
REGISTERED PROFESSIONAL ENGINEER

Progress Dates
05/05/2023 BID P/E/FP
08/30/2024 BID SET 2

Revisions

Checked By: sss

Drawn by: DAG

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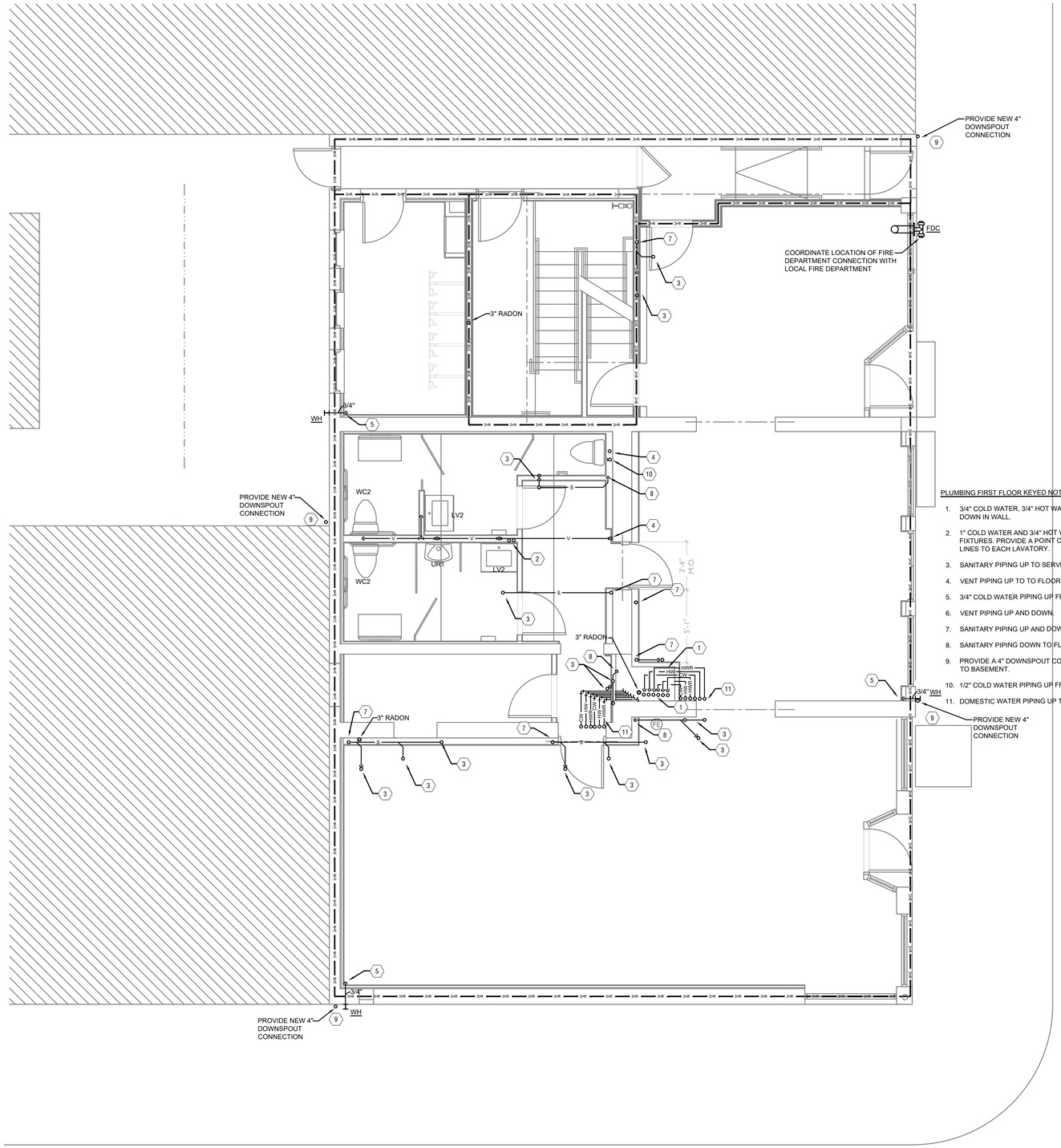
P1.00



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—⋈—	BALL VALVE
—⋈—	CHECK VALVE
—⋈—	BALANCING VALVE
CO ○	CLEANOUT
WH ⊢	FROST PROOF WALL HYDRANT
(#)	VENT THROUGH ROOF RISER INDICATOR
⊂	HOT WATER RETURN PUMP

PLUMBING FIRST FLOOR KEYED NOTES

1. 3/4" COLD WATER, 3/4" HOT WATER AND 1/2" HOT WATER RETURN PIPING UP AND DOWN IN WALL.
2. 1" COLD WATER AND 3/4" HOT WATER PIPING UP FROM FLOOR BELOW TO SERVE FIXTURES. PROVIDE A POINT OF USE THERMOSTATIC MIXING VALVE ON SUPPLY LINES TO EACH LAVATORY.
3. SANITARY PIPING UP TO SERVE PLUMBING FIXTURE ON FLOOR ABOVE.
4. VENT PIPING UP TO TO FLOOR ABOVE.
5. 3/4" COLD WATER PIPING UP FROM FLOOR BELOW TO WALL HYDRANT.
6. VENT PIPING UP AND DOWN.
7. SANITARY PIPING UP AND DOWN.
8. SANITARY PIPING DOWN TO FLOOR BELOW.
9. PROVIDE A 4" DOWNSPOUT CONNECTION AND ROUTE INTO BUILDING AND DOWN TO BASEMENT.
10. 1/2" COLD WATER PIPING UP FROM FLOOR BELOW.
11. DOMESTIC WATER PIPING UP TO FLOOR ABOVE.

SCALE: 1/4" = 1'-0"

PLUMBING PLAN - FIRST FLOOR | 1

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08/30/2024 BID SET 2

Revisions

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FINDLAY FLATS

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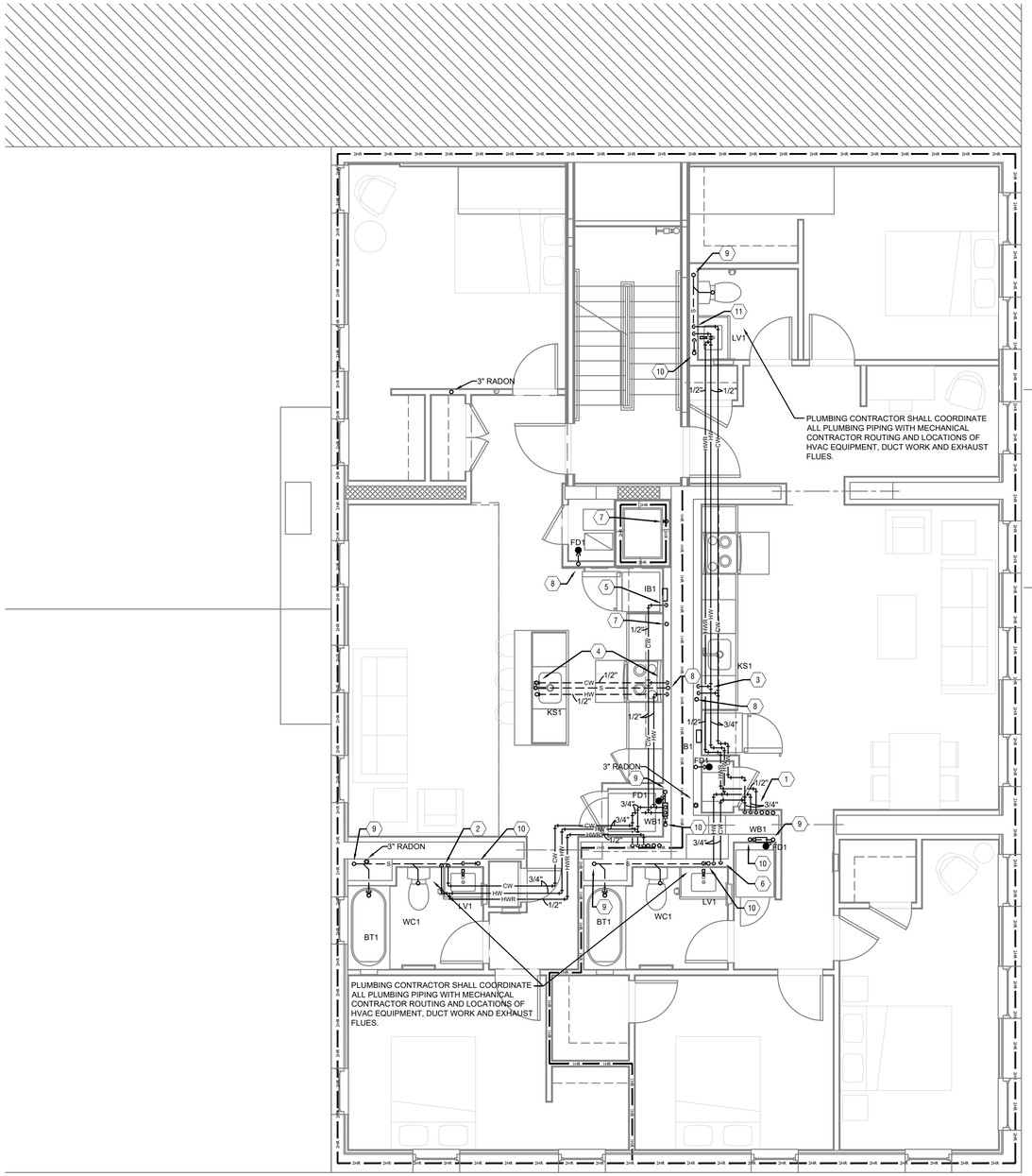
P1.01



PLUMBING LEGEND	
SYMBOL	DESCRIPTION
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—— G ——	NATURAL GAS PIPING
—— ST ——	STORM PIPING
FD ●	FLOOR DRAIN
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OD ◎	OVERFLOW DRAIN
—⋈—	BALL VALVE
—⋈—	CHECK VALVE
—⋈—	BALANCING VALVE
CO ○	CLEANOUT
WH H	FROST PROOF WALL HYDRANT
(#)	VENT THROUGH ROOF RISER INDICATOR
⊂	HOT WATER RETURN PUMP

PLUMBING SECOND FLOOR KEYED NOTES

1. 3/4" COLD WATER, 3/4" HOT WATER AND 1/2" HOT WATER RETURN PIPING UP AND DOWN IN WALL.
2. 3/4" HOT AND COLD WATER DOWN IN WALL. 1/2" HOT AND COLD WATER TO LAVATORY AND SHOWER. 1/2" COLD WATER PIPING TO SERVE WATER CLOSET.
3. 1/2" HOT AND COLD WATER PIPING DOWN IN WALL. 1/2" HOT AND COLD WATER PIPING TO SERVE KITCHEN SINK AND EXTEND A 1/2" HOT WATER LINE TO SERVE DISHWASHER. ROUTE 1/2" COLD WATER LINE THROUGH WALL TO VALVE BOX SERVING REFRIGERATOR.
4. 1/2" HOT AND COLD WATER PIPING DOWN IN WALL. 1/2" HOT AND COLD WATER PIPING UNDER FLOOR TO SERVE KITCHEN SINK AND EXTEND A 1/2" HOT WATER LINE TO SERVE DISHWASHER.
5. 1/2" COLD WATER PIPING DOWN TO VALVE BOX TO SERVE REFRIGERATOR.
6. 3/4" HOT AND COLD WATER PIPING DOWN IN WALL. 1/2" HOT AND COLD WATER PIPING TO SHOWER, LAVATORY AND WASHER BOX. 1/2" COLD WATER PIPING TO WATER CLOSET.
7. VENT PIPING UP AND DOWN.
8. STACK WASTE VENT PIPING UP AND DOWN.
9. SANITARY PIPING UP AND DOWN.
10. VENT PIPING UP TO FLOOR ABOVE.
11. 1/2" HOT AND COLD WATER DOWN IN WALL. 1/2" HOT AND COLD WATER TO SERVE LAVATORY AND 1/2" COLD WATER TO SERVE WATER CLOSET.

N

SCALE: 1/4" = 1'-0"

PLUMBING PLAN - SECOND FLOOR

1

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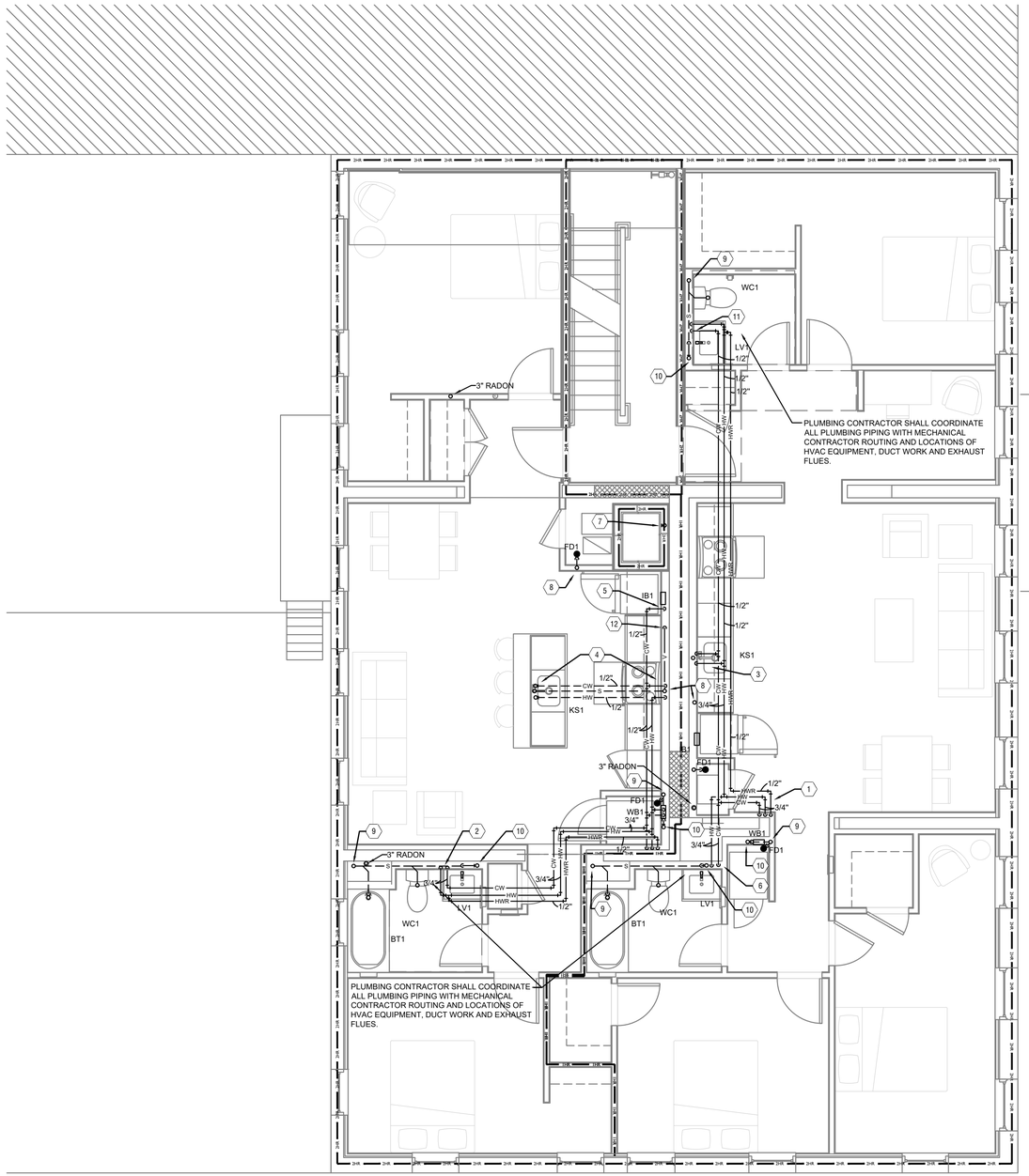
Job No: 22042 8/10/2022

P1.02



PLUMBING THIRD FLOOR KEYED NOTES

1. 3/4" COLD WATER, 3/4" HOT WATER AND 1/2" HOT WATER RETURN PIPING UP AND DOWN IN WALL.
2. 3/4" HOT AND COLD WATER DOWN IN WALL. 1/2" HOT AND COLD WATER TO LAVATORY AND SHOWER. 1/2" COLD WATER PIPING TO SERVE WATER CLOSET.
3. 1/2" HOT AND COLD WATER PIPING DOWN IN WALL. 1/2" HOT AND COLD WATER PIPING TO SERVE KITCHEN SINK AND EXTEND A 1/2" HOT WATER LINE TO SERVE DISHWASHER. ROUTE 1/2" COLD WATER LINE THROUGH WALL TO VALVE BOX SERVING REFRIGERATOR.
4. 1/2" HOT AND COLD WATER PIPING DOWN IN WALL. 1/2" HOT AND COLD WATER PIPING UNDER FLOOR TO SERVE KITCHEN SINK AND EXTEND A 1/2" HOT WATER LINE TO SERVE DISHWASHER.
5. 1/2" COLD WATER PIPING DOWN TO VALVE BOX TO SERVE REFRIGERATOR.
6. 3/4" HOT AND COLD WATER PIPING DOWN IN WALL. 1/2" HOT AND COLD WATER PIPING TO SHOWER, LAVATORY AND WASHER BOX. 1/2" COLD WATER PIPING TO WATER CLOSET.
7. VENT PIPING UP AND DOWN.
8. STACK WASTE VENT PIPING UP AND DOWN.
9. SANITARY PIPING UP AND DOWN.
10. VENT PIPING UP TO FLOOR ABOVE.
11. 1/2" HOT AND COLD WATER DOWN IN WALL. 1/2" HOT AND COLD WATER TO SERVE LAVATORY AND 1/2" COLD WATER TO SERVE WATER CLOSET.
12. VENT PIPING UP FROM FLOOR BELOW.

PLUMBING LEGEND

SYMBOL	DESCRIPTION
S	SANITARY/WASTE PIPING BELOW FLOOR
S	SANITARY/WASTE PIPING ABOVE CEILING
V	VENT PIPING
CW	COLD WATER PIPING
HW	HOT WATER PIPING
HWR	HOT WATER RETURN PIPING
G	NATURAL GAS PIPING
ST	STORM PIPING
FD	FLOOR DRAIN
RD	ROOF DRAIN
OD	OVERFLOW DRAIN
	BALL VALVE
	CHECK VALVE
	BALANCING VALVE
CO	CLEANOUT
WH	FROST PROOF WALL HYDRANT
#	VENT THROUGH ROOF RISER INDICATOR
	HOT WATER RETURN PUMP

SCALE: 1/4" = 1'-0"

PLUMBING PLAN - THIRD FLOOR

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E-77795
REGISTERED PROFESSIONAL ENGINEER

Progress Dates
05/05/2023 BID P/E/FP
08/30/2024 BID SET 2

Revisions

Checked By: sss

Drawn by: DAG

PR-09757
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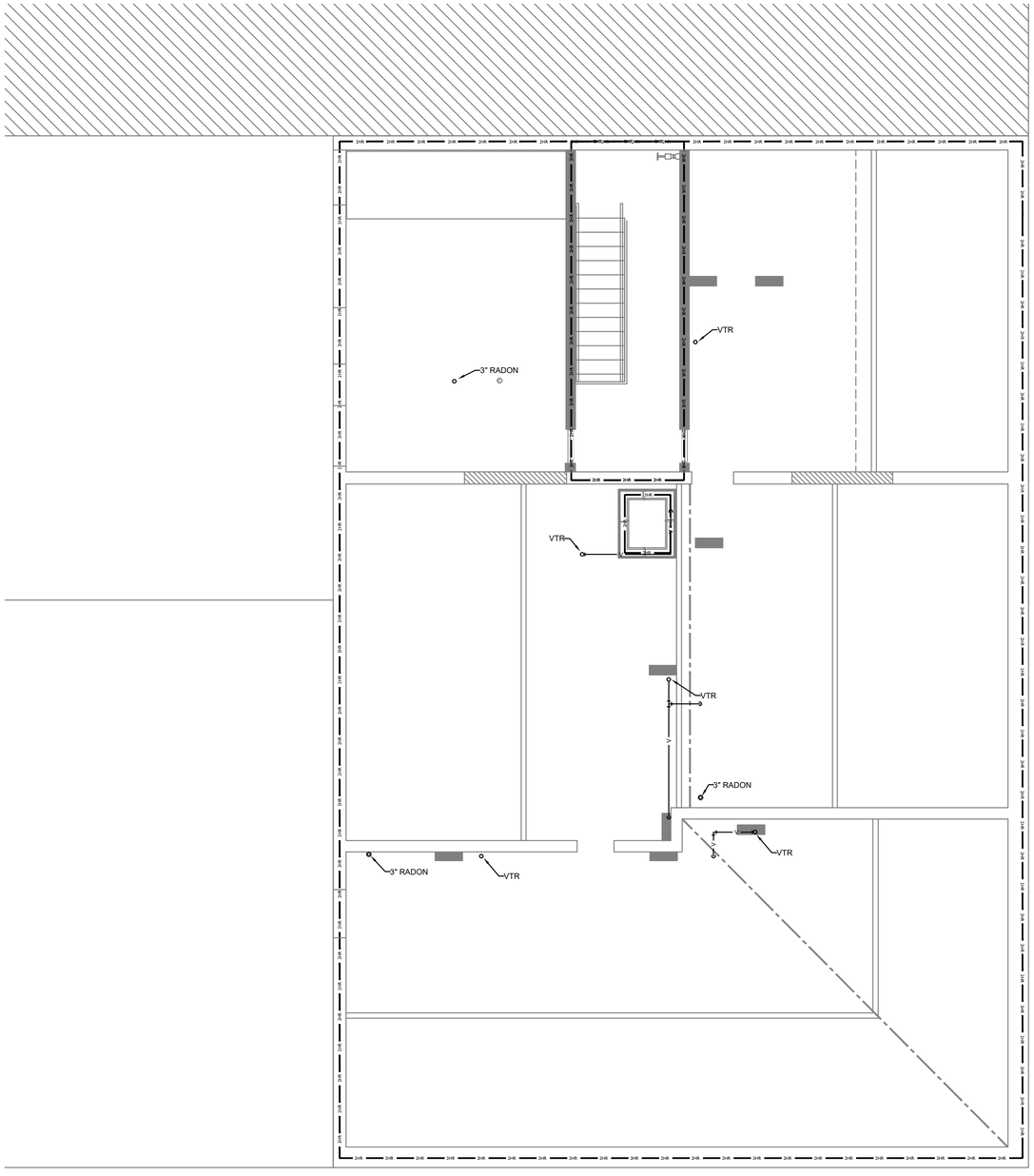
MEP Consulting Services, Inc. in OH

PROPOSED PROJECT:
RENOVATION FOR
1801 VINE ST / 1805 VINE ST
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/10/2022

P1.03



PLUMBING LEGEND

SYMBOL	DESCRIPTION
— — S — —	SANITARY/WASTE PIPING BELOW FLOOR
—— S ——	SANITARY/WASTE PIPING ABOVE CEILING
—— V ——	VENT PIPING
—— CW ——	COLD WATER PIPING
—— HW ——	HOT WATER PIPING
—— HWR ——	HOT WATER RETURN PIPING
—— G ——	NATURAL GAS PIPING
—— ST ——	STORM PIPING
FD ●	FLOOR DRAIN
RD ◎	ROOF DRAIN
OD ◎	OVERFLOW DRAIN
—⋈—	BALL VALVE
—⋊—	CHECK VALVE
—⋉—	BALANCING VALVE
CO ○	CLEANOUT
WH H	FROST PROOF WALL HYDRANT
(#)	VENT THROUGH ROOF RISER INDICATOR
⊂	HOT WATER RETURN PUMP

N

SCALE: 1/4" = 1'-0"

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P1.04

Z:\~Project Directories\9700-9799\9757 - Findlay Flats Findlay Parkside (Willkommen ? Phase II)\~Construction Documents\~Phase 2 (3 Buildings)\1801-1805 VINE\9757-P2-00-PLUMBING-DETAILS.dwg-EBS. Plot Date/Time: Sep 05, 2024-12:56pm - By $(++)

DIVISION 22 - PLUMBING

1. GENERAL PLUMBING REQUIREMENTS
   a. THE PLUMBING CONTRACTOR MUST REFER TO SITE PLANS, ARCHITECTURAL PLANS AND ELEVATIONS, AND PRICING INSTRUCTIONS FROM THE GENERAL CONTRACTOR TO DEVELOP THEIR PRICE. THE PLUMBING CONTRACTOR'S PRICE (INCLUDING TAXES) SHOULD INCLUDE ALL LABOR AND MATERIAL NECESSARY TO PROVIDE A COMPLETE AND FULLY OPERATIONAL PLUMBING SYSTEM.
   b. THE PLUMBING CONTRACTOR SHALL BE LICENSED BY THE STATE OF OHIO TO INSTALL PLUMBING SYSTEMS.
   c. ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE STATE, LOCAL CODES AND ORDINANCES. THE PLUMBING CONTRACTOR SHALL SATISFY CODE REQUIREMENTS AS A MINIMUM STANDARD.
   d. SUBMIT TO THE ARCHITECT PDF FILE COPIES OF COMPLETE AND CERTIFIED SHOP DRAWINGS, DESCRIPTIVE DATA, PERFORMANCE DATA AND RATINGS, DIAGRAMS AND SPECIFICATIONS ON ALL SPECIFIED EQUIPMENT INCLUDING ACCESSORIES, AND MATERIALS FOR REVIEW.
   e. REFER TO ARCHITECTURAL DRAWINGS, GENERAL NOTES, INSTRUCTIONS TO BIDDERS, GENERAL CONDITIONS, SUPPLEMENTARY GENERAL CONDITIONS, SPECIFICATIONS, AND DRAWINGS EXCEPT AS NOTED HEREIN WHICH APPLY IN ALL RESPECTS TO THIS SECTION.
   f. COORDINATE PIPING CHASES, SHAFTS, ABOVE CEILING WORK, ETC. WITH ARCHITECT. ALL DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO WORK.
   g. THE PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING ALL NECESSARY PLUMBING PIPING PENETRATIONS. THIS INCLUDES CORING HOLES IN SLABS, ETC.
   h. EQUIPMENT AND MATERIALS SHALL CONFORM WITH APPROPRIATE PROVISIONS OF AGA, ARI, ASME, ASTM, CISPI, UL, NEMA, ANSI, SMACNA, ASHRAE, NFPA, NEC, AS APPLICABLE TO EACH INDIVIDUAL UNIT OR ASSEMBLY. ALL EQUIPMENT MUST BEAR UL LABEL.
   i. INSTALL EQUIPMENT PER MANUFACTURER'S REQUIREMENTS. MAINTAIN ALL CODE RECOMMENDED CLEARANCES.
   j. WHERE NOT PROVIDED BY OTHERS, PROCURE AND PAY FOR ALL PERMITS, FEES, TAXES AND INSPECTIONS NECESSARY TO COMPLETE THE PLUMBING WORK. FURNISH CERTIFICATE OF APPROVAL FOR WORK FROM INSPECTION AUTHORITY TO OWNER BEFORE FINAL ACCEPTANCE FOR WORK. CERTIFICATE OF FINAL INSPECTION AND APPROVAL SHALL BE SUBMITTED WITH THE CONTRACTOR'S REQUEST FOR PAYMENT. NO FINAL PAYMENT WILL BE APPROVED WITHOUT THIS CERTIFICATE.
   k. ALL WORK SHALL BE ACCURATELY LAID-OUT WITH OTHER TRADES, PRIOR TO INSTALLATION & FABRICATION, TO AVOID ALL CONFLICTS AND OBTAIN A NEAT AND WORKMANLIKE INSTALLATION WHICH WILL AFFORD MAXIMUM ACCESSIBILITY FOR EQUIPMENT OPERATION, MAINTENANCE CLEARANCES AND HEADROOM.
2. USE OF INFORMATION PROVIDED BY EBS
   a. THE INFORMATION PROVIDED IS INTENDED TO CONVEY DESIGN INTENT ONLY. ALL MEANS AND METHODS, SEQUENCES, TECHNIQUES, AND PROCEDURES OF CONSTRUCTION AS WELL AS ANY ASSOCIATED SAFETY PRECAUTIONS AND PROGRAMS, AND ALL INCIDENTAL AND TEMPORARY DEVICES REQUIRED TO CONSTRUCT THE PROJECT, AND TO PROVIDE A COMPLETE AND FULLY OPERATIONAL PLUMBING SYSTEM ARE THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR.
3. CONTRACTOR COORDINATION
   a. COORDINATION DRAWINGS SHOWING SYSTEM AND COMPONENT INSTALLATION LAYOUT, ROUTING, DETAILS, ETC. SHALL BE PRODUCED BY THE PLUMBING CONTRACTOR AND UNDER THE SUPERVISION OF THE GENERAL CONTRACTOR/CONSTRUCTION MANAGER, OR APPROPRIATE PARTY AS APPLICABLE. ALL SYSTEMS INSTALLED BY EACH SUB-CONTRACTOR SHALL BE COORDINATED WITH ONE ANOTHER AND APPROVED BY GENERAL CONTRACTOR/CONSTRUCTION MANAGER, ETC. PRIOR TO INSTALLATION AND/OR FABRICATION. IF QUESTIONS CONCERNING DESIGN INTENT ARISE DURING COORDINATION, EBS CAN ASSIST WHERE APPROPRIATE.
4. PLUMBING FIXTURES
   a. SHUT OFF VALVES/STOPS SHALL BE PROVIDED AT ALL LAVATORIES, SINKS AND WATER CLOSETS.
   b. ALL WALL-HUNG PLUMBING FIXTURES, INCLUDING, BUT NOT LIMITED TO WATER CLOSETS, URINALS, LAVATORIES, AND SINKS SHALL BE ANCHORED TO THE FLOOR WITH CONCEALED IN-WALL CARRIERS. WALL-HUNG FIXTURES SHALL NOT BE SIMPLY BOLTED TO THE WALL OR ANCHORED TO WOOD BLOCKING.
   c. COORDINATE COLOR OF FIXTURES WITH ARCHITECT. FIXTURES SHALL BE WHITE UNLESS OTHERWISE NOTED.
   d. PROVIDE ADA COMPLIANT FIXTURES WHERE INDICATED ON THE ARCHITECTURAL PLANS. PROVIDE OFFSET FIXTURE TAILPIECES AND TRAPS WHERE REQUIRED TO MEET ADA LEG CLEARANCES.
   e. FIXTURES SHALL BE SECURELY FASTENED TO PREVENT ANY MOVEMENT OF FIXTURE DURING NORMAL USE. SEAL TO WALL, FLOOR OR COUNTERTOP WITH SILICONIZED ACRYLIC-LATEX CAULK.
5. DRAIN PANS
   a. PROVIDE DRAIN PAN UNDER WATER HEATERS. PIPE WATER HEATER DRAIN AND PRESSURE RELIEF VALVE SEPARATELY AND INDIRECTLY TO FLOOR DRAIN (NOT TO DRAIN PAN).
   b. DRAIN PANS SHALL BE PROVIDED UNDER WASHERS AND SHALL BE SIZED TO ACCOMMODATE A STANDARD WASHER OR STACKABLE WASHER/DRYER AS APPLICABLE. BASIS OF DESIGN SHALL BE DRIPTITE 30-5/8" WIDE X 34-5/8" DEEP TRANSLUCENT PAN. DRILL ¾" OUTLET IN VERTICAL SIDEWALL FOR SIDE-OUTLET OR IN BOTTOM OF PAN DIRECTLY OVER DRAIN IF DRAIN IS UNDER THE PAN. DRAIN CONNECTION SHALL BE MADE WITH MANUFACTURER PROVIDED DRAIN OUTLET CONNECTION. PANS ARE AVAILABLE IN CUSTOM SIZES IF NECESSARY (COORDINATE SIZES AND LOCATIONS OF THE PAN WITH ROOM DIMENSIONS AND EQUIPMENT SIZES AS PROVIDED BY THE ARCHITECT/OWNER).
6. DOMESTIC WATER SYSTEMS
   a. PROVIDE A NEW DOMESTIC WATER SERVICE TO THE BUILDING
   b. PROVIDE SEPARATE VALVE AND TAB METER FOR EACH APARTMENT AND TENANT SPACE.
   c. INTERIOR DOMESTIC WATER PIPING:
   i. WHERE ALLOWED BY CODE, CPVC PIPING CAN BE USED.
   a. CPVC PIPING 2" AND SMALLER SHALL BE EQUAL TO FLOW GUARD GOLD - THIS SPECIFICATION COVERS COPPER TUBE SIZE (CTS) CPVC MANUFACTURED TO STANDARD DIMENSIONAL RATIO (SDR) 11 FOR HOT AND COLD DOMESTIC WATER DISTRIBUTION. THIS SYSTEM IS INTENDED FOR PRESSURE APPLICATIONS WHERE THE OPERATING TEMPERATURE WILL NOT EXCEED 180°F AT 100 PSI. PIPE AND FITTINGS SHALL BE MANUFACTURED FROM VIRGIN RIGID CPVC (CHLORINATED POLYVINYL CHLORIDE) VINYL COMPOUNDS WITH A CELL CLASS OF 24448 AS IDENTIFIED IN ASTM D 1784. CTS CPVC PIPE AND FITTINGS SHALL CONFORM TO ASTM D 2846. PIPE AND FITTINGS SHALL BE MANUFACTURED AS A SYSTEM AND BE THE PRODUCT OF ONE MANUFACTURER. ALL PIPE AND FITTINGS SHALL BE MANUFACTURED IN THE UNITED STATES. PIPE AND FITTINGS SHALL CONFORM TO NATIONAL SANITATION FOUNDATION (NSF) STANDARDS 14 AND 61. INSTALLATION SHALL COMPLY WITH LATEST INSTALLATION PROVIDED BY THE MANUFACTURER AND SHALL CONFORM TO ALL LOCAL PLUMBING, BUILDING AND FIRE CODE REQUIREMENTS. BURIED PIPE SHALL BE INSTALLED IN ACCORDANCE WITH ASTM F 1668. SOLVENT WELD JOINTS SHALL BE MADE USING CPVC CEMENT CONFORMING TO ASTM F 493. YELLOW ONE-STEP CEMENT MAY BE USED WITHOUT PRIMER. IF A PRIMER IS REQUIRED BY LOCAL PLUMBING OR BUILDING CODES, THEN A PRIMER CONFORMING TO ASTM F 656 SHOULD BE USED. THE SYSTEM SHALL BE PROTECTED FROM CHEMICAL AGENTS, FIRE STOPPING MATERIALS, THREAD SEALANT, PLASTICIZED VINYL PRODUCTS OR OTHER AGGRESSIVE CHEMICAL AGENTS NOT COMPATIBLE WITH CPVC COMPOUNDS. SYSTEMS SHALL BE HYDROSTATICALLY TESTED AFTER INSTALLATION. NEVER TEST WITH OR TRANSPORT/STORE COMPRESSED AIR OR GAS IN CPVC PIPE OR FITTINGS.
   b. CPVC PIPING LARGER THAN 2" SHALL BE EQUAL TO CORZAN - THIS SPECIFICATION COVERS THE MANUFACTURING REQUIREMENTS FOR CPVC SCHEDULE 80 IRON PIPE SIZE (IPS) PIPE AND FITTINGS. BOTH THE PIPE AND FITTINGS ARE MANUFACTURED IN NORTH AMERICA AND MEET OR EXCEED THE REQUIREMENTS SET FORTH BY THE AMERICAN SOCIETY FOR TESTING MATERIALS (ASTM) AND ANSI/NSF STANDARDS 14 AND 61. CPVC PIPE AND FITTINGS ARE EXTRUDED/MOLDED FROM CPVC COMPOUNDS. THE PIPE COMPOUND MEETS CELL CLASS 24448 AND THE FITTING COMPOUND MEETS CELL CLASS 23447 AS DEFINED BY ASTM D1784. BOTH THE PIPE AND THE FITTING COMPOUNDS ARE CERTIFIED BY NSF INTERNATIONAL FOR USE WITH POTABLE WATER. DIMENSIONS, TOLERANCES AND PHYSICAL PROPERTIES MEET OR EXCEED THE REQUIREMENTS OF ASTM STANDARDS F441 FOR PIPE, F439 FOR SOCKET FITTINGS AND ASTM F437 OR F439 FOR THREADED FITTINGS. THREADED FITTINGS HAVE TAPER PIPE THREADS IN ACCORDANCE WITH ASTM F1498. UNIONS AND FLANGES MEET OR EXCEED THE REQUIREMENTS OF ASTM F1970. ALL SOCKET TYPE JOINTS SHALL BE ASSEMBLED EMPLOYING SOLVENT CEMENTS THAT MEET OR EXCEED THE REQUIREMENTS OF ASTM F493. THE STANDARD PRACTICE FOR SAFE HANDLING OF SOLVENT CEMENTS SHALL BE IN ACCORDANCE WITH ASTM F402. SOLVENT CEMENT SHALL BE LISTED BY NSF INTERNATIONAL FOR USE WITH POTABLE WATER, AND APPROVED BY THE FITTINGS MANUFACTURERS. WATER FILLED PIPE AND FITTINGS (1/2" THROUGH 6") TESTED IN GENERAL ACCORDANCE WITH UL 723/ASTM E 84 (NFPA 255 AND UBC 8-1) MEETS THE 25/50 FLAME AND SMOKE REQUIREMENT AND SHALL BE PERMITTED TO BE INSTALLED IN RETURN AIR PLENUMS. TEST REPORTS FROM A THIRD PARTY TESTING LABORATORY SHALL BE OBTAINED AND MADE AVAILABLE UPON REQUEST. THE MARKING ON THE CPVC PIPE MEET THE REQUIREMENTS OF ASTM F441 AND THE MARKING ON THE FITTINGS MEETS THE REQUIREMENTS OF ASTM STANDARDS F437, F438 OR F1970. THE PIPE AND FITTINGS MARKINGS STATE THE PIPE/FITTING MANUFACTURE'S NAME OR TRADEMARK, THE MATERIAL DESIGNATION, THE SIZE, THE NSF MARK FOR POTABLE WATER AND THE ASTM DESIGNATION.
   ii. WHERE ALLOWED BY CODE, PEX TUBE AND FITTINGS CAN BE USED. TUBING SHALL BE PEX-A TYPE AND FITTINGS SHALL BE EQUAL TO UPONOR AQUAPEX. TUBING AND FITTINGS MUST CONFORM TO ASTM F876 "STANDARD SPECIFICATION FOR CROSSLINKED POLYETHYLENE, ASTM F877 "STANDARD FOR CROSSLINKED POLYETHYLENE PLASTIC HOT AND COLD WATER DISTRIBUTION SYSTEMS". PROVIDE ENGINEERED PLASTIC FITTINGS WITH PLASTIC COLLARS WHICH CONFORM TO ASTM F1960 STANDARD SPECIFICATION FOR COLD EXPANSION FITTINGS WITH PEX REINFORCING RINGS FOR USE WITH CROSSLINKED POLYETHYLENE PIPING. PEX TUBING AND CONNECTIONS SHALL BE WARRANTED FOR A PERIOD OF 25 YEARS. DO NOT WELD, GLUE, TAPE OR ALLOW OTHER SOLVENT BASED ADHESIVES OR PAINTS TO COME INTO CONTACT WITH TUBING. DO NOT ALLOW TUBING TO COME IN CONTACT WITH PIPE THREAD COMPOUNDS, FIREWALL PENETRATION SEALING COMPOUNDS, AND PETROLEUM BASED SEALANTS. DO NOT ALLOW TUBING TO COME WITHIN 6" OF GAS APPLIANCE VENTS OR 12" OF RECESSED LIGHT FIXTURES. DO NOT EXPOSE TUBING TO OPEN FLAME. DO NOT SOLDER WITHIN 18" OF TUBING. DO NOT INSTALL TUBING BETWEEN TUB SPOUT AND SHOWER VALVE. RADIUS OF BENDS MUST NOT EXCEED SIX TIMES OUTSIDE TUBE DIAMETER. REPAIR KINKS IN TUBING USING HEAT AS RECOMMENDED BY MANUFACTURER. TUBING SHALL BE INSTALLED IN MAXIMUM PRACTICAL LENGTHS, AS DIRECTLY AS POSSIBLE TO REMOTE MANIFOLD WITH MINIMUM FITTINGS. TUBING SHALL BE SUPPORTED IN A MATTER THAT DOES NOT DAMAGE TUBING AND ALLOWS FOR THERMAL EXPANSION. SUPPORTS SHALL BE SPACED AT 32" MINIMUM HORIZONTALLY AND 60" VERTICALLY AND WITHIN 6" OF FITTINGS OR BENDS. USE BEND SUPPORTS AT 90 DEGREE BENDS. PROTECT INSTALLED TUBING FROM DAMAGE. INSTALL METAL PLATES WHERE TUBING PENETRATES STUDS AT FACE OF STUDS. REMOTE MANIFOLD TYPE FITTINGS SHALL BE UTILIZED AT BRANCHES IN ROOMS WHERE TUBING IS TERMINATED (MODIFIED HOME-RUN INSTALLATION TYPE). UTILIZE EXPANDER TOOLS RECOMMENDED BY MANUFACTURER FOR CONNECTION OF TUBING TO FITTINGS. DO NOT OVER EXPAND TUBING. PIPE SHALL BE SUPPORTED AT FITTINGS AND FIXTURES AS RECOMMENDED BY MANUFACTURER. PIPING SHALL BE INSTALLED WITH MINIMUM AMOUNT OF FITTINGS. USE MANUFACTURER APPROVED VALVES, FITTINGS, HOSE BIBS AND BOXES AT FIXTURES.
   d. CONTROL VALVES SHALL BE MANUFACTURED BY OR APPROVED BY PIPING MANUFACTURER.
   e. ADJUST ALL STOPS AND VALVES PROPERLY PRIOR TO PROJECT COMPLETION.
   f. PROVIDE HOT WATER RETURN PUMP EQUAL TO BELL AND GOSSETT SERIES 100 OR EQUAL PUMP MANUFACTURED BY ARMSTRONG, GRUNDFOS, OR TACO.
   g. PROVIDE AUTOMATIC TIMER KIT EQUAL TO BELL AND GOSSETT MODEL TC-1, AND PROGRAM PUMP TO OPERATE TO ACCOMMODATE THE OWNER'S HOURS OF OPERATION.
7. TAB METERS FOR DOMESTIC WATER
   a. PROVIDE VALVE AND TAB METERS TO ISOLATE WATER USAGE FOR EACH DWELLING UNIT AND TENANT SPACE. PROVIDE SHUT-OFF VALVE UPSTREAM OF METER AND LOCATE IN AN ACCESSIBLE LOCATION.
8. BACKFLOW PREVENTION
   a. PROVIDE REDUCED PRESSURE BACKFLOW PREVENTER ON WATER SERVICE ENTRANCE.
   b. BACKFLOW PREVENTERS FOR 2" AND SMALLER WATER SERVICES - PROVIDE REDUCED PRESSURE BACKFLOW PREVENTER ON THE WATER SERVICE MAIN WHERE THE WATER SERVICE ENTERS THE BUILDING. REDUCED PRESSURE BACKFLOW PREVENTER TO BE EQUAL TO WATTS SERIES LF919QT. APPROVED MANUFACTURERS OF EQUAL PRODUCTS SHALL BE CONBRACO AND WILKINS.
9. HOSE BIBS AND HYDRANTS
   a. PROVIDE FROST-PROOF EXTERIOR WALL HYDRANTS ON EACH ELEVATION OF THE BUILDING.
   b. WALL HYDRANTS TO BE EQUAL TO ¾" WOODFORD MODEL B-67, WITH CHROME FINISH ON BRASS CASTING, WITH BOX AND HINGED DOOR, AND LOOSE-TEE KEY. CONCEAL WITHIN INTERIOR PARTITIONS AND/OR INSTALL IN A MANNER THAT PREVENTS FREEZING. FURNISH TO OWNER, ONE VALVE KEY FOR EACH KEY OPERATED WALL HYDRANT INSTALLED. APPROVED MANUFACTURERS OF EQUAL PRODUCTS SHALL BE ZURN, WADE, JOSAM, SMITH, OR WATTS.
10. SANITARY AND VENT SYSTEMS
   a. CONNECT NEW SANITARY PIPING TO THE EXISTING SANITARY STACKS AND/OR UNDERGROUND SANITARY BUILDING SEWER. CONTRACTOR SHALL CLEAN AND INSPECT EXISTING UNDERGROUND BUILDING SEWER, SEWER LATERAL AND ALL PIPING INTENDED TO BE REUSED TO DETERMINED CONDITION FOR REUSE. PROVIDE INSPECTION REPORT AND RECOMMENDATION TO OWNER.
   b. CUT AND PATCH BASEMENT SLAB AS REQUIRED TO INSTALL NEW SANITARY PIPING.
   c. INTERIOR SANITARY, WASTE, AND VENT PIPING:
   i. WHERE NOT INSTALLED IN A PLENUM, SANITARY, WASTE, AND VENT PIPING WITHIN BUILDING TO BE SCHEDULE 40 PVC PIPING AND FITTINGS CONFORMING TO ASTM D 2665, SOLID-WALL DRAIN PIPING WITH PVC SOCKET SOLVENT WELD FITTINGS CONFORMING TO ASTM D2665, MADE TO ASTM D3311, DRAIN, WASTE, AND VENT PATTERNS.
   ii. WHERE PIPING SHALL BE INSTALLED IN A PLENUM, SANITARY, WASTE, AND VENT PIPING WITHIN BUILDING TO BE NO-HUB, CAST-IRON PIPE WITH NO-HUB COUPLINGS CONSISTING OF A STAINLESS STEEL SHIELD, CLAMP, AND NEOPRENE GASKET. COUPLINGS SHALL BE TESTED AND CERTIFIED TO CISPI 310, ASTM C1277, ASTM C564, AND NSF. IDEAL CLAMP PRODUCTS' HEAVY DUTY POW'R GEAR (RED SHIELD) COUPLINGS ARE ALSO APPROVED AND ACCEPTABLE. THESE COUPLINGS ARE LISTED WITH NSF INTERNATIONAL AND CONFORM WITH ASTM C1540 PERFORMANCE REQUIREMENTS (SHEAR, DEFLECTION AND UNRESTRAINED THRUST TESTS).
   d. COORDINATE WITH LOCAL AUTHORITIES FOR DRAINAGE REQUIREMENTS FOR EQUIPMENT DESIGNATED WITH INDIRECT WASTE TO FLOOR DRAINS. PROVIDE PIPED DRAIN TO SANITARY IF REQUIRED BY LOCAL JURISDICTION.
11. FLOOR DRAINS
   a. PROVIDE FLOOR DRAINS IN ALL TOILET ROOMS THAT HAVE MORE THAN ONE WATER CLOSET OR URINAL.
   b. PROVIDE FLOOR DRAINS FOR ALL EQUIPMENT PRODUCING CONDENSATE AND THAT HAVE DRAIN CONNECTIONS.
   c. FLOOR DRAINS IN FINISHED AREAS TO BE PVC BODY, DOUBLE DRAINAGE FLANGE, WEEP HOLES, WITH 6" DIAMETER NICKEL BRONZE STRAINER.
   d. FLOOR DRAINS IN MECHANICAL SPACE TO BE PVC BODY, DOUBLE DRAINAGE FLANGE, WEEP HOLES, WITH 9" DIAMETER HEAVY-DUTY DUCTILE IRON STRAINER.
   e. PROVIDE CAST IRON BODIED FLOOR DRAINS WHERE DRAINS ARE INSTALLED IN A PLENUM (MECHANICAL ROOMS THAT ARE USED AS PLENUMS).
12. TRAP SEAL PROTECTION
   a. TRAP SEALS SUBJECT TO EVAPORATION SHALL BE PROTECTED BY ONE OF THE METHODS BELOW, AS APPROVED BY THE LOCAL PLUMBING AUTHORITY HAVING JURISDICTION:
   b. BARRIER-TYPE TRAP SEAL PROTECTION DEVICE - A BARRIER-TYPE TRAP SEAL PROTECTION DEVICE MUST PROTECT THE TRAP SEAL FROM EVAPORATION. BARRIER-TYPE TRAP SEAL PROTECTION DEVICES MUST CONFORM TO ASSE 1072. THE DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
13. STORM PIPING
   a. CONNECT NEW STORM PIPING TO EXISTING SEWER LATERAL.
   b. CUT AND PATCH BASEMENT SLAB AS REQUIRED TO INSTALL NEW STORM PIPING.
   c. PROVIDE NEW PRIMARY AND SECONDARY ROOF DRAINS AND ASSOCIATED PRIMARY AND SECONDARY STORM PIPING SYSTEMS WHERE INTERIOR DRAINS ARE SHOWN ON ARCHITECTURAL ROOF PLAN. SECONDARY ROOF DRAINS SHALL BE PIPED INDEPENDENTLY FROM THE PRIMARY SYSTEM AND MUST DISCHARGE THROUGH DOWNSPOUT NOZZLES LOCATED IN THE EXTERIOR WALL AT GRADE.
   d. INTERIOR STORM PIPING:
   i. WHERE NOT INSTALLED IN A PLENUM, ABOVEGROUND STORM PIPING WITHIN BUILDING SHALL BE SCHEDULE 40 PVC PIPING AND FITTINGS CONFORMING TO ASTM D 2665, SOLID-WALL DRAIN PIPING WITH PVC SOCKET SOLVENT WELD FITTINGS CONFORMING TO ASTM D2665, MADE TO ASTM D3311, DRAIN, WASTE, AND VENT PATTERNS.
14. STORM PIPING SPECIALTIES
   a. PRIMARY ROOF DRAINS MUST HAVE PVC BODY AND POLYETHYLENE DOME.
   b. SECONDARY ROOF DRAINS MUST HAVE PVC BODY, POLYETHYLENE DOME, AND INTERNAL WATER DAM/EXTENSION COLLAR.
   c. DOWNSPOUT NOZZLES FOR SECONDARY DRAINAGE DISCHARGING TO GRADE MUST HAVE NICKEL-BRONZE BODY AND REMOVABLE STAINLESS-STEEL SCREEN EQUAL TO ZURN Z199-SS.
15. CLEANOUTS
   a. PROVIDE FLOOR AND WALL CLEANOUTS WHERE REQUIRED IN ALL SOIL, WASTE, DRAIN AND STORM PIPING. IN AREAS WITH CERAMIC TILE OR CARPETED FLOORING, PROVIDE CLEANOUTS WITH SQUARE, ADJUSTABLE, NICKEL BRONZE TOP. IN AREAS WITH RESILIENT FLOORING, PROVIDE CLEANOUTS WITH SQUARE, ADJUSTABLE, NICKEL BRONZE TOP WITH TILE RECESS. CLEANOUTS SHALL BE SAME SIZE AS PIPE EXCEPT THAT CLEANOUTS LARGER THAN 4" WILL NOT BE REQUIRED. WHERE CLEANOUTS OCCUR IN WALLS OF FINISHED AREAS, THEY SHALL BE CONCEALED BEHIND CHROME PLATED ACCESS COVERS.
16. VALVES - GENERAL
   a. PLUMBING CONTRACTOR MUST PROVIDE VALVES AS NECESSARY FOR PROPER SYSTEM OPERATION AND COMPONENT ISOLATION. INSTALL VALVES FOR EACH ISOLATED FIXTURE OR GROUP OF FIXTURES, AND EACH CONNECTION TO EQUIPMENT.
   b. LOCATE SHUT-OFF VALVES ADJACENT TO EQUIPMENT FOR EASY ACCESS SUCH THAT VALVES CAN BE REACHED WITHOUT MOVING EQUIPMENT.
17. VALVES FOR DOMESTIC WATER
   a. VALVES FOR DOMESTIC WATER MUST MEET THE REQUIREMENTS OF THE LEAD-FREE LAW S.3874. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE LEAD-FREE PRODUCTS AS MANDATED BY THE LAW AND AS REQUIRED/INTERPRETED BY THE AUTHORITY HAVING JURISDICTION.
   b. PROVIDE VALVES FOR WORKING PRESSURE IN WATER PIPING OF 125 PSI OR GREATER.
   c. GENERAL DUTY SHUT-OFF BALL VALVES
   i. PROVIDE TWO-PIECE, FULL PORT, SILICON BRONZE BALL VALVES WITH THE CAPABILITY OF ACCEPTING EXTENDED OPERATING HANDLES (FOR INSULATED PIPING). VALVES SHALL BE NIBCO MODEL T/S/PC-595-Y-66-LF (-NS) OR EQUAL PRODUCT MANUFACTURED BY AMERICAN VALVE CO, CRANE, HAMMOND, MILWAUKEE, RED-WHITE VALVE CORPORATION, OR WATTS.
   d. BALANCING VALVES
   i. BALANCING VALVES SHALL BE EQUAL TO CIRCUITSOLVER, THERMOSTATIC, SELF-ACTUATING BALANCING VALVES WITH UNIONS, THERMOMETER AND TWO INTEGRATED BALL VALVES.
   e. THERMOSTATIC MIXING VALVES
   i. TEMPERED WATER SHALL BE DELIVERED FROM PUBLIC HAND-WASHING FACILITIES (LAVATORIES AND SINKS) THROUGH AN APPROVED WATER-TEMPERATURE LIMITING DEVICE THAT CONFORMS TO ASSE 1070. SET OUTLET TEMPERATURE OF THERMOSTATIC MIXING VALVE TO 110 DEGREES F. POINT-OF-USE THERMOSTATIC MIXING VALVES SHALL BE EQUAL TO WATTS SERIES USG-B. ROUTE TEMPERED WATER TO HOT WATER SIDE OF SINK/LAVATORY. ACCEPTABLE MANUFACTURERS INCLUDE SYMMONS, LAWLER, LEONARD, POWERS, BRADLEY, AND WATTS.
18. EXPANSION COMPENSATION
   a. PROVIDE EXPANSION COMPENSATION ON ALL PIPING PER PIPING MANUFACTURER'S RECOMMENDATIONS. ACCOUNT FOR PIPE MATERIAL, PIPE SIZE, PIPE LENGTHS, TEMPERATURE OF FLUIDS, AND ALL OTHER VARIABLES PERTAINING TO THE INSTALLATION.
   b. INSTALL PIPING TO PREVENT STRAINS AND STRESSES THAT EXCEED THE STRUCTURAL STRENGTH OF THE PIPE. WHERE NECESSARY, PROVISIONS SHALL BE MADE TO PROTECT PIPING FROM DAMAGE RESULTING FROM EXPANSION, CONTRACTION, AND STRUCTURAL SETTLEMENT.
   c. EXPANSION JOINT FITTINGS SHALL BE USED ONLY WHERE NECESSARY TO PROVIDE EXPANSION AND CONTRACTION OF THE PIPES. EXPANSION JOINT FITTINGS SHALL BE OF THE TYPICAL MATERIAL SUITABLE FOR USE WITH THE TYPE OF PIPING IN WHICH SUCH FITTINGS ARE INSTALLED.
   d. IN LIEU OF PROVIDING EXPANSION JOINTS, PIPING OFFSETS SHALL BE PERMITTED WHEN INSTALLED PER THE PIPING MANUFACTURER'S RECOMMENDATIONS.
19. HANGERS & SUPPORTS
   a. THE PLUMBING CONTRACTOR MUST FURNISH ALL PIPE SUPPORTS REQUIRED FOR THEIR WORK. ALL PIPING SHALL BE SUPPORTED PER CODE. ADDITIONAL SUPPORTS SHALL BE PROVIDED WHERE REQUIRED TO PREVENT SAGGING. WHERE ALTERNATIVE PIPING MATERIALS ARE USED, HANGER SPACING CAN BE REDUCED AS RECOMMENDED BY THE MANUFACTURER AND WHERE ALLOWED BY CODE.
20. INSULATION
   a. PROVIDE THERMAL INSULATION ON ALL METALLIC DOMESTIC COLD WATER, DOMESTIC HOT WATER, DOMESTIC HOT WATER RETURN PIPING WITH SELF-SEALING CLOSED CELL ELASTOMERIC FOAM. PROVIDE A CONTINUOUS VAPOR TIGHT SEAL. INSULATION SHALL BE CONTINUOUS THRU ALL WALLS AND FLOORS. NFPA FIRE HAZARD RATING FOR INSULATION, ADHESIVES, SEALERS, AND COATINGS MUST NOT EXCEED 25 FOR FLAME SPREAD AND 50 FOR SMOKE DEVELOPED, UNLESS OTHERWISE REQUIRED BY THE LOCAL AUTHORITY OR ENERGY CODES. THE MINIMUM INSULATION LEVELS SHALL BE AS FOLLOWS:
   i. PROVIDE 1" THICK ELASTOMERIC INSULATION ON HOT AND HOT WATER RETURN PIPING.
   b. PROVIDE INSULATION ON ALL PEX PIPING WHEN USED IN PLENUMS AND WHERE REQUIRED TO MAINTAIN THE REQUIRED FLAME AND SMOKE RATINGS. MOST PEX PIPING ¾" AND SMALLER SHALL BE INSULATED TO MAINTAIN ITS PLENUM RATED PROPERTY IF 18" SEPARATION BETWEEN THE PIPING CANNOT BE PROVIDED.
21. INSULATION FOR HANDICAP ACCESSIBLE FIXTURES (WHERE NOT PROTECTED WITH A SHROUD)
   a. ALL HANDICAP LAVATORY P-TRAP AND ANGLE STOP ASSEMBLIES SHALL BE INSULATED WITH TRAP WRAP PROTECTIVE KIT MANUFACTURED BY PROFLO MODEL PF200 SERIES OR EQUAL. PROVIDE OFFSET TRAPS FOR HANDICAP ACCESSIBLE FIXTURES WHERE REQUIRED. ABRASION RESISTANT, ANTI-MICROBIAL VINYL EXTERIOR COVER SHALL BE SMOOTH. FOR TRAPS, THE INSULATION MUST HAVE A CLEANOUT NUT CAP TO ALLOW SERVICE TO THE TRAP WITHOUT DISASSEMBLY. FOR STOPS, THE INSULATION MUST HAVE A LOCK LID THAT PREVENTS TAMPERING BUT ALLOWS ACCESS WITHOUT REMOVAL OF THE INSULATION. FASTENERS MUST REMAIN SUBSTANTIALLY OUT OF SIGHT. ACCEPTABLE MANUFACTURERS INCLUDE PROFLO, TRUEBRO, PLUMBEREX, AND DEARBORN.
22. CONCRETE HOUSEKEEPING PADS
   a. ALL FLOOR-MOUNTED EQUIPMENT SHALL BE INSTALLED LEVEL AND PLUMB ON 4" THICK CONCRETE HOUSEKEEPING PAD.
23. ESCUTCHEON PLATES
   a. INSTALL ONE-PIECE CHROME PLATED BRASS WALL PLATE EQUIPPED WITH SET SCREW AROUND ALL EXPOSED PIPE PASSING THROUGH WALLS IN FINISHED AREAS.
24. ACCESS PANELS
   a. LOCATE VALVES IN READILY ACCESSIBLE LOCATIONS. WHERE VALVES SHALL BE INSTALLED ABOVE NON-ACCESSIBLE CEILINGS, PROVIDE ACCESS PANELS. ACCESS PANELS SHALL BE PAINTABLE METAL. COORDINATE ACCESS PANEL SIZES AND LOCATIONS WITH THE ARCHITECT.
25. FIRE STOPPING
   a. PROVIDE FIRE STOPPING AT ALL PENETRATIONS THROUGH RATED SEPARATIONS PER LOCAL CODES & REGULATIONS & PER UL RECOMMENDATIONS FOR ASSEMBLIES ENCOUNTERED IN PROJECT.
   b. THE FIRE STOPPING MATERIAL MUST MEET THE INTEGRITY OF THE FIRE RATED WALL, FLOOR, CEILING & ROOF BEING PENETRATED. REFER TO ARCHITECT'S DRAWINGS FOR WALL, FLOOR, CEILING & ROOF FIRE RATINGS PRIOR TO BIDDING WORK.
26. FLASHING & COUNTERFLASHING
   a. PROVIDE ROOF FLASHING AND COUNTERFLASHING FOR ALL ROOF PENETRATIONS.
   b. OBTAIN APPROVAL FROM GENERAL CONTRACTOR, CONSTRUCTION MANAGER, OWNER AND/OR ROOFING CONTRACTOR PRIOR TO MAKING ANY PENETRATIONS SO THAT WARRANTIES ARE NOT COMPROMISED OR VOIDED.
27. CATHODIC PROTECTION
   a. PROVIDE DIELECTRIC INSULATION AT POINTS WHERE COPPER OR BRASS PIPE COMES IN CONTACT WITH FERROUS PIPING, REINFORCING STEEL OR OTHER DISSIMILAR METAL IN STRUCTURE.
28. EXCAVATION, TRENCHING & BACKFILL
   a. DO ALL EXCAVATION, TRENCHING & BACKFILL REQUIRED FOR THE INSTALLATION OF PLUMBING WORK.
   b. ALL BACKFILL SHALL BE COMPACTED & BROUGHT TO FINISHED GRADE AND MUST MATCH SURROUNDING CONDITIONS.
   c. RESTORE ALL DISTURBED FLOORING TO ORIGINAL CONDITION.
   d. ALL PIPING SHALL BE LAID ON A BED OF SAND, 6" THICK MINIMUM. BACKFILL UNDER BUILDING AND ALL DRIVES, ROADS AND WALKS WITH BANK-RUN GRAVEL.
29. CUTTING AND PATCHING
   a. CUT AND PATCH WALLS AND FLOORS TO MATCH BUILDING CONSTRUCTION WHERE REQUIRED TO INSTALL ALL PLUMBING.
30. CONNECTIONS
   a. INSTALL UNIONS AT FINAL CONNECTION TO EACH PIECE OF EQUIPMENT. INSTALL DIELECTRIC COUPLINGS TO CONNECT PIPING MATERIALS OF DISSIMILAR METALS.
31. INSTALLATION
   a. INSTALL PIPING FREE OF SAGS AND BENDS. INSTALL FITTINGS FOR CHANGES IN DIRECTION AND BRANCH CONNECTIONS. INSTALL SLEEVES FOR PIPES PASSING THROUGH CONCRETE AND MASONRY WALLS, GYPSUM-BOARD PARTITIONS, CONCRETE FLOOR, AND ROOF SLABS. SEAL PIPE PENETRATIONS THROUGH RATED CONSTRUCTION WITH FIRESTOPPING SEALANT MATERIAL. UNDERGROUND WATER AND SEWER LINES SHALL BE LAID IN SEPARATE TRENCHES WITH A MINIMUM HORIZONTAL SPACING AS REQUIRED BY CODE, EXCAVATED TO THE PROPER DEPTH AND GRADED TO PRODUCE THE REQUIRED FALL.
32. TESTING
   a. ALL PLUMBING WORK SHALL BE TESTED & APPROVED BY INSPECTOR PRIOR TO BEING BACKFILLED, CONCEALED & PUT INTO SERVICE. AFTER TESTING IS COMPLETE & APPROVED, THE PLUMBING CONTRACTOR MUST DISINFECT THE POTABLE WATER SYSTEM AS REQUIRED BY LOCAL AUTHORITY. TEST WATER PURITY ACCORDING TO LOCAL REQUIREMENTS AND SUBMIT CERTIFIED TEST RESULTS TO OWNER FOR REVIEW AND APPROVAL.
33. SHOP DRAWINGS
   a. SUBMIT TO THE ARCHITECT PDF FILE COPIES OF COMPLETE & CERTIFIED SHOP DRAWINGS, DESCRIPTIVE DATA, PERFORMANCE DATA & RATINGS, DIAGRAMS AND SPECIFICATIONS ON ALL SPECIFIED EQUIPMENT, INCLUDING ACCESSORIES, AND MATERIALS FOR REVIEW.
   b. THE MAKE, MODEL NUMBER, TYPE, FINISH & ACCESSORIES OF ALL EQUIPMENT AND MATERIALS SHALL BE REVIEWED & APPROVED BY THE PLUMBING CONTRACTOR & GENERAL CONTRACTOR PRIOR TO SUBMITTING TO THE ARCHITECT FOR THEIR REVIEW & APPROVAL.
   c. REVIEW OF SHOP DRAWINGS DOES NOT RELIEVE THE PLUMBING CONTRACTOR/VENDOR FROM COMPLIANCE WITH THE REQUIREMENTS OF THE CONTRACT DRAWINGS, SPECIFICATIONS & APPLICABLE CODES.
34. OWNER'S INSTRUCTIONS
   a. PROVIDE TWO SETS OF COMPLETE OPERATING AND MAINTENANCE INSTRUCTIONS WITH DRAWINGS, TYPEWRITTEN INSTRUCTIONS AND OPERATING SEQUENCES AND DESCRIPTIVE DATA SHEETS. ASSEMBLE EACH SET IN A HARD-BOUND COVER.
35. WARRANTY
   a. THE PLUMBING CONTRACTOR MUST UNCONDITIONALLY WARRANT ALL WORK TO BE FREE OF DEFECTS IN EQUIPMENT, MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE BY OWNER AND THE PLUMBING CONTRACTOR WILL REPAIR OR REPLACE ANY DEFECTIVE WORK PROMPTLY AND WITHOUT CHARGE TO THE OWNER.
   b. RESTORE ANY OTHER EXISTING WORK DAMAGED IN THE COURSE OF REPAIRING DEFECTIVE EQUIPMENT, MATERIALS AND WORKMANSHIP.

END OF DIVISION 22 - PLUMBING

GAS INPUT SCHEDULE FOR 1801-05 VINE ST.

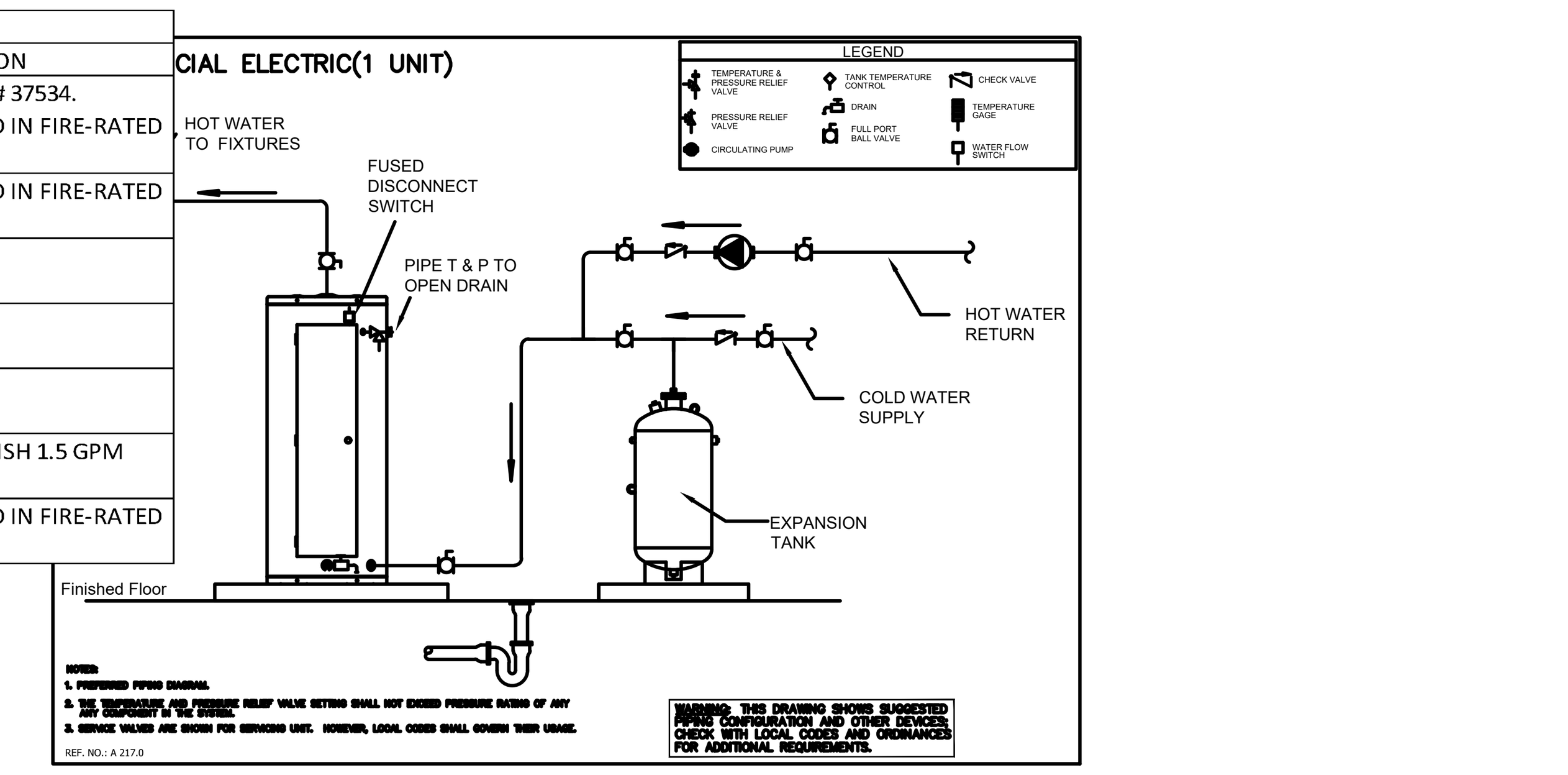
SERVICE ADDRESS: 1801-05 VINE ST. CINCINNATI, OH	
TOTAL EQUIVALENT LENGTH OF PIPE: 175'	GAS SERVICE LENGTH: TBD
REQUIRED DELIVERY PRESSURE: 7" W.C.	NUMBER OF METERS: 1
EQUIPMENT	LOAD (CFH)
FURNACE 3	60
FURNACE 3.5	60
FUTURE GAS LOAD	3000
BUILDING TOTAL	3120

WATER HEATER SCHEDULE

MARK	MANUFACTURER	MODEL	HEIGHT	CONNECTION	GALLON	KW INPUT	VOLTAGE	PHASE	GPH @ 90	ADDITIONAL INFORMATION
EDWH1	A.O SMITH	ENT-40	TALL	TOP	40	4.5	208V	1	21	

MISCELLANEOUS FIXTURE SCHEDULE

MARK	FIXTURE DESCRIPTION	FIXTURE MANUFACTURER	FIXTURE MODEL	FAUCET MANUFACTURER	FAUCET MODEL	APPROVED FIXTURE MANUFACTURERS	APPROVED FAUCET MANUFACTURER	ADDITIONAL INFORMATION
AAV1	AIR ADMITTANCE VALVE	OATEY	MODA	N/A	N/A	ACCOR, GUY GRAY, SIOUX CHIEF, OATEY	N/A	PROVIDE WITH LOUVERED FACEPLATE # 37534. PROVIDE FIRE-RATED BOX IF INSTALLED IN FIRE-RATED WALL
IB1	ICE MAKER WATER SUPPLY BOX	OATEY	MODA WITH SURE-VENT	N/A	N/A	ACCOR, GUY GRAY, SIOUX CHIEF, OATEY	N/A	PROVIDE FIRE-RATED BOX IF INSTALLED IN FIRE-RATED WALL
SH1	SHOWER CONTROLS AND SHOWER PAN	KOHLER	K-8459-0 LEFT - K8458-0 RIGHT	PERRLESS	PTT188782-BL	N/A	KOHLER, AMERICAN STANDARD, SYMMONS, POWERS, DELTA	1.75 GPM MATTE BLACK FINISH
SH2	SHOWER CONTROLS AND SHOWER PAN	KOHLER	K-8639-0 LEFT - K8638-0 RIGHT	PEERLESS	PTT188782-BL	N/A	KOHLER, AMERICAN STANDARD, SYMMONS, POWERS, DELTA	1.75 GPM MATTE BLACK FINISH
BT1	BATH TUB	AMERICAN STANDARD	PRINSTON 60"	PEERLESS	PTT188792-BL	N/A	KOHLER, AMERICAN STANDARD, SYMMONS, POWERS, DELTA	MATTE B;ACK FINSH
KS1	KITCHENETTE SINK	PROFLO	PLOMOSA 24"	PEERLESS	P188152LF	ELKAY, JUST	ELKAY, JUST, MOEN, DELTA	PULL DOWN HEAD STAINLES STEEL FINISH 1.5 GPM W/CRUMB CUP STRAINER
WB1	WASHER SUPPLY/DRAIN BOX	OATEY	MODA	N/A	N/A	SYMMONS, GUY GRAY, SIOUX CHIEF, OATEY	N/A	PROVIDE FIRE-RATED BOX IF INSTALLED IN FIRE-RATED WALL



DRAIN SCHEDULE

MARK	DESCRIPTION	BASE MANUFACTURER	MODEL #	FINISH	ADDITIONAL FEATURES	ACCEPTABLE MANUFACTURERS
DN1	DOWNSPOUT NOZZLE	ZURN	Z199-SS	NICKEL-BRONZE BODY	REMOVABLE STAINLESS STEEL SCREEN	ZURN, SMITH, WATTS, WADE, JOSAM, MIFAB
FD1	ON-GRADE FLOOR DRAIN (UNFINISHED AREAS)	OATEY	TRUE SET ON-GRADE TP SERIES	PVC BODY, 5" NICKEL-BRONZE STRAINER WITH RING	TRAP PRIMER, SQUARE STRAINER IF INSTALLED IN TILE FLOOR	SIOUX CHIEF, OATEY, NSF, JUMBO
FD2	ABOVE-GRADE FLOOR DRAIN (UNFINISHED AREAS)	OATEY	TRUE SET FLANGED TP SERIES	PVC BODY, 5" NICKEL-BRONZE STRAINER WITH RING	FLANGED DRAIN, TRAP PRIMER, SQUARE STRAINER IF INSTALLED IN TILE FLOOR	SIOUX CHIEF, OATEY, NSF, JUMBO
OD1	OVERFLOW ROOF DRAIN	SIOUX CHIEF	868-E-S-U-STP2	PVC BODY,POLYETHYLENE DOME	EXTENSION, ROOF SUMP, UNDERDECK CLAMP	SIOUX CHIEF, OATEY, NSF, JUMBO
RD1	ROOF DRAIN	SIOUX CHIEF	868-E-S-U	PVC BODY,POLYETHYLENE DOME	EXTENSION, ROOF SUMP, UNDERDECK CLAMP	SIOUX CHIEF, OATEY, NSF, JUMBO

LAVATORY SCHEDULE

MARK	LAVATORY DESCRIPTION	FIXTURE MANUFACTURER	FIXTURE MODEL	FAUCET MANUFACTURER	FAUCET MODEL	MATERIAL	USE	MOUNTING	STYLE	CONTROL	FLOW RATE	DRAIN	APPROVED FIXTURE MANUFACTURERS	APPROVED FAUCET MANUFACTURERS	ADDITIONAL INFORMATION
LV1	UNDERMOUNT	KOHLER	K-2000	DELTA	MODERN BLACK FINISH	CHINA	GENERAL	UNDERMOUNT	UNDERMOUNT	MANUAL	1	POP-UP	AMERICAN STANDARD, KOHLER, ZURN	AMERICAN STANDARD, KOHLER, ZURN, BRADLEY, CHICAGO FAUCET, SPEAKMAN, T&S, SYMMONS, POWERS, MOEN, DELTA	INSULATE SUPPLIES & DRAIN WHERE NOT PROTECTED WITH SHROUD
LV2	UNDERMOUNT	DURAVIT	316530017	DELTA	MODERN BLACK FINISH	CHINA	ADA	UNDERMOUNT	N/A	MANUAL	1	GRID	AMERICAN STANDARD, KOHLER, ZURN	AMERICAN STANDARD, KOHLER, ZURN, BRADLEY, CHICAGO FAUCET, SPEAKMAN, T&S, SYMMONS, POWERS, MOEN, DELTA	INSULATE SUPPLIES & DRAIN WHERE NOT PROTECTED WITH SHROUD

WATER CLOSET SCHEDULE

MARK	WATER CLOSET DESCRIPTION	FIXTURE MANUFACTURER	FIXTURE MODEL #	FLUSH VALVE MANUFACTURER	FLUSH VALVE MODEL NUMBER	MATERIAL	USE	MOUNTING	STYLE	FLUSH VALVE TYPE	CONTROL	FLOW RATE	SEAT-TYPE	ACCEPTABLE MANUFACTURERS	APPROVED FLUSH VALVE MANUFACTURERS	ADDITIONAL INFORMATION
WC1	FLOOR-SET TANK	AMERICAN STANDARD	CADET 3 WITH CONCEALED TRAPWAY	NOT APPLICABLE	NOT APPLICABLE	CHINA	GENERAL/ADA	FLOOR	ELONGATED	NOT APPLICABLE	MANUAL	1.28	COMFORT SEAT #C1011	AMERICAN STANDARD, KOHLER, ZURN	NOT APPLICABLE	WHITE FINISH

URINAL SCHEDULE

MARK	URINAL DESCRIPTION	FIXTURE MANUFACTURER	FIXTURE MODEL #	FLUSH VALVE MANUFACTURER	FLUSH VALVE MODEL NUMBER	MATERIAL	USE	MOUNTING	FLUSH VALVE TYPE	CONTROL	FLOW RATE (GPF)	APPROVED FIXTURE MANUFACTURERS	APPROVED FLUSH VALVE MANUFACTURERS	ADDITIONAL INFORMATION
UR1	WALL-HUNG FLUSH VALVE ADA	MANSFILED	401HE	SLOAN	186-0.5	CHINA	GENERAL	WALL	EXPOSED	MANUAL	0.5	AMERICAN STANDARD, KOHLER, ZURN	SLOAN, ZURN, KOHLER	

PLUMBING DETAILS | 1

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Progress Dates
05/05/2023 BID P/E/FP
08/30/2024 BID SET 2

Revisions

Checked By: SSS

Drawn by: DAG

PR-09757
ENGINEERED BUILDING SYSTEMS INC.
TEAMWORK • COLLABORATION
SHARED SUCCESS
515 Monmouth Street, Suite 204
Newport, KY 41071 (859) 261-0585
MEP Consulting Services, Inc. in OH

PROPOSED PROJECT:
RENOVATION FOR
1801 VINE ST / 1805 VINE ST
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/10/2022

P2.00

Z:\~Project Directories\9700-9799\9757 - Findlay Flats Findlay Parkside (Willkommen ? Phase II)\~Construction Documents\~Phase 2 (3 Buildings)\1801-1805 VINE\9757-P2-01-PLUMBING-DETAILS.dwg-EBS. Plot Date/Time: Aug 29, 2024-3:16pm - By: $(++)
THESE DRAWINGS AND SPECIFICATIONS ARE NOT AUTHORIZED TO BE USED AS CONTRACT DOCUMENTS. THESE DRAWINGS HAVE BEEN PREPARED TO DEMONSTRATE COMPLIANCE WITH APPLICABLE CODES, AND ARE INTENDED TO PROVIDE THE AUTHORITIES HAVING JURISDICTION WITH INFORMATION TO DETERMINE CODE COMPLIANCE. THE INSTALLING CONTRACTOR IS RESPONSIBLE TO ENSURE THAT MEANS, METHODS, AND MATERIALS USED IN CONSTRUCTION ARE INSTALLED IN ACCORDANCE WITH ANY CONTRACTURAL AGREEMENT THAT MAY EXIST WITH AN OWNER, CONSTRUCTION MANAGER, GENERAL CONTRACTOR, ETC.

DOMESTIC WATER BOOSTER PUMP - VC SYSTEMS - PACEMAKER SERIES

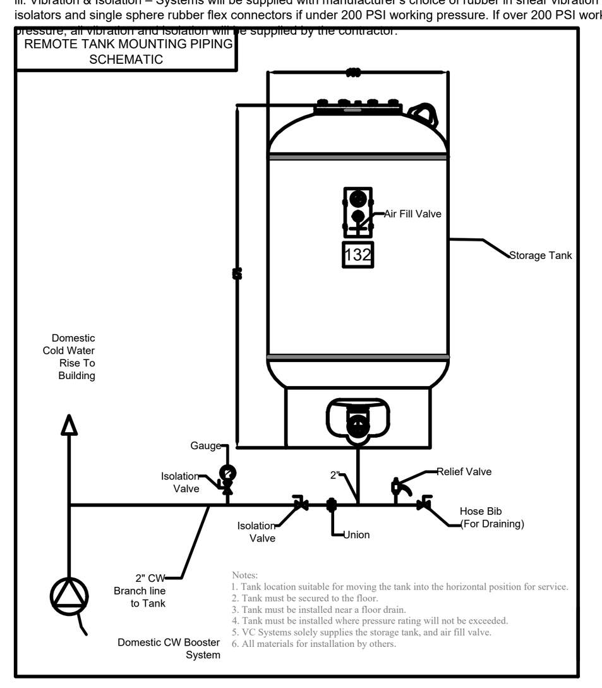
A - General
Furnish and install Pacemaker Series/PMC model manufactured by VC Systems & Controls in Tampa, Florida. Refer to schedule for capacities and voltage. The system shall be UL QCZJ listed, UL508A listed, and NSF certified lead free. System fabrication, programming, and design shall all be done by the manufacturer in the USA.

B - Pumps
Pumps shall be VC ES Series, close coupled end suction with ductile iron, 304 SS fitted, 304 stainless steel impeller and stainless steel trim & sleeve. Motor shall be a Baldor Premium Efficiency suitable for Inverter Duty. Motors shall be supplied with a 1.15 service factor. The impeller shall be warranted for 5 years from system manufacture date.

C - Pipes, Valves, Fittings, and Accessories
All pipes, valves, and fittings 2" and over shall be flanged, full lug, or grooved design. The pump and discharge components shall be rated for the maximum working pressure of the system, shut off pressure plus maximum suction pressure.

1. Headers:
   i. Manifold piping shall be 304L stainless steel. Headers shall be double ended for flow in either direction. Connections shall be flanged.
   ii. Headers shall be sized not to exceed 10 FPS velocity.
2. Suction Isolation Valves:
   i. Full lug butterfly valves with 316 stainless steel disc. Suitable for 250 PSI.
3. Discharge Isolation Valves:
   i. Class 150 - Full lug butterfly valves with 316 stainless steel disc. Suitable for 250 PSI.
4. Check Valves:
   i. Class 150 - Flanged CLA-VAL 81-12 non-slam epoxy coated ductile iron suitable for 240 PSI.
5. Fittings & Accessories:
   i. Thermal Relief Valve - Each pump shall have an individual stainless steel mechanical temperature relief valve. The valve shall modulate open at 105 degrees and close at 95 degrees.
   ii. Pressure Transducers - The system shall come with three pressure transducers, all 316 stainless steel and 4-20ma.
   The discharge will be equipped with two transducers to monitor discharge pressure and will be completely redundant in operation and alarms. The controller shall display both discharge pressure readings and reject a sensor if it skews out of range. The discharge sensors can be configured to be locally mounted on the header, remote mounted in the building, or a combination of one local and one remote.
   iii. Vibration & Isolation – Systems will be supplied with manufacturer's choice of rubber in shear vibration isolators and single sphere rubber flex connectors if under 200 PSI working pressure. If over 200 PSI working pressure, all vibration and isolation will be supplied by the contractor.

REMOTE TANK MOUNTING PIPING SCHEMATIC



Notes:
1. Tank location suitable for moving the tank into the horizontal position for service.
2. Tank must be secured to the floor.
3. Tank must be installed near a floor drain.
4. Tank must be installed where pressure rating will not be exceeded.
5. VC Systems solely supplies the storage tank, and air fill valve.
6. All materials for installation by others.

D - Control Panel
The control panel shall be UL508A listed for industrial control panels and of the same manufacturer of the pump system. All programming shall be written and supported by the pump system manufacturer. The panel enclosure shall be powder coated steel, UL Type 4, and carry a NEMA 4 rating as an assembly.

1. Power Structure: Single Point Connection (A) - The control panel will have main disconnect with individual branch fuse blocks for single point connection. The entire panel as an assembly shall have a 5K AIC rating if fed from circuit breaker or 100K AIC if fed from fused disconnect.

2. Human Machine Interface & Features: The HMI will be a full color 4.3" touch screen with USB input and allow for backing up parameters and downloading the event log and trend data. The HMI & software shall have the following features:

i. Meter Bar – Display of suction pressure, system pressure, PID speed, estimated flow, and alternation on ALL screens.
ii. Status Bar – Displayed on the Home screen to show what the system is currently doing and display any active changes in operation.
iii. Pump Status – Display for all pumps with run timers, run lights, and status indicator.
iv. Alarm Bar – Display on ALL screens if any alarms are present.
v. X-Y Trend – Display an X-Y trend of suction pressure, discharge pressure, and PID speed for no less than 60 days and retained if power is lost.
vi. Event Log – Display and date alarms, user log ins, and parameter changes for no less than 180 days and retained if power is lost.
vii. Alternation – Automatic and manual alternation. Alternation available for all control types from 1 to 3 pumps in any combination of variable speed, constant speed, jockey, or VFD with bypass and sequence them in groups running the most efficient pumps first always.
viii. Dynamic Speed Control – Automatic configuration of all operational settings based on the incoming suction pressure to eliminate hunting, over shoot, and improper operation based on in coming suction pressure fluctuations.
ix. PLC & Transducer Failure Circuit – In the event of a PLC failure, or transducer failure, the system shall remain operational and automatically run at a default safe speed until repairs can be made.
x. Password Protection – All parameters and settings are password protected and has default levels of users with the ability to add more by the owner.
xi. Sleep Mode – The system shall detect and shut the system down once no flow is confirmed.
xii. ASHRAE 90.1 Compliant – The system is configured for either local or remote sensor. When using the local sensor, the system willautomatically adjust for friction loss by increasing the set point pressure in relationship to the flow demand.
xiii. Pressure Recovery Mode – In the event of a power outage where system pressure drops substantially, the system will soft start and slowly fill the building and bring up to pressure before activating the PID.
xiv. BAS Interfaces – The controller shall come with BACnet MS/TP, BACnet IP, and Modbus TCP interfaces and offer 28 individual data points.
xv. Remote Disable/Generator Interlock – The panel will come with two contacts. Remote disable will allow the BAS to disable the system from running. The generator interlock can be used to limit the number of pumps that can run when the on emergency power.
xvi. Alarms
   1. High System Pressure
   2. Low System Pressure
   3. Low Suction Pressure
   4. Pump Failed to Start
   5. Sensor Failure
   6. Form C Dry Contact for Common Alarm

E - Variable Speed Drives
The drives shall be a microprocessor controlled PWM output drive for variable torque duty and supplied for the maximum full load amps produced by the motor. The drive shall be Series ACH580 or HV600, UL Listed, and in a NEMA 1 self-contained enclosure. Each drive shall be furnished with a removable, digital keypad, to allow the operator flexibility and control. The keypad shall have a full graphical display with multiple display options and graphing. The keypad shall allow the operator to individually control each motor manually from digital keypad, without entering the control panel. Drive must be supplied with DC chokes with 5% max line impedance. The drive must include a variable speed cooling fan based on temperature. The drive must also self-modulate it's switching frequency to minimize audible noise. The drives shall be mounted external from the control panel to keep heat outside the panel cabinet and extend life cycle of electrical equipment. Drives shall be rated for a minimum of 100K AIC.

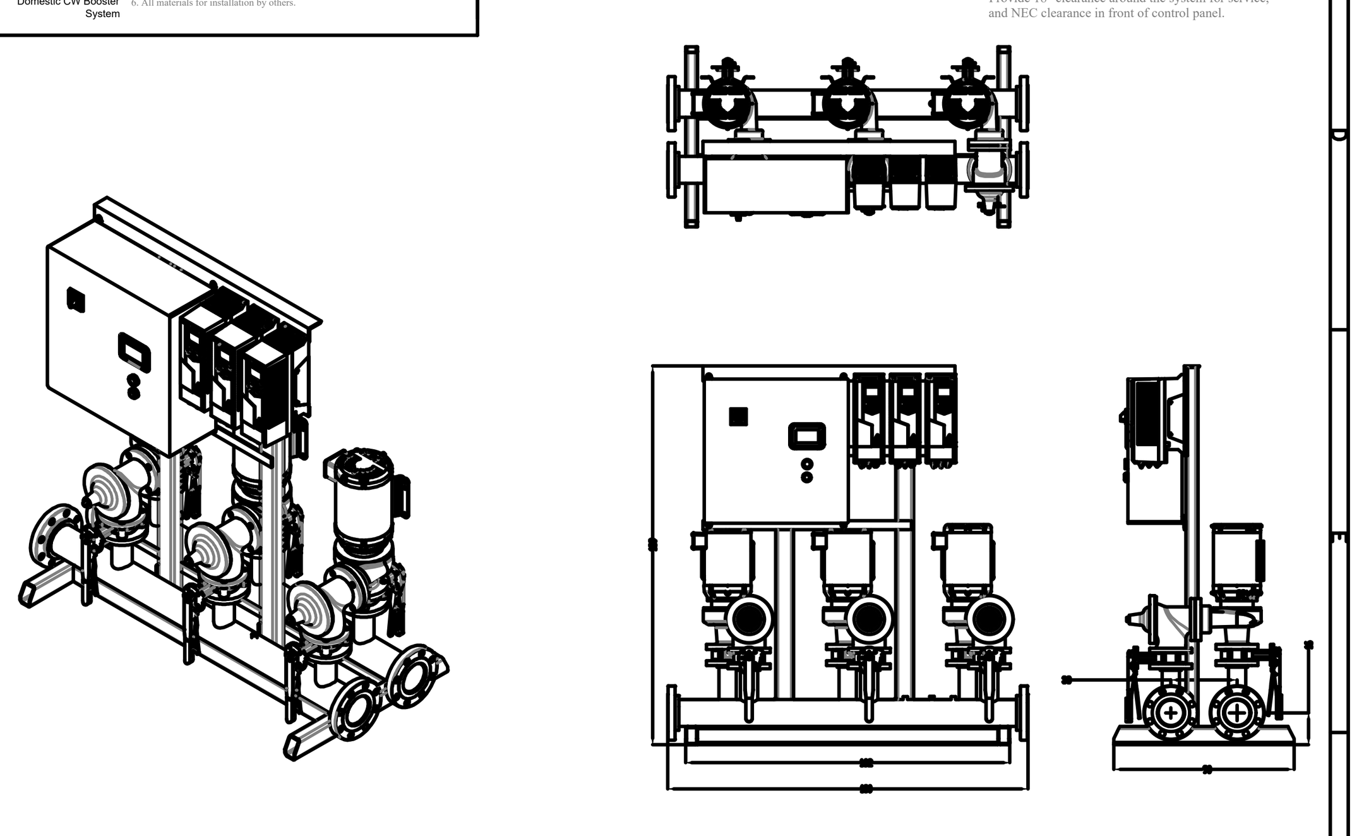
F - Fabrication
The base and frame shall be constructed of structural steel and coated with enamel primer and enamel paint. The panel stand shall be bolt-on and removable. The base shall extend to support the suction and discharge header rigidly from the base.

G - Bladder Tank
Provide a bladder tank with the pumping system and mount it remotely at the highest fixture nearest to a floor drain. See schedule for tank size.

H - Factory Test & Start Up
The system shall be tested with the package and control panel as a complete system together, and run to the designed voltage and jobsite parameters. The start-up shall be done by a factory authorized representative. The package shall be UL listed as a system for its intended use as required by OSHA and National Electric Code (NEC) Article 90-7.

I - Warranty
The entire skid shall be warranted for two years from manufacturing date against defects in materials and workmanship.

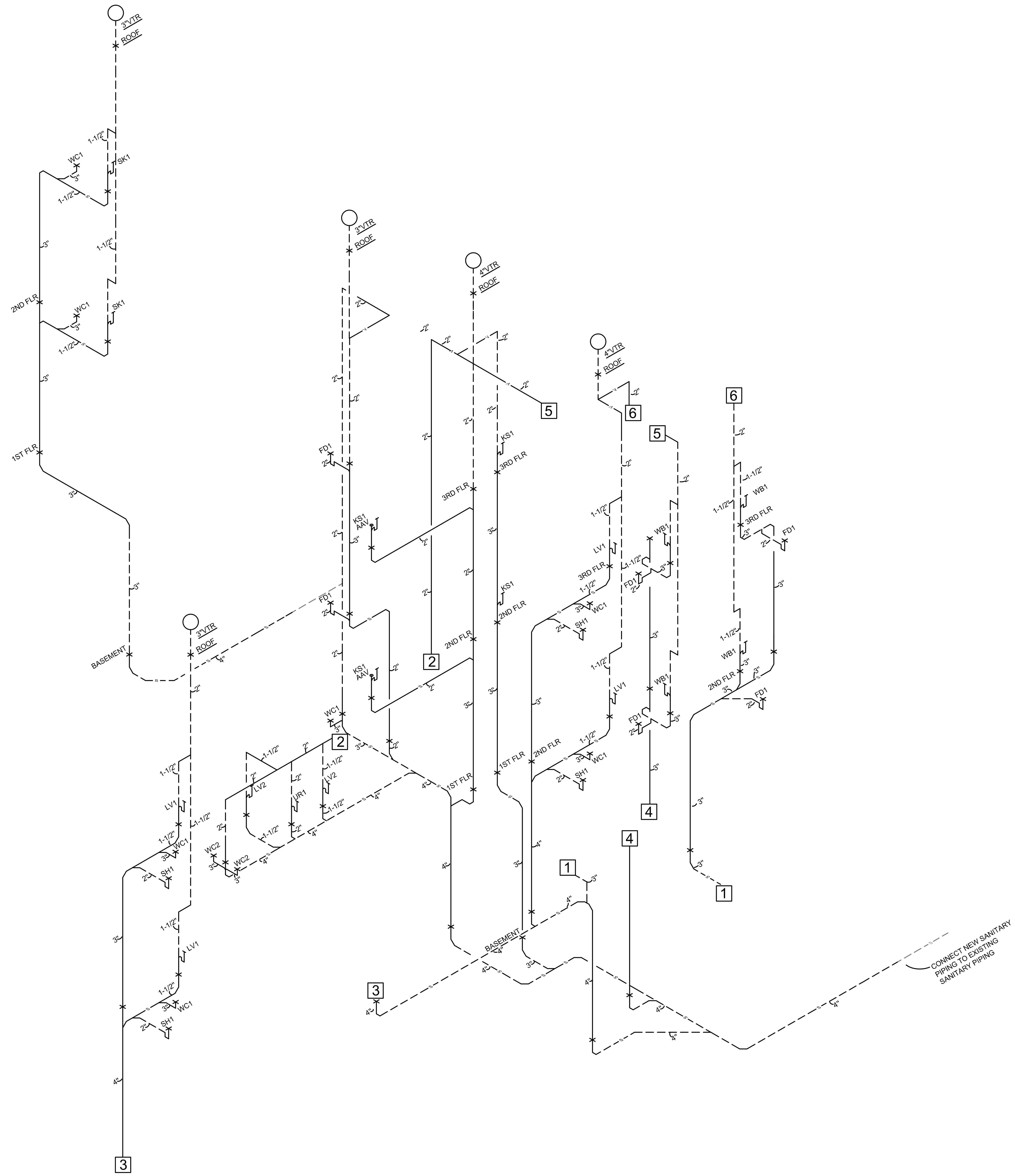
NOTES:
Provide 18" clearance around the system for service, and NEC clearance in front of control panel.



SYSTEM CAPACITY: 415 GPM		SYSTEM PRESSURE: 70 PSI		PUMP SCHEDULE - 4004			
PUMP	MANUFACTURER	PUMP NO.	GPM	HEAD	HP	SPEED	POWER
P-1	VC SYSTEMS	6A2525-7.5	138	105'	7.5	3500VS	208-60-3
P-2	VC SYSTEMS	6A2525-7.5	138	105'	7.5	3500VS	208-60-3
P-3	VC SYSTEMS	6A2525-7.5	138	105'	7.5	3500VS	208-60-3
MIN SUCTION PRESSURE: 30 PSI		MAX SUCTION PRESSURE: 50 PSI		MODEL NO. 3VC-PMC-V-7.5-425-208			
BLADDER TANK: 132 GALLON (ASME)		ELECTRICAL:	74.0 FLA	80.0 MCA		5K AIC	

UL LISTED
PACKAGED PUMPING SYSTEM

1801-05 FINDLAY FLATS
ENGINEERED BUILDING SYSTEMS
DOMESTIC WATER BOOSTER PUMPING SYSTEM
DO NOT SCALE DRAWING
VC Systems & Controls, Inc.
JC 04/25/23 DV DV A



WASTE AND VENT ISOMETRIC SCALE: NOT TO SCALE

PLUMBING DETAILS | 1

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STATE OF OHIO
SCOTT SEVERT STILKEY
E-77755
REGISTERED
PROFESSIONAL ENGINEER

Progress Dates
05/05/2023 BID P/E/FP
08/30/2024 BID SET 2

Revisions

Checked By: SSS
Drawn by: DAG

PR-09757
ENGINEERED BUILDING SYSTEMS INC.
TEAMWORK • COLLABORATION
SHARED SUCCESS
515 Monmouth Street, Suite 204
Newport, KY 41071 (859) 261-0585
MEP Consulting Services, Inc. in OH

PROPOSED PROJECT:
RENOVATION FOR
1801 VINE ST / 1805 VINE ST
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/10/2022

P2.01