

1732 VINE ST. / 1734 VINE ST.

CINCINNATI, OHIO, 45202

FINDLAY FLATS RENOVATION

PLATTE
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1810 CAMPBELL ALLEY, SUITE 300 | CINCINNATI, OH 45202
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STRUCTURAL ENGINEER

ADVANTAGE GROUP
1527 MADISON ROAD, FL 2
CINCINNATI, OH 45206
(513) 396-8900

MEP ENGINEER

ENGINEERED BUILDING SYSTEMS, INC.
515 MONMOUTH STREET, SUITE 201
NEWPORT, KY 41071
(859) 261-0585

CIVIL ENGINEER

BAYER BECKER
1404 RACE STREET, SUITE 204
CINCINNATI, OH 45202
(513) 336-6600

ARCHITECT

PLATTE DESIGN
1810 CAMPBELL ALLEY, STE 300
CINCINNATI, OH 45202
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CLIENT/DEVELOPER

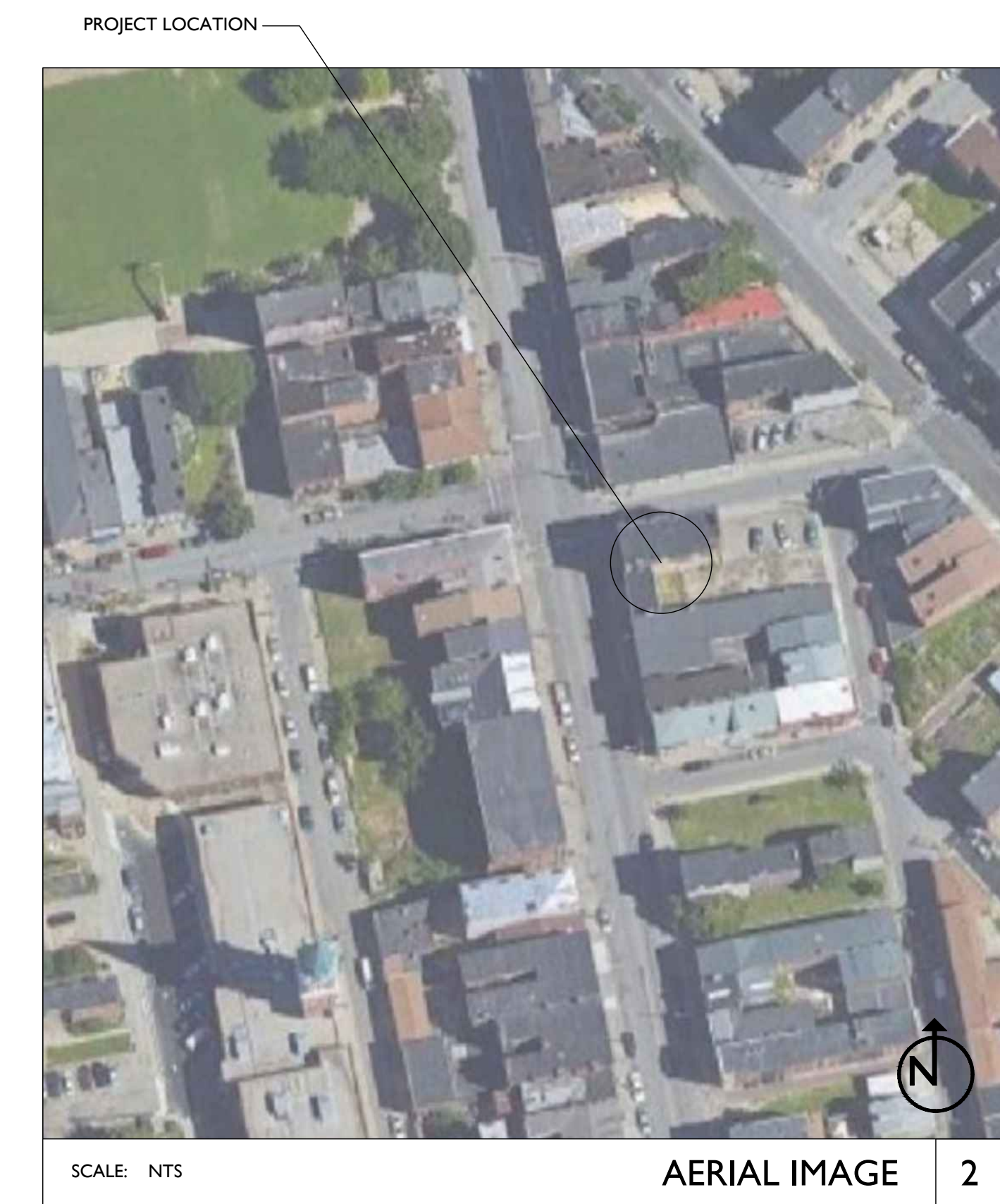
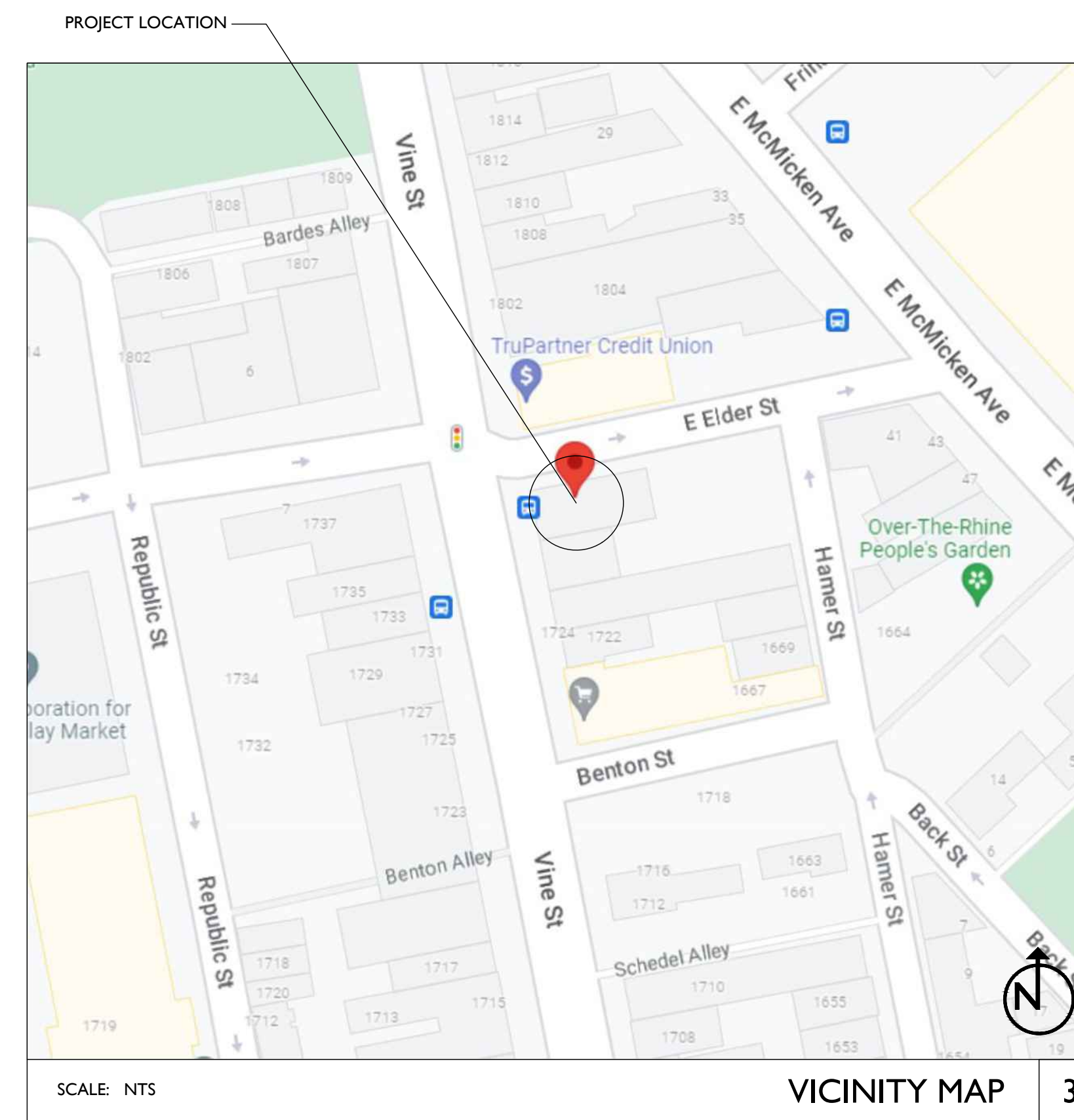
3CDC
1203 WALNUT STREET
CINCINNATI, OH 45202
(513) 621-4400

PROJECT DESCRIPTION

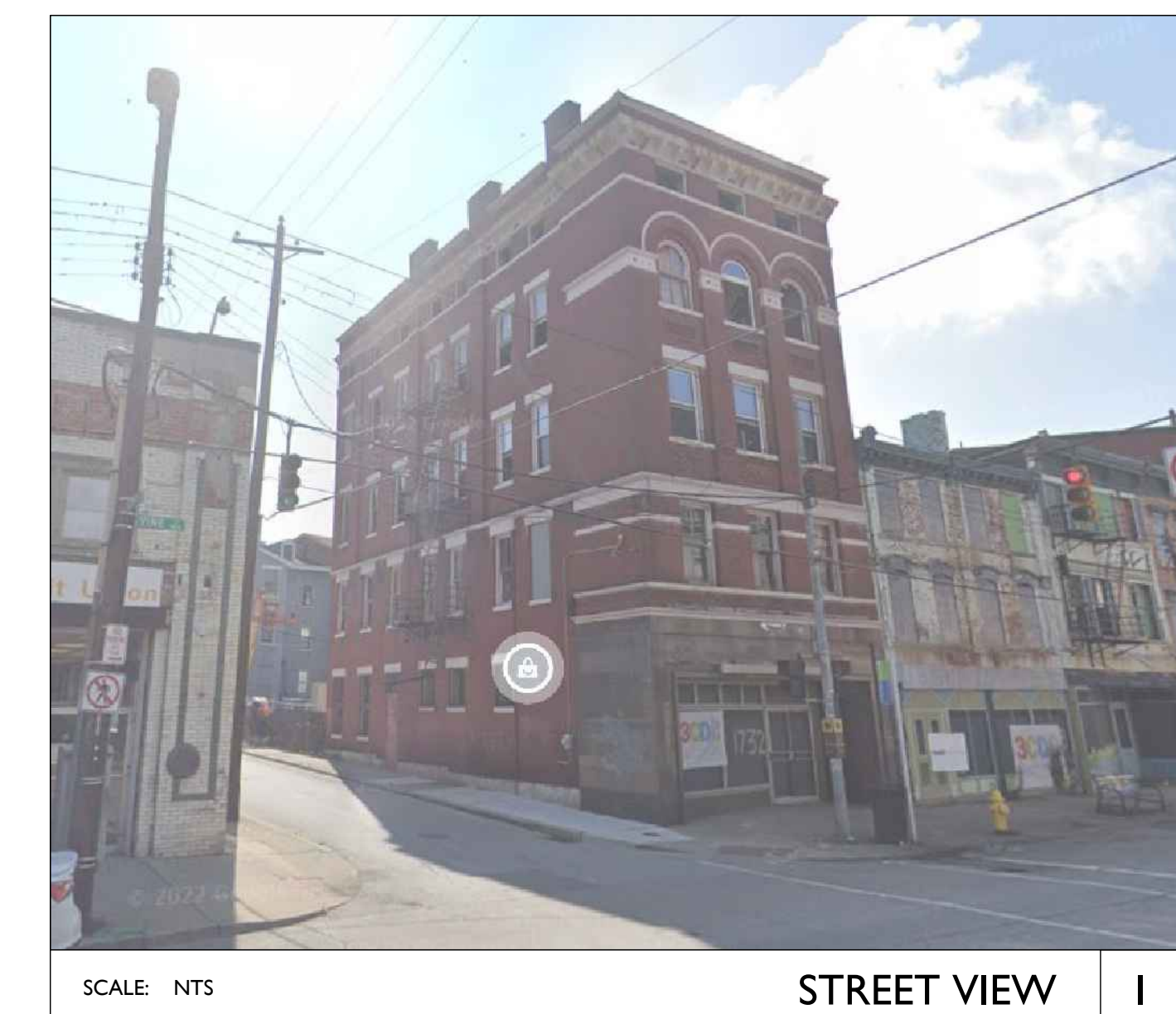
THIS PROJECT IS THE REHABILITATION/RENOVATION OF AN EXISTING HISTORIC COMMERCIAL / RESIDENTIAL BUILDING. 1732 VINE ST. / 1734 VINE ST. IS A 4-STORY BUILDING WITH A FULL BASEMENT AND ATTIC. THE BASEMENT WILL REMAIN UNOCCUPIED WITH THE EXCEPTION OF MECHANICAL EQUIPMENT. THE FIRST FLOOR WILL BECOME M - MERCANTILE USE. THE UPPER FLOORS WILL BE USE R-2 APARTMENTS. THE ATTIC WILL REMAIN UNOCCUPIED.

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A9.01	EGC SPEC'S			
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P1.05	PLUMBING PLAN - ATTIC			
P2.00	PLUMBING DETAILS			
P2.01	PLUMBING DETAILS			



TYPICAL ABBREVIATIONS		TYPICAL SYMBOLS	
ADJ	ADJACENT	N	NORTH ARROW
A.F.F.	ABOVE FINISH FLOOR	EW	EGRESS WINDOW
ALT	ALTERNATE	KEY	KEYNOTE
ALUM	ALUMINUM	CLT	CENTERLINE TAG
APPROX	APPROXIMATELY	X-X'	FLOOR ELEVATION TAG
APT	APARTMENT	RC	REVISION CLOUD TAG
BD	BOARD	A2.00	dwg # sheet # ELEVATION TAG
BLDG	BUILDING	X	dwg # sheet # INTERIOR ELEVATION TAG
C.L.	CENTER LINE	A3.01	dwg # sheet # SECTION CUT TAG
C.J.	CONTROL JOINT	A4.01	dwg # sheet # DETAIL CALLOUT
CLG	CEILING		
CLR	CLEAR DIMENSION		
C.M.U.	CONCRETE MASONRY UNIT		
COL	COLUMN		
CONC	CONCRETE		
CONT	CONTINUOUS/CONTINUED		
CONTR	CONTRACTOR		
DIAG	DIAGONAL		
DIA or Ø	DIAMETER		
DIM(S)	DIMENSION(S)		
D.O.T.E.	DEPARTMENT OF TRANSPORTATION & ENGINEERING		
D.L.	DEAD LOAD		
D.S.	DOWNSPOUT		
DTL(S)	DETAIL(S)		
DWG(S)	DRAWING(S)		
EA	EACH		
ELEC	ELECTRICAL		
ELEV(S)	ELEVATION(S)		
EJ	EXPANSION JOINT		
EQ	EQUAL		
EXG	EXISTING EXTERIOR	N.I.C.	NOT IN CONTRACT
EXT	EXTERIOR	N.I.S.	NOT IN SCOPE
FDC	FIRE DEPARTMENT CONNECTION	N.T.S.	NOT TO SCALE
FDN	FOUNDATION	O.B.C.	OHIO BUILDING CODE
F.E.	FIRE EXTINGUISHER	O.C.	ON CENTER
F.F.E.	FINISH FLOOR ELEVATION	OPNG	OPENING
FLR	FLOOR	OP	OPPOSITE
FTG	FOOTING	O/V	OVER
G.C.	GENERAL CONTRACTOR	PLWD	PLYWOOD
GYP	GYPSONUM	PLUMB	PLUMBING
H.M.	HOLLOW METAL	PT.	PRESSURE TREATED
HR	HOUR	RCP	REFLECTED CEILING PLAN
HORIZ	HORIZONTAL	REQ	REQUIRED
HVAC	HVAC	REV	REVISED/REVISION
INCL	INCLUDING	R.O.	ROUGH OPENING
INFO	INFORMATION	R.O.W.	RIGHT OF WAY
INSUL	INSULATED/INSULATING	SECT	SECTION
INT	INTERIOR	SH	SIMILAR
L.L.	LIVE LOAD	SF	SQUARE FEET
MATL	MATERIAL	SPEC	SPECIFICATION
MECH	MECHANICAL	STRUCT	STRUCTURAL
MEP	MECHANICAL & ELECTRICAL PLUMBING	T.O. or T/T	TOP OF TONGUE & GROOVE
MIN	MINIMUM	T&G	TONGUE & GROOVE
MANUF	MANUFACTURER	TYP	TYPICAL
N/A	NOT APPLICABLE	U.N.O.	UNLESS NOTED OTHERWISE
		V.B.	VAPOR BARRIER
		VERT	VERTICAL
		V.I.F. or ±	VERIFY IN FIELD
		W	WITH
		W/O	WITHOUT
		WD	WOOD



Progress Dates
2023.04.28 - BID/PERMIT
2024.08.30 - BID SET 2

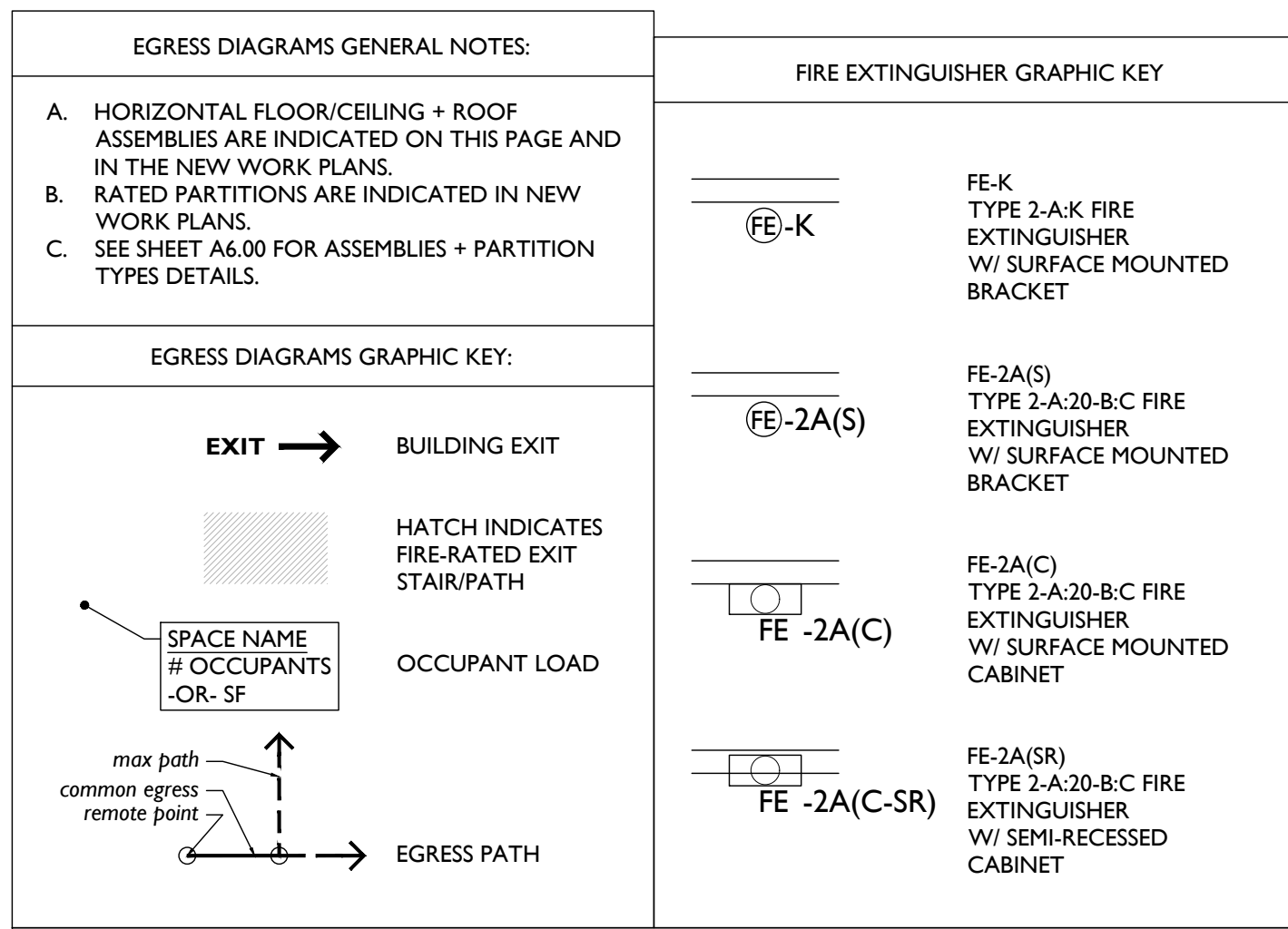
Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
TB, AM

PROPOSED PROJECT:
RENOVATION FOR
1732 VINE ST. / 1734 VINE ST.
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 08.30.2024

A0.00



PROPOSED BUILDING RENOVATION

- LOCATION:** 1732 VINE ST / 1734 VINE ST., CINCINNATI, OH 45202
- DESCRIPTION:** THIS PROJECT IS THE REHABILITATION/RENOVATION OF AN EXISTING HISTORIC COMMERCIAL / RESIDENTIAL BUILDING. 1732 VINE ST. / 1734 VINE ST. IS A 4 STORY BUILDING WITH A FULL BASEMENT AND ATTIC. THE BASEMENT WILL REMAIN UNOCCUPIED WITH THE EXCEPTION OF MECHANICAL EQUIPMENT. THE FIRST FLOOR WILL REMAIN M - MERCANTILE USE. THE UPPER FLOORS WILL BE USE R-2 APARTMENTS. THE ATTIC WILL REMAIN UNOCCUPIED.
THE PROJECT HAS BEEN SUBMITTED FOR HISTORIC TAX CREDITS WITH THE STATE HISTORIC PRESERVATION OFFICE AND NATIONAL PARK SERVICE AND THEREFORE WILL BE DICTATED BY CHAPTER 34, SECTIONS 3-11 AND SUPPORTING SECTIONS OF THE OBC.
- GOVERNING CODE:** 2017 OBC (OHIO BUILDING CODE) / CINCINNATI BUILDING CODE / CINCINNATI ZONING CODE
- ZONING DESIGNATION:** CC-P URBAN PARKING OVERLAY DISTRICT - NO PARKING REQUIRED.
- CONSTRUCTION TYPE:**

EXISTING TYPE III-B EXIST. CONSTRUCTION	PROPOSED TYPE III-B CONSTRUCTION
MASONRY / 2HR	MASONRY / 2HR*
MASONRY / WOOD	MASONRY / METAL / WOOD / 0HR*
WOOD	METAL OR WOOD / 0HR*
WOOD / 0HR	METAL OR WOOD / 0HR*

*SEE CHAP. 10 FIRE RESISTANCE RATINGS AND PARTITION/ASSEMBLY TYPES SHEET WITHIN ARCH. SET

- USE GROUP/OCCUPANCY:**

EXISTING UNOCCUPIED	PROPOSED S-I/UNOCCUPIED	#OCCUPANCY LANDLORD ACCESS ONLY
BASEMENT / 1016 SF (TOTAL)	B	908/100 = 10
FIRST FLOOR / 908 SF (TOTAL) B1M/A-2	M (3/4 MERCANTILE)	481/ 60 = 12
	M (1/4 STORAGE)	227/300 = 1
2ND FLOOR / 1067 SF (TOTAL)	R-2	1067 SF/200 = 6
3RD FLOOR / 1067 SF (TOTAL)	R-2	1067 SF/200 = 6
4TH FLOOR / 1067 SF (TOTAL)	R-2	1067 SF/200 = 6
ATTIC / 1067 SF (TOTAL)	UNOCCUPIED	LANDLORD ACCESS ONLY
- HEIGHT + AREA:**

EXISTING III-B CONSTRUCTION - EXISTING HEIGHT TO REMAIN UNCHANGED.	PROPOSED HEIGHT - ALLOWABLE/PROPOSED	STORIES ABV GRADE - ALLOWABLE/PROPOSED
MIS-1	75' / 54'-9"	3 / 4
B	75' / 54'-9"	4 / 4
R-2	75' / 54'-9"	5 / 4

AREA - ALLOWABLE/PROPOSED

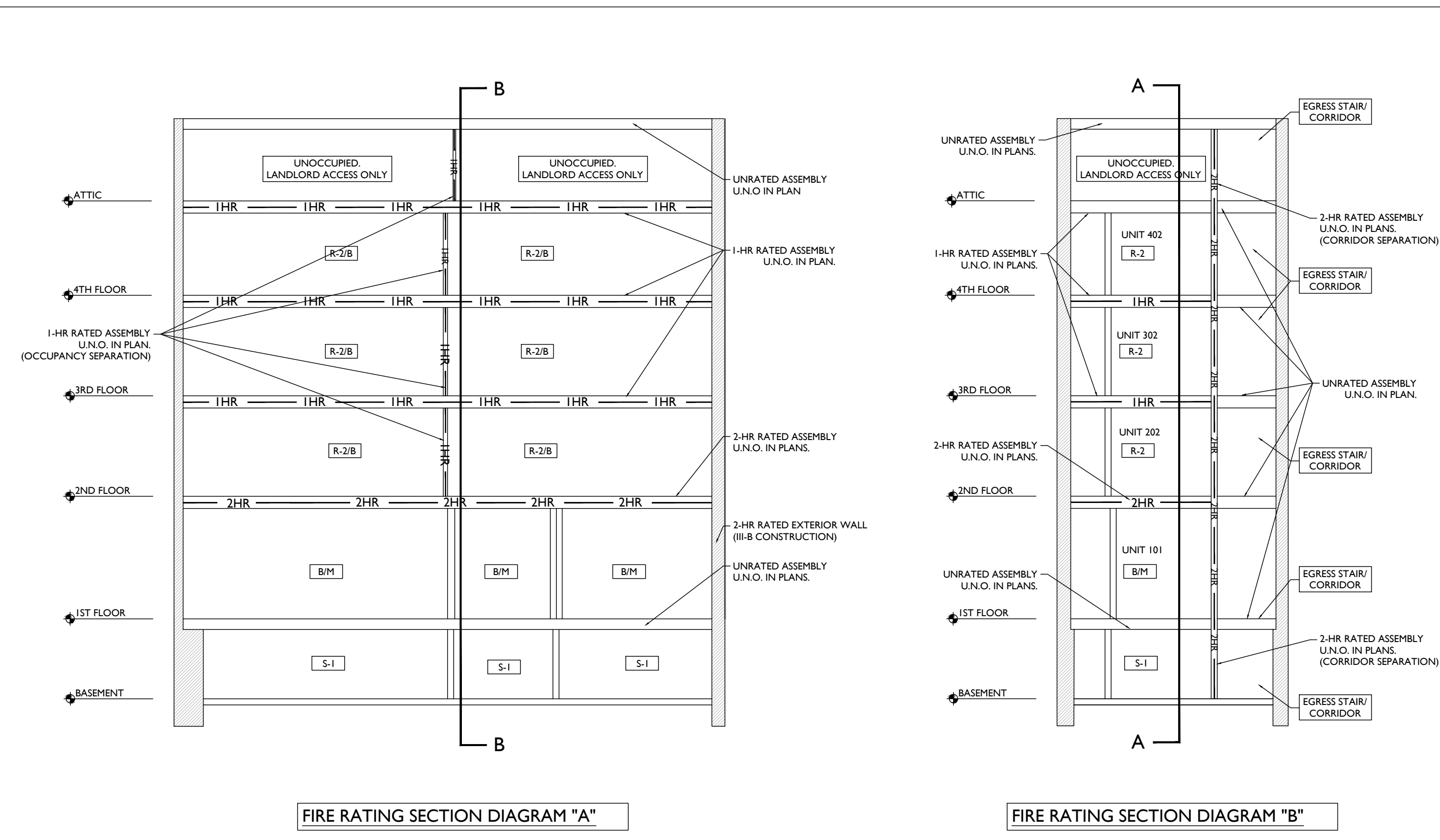
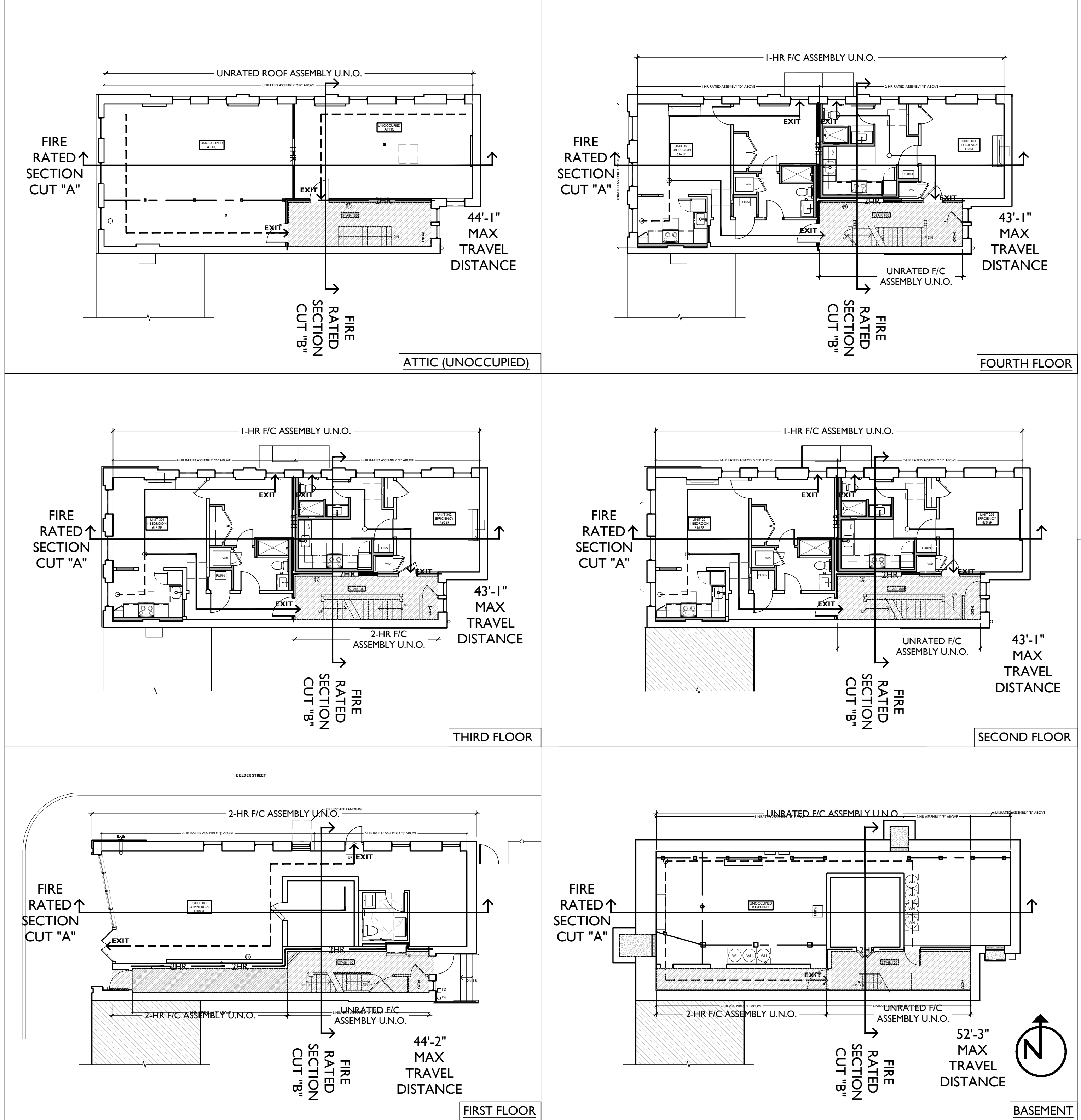
USE	57,000 SF / 1,520 SF
M	37,500 SF / 1,520 SF
R-2	48,000 SF / 1,520 SF
S-1	52,500 SF / 1,520 SF
- INTERIOR FINISH RATINGS:**

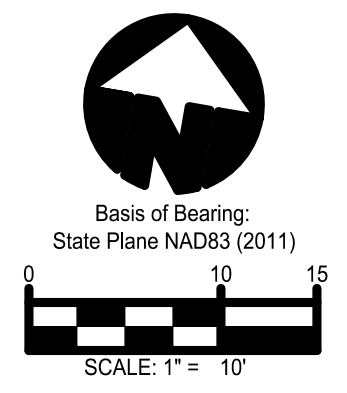
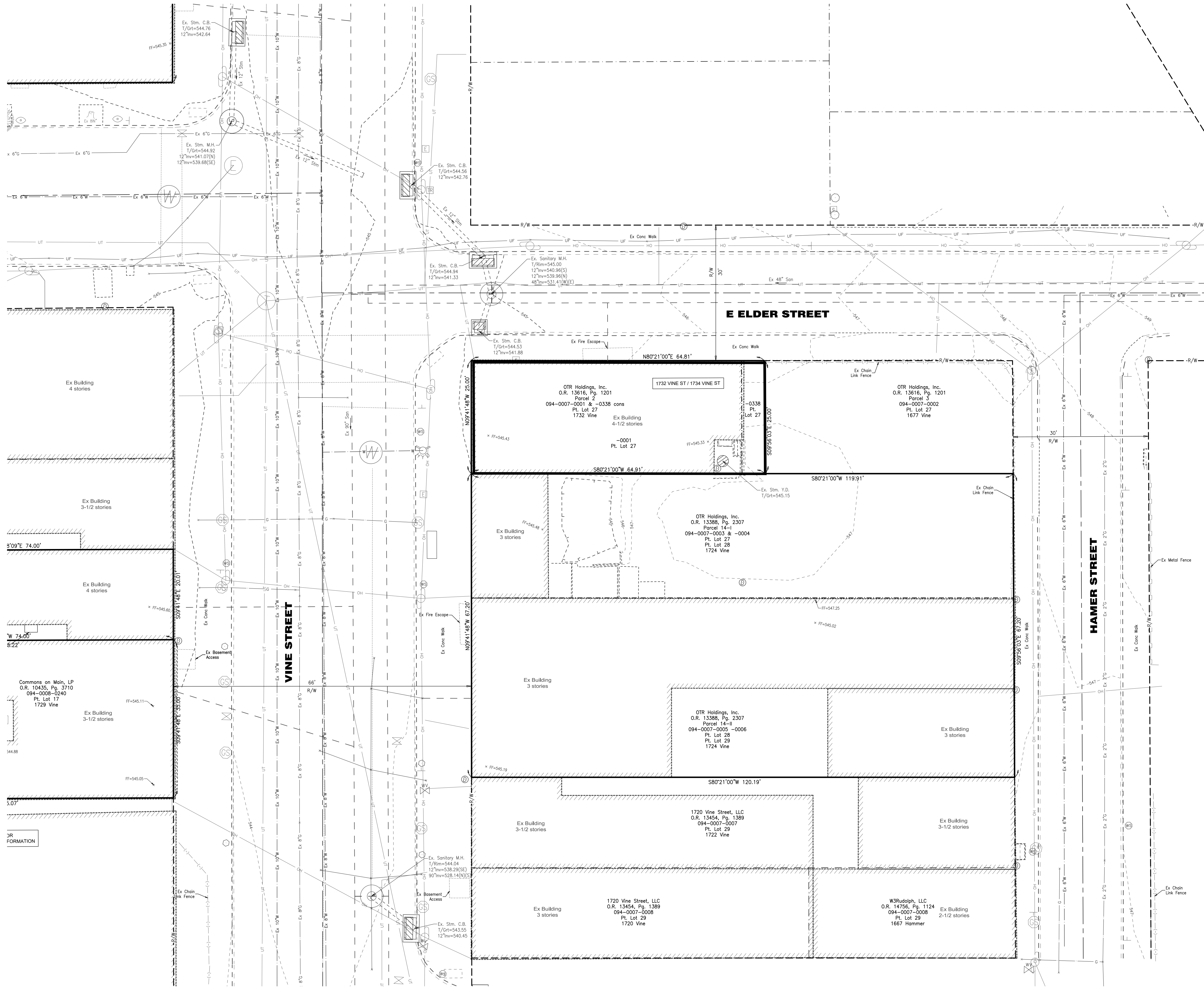
SPRINKLERED/ TABLE 803.1.1 EXIT STAIRWAYS, USE B / M	REQUIRED	PROVIDED
EXIT STAIRWAYS, USE R-2	B	C
EXIT STAIRWAYS, USE R-2	C	C
CORRIDORS, USES B, M, R-2	C	C
ROOMS AND ENCLOSED SPACES, USES B, M, R-2	C	C
- FIRE RESISTANCE RATINGS:**

SPRINKLERED/ TABLE 508.4 USE SEPARATION	REQUIRED RATING	PROVIDED RATING
B OR M / R-2	1 HR	1 HR
B / M	0 HR	1 HR
R-2/R-2	1/2HR (OBC 711)	1 HR
STAIR ENCLOSURE	2HR (OBC1023.2)	2 HR
- EXIT REQUIREMENTS:**

TABLE 1017.2 UNSPRINKLERED, 2 EXITS	ALLOWABLE (FT)	PROVIDED (MAX)(FT)
M / R-2 / B	200'	52'-3"

ONE EXIT
S-1 75' 44'-1"
- FIRE PROTECTION:** THE BUILDING IS CURRENTLY AN UNSPRINKLERED MIXED USE BUILDING, AND WILL REMAIN UNSPRINKLERED, EXCEPT FOR AS REQUIRED AT FIRE ESCAPES. A CLASS III STANDPIPE IS REQUIRED, AS THE FLOOR LEVEL OF THE HIGHEST STORY IS >30' ABOVE LOWEST FIRE DEPARTMENT ACCESS. A LIMITED AREA SPRINKLER SYSTEM WILL BE PROVIDED TO PROVIDE COVERAGE ALONG A FIRE ESCAPE AT EXG. OR REPLACEMENT WINDOWS WITHIN 10'-0" OF THE FIRE ESCAPE. PER CMC 1121.05 AND 1121.11 EXG. OR REPLACEMENT WINDOWS ALONG A FIRE ESCAPE PATH ARE PERMITTED WHEN PROTECTED BY A SPRINKLER HEAD ON THE INTERIOR SIDE OF SUCH OPG. SPRINKLER HEADS WILL BE PROVIDED ALONG FIRE ESCAPE WINDOWS AND AT WINDOWS WITHIN 10'-0" OF A FIRE ESCAPE.
WHEN SUBMITTING FOR PERMIT, CONTRACTOR IS TO PROVIDE DOCUMENTATION FROM MANUFACTURER THAT SUCH HEADS PROVIDE 100% COVERAGE OF THE ADJACENT WINDOWS.
- FIRE ALARM:** 907.2.9.1 R-2 A FIRE ALARM AND DETECTION SYSTEM W/ OCCUPANT NOTIFICATION DEVICES WILL BE PROVIDED FOR R-2 AND APPLIED FOR UNDER A SEPARATE PERMIT. MANUAL FIRE ALARM BOXES ARE NOT REQUIRED NOR PROVIDED.
- ACCESSIBILITY:** SMOKE ALARMS WILL BE INSTALLED IN DWELLING UNITS IN BEDROOMS AND OUTSIDE OF BEDROOMS AS REQUIRED PER SECTION 907
ALL FIRST FLOOR COMMERCIAL SPACES SHALL BE ACCESSIBLE TO THE EXTENT FEASIBLE. PLATTE ARCHITECTURE + DESIGN IN CONJUNCTION WITH OUR CONSULTANTS AND THE OWNER WILL ATTEMPT TO IMPROVE THE ACCESSIBILITY OF HISTORIC BUILDINGS TO THE EXTENT FEASIBLE AND WITHOUT ALTERING THE BUILDING STRUCTURE OR HISTORIC CHARACTER. BUILDING ELEMENTS THAT DO NOT FULLY MEET THE REQUIREMENTS OF ICC A117.1 AS REFERENCED IN THE 2017 OBC WILL NOT BE INDICATED OR IDENTIFIED AS ACCESSIBLE.





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LOCATION OF ALL EXISTING UTILITIES TO BE DETERMINED IN THE FIELD PRIOR TO CONSTRUCTION

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Progress Dates
04.28.2023 - PERMIT SUBMISSION
08.30.2024 - BID SET 2

Revisions

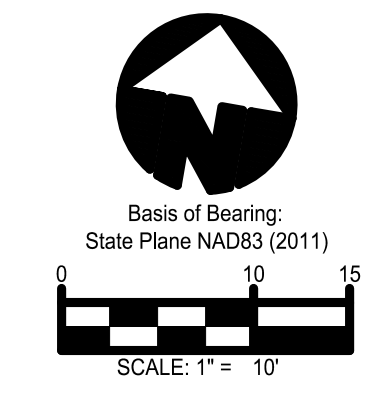
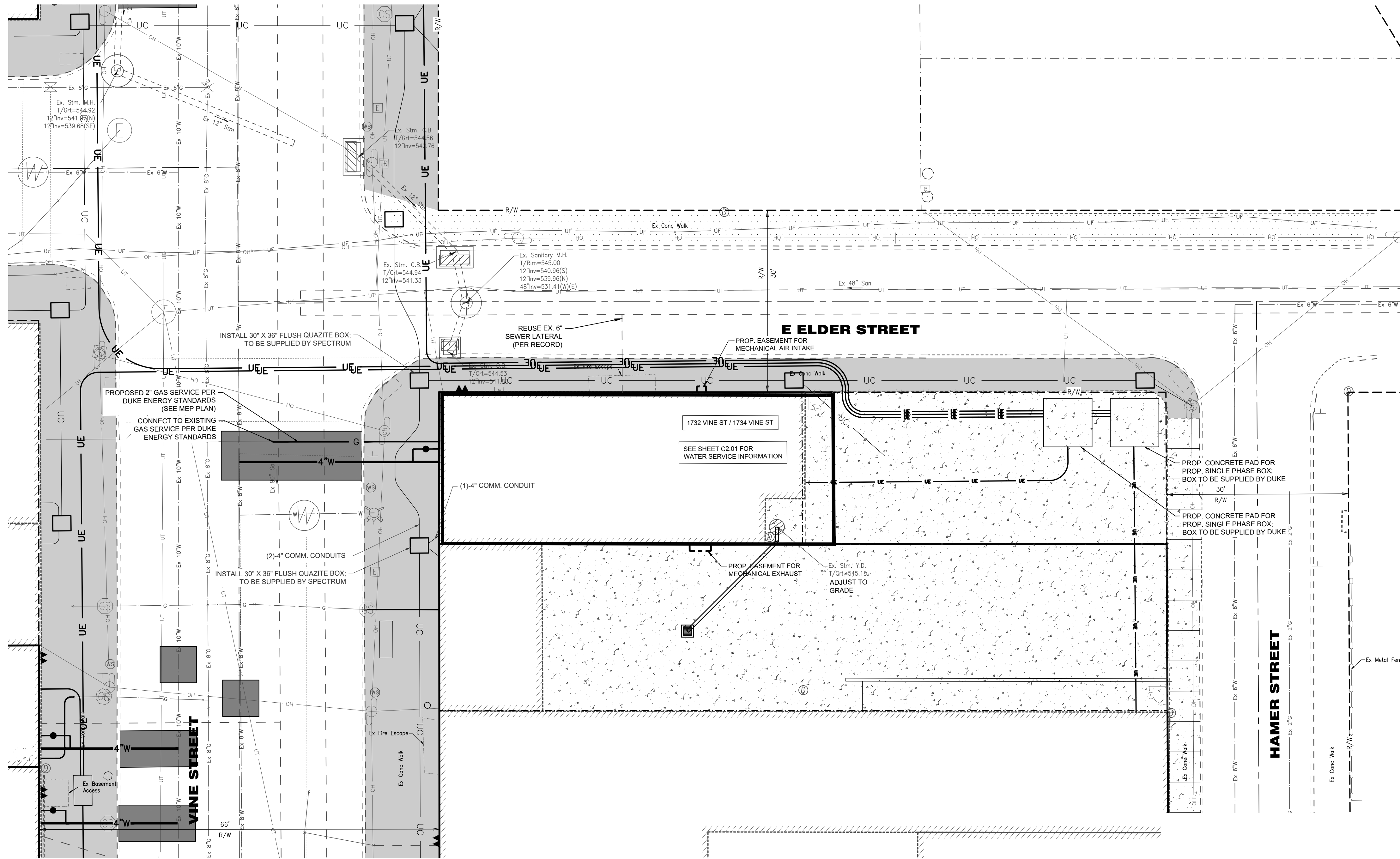
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MAINTENANCE OF TRAFFIC NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT STATE OF OHIO DEPARTMENT OF TRANSPORTATION, CONSTRUCTION AND MATERIAL SPECIFICATIONS, AND CURRENT STANDARD DRAWINGS, UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ITEM 614 AND OTHER APPLICABLE PORTIONS OF THE C&M SPECIFICATIONS AS WELL AS IN ACCORDANCE WITH PART 7 OF OMUTCD. LANE CLOSURES SHALL BE IN ACCORDANCE WITH STANDARD CONSTRUCTION DRAWINGS MT-97.10, MT-99.10.
3. LOCAL TRAFFIC SHALL BE MAINTAINED AT ALL TIMES THROUGH THE USE OF FLAGGERS AND SAFETY CONES, AS DIRECTED BY THE CITY ENGINEER.
4. THE CONTRACTOR MUST COORDINATE THE WORK SO AS TO NOT INTERRUPT INGRESS AND EGRESS FROM AFFECTED PROPERTIES.
5. IF THE CONTRACTOR SO ELECTS, HE MAY SUBMIT ALTERNATE METHODS FOR THE MAINTENANCE OF TRAFFIC, PROVIDED THAT THE INTENT OF THE ABOVE PROVISIONS IS FOLLOWED AND NO ADDITIONAL INCONVENIENCE TO THE TRAVELING PUBLIC RESULTS THEREFROM. NO ALTERNATE PLAN WILL BE PUT INTO EFFECT UNTIL THE APPROVAL HAS BEEN GRANTED, IN WRITING, BY THE CITY OF CINCINNATI DOT.
6. THE OPEN TRENCH SHALL BE ADEQUATELY MAINTAINED AND PROTECTED WITH DRUMS OR BARRICADES AT ALL TIMES.
7. NO TRENCH SHALL BE LEFT OPEN OVERNIGHT. IN CASE WORK MUST BE SUSPENDED BECAUSE OF INCLEMENT WEATHER OR OTHER REASONS, THE TRENCH FOR THE UNCOMPLETED WORK SHALL BE PLATED OR BACKFILLED AT THE DIRECTION OF THE COUNTY ENGINEER.
8. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES LOCATED PRIOR TO BEGINNING CONSTRUCTION.

MSD SEWER NOTES

1. SANITARY PIPE MATERIAL SHALL BE 6" PVC SDR-35 @2.00% MINIMUM.
2. IF LOWEST LEVEL ELEVATION IS BELOW RIM ELEVATION OF UPSTREAM MANHOLE, THEN TAP MUST INCLUDE BACKFLOW PREVENTION OR BE PUMPED TO GRAVITY.

SITE PERMITS NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL CITY OF CINCINNATI PERMITS FOR PROPOSED SITE WORK, INCLUDING (BUT NOT LIMITED TO): GC/WW BRANCH APPLICATION, MSD TAP PERMIT, DOTE RIGHT-OF-WAY PERMIT (FOR UTILITY CONNECTIONS, STREET/WALK CLOSURE, AND PAVEMENT INSTALLATION), DOTE BARRICADE PERMIT, DOTE REVOCABLE STREET PERMIT (IF APPLICABLE).

LEGEND

	EXISTING CONCRETE WALK OR DRIVE (TO REMAIN)		STREETSCAPE PROJECT BY OTHERS
	PROPOSED CONCRETE WALK (SEE DETAIL 1/C3.00)		REMOVE & REPLACE EX PAVEMENT IN KIND PER DOTE STANDARDS (SEE SHEET C3.00 FOR DETAILS)

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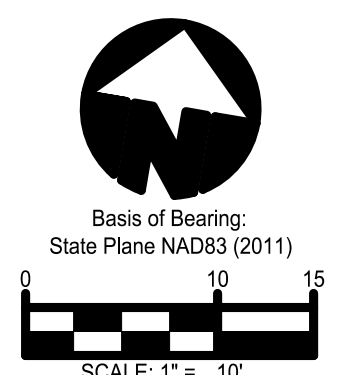
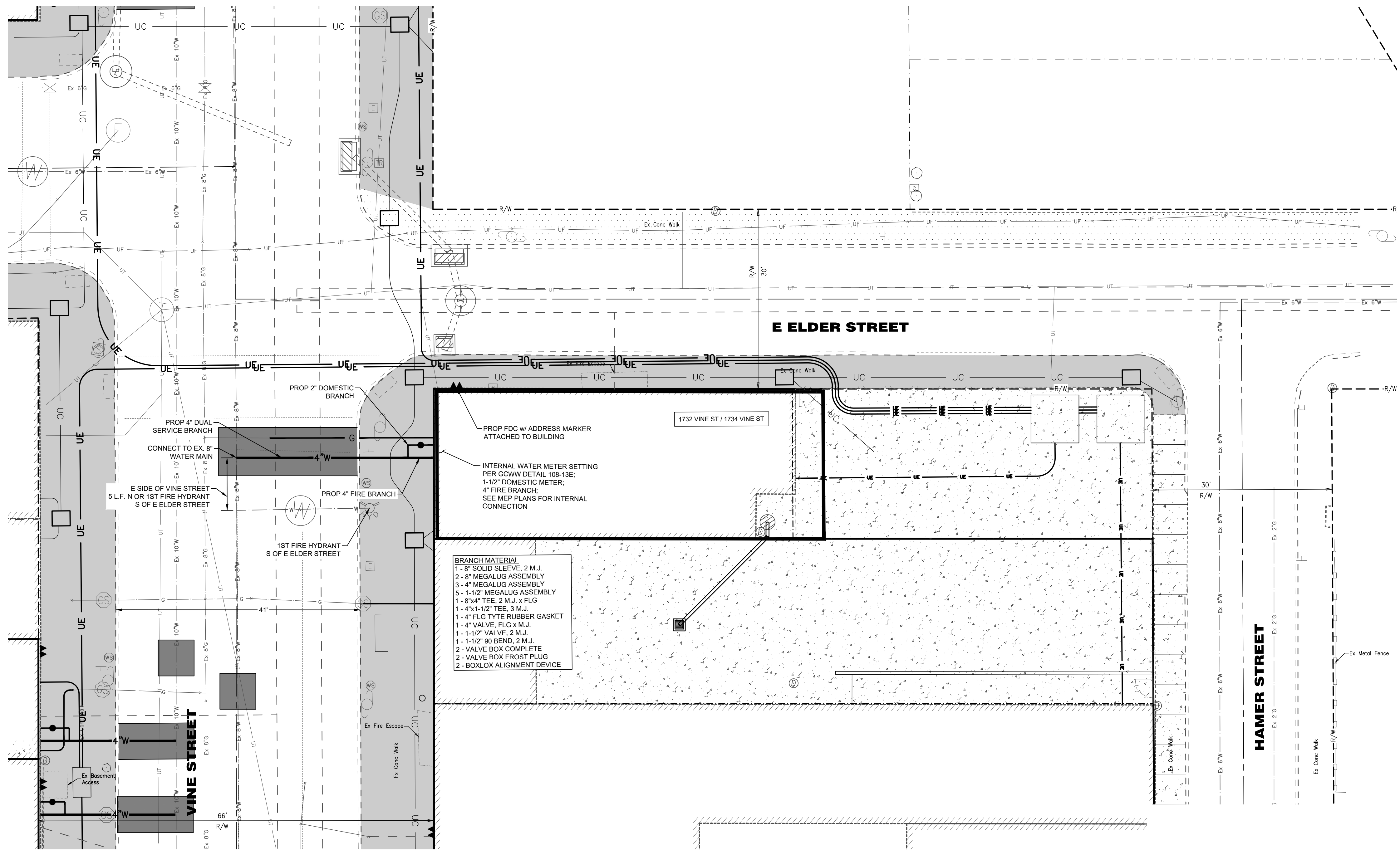
Design Team:

Drawn by:
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GCWW WATER MAIN NOTES

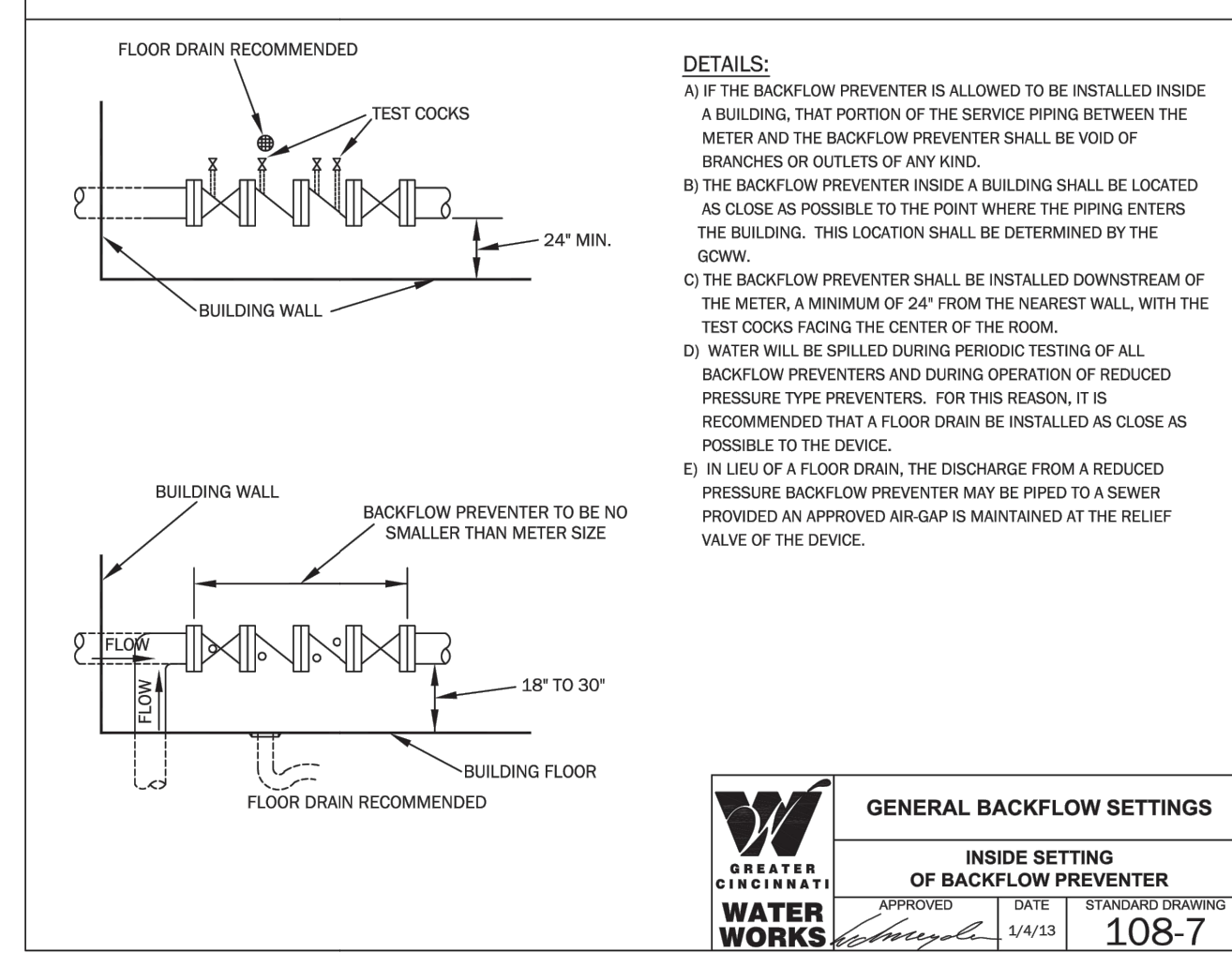
1. ALL WATER WORK AND WATER MAIN MATERIALS INCLUDING PIPE, FITTINGS, VALVES, HYDRANTS, AND INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF GREATER CINCINNATI WATER WORKS. THE MOST RIGID SPECIFICATIONS SHALL GOVERN IN THE EVENT OF A CONFLICT WITH THE PROJECT SPECIFICATIONS.
2. ALL WATER FACILITIES ON THIS PROJECT ARE TO BE PRIVATE.
3. BACKFILL SHALL BE CLASS A WHEN MAIN IS FIVE (5) FEET OR GREATER FROM EXISTING PUBLIC CURB. LESS THAN FIVE (5) FEET FROM EXISTING PUBLIC CURB, UNDER CURB OR EXISTING PUBLIC PAVEMENT BACKFILL SHALL BE CONTROLLED DENSITY FILL.
4. WATER MAINS SHALL MAINTAIN A MINIMUM COVER OF FOURTY TWO (42) INCHES.
5. A MINIMUM CLEAR DISTANCE OF TEN (10) FEET HORIZONTAL AND EIGHTEEN (18) INCHES VERTICAL SHALL BE MAINTAINED BETWEEN SANITARY AND/OR STORM SEWERS AND WATER MAINS.
6. SANITARY AND STORM SEWERS THAT CROSS WATER MAINS SHALL BE LOCATED SUCH THAT THE SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS.
7. PRIVATE WATER MAINS BEYOND THE METER PIT MAY BE C900 DR18 FOR WORKING PRESSURES LESS THAN 150 PSI. FOR DESIGN PRESSURES GREATER THAN 150 PSI, DUCTILE IRON PRESSURE CLASS 350 OR C900 DR 14 SHALL BE USED.
8. SERVICE PIPING SMALLER THAN THREE (3) INCHES SHALL BE SEAMLESS COPPER FLEXIBLE WATER TUBING, ASTM B 88, TYPE K, PRESSURE CLASS 250.

BRANCH APPLICATION PLAN VERITY DISCLAIMER

THIS PLAT/SHEET HAS BEEN PREPARED BY THE APPLICANT FOR WATER SERVICE.
 ALL EXISTING UTILITY AND RECORD INFORMATION DEPICTED ON THE DRAWING, INCLUDING BUILDING FOOTPRINT (WHICH MUST SHOW ANY ENCROACHMENTS INTO THE PUBLIC RIGHT OF WAY, INCLUDING, BUT NOT LIMITED TO: BASEMENT AREAS, ROOT CELLARS AND COAL CHUTES), PARCEL AND EASEMENT INFORMATION, ROADWAY AND RIGHT OF WAY LOCATION ARE THE RESULT OF RESEARCH BY THIS APPLICANT.
 ANY AND ALL DAMAGES OR NEED FOR ADDITIONAL WORK, RESULTING FROM INACCURACY ON THE PART OF THE APPLICANT IS THE APPLICANT'S SOLE FINANCIAL RESPONSIBILITY.

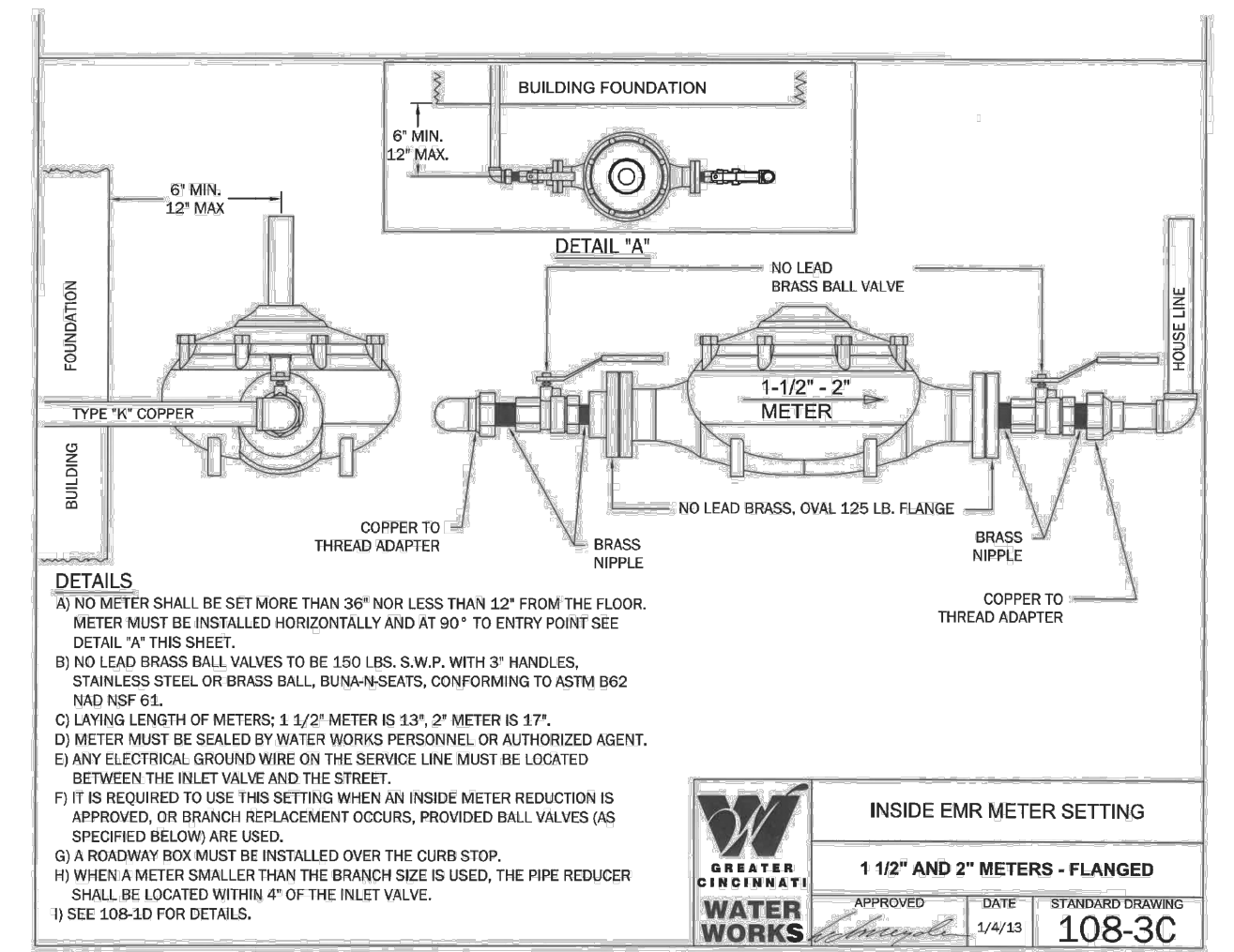
LEGEND

- EXISTING CONCRETE WALK OR DRIVE (TO REMAIN)
- PROPOSED CONCRETE WALK (SEE DETAIL 1/C3.00)
- STREETScape PROJECT BY OTHERS
- REMOVE & REPLACE EX PAVEMENT IN KIND PER DOTE STANDARDS (SEE SHEET C3.00 FOR DETAILS)



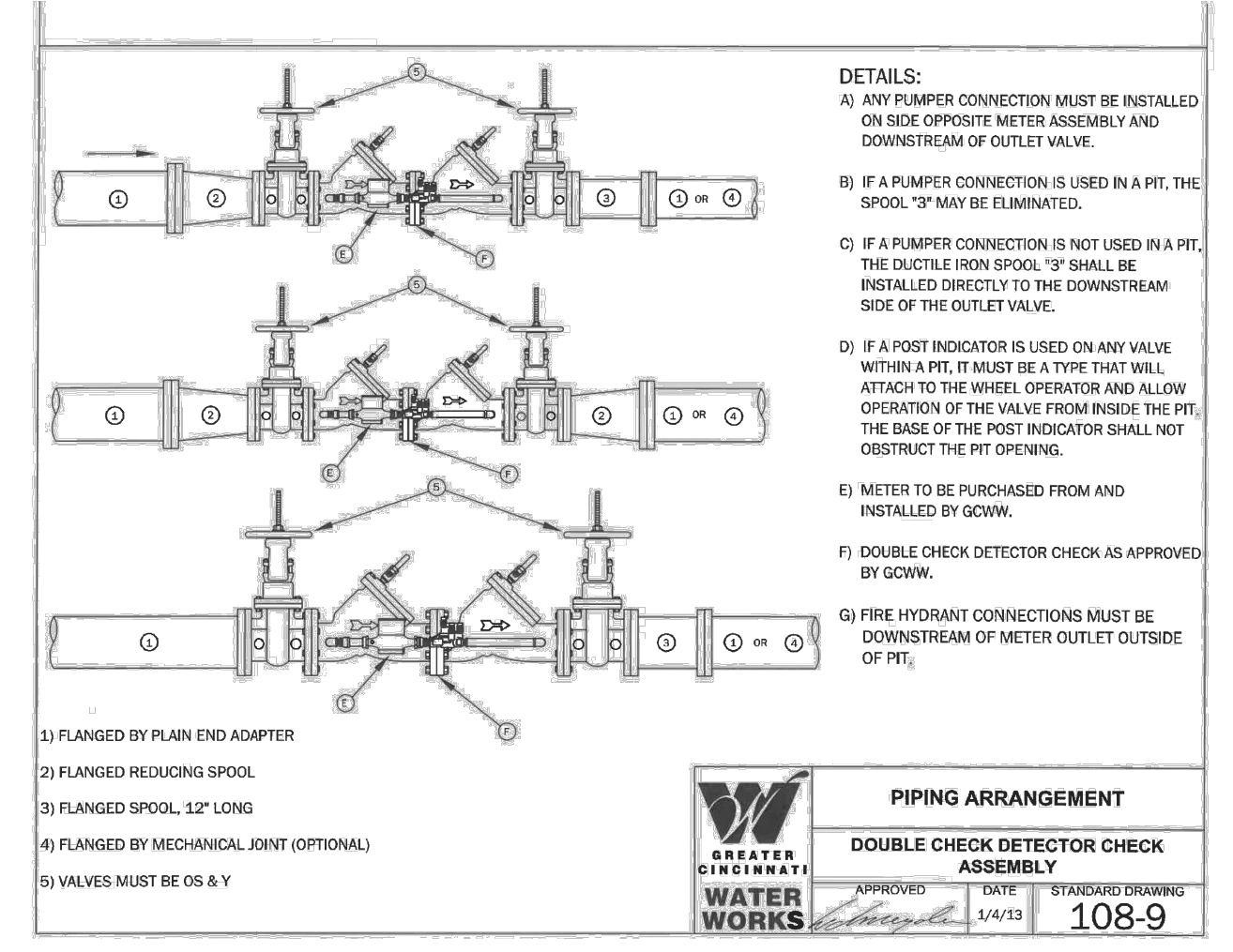
DETAILS:
 A) IF THE BACKFLOW PREVENTER IS ALLOWED TO BE INSTALLED INSIDE A BUILDING, THAT PORTION OF THE SERVICE PIPING BETWEEN THE METER AND THE BACKFLOW PREVENTER SHALL BE VOID OF BRANCHES OR OUTLETS OF ANY KIND.
 B) THE BACKFLOW PREVENTER INSIDE A BUILDING SHALL BE LOCATED AS CLOSE AS POSSIBLE TO THE POINT WHERE THE PIPING ENTERS THE BUILDING. THIS LOCATION SHALL BE DETERMINED BY THE GCWW.
 C) THE BACKFLOW PREVENTER SHALL BE INSTALLED DOWNSTREAM OF THE METER, A MINIMUM OF 24\"/>

GENERAL BACKFLOW SETTINGS
 INSIDE SETTING OF BACKFLOW PREVENTER
 APPROVED DATE STANDARDS DRAWING
 1/4/13 108-7



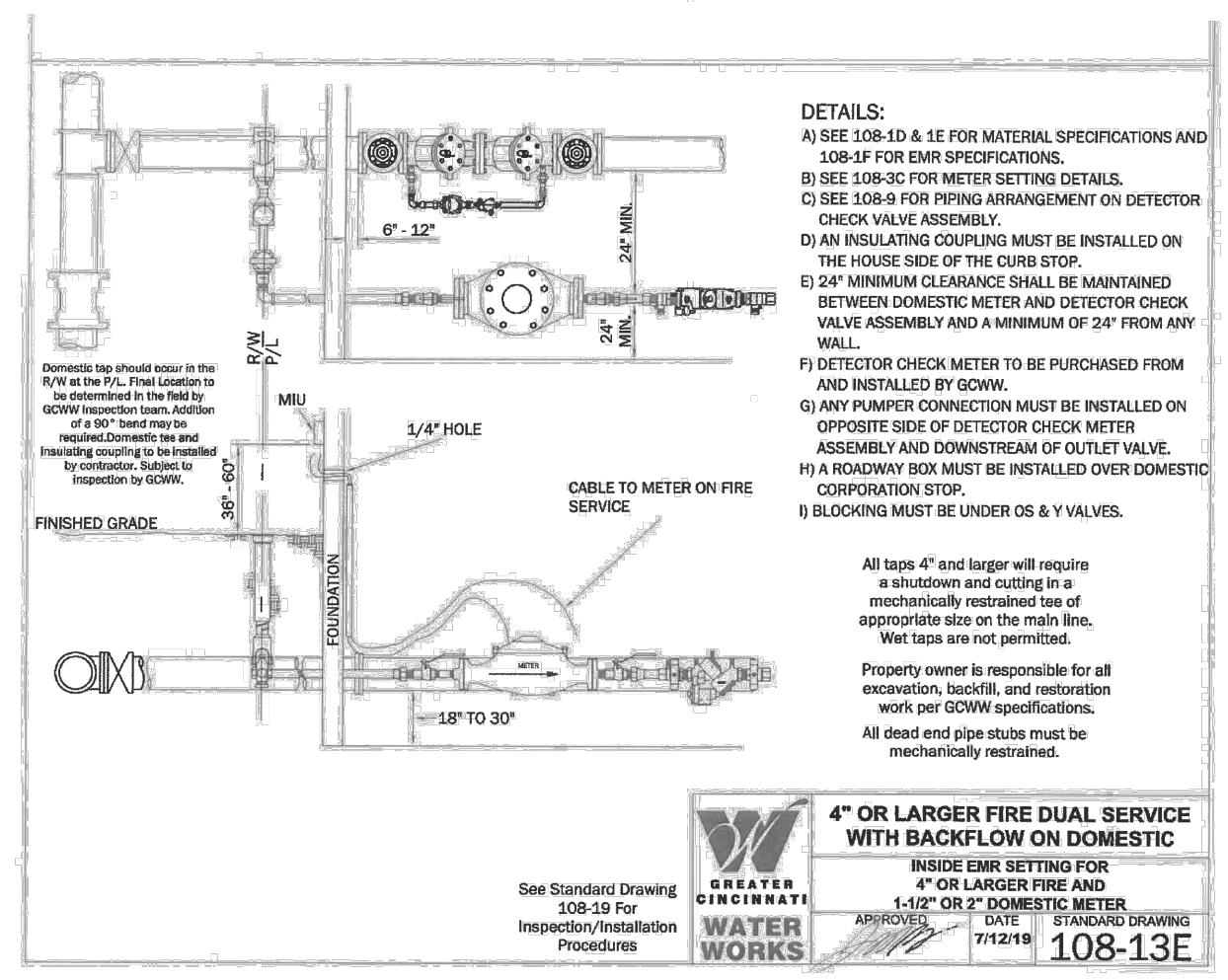
DETAILS:
 A) METER SHALL BE SET MORE THAN 30\"/>

INSIDE EMR METER SETTING
 1 1/2\"/>



DETAILS:
 A) ANY PUMPER CONNECTION MUST BE INSTALLED ON SIDE OPPOSITE METER ASSEMBLY AND DOWNSTREAM OF OUTLET VALVE.
 B) IF A PUMPER CONNECTION IS USED IN A PIT, THE SPOOL, 3\"/>

PIPING ARRANGEMENT
 DOUBLE CHECK DETECTOR CHECK ASSEMBLY
 APPROVED DATE STANDARDS DRAWING
 1/4/13 108-9

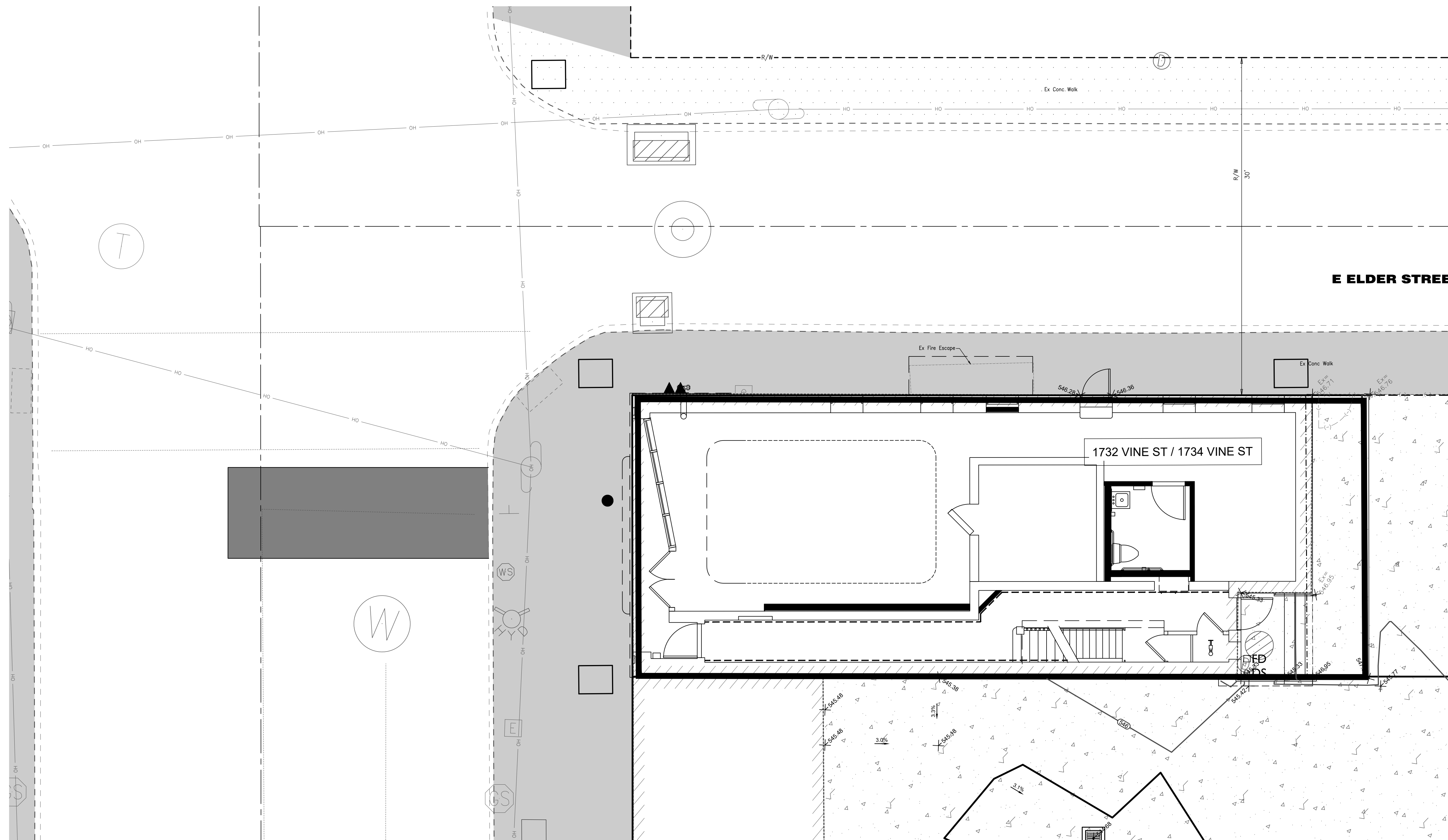


DETAILS:
 A) SEE 108-1D & E FOR MATERIAL SPECIFICATIONS AND 108-1P FOR EMR SPECIFICATIONS.
 B) SEE 108-2C FOR METER SETTING DETAILS.
 C) SEE 108-9 FOR PIPING ARRANGEMENT ON DETECTOR CHECK VALVE ASSEMBLY.
 D) AN INSULATING COUPLING MUST BE INSTALLED ON THE HOUSE SIDE OF THE CURB STOP.
 E) 24\"/>

**4\"/>
 INSIDE EMR SETTING FOR 4\"/>**

PROPOSED PROJECT:
 RENOVATION FOR
1732 VINE ST / 1734 VINE ST
 CINCINNATI, OH, 45202
 FINDLAY FLATS

Job No: 22042 04/28/2023



Basis of Bearing:
State Plane NAD83 (2011)

SCALE: 1" = 5'

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**LOCATION OF ALL EXISTING UTILITIES TO BE
DETERMINED IN THE FIELD PRIOR TO CONSTRUCTION**

LEGEND

- EXISTING CONCRETE WALK OR DRIVE (TO REMAIN)
- PROPOSED CONCRETE WALK (SEE DETAIL 1/C3.00)
- REMOVE & REPLACE EX PAVEMENT IN KIND PER DOTE STANDARDS (SEE SHEET C3.00 FOR DETAILS)
- STREETScape PROJECT BY OTHERS

PER PLAN

1
C3.00 **CONCRETE WALK DETAIL**
NOT TO SCALE

- 1 ITEM 608 - 4" CONCRETE WALK
- 2 ITEM 304 - 4" AGGREGATE BASE
- 3 ITEM 203 - SUBGRADE COMPACTION

STANDARD RESTORATION BLOCK PAVED STREETS

2 inches of 404 asphalt shall be compacted with 3 to 5 ton roller, 8 to 10 ton or equivalent vibratory compactor for longitudinal cuts.

Concrete shall be consolidated with internal type vibrator.

Bond breaker shall be sand cushion 0.75" for pavers or approved medium.

Edges of restoration shall be sealed with asphalt cement meeting the requirements of Item 702.01 of the Ohio Department of Transportation Construction and Materials Specifications.

STANDARD RESTORATION ASPHALT SURFACE ON CONCRETE BASE

Existing pavement shall be removed a minimum of 12 inches beyond the trench restoration.

In lieu of the 12 inch cutback, one of the following methods may be used:

- A) Installation of steel bars as shown on detail this drawing.
- B) Backfill with Controlled Low Strength Material (CLSM)

Concrete shall be consolidated with internal type vibrator.

2 inches of Item 404 asphalt shall be compacted with 3 to 5 ton roller, 8 to 10 ton or equivalent vibratory compactor for longitudinal cuts.

Class "F2" concrete may be used when the pavement is required to be open to traffic the same day.

Item 702.01 - Edges of restoration shall be sealed with asphalt cement.

The seal shall be a uniform 2 inch wide asphalt cement seal.

CITY OF CINCINNATI
DEPARTMENT OF PUBLIC WORKS
DIVISION OF HIGHWAY ENGINEERING
STANDARD RESTORATION OF OPENINGS
SCALE: NONE MAY, 1995
ACC. NO. 21506

STANDARD RESTORATION BITUMINOUS AGGREGATE BASE

1. Item 404 - Asphalt Concrete compacted with 3 to 5 ton roller, 8 to 10 ton for longitudinal cut or equivalent vibratory compactor.

2. Item 304 - Aggregate Base.

3. Before placing the aggregate, a layer of dry screenings shall be placed on the compacted subgrade to a minimum depth of one (1) inch as an inverted choke. This shall not be rolled or compacted in any manner. The coarse aggregate shall then be placed in two courses, each course to the five (5) inches in depth and to be individually rolled, chocked and re-rolled to thoroughly key the aggregate.

The choke material shall consist of No. 87 screenings, crushed stone or slag.

4. Edges of restoration to be sealed with Item 702.01.

Subgrade to be backfilled in accordance with Department of Public Works Regulations governing street openings.

CITY OF CINCINNATI
DEPARTMENT OF PUBLIC WORKS
DIVISION OF HIGHWAY ENGINEERING
STANDARD RESTORATION OF OPENINGS
SCALE: NONE MAY, 1995
ACC. NO. 21507

STANDARD RESTORATION CONCRETE PAVEMENT

Existing pavement shall be removed a minimum of 12 inches beyond the trench restoration. In lieu of the 12 inch cutback, one of the following methods may be used:

- A) Installation of steel bars as shown on detail of drawing No. 800-11.
- B) Backfill with Controlled Low Strength Material (CLSM)

Saw edge 2 inch cut by use of concrete saw or other approved method.

Break out concrete below sawcut by use of jackhammer or approved pneumatic tool.

Vertical face of existing pavement shall be cleaned by compressed air.

All surfaces shall be wetted prior to placing concrete.

Concrete shall be consolidated with internal type vibrator.

Concrete surface shall be cured as soon after the finishing operation as possible. See Item 451.10 (C3.01).

Item 702.01 - Edges of restoration shall be sealed with asphalt cement.

The seal shall be a uniform 3 inch wide asphalt cement seal.

CITY OF CINCINNATI
DEPARTMENT OF PUBLIC WORKS
DIVISION OF HIGHWAY ENGINEERING
STANDARD RESTORATION OF OPENINGS
SCALE: NONE MAY, 1995
ACC. NO. 21507

2
C3.00 **TYPICAL CONCRETE STAIR & HANDRAIL DETAIL**
NOT TO SCALE

NOTE:

1. ALL RE-STEEL IS TO BE FULLY SUPPORTED AND TIED IN PLACE.
2. SEE PLAN FOR NUMBER & HEIGHT OF RISERS.



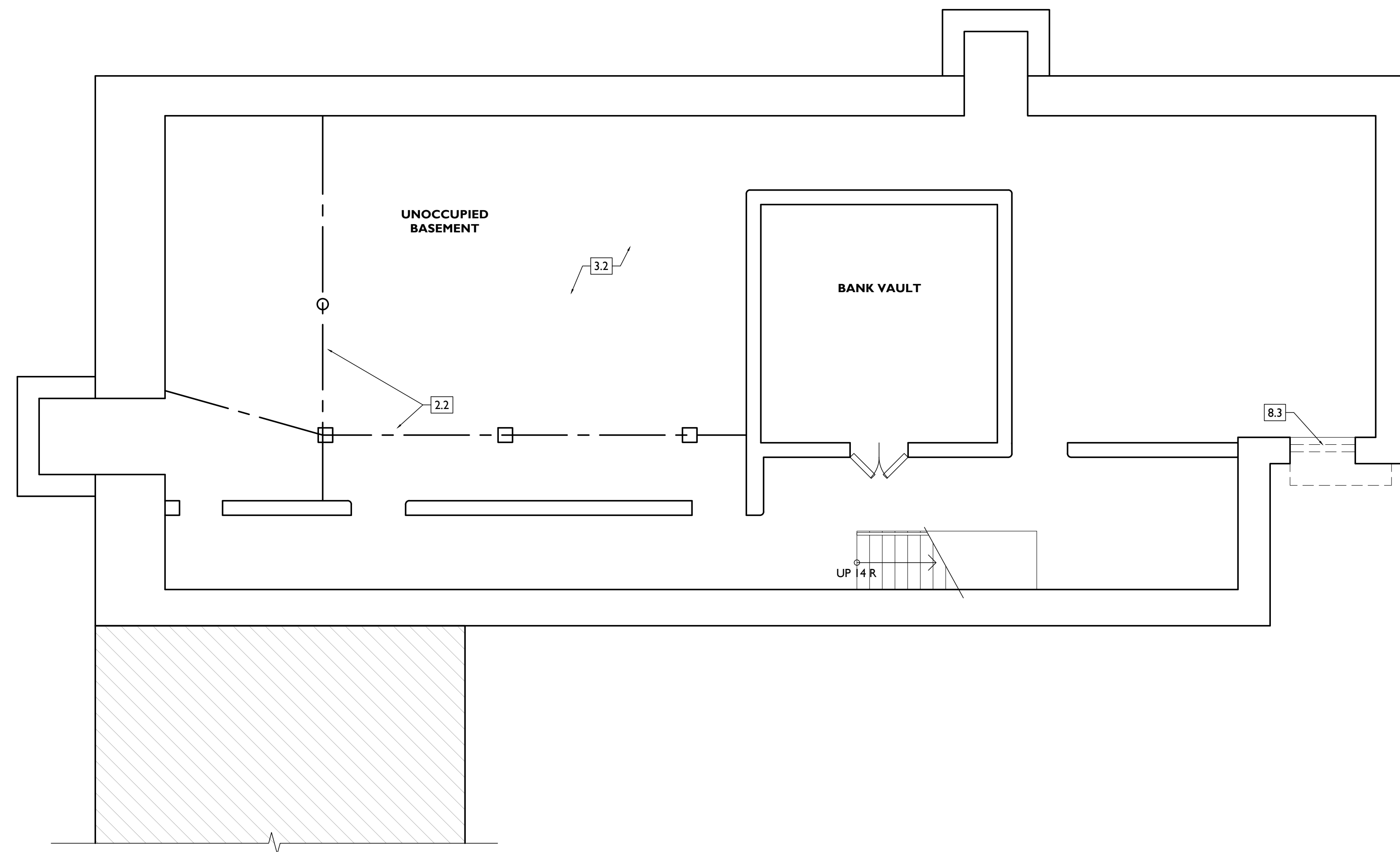
Progress Dates
04.28.2023 - PERMIT SUBMISSION
08.30.2024 - BID SET 2

Revisions

Design Team:
Drawn by:
EFS

Job No: 22042 04/28/2023

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REPAIR ANCHOR HOLES IN MASONRY AS REQ. 5.2 EXG FIRE ESCAPE TO REMAIN. CLEAN AND REPAINT.</p> <p>6. WOOD, PLASTICS, AND COMPOSITES 6.1 HISTORIC TRIM TO BE CAREFULLY REMOVED & SALVAGED FOR REUSE. 6.2 HISTORIC INTERIOR MANTEL TRIM TO REMAIN. 6.3 RETAIN WAINSCOT AT CORRIDORS & STAIR HALLS.</p> <p>7. THERMAL AND MOISTURE PROTECTION 7.1 HISTORIC BOX GUTTER TO BE REPAIRED & RETAINED.</p>	<p>7.2 EXG ROOF ACCESS HATCH TO BE REMOVED. 7.3 REMOVE EXG ROOFING BACK TO SHEATHING / SUBSTRATE. REPAIR / REPLACE EXG DAMAGED SUBSTRATE AS REQ. 7.4 AREA OF FRAMING TO BE REMOVED FOR NEW ATTIC ACCESS HATCH. SEE NEW WORK PLANS.</p> <p>8. OPENINGS 8.1 REMOVE EXG WOOD SASH. EXG HIST. FRAME/WEIGHT POCKETS TO REMAIN. 8.2 RETAIN NON-HISTORIC STOREFRONT. SEE ELEVATIONS. 8.3 REMOVE GLASS BLOCK 8.4 REMOVE NON-HISTORIC DOOR AND FRAME. 8.5 NEW DOOR OPENING. SEE NEW WORK PLANS AND DOOR SCHEDULE. 8.6 EXG. INFILLED DOOR OPENING. REMOVE INFILL TO ROUGH OPENING. SALVAGE ANY HISTORIC TRIM FOR REUSE. 8.7 REMOVE NON-HISTORIC WINDOW. RETAIN & DO NOT DAMAGE EXG HISTORIC FRAME/ BRICK MOULD. 8.8 NEW OPENING FOR RECESSED MAILBOX PER MANUF. REQUIREMENTS. 9.1 HISTORIC CEILING ABOVE TO REMAIN.</p>	<p>A. THIS PROJECT IS A NPS AND OHPO HISTORIC PRESERVATION TAX CREDIT PROJECT. COORDINATE & CONFORM ALL WORK TO THE APPROVED PART 2 NARRATIVE AND AMENDMENTS. NO HISTORIC ELEMENTS ARE TO BE REMOVED OR MODIFIED UNLESS SPECIFICALLY NOTED OTHERWISE. THROUGHOUT THIS PROJECT, HISTORIC DOORS, WINDOWS, AND INTERIOR TRIM REMAINS LARGELY INTACT. HISTORIC ELEMENTS (TRIM, DOORS, ETC.) TO REMAIN OR BE SALVAGED FOR REUSE.</p> <p>B. IF UNEXPECTED HISTORIC TRIM IS UNCOVERED DURING DEMOLITION, STOP WORK AND CONTACT ARCHITECT IMMEDIATELY FOR DOCUMENTATION AND POSSIBLE SHPO/NPS REVIEW.</p> <p>C. AT NEW OPENINGS AND MODIFICATIONS OF EXG OPENINGS IN MASONRY AND EXTERIOR WALLS: 1. VERIFY ANY INFILL IS NON-LOADBEARING PRIOR TO DEMOLITION. 2. VERIFY CONDITION OF ANY EXG LINTELS. 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NON-HISTORIC CABINETRY. T. NON-HISTORIC WALL FINISHES, INCLUDING PANELING AND WALLCOVERING. U. MECHANICAL SYSTEMS - BOILERS, FURNACES, CONDENSERS, DUCTS, VENTS, PANELS, ETC. BACK TO SERVICE. V. ELECTRIC SYSTEMS - FIXTURES, SWITCHES, RECEPTACLES, WIRING, PANELS, ETC. BACK TO SERVICE. W. PLUMBING SYSTEMS - FIXTURES, WATER HEATERS, DRAINS, PIPING, VENT STACKS, ETC. BACK TO SERVICE. X. NON-HISTORIC DOWNSPOUTS & ALUMINUM GUTTERS, GUTTERBOARDS. Y. NON-HISTORIC VINYL AND ALUMINUM WINDOWS. RETAIN HISTORIC WOOD FRAMES & BRICKMOLD. Z. VEGETATION.</p>	<p>DEMO WORK GRAPHIC KEY:</p> <p>KEYNOTE</p> <p>EXG EXTERIOR WALL TO REMAIN</p> <p>EXG INTERIOR WALL TO REMAIN</p> <p>EXG WALLELEMENT TO BE REMOVED</p> <p>EXG DOOR & FRAME TO BE REMOVED</p> <p>EXG WINDOW TO BE REMOVED</p> <p>EXG FLOOR OR WALL CONSTRUCTION TO BE REMOVED</p>



SCALE: 1/4" = 1'-0"

EXISTING + DEMOLITION PLAN - BASEMENT |

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Progress Dates
2023.04.28 - BID/PERMIT
2024.08.30 - BID SET 2

Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
TB, AM

PROPOSED PROJECT:
**RENOVATION FOR
1732 VINE ST. / 1734 VINE ST.**
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 08.30.2024

ADI.00

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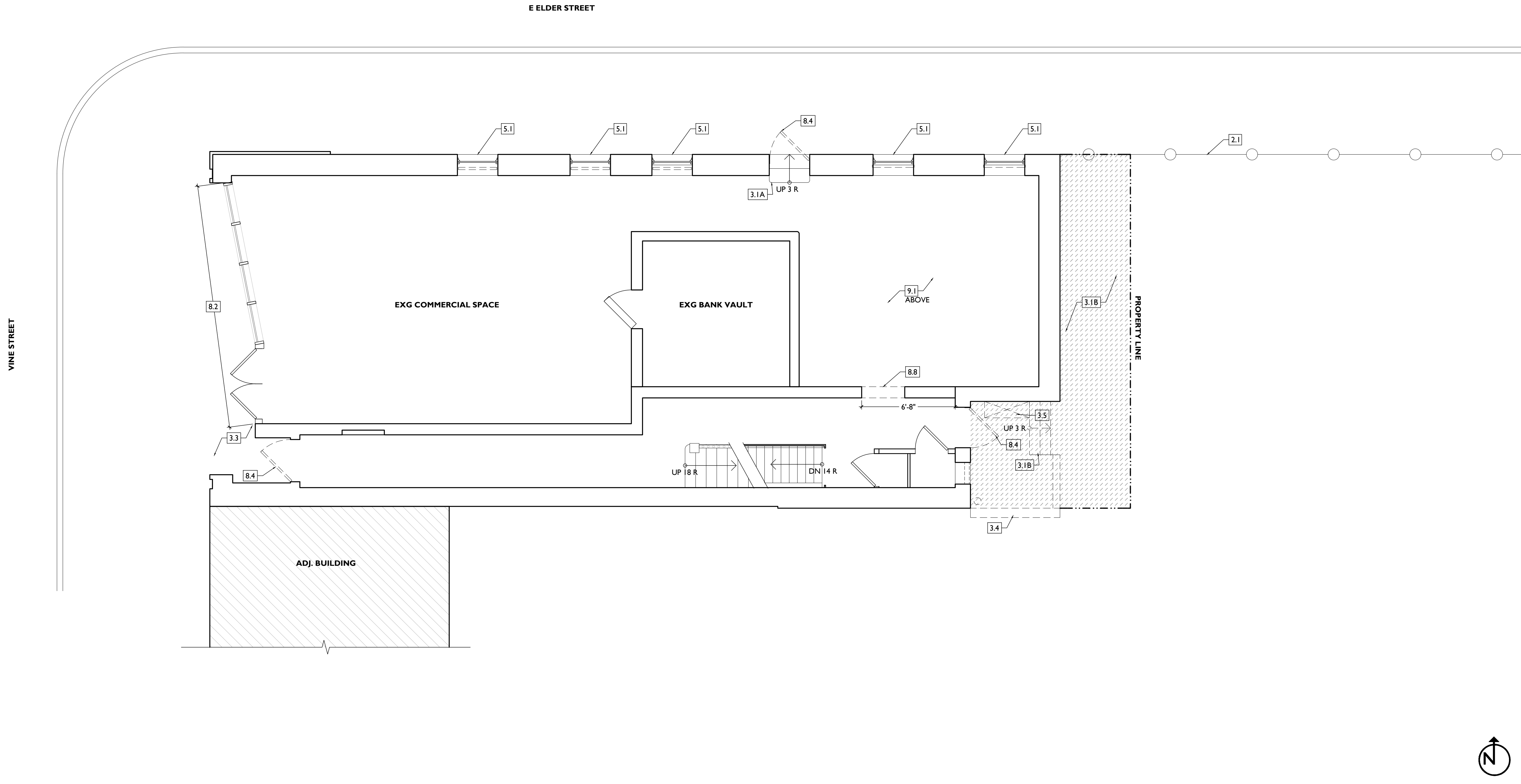
Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
TB, AM

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**RENOVATION FOR
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CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 08.30.2024

ADI.01



DEMO WORK PLANS & ELEVATIONS [KEYED NOTES]

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2. EXG CONDITIONS
2.1 REMOVE FENCE.
2.2 EXG STRUCTURAL ELEMENTS (POSTS, BEAMS, FOOTINGS, ETC.) TO REMAIN U.N.O. TYP. SEE PROPOSED STRUCTURAL DRAWINGS.

3. CONCRETE
3.1 CONCRETE OR STONE STEPS
A. TO REMAIN
B. REMOVE
3.2 CONCRETE SLAB TO REMAIN.
3.3 SLOPED CONC. STOREFRONT ENTRY TO BE CLEANED & REPAIRED.
3.4 REMOVE CONC. RETAINING WALL. PROVIDE TEMP. SHORING AS REQ. SEE CIVIL & STRUCT.
3.5 EXG. WINDOW WELL. PREPARE FOR INFILL.

4. MASONRY
4.1 NOT USED.
4.2 REMOVE CRACKED LINTEL/SILL. PROVIDE TEMP. SHORING AS REQ. SEE STRUCT.

5. METALS
5.1 REMOVE METAL SECURITY GRATES. REPAIR ANCHOR HOLES IN MASONRY AS REQ.
5.2 EXG FIRE ESCAPE TO REMAIN. CLEAN AND REPAINT.

6. WOOD, PLASTICS, AND COMPOSITES
6.1 HISTORIC TRIM TO BE CAREFULLY REMOVED & SALVAGED FOR REUSE.
6.2 HISTORIC INTERIOR MANTEL TRIM TO REMAIN.
6.3 RETAIN WAINSCOT AT CORRIDORS & STAIR HALLS.

7. THERMAL AND MOISTURE PROTECTION
7.1 HISTORIC BOX GUTTER TO BE REPAIRED & RETAINED.

7.2 EXG ROOF ACCESS HATCH TO BE REMOVED.
7.3 REMOVE EXG ROOFING BACK TO SHEATHING / SUBSTRATE. REPAIR / REPLACE EXG DAMAGED SUBSTRATE AS REQ.
7.4 AREA OF FRAMING TO BE REMOVED FOR NEW ATTIC ACCESS HATCH. SEE NEW WORK PLANS.

8. OPENINGS
8.1 REMOVE EXG WOOD SASH. EXG HIST. FRAME/WEIGHT POCKETS TO REMAIN.
8.2 RETAIN NON-HISTORIC STOREFRONT. SEE ELEVATIONS.
8.3 REMOVE GLASS BLOCK
8.4 REMOVE NON-HISTORIC DOOR AND FRAME.
8.5 NEW DOOR OPENING. SEE NEW WORK PLANS AND DOOR SCHEDULE.
8.6 EXG. INFILLED DOOR OPENING. REMOVE INFILL TO ROUGH OPENING. SALVAGE ANY HISTORIC TRIM FOR REUSE.
8.7 REMOVE NON-HISTORIC WINDOW. RETAIN & DO NOT DAMAGE EXG HISTORIC FRAME/ BRICK MOULD.
8.8 NEW OPENING FOR RECESSED MAILBOX PER MANUF. REQUIREMENTS.
9.1 HISTORIC CEILING ABOVE TO REMAIN.

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B. IF UNEXPECTED HISTORIC TRIM IS UNCOVERED DURING DEMOLITION, STOP WORK AND CONTACT ARCHITECT IMMEDIATELY FOR DOCUMENTATION AND POSSIBLE SHPO/NPS REVIEW.

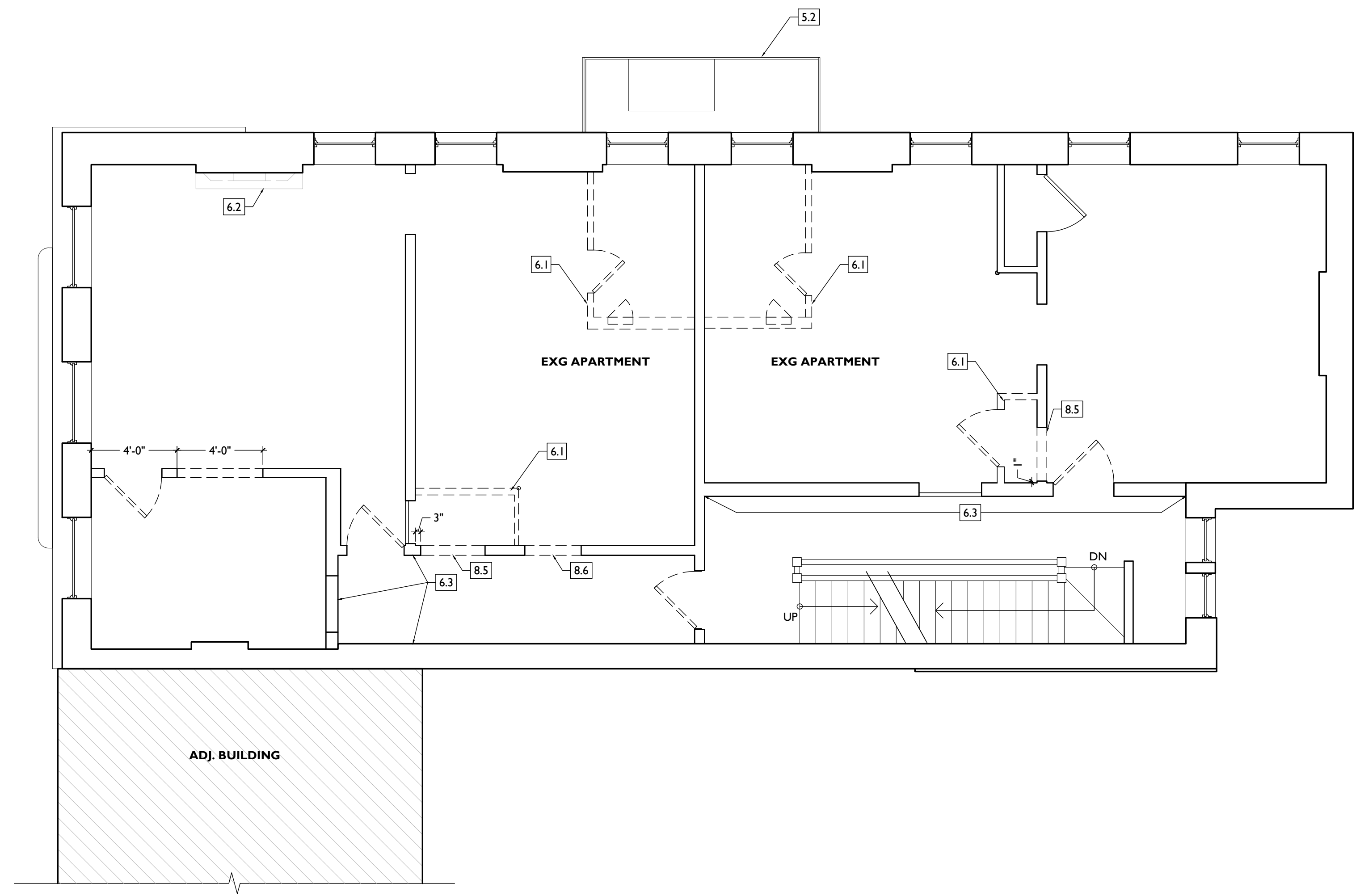
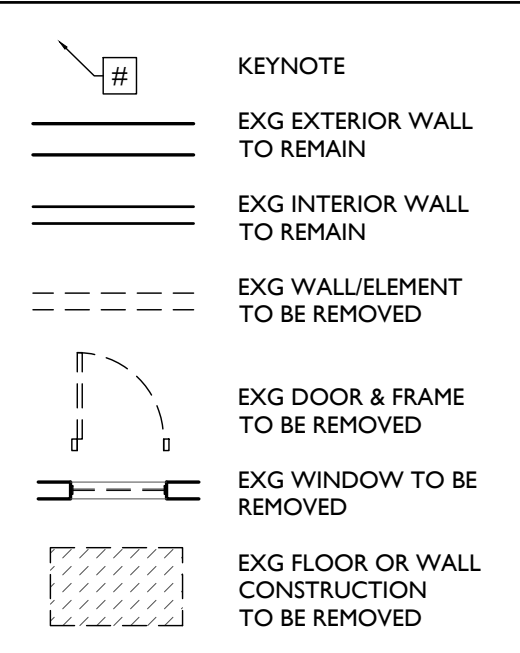
C. AT NEW OPENINGS AND MODIFICATIONS OF EXG OPENINGS IN MASONRY AND EXTERIOR WALLS:
1. VERIFY ANY INFILL IS NON-LOADBEARING PRIOR TO DEMOLITION.
2. VERIFY CONDITION OF ANY EXG LINTELS. IF DAMAGED, CONTACT ARCHITECT AND STRUCTURAL ENGINEER.
3. PROVIDE SHORING AS REQUIRED.
4. TOOTH OUT AND KEY IN MASONRY SO CUT BRICK IS NOT EXPOSED, EXCEPT WHERE NOTED IN CORRIDORS.
5. EXPOSED MASONRY EDGES ARE TO BE FIRED EDGES U.N.O.

D. AT COMPLETION OF DEMOLITION, ALL FLOORS SHALL BE SWEEPED BROOM CLEAN.

ADDITIONAL INFORMATION REGARDING ELEMENTS TO BE RETAINED:
E. IN AREAS OF NEW MASONRY OPENINGS, SALVAGE HISTORIC BRICK FOR REUSE & CAREFULLY SORT AND SEPARATE HARD-FIRED FACE BRICK FROM BRICKS AT INTERIOR WYTHES.
F. RETAIN HISTORIC EXTERIOR ORNAMENT - CORNICES, FRIEZES, BRACKETS, ETC.
G. RETAIN HISTORIC STOREFRONT ELEMENTS - COLUMNS, LINTELS, THRESHOLDS, GLAZING, ETC.
H. RETAIN HISTORIC INTERIOR WOOD TRIM - MANTLES, BASEBOARDS, CROWN MOULDING, WALL PANELS, WAINSCOTING, WINDOW FRAMES, DOOR FRAMES, ETC. AT WALLS WHERE PLASTER IS BEING REMOVED OR WHERE NEW FURRING IS PROPOSED, CAREFULLY REMOVE & RETAIN HISTORIC TRIM.
I. RETAIN HISTORIC INTERIOR AND EXTERIOR DOORS, TRANSOMS, AND SIDELITES.
J. RETAIN HISTORIC WOOD WINDOW SASH, FRAMES, BRICK MOULD AND SHUTTER HARDWARE.
K. EXG DOWNSPOUT TIE-IN LOCATIONS TO BE REUSED. UNO. CLEAR OF DEBRIS & REPAIR AS REQ.
REMOVE THE FOLLOWING, UNLESS NOTED OTHERWISE:
L. FURNITURE & DEBRIS, INTERIOR & EXTERIOR, ALL FLOOR LEVELS, INCLUDING BASEMENT & ATTIC.
M. SUSPENDED ACOUSTICAL CEILINGS.
N. NON-HISTORIC DOORS & DOOR FRAMES (SHOWN DASHED).
O. NON-HISTORIC STAIRS (SHOWN DASHED).

P. PLASTER & LATH: REFER TO HISTORIC NARRATIVES FOR SPECIFIC GUIDELINES FOR PLASTER REPAIR, WHEN REQ. FOLLOW THESE GUIDELINES FOR THE REMOVAL OR RETENTION OF PLASTER AND LATH, UNO. RETAIN AND REPAIR PLASTER AT HISTORIC INTERIOR WALLS TO REMAIN. REMOVE LOOSE OR DETERIORATED PLASTER AT MASONRY WALLS.
Q. ROOFING DOWN TO EXG. SUBSTRATE, U.N.O. REPLACE DAMAGED/DETERIORATED SUBSTRATE AS REQ.
R. DETERIORATED WOOD SUBFLOOR: REPLACE WITH NEW PLYWOOD SUBFLOOR. SEE PROPOSED.
S. NON-HISTORIC CABINETRY.
T. NON-HISTORIC WALL FINISHES, INCLUDING PANELING AND WALLCOVERING.
U. MECHANICAL SYSTEMS - BOILERS, FURNACES, CONDENSERS, DUCTS, VENTS, PANELS, ETC. BACK TO SERVICE.
V. ELECTRIC SYSTEMS - FIXTURES, SWITCHES, RECEPTACLES, WIRING, PANELS, ETC. BACK TO SERVICE.
W. PLUMBING SYSTEMS - FIXTURES, WATER HEATERS, DRAINS, PIPING, VENT STACKS, ETC. BACK TO SERVICE.
X. NON-HISTORIC DOWNSPOUTS & ALUMINUM GUTTERS, GUTTERBOARDS.
Y. NON-HISTORIC VINYL AND ALUMINUM WINDOWS. RETAIN HISTORIC WOOD FRAMES & BRICKMOLD.
Z. VEGETATION.

DEMO WORK GRAPHIC KEY:



Progress Dates
2023.04.28 - BID/PERMIT
2024.08.30 - BID SET 2

Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
TB, AM

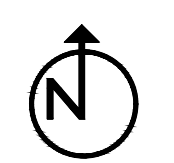
PROPOSED PROJECT:
**RENOVATION FOR
1732 VINE ST. / 1734 VINE ST.**
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 08.30.2024

ADI.02

SCALE: 1/4" = 1'-0"

EXISTING + DEMOLITION PLAN - SECOND FLOOR



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DEMO WORK PLANS & ELEVATIONS [KEYED NOTES]

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- ALL KEYED NOTES LISTED MAY NOT APPLY TO THIS SHEET.
- 2. EXG CONDITIONS**
2.1 REMOVE FENCE.
2.2 EXG STRUCTURAL ELEMENTS (POSTS, BEAMS, FOOTINGS, ETC.) TO REMAIN U.N.O., TYP. SEE PROPOSED STRUCTURAL DRAWINGS.
- 3. CONCRETE**
3.1 CONCRETE OR STONE STEPS
A. TO REMAIN
B. REMOVE
3.2 CONCRETE SLAB TO REMAIN.
3.3 SLOPED CONC. STOREFRONT ENTRY TO BE CLEANED & REPAIRED.
3.4 REMOVE CONC. RETAINING WALL. PROVIDE TEMP. SHORING AS REQ. SEE CIVIL & STRUCT.
3.5 EXG. WINDOW WELL. PREPARE FOR INFILL.
- 4. MASONRY**
4.1 NOT USED.
4.2 REMOVE CRACKED LINTEL/SILL. PROVIDE TEMP. SHORING AS REQ. SEE STRUCT.
- 5. METALS**
5.1 REMOVE METAL SECURITY GRATES. REPAIR ANCHOR HOLES IN MASONRY AS REQ.
5.2 EXG FIRE ESCAPE TO REMAIN. CLEAN AND REPAINT.
- 6. WOOD, PLASTICS, AND COMPOSITES**
6.1 HISTORIC TRIM TO BE CAREFULLY REMOVED & SALVAGED FOR REUSE.
6.2 HISTORIC INTERIOR MANTEL TRIM TO REMAIN.
6.3 RETAIN WAINSCOT AT CORRIDORS & STAIR HALLS.
- 7. THERMAL AND MOISTURE PROTECTION**
7.1 HISTORIC BOX GUTTER TO BE REPAIRED & RETAINED.

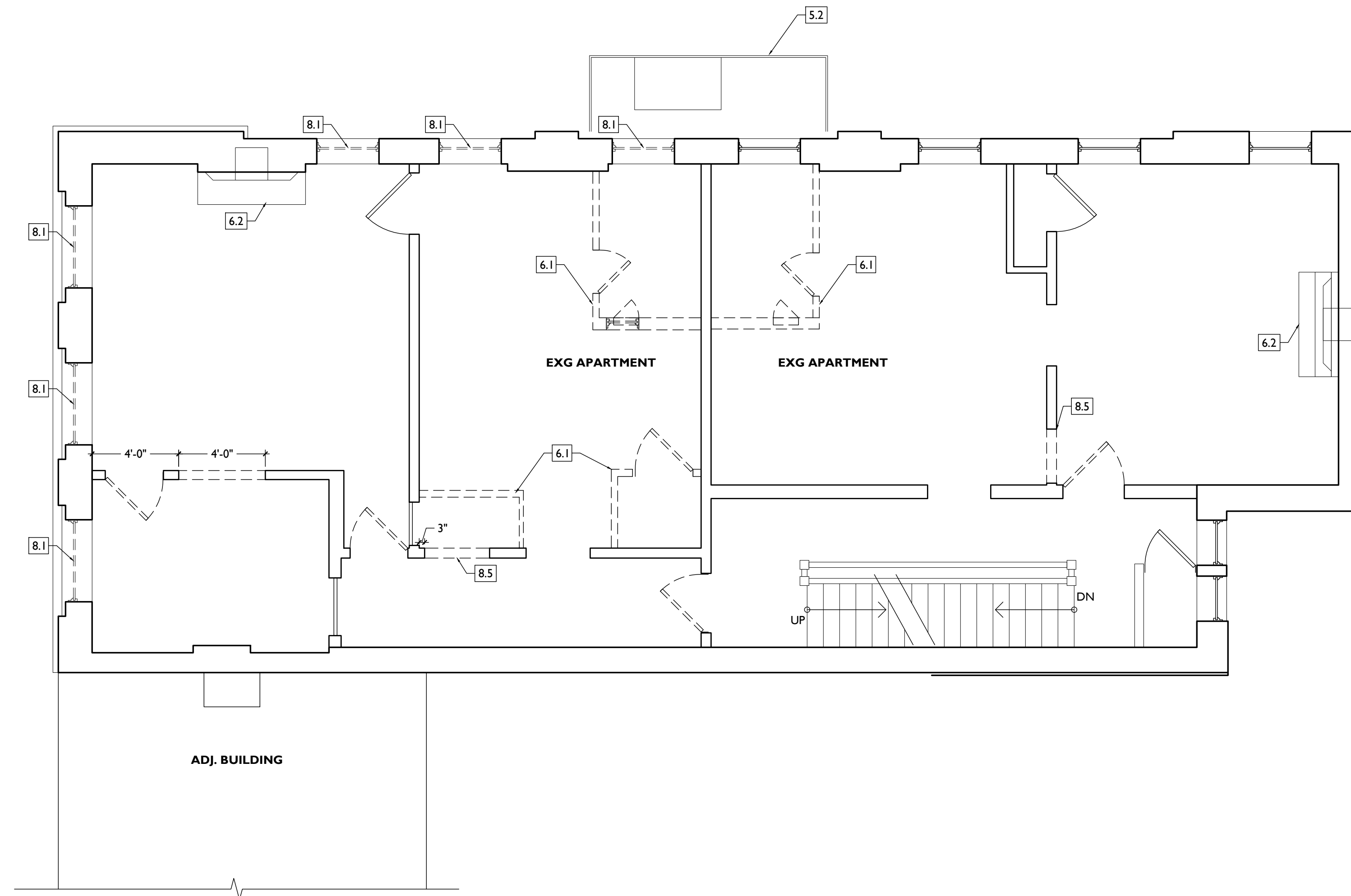
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- 8. OPENINGS**
8.1 REMOVE EXG WOOD SASH. EXG HIST. FRAME/WEIGHT POCKETS TO REMAIN.
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DEMO WORK GRAPHIC KEY:

- KEYNOTE
- EXG EXTERIOR WALL TO REMAIN
- EXG INTERIOR WALL TO REMAIN
- EXG WALLELEMENT TO BE REMOVED
- EXG DOOR & FRAME TO BE REMOVED
- EXG WINDOW TO BE REMOVED
- EXG FLOOR OR WALL CONSTRUCTION TO BE REMOVED



SCALE: 1/4" = 1'-0"

EXISTING + DEMOLITION PLAN - THIRD FLOOR | 1

Progress Dates
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Revisions

Design Team:
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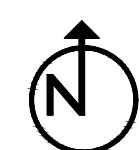
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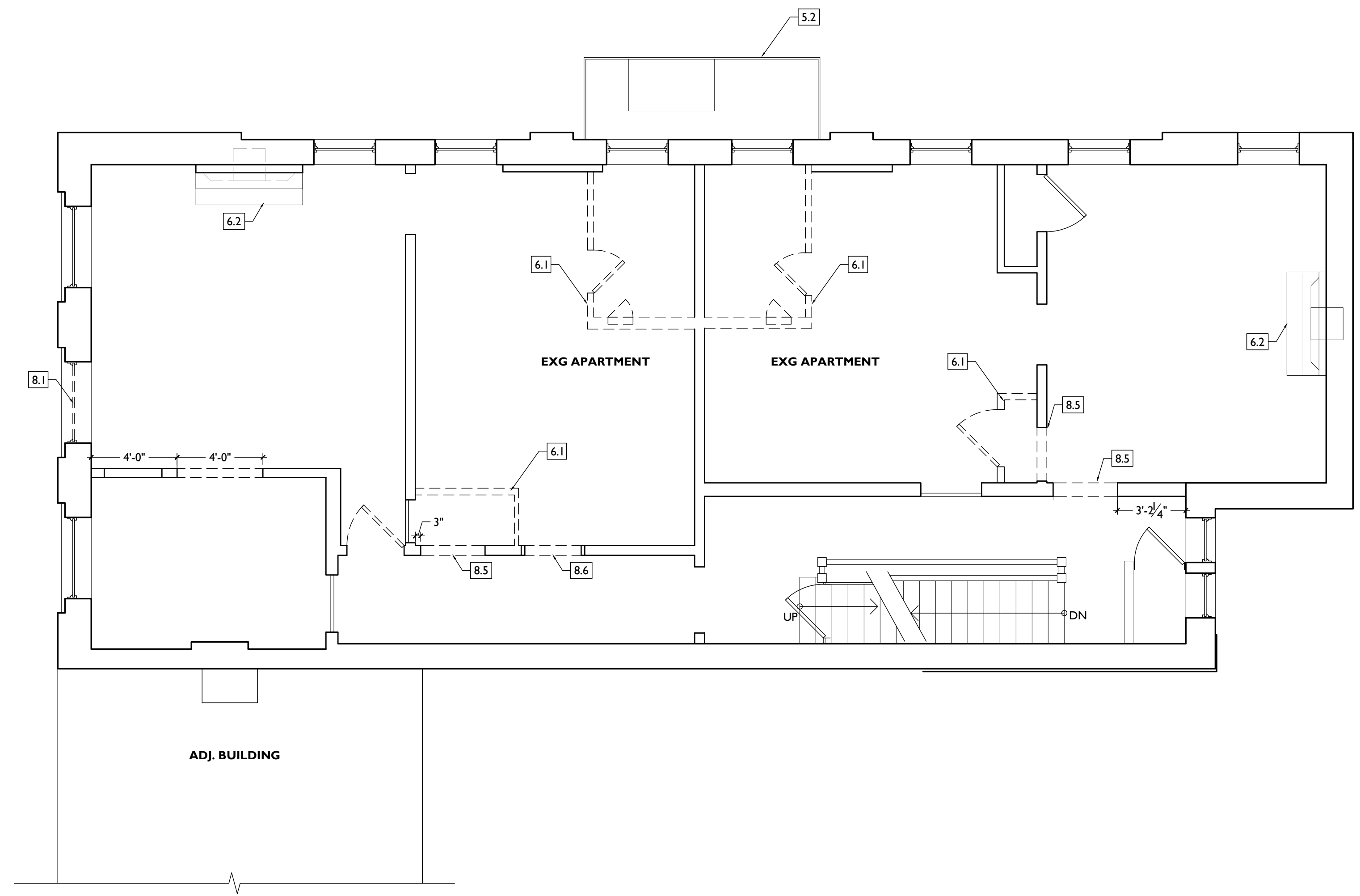
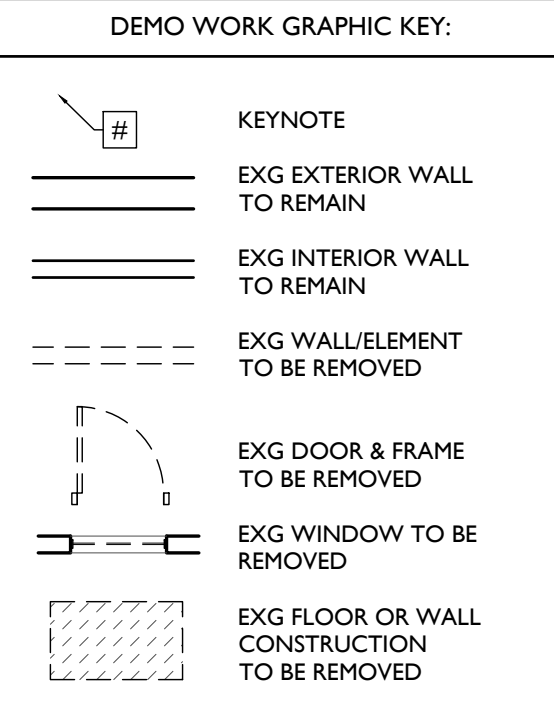
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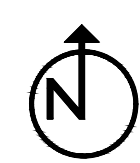
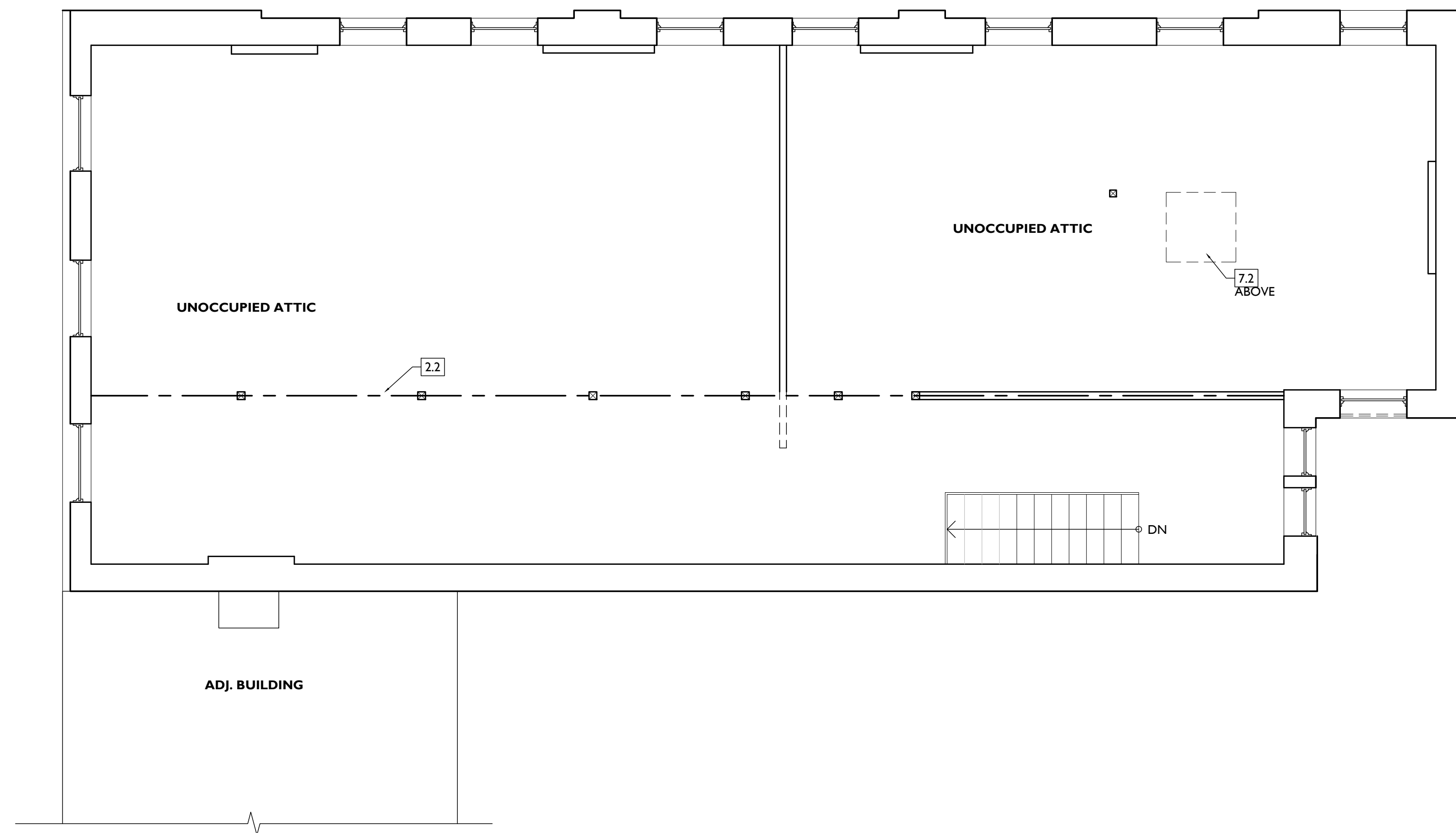
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SCALE: 1/4" = 1'-0"

EXISTING + DEMOLITION PLAN - ATTIC FLOOR

1

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Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
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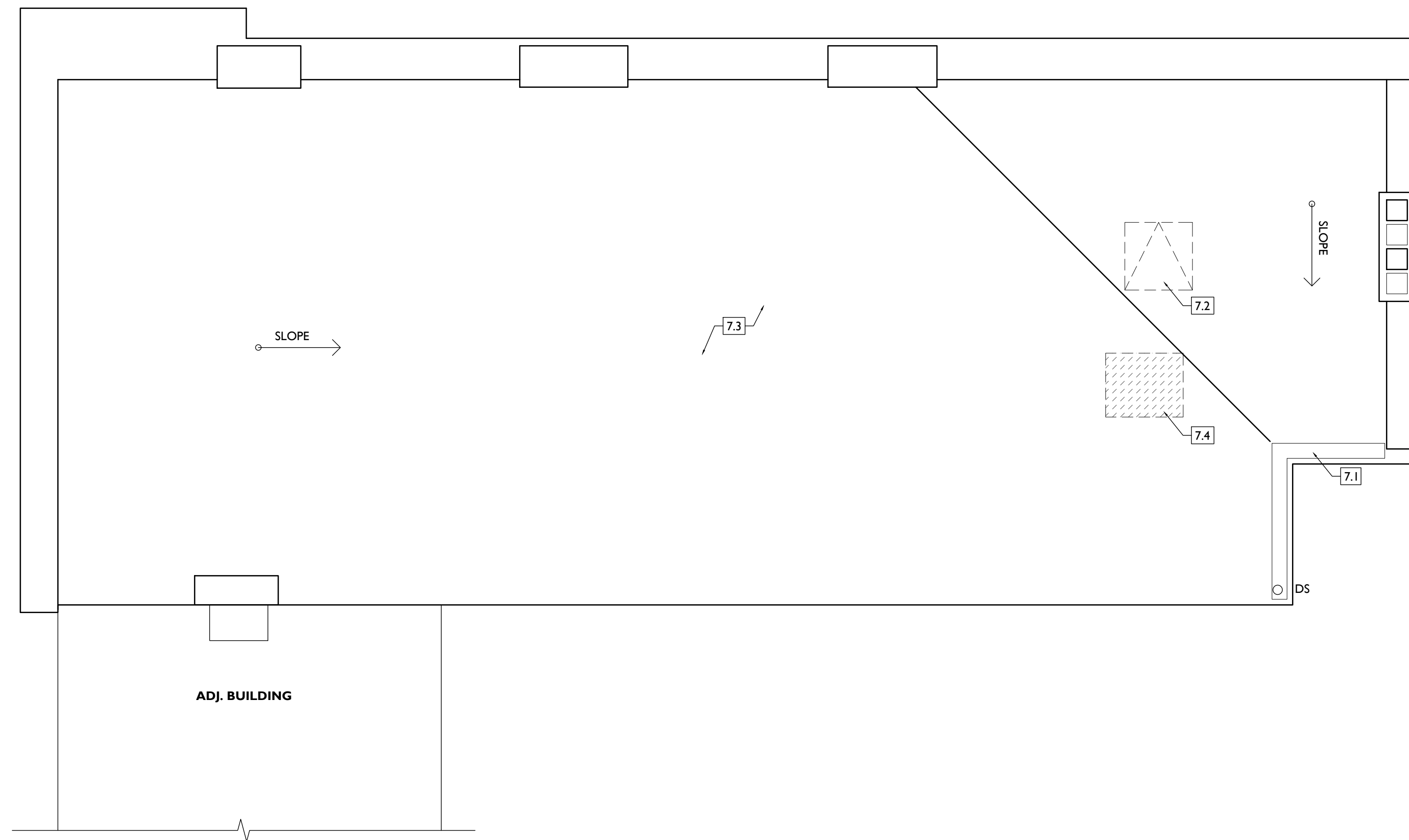
PROPOSED PROJECT:
**RENOVATION FOR
1732 VINE ST. / 1734 VINE ST.**
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 08.30.2024

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EXISTING + DEMOLITION PLAN - ROOF PLAN | 1

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Revisions

Design Team:
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Drawn by:
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Job No: 22042 08.30.2024

ADI.06

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Progress Dates
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Revisions

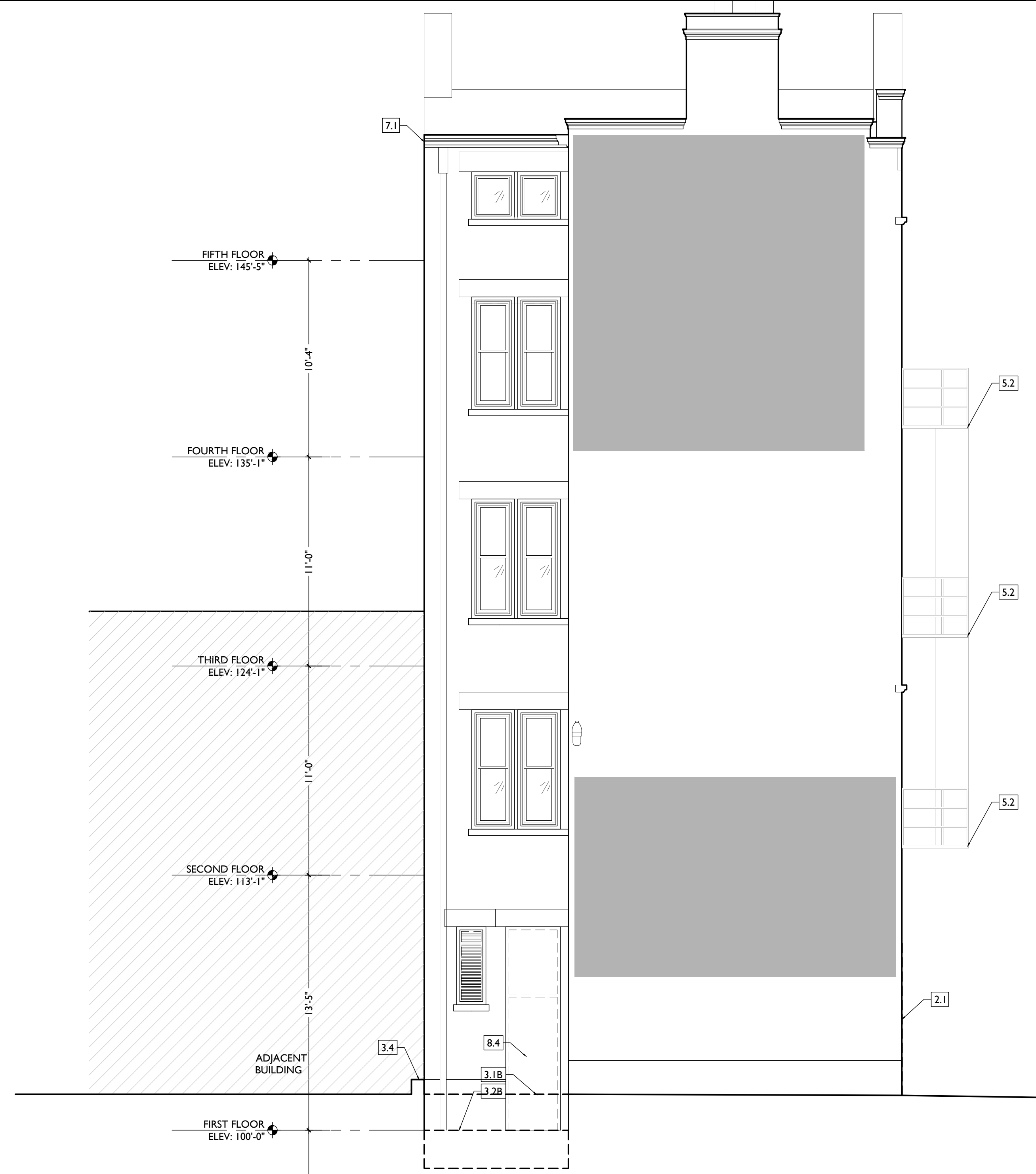
Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
TB, AM

PROPOSED PROJECT:
**RENOVATION FOR
1732 VINE ST. / 1734 VINE ST.**
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 08.30.2024

AD2.02

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SCALE: 1/4" = 1'-0"

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Progress Dates
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Revisions

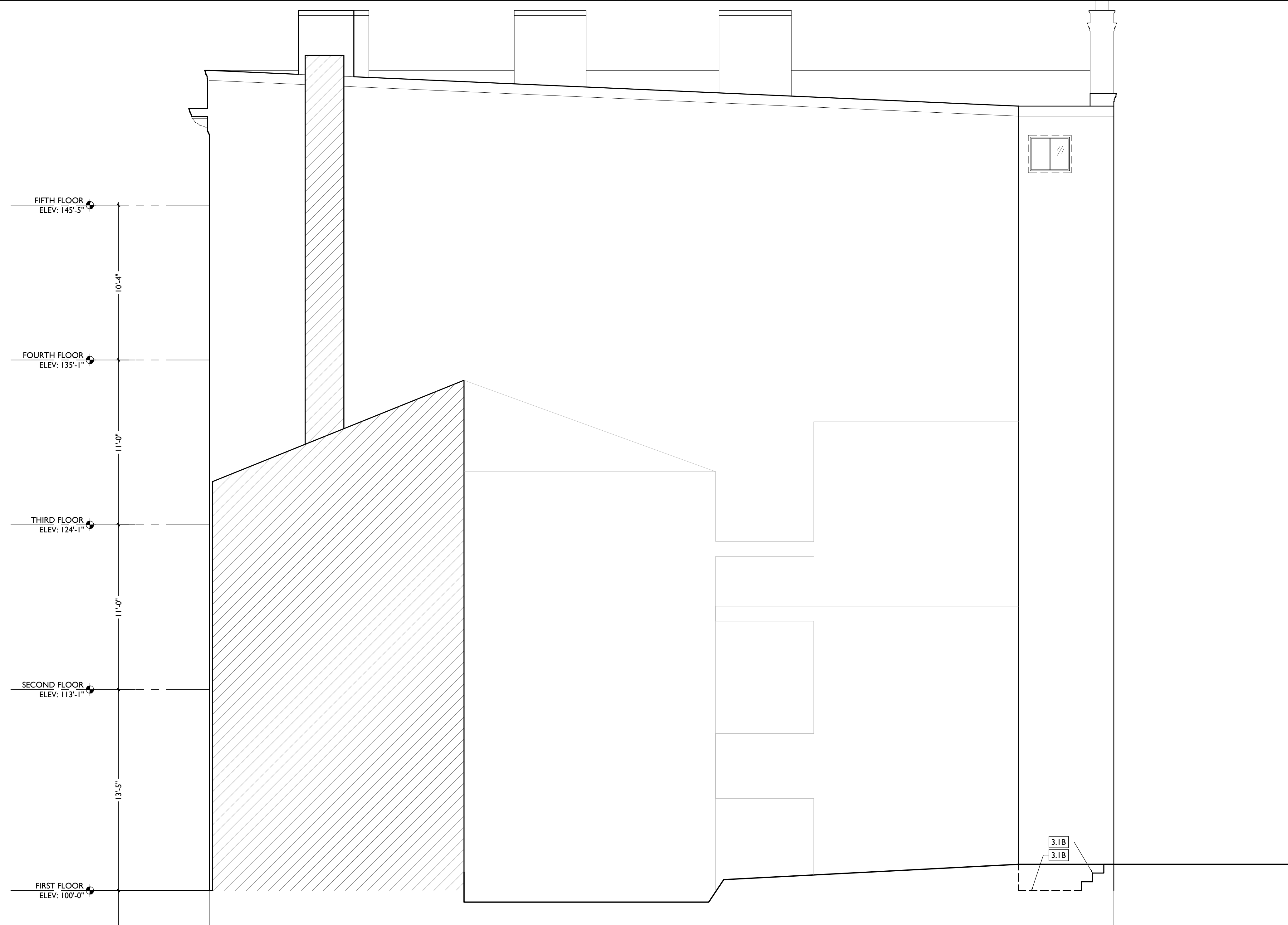
Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
TB, AM

PROPOSED PROJECT:
**RENOVATION FOR
1732 VINE ST. / 1734 VINE ST.**
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 08.30.2024

AD2.03

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FINDLAY FLATS

Job No: 22042 08.30.2024

AD2.04

GENERAL NOTES:

- CONTRACTOR TO VERIFY ALL DIMENSIONS AND INFORMATION IN THESE DRAWINGS.
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, INCLUDING SITE CONDITIONS. ALL ERRORS, OMISSIONS, AND INCONSISTENCIES ARE TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. FAILURE TO DO SO WILL RELEASE THE ARCHITECT OF ALL RESPONSIBILITY. ANY CHANGES FROM THESE DOCUMENTS ARE THE RESPONSIBILITY OF THE CONTRACTOR. THESE DRAWINGS ARE NOT TO BE SCALED. IF INSUFFICIENT INFORMATION EXISTS, CONTACT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK. EACH CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS AS MAY EFFECT HIS OWN WORK, DESIGN/BUILD OR OTHERWISE.
- BEST MANAGEMENT PRACTICES SHALL BE USED BY THE CONTRACTOR DURING DEMOLITION TO PREVENT RELEASE OF LEAD-CONTAMINATED DUST FROM DEMOLITION ACTIVITIES. ALL PAINT CHIPS AND OTHER DEBRIS OR RESIDUE SHALL BE REMOVED FROM THE PROJECT SITE AT THE COMPLETION OF DEMOLITION, STORAGE AND TRANSPORT OF MATERIALS KNOWN OR ASSUMED TO CONTAIN LEAD BASED PAINT SHALL BE COVERED TO PREVENT ACCESS TO OR RELEASE OF LEAD-CONTAMINATED DUST OR DEBRIS.
- IT SHALL BE THE RESPONSIBILITY OF THE BUILDING OWNER TO SUPERVISE CONSTRUCTION AND INSURE THAT THESE DRAWINGS ARE COMPLIED IN THE EVENT THAT THIS ARCHITECT IS NOT RETAINED FOR SUCH SERVICES.
- ALL WORK SHALL COMPLY WITH STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS, INCLUDING THE AMERICANS WITH DISABILITIES ACT, HAVING AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK, AND SHALL BE DONE TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY EACH RESPECTIVE TRADE.
- GUARANTEES SHALL BE REQUIRED OF ALL BRANCHES OF THE WORK. CONTRACTORS TO REMEDY ANY DEFECTS IN THEIR WORK AND PAY FOR ANY RESULTANT DAMAGES TO OTHER WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.
- CONTRACTOR SHALL SUPERVISE THE WORK DURING PROGRESS AND SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION SAFETY. COMPLIANCE TO BE IN ACCORDANCE WITH ALL STATE, FEDERAL AND O.S.H.A. REGULATIONS.
- CONTRACTOR AND ALL SUB-CONTRACTORS SHALL MAINTAIN THE JOB CLEAR OF TRASH AND DEBRIS. ALL WASTE MATERIAL, TOOLS, CONSTRUCTION EQUIPMENT AND SURPLUS MATERIAL SHALL BE REMOVED FROM THE SITE PRIOR TO SUBSTANTIAL COMPLETION AND FINAL ACCEPTANCE.
- CONTRACTOR SHALL PRESENT THE PROJECT TO THE OWNER FOR ACCEPTANCE. CLEAN AND READY FOR USE. ALL GLASS TO BE CLEANED, FLOORS SWEEP BROOM CLEAN, FIXTURES WASHED AND LABELS REMOVED FROM ALL ITEMS.
- ANY CONTRACTOR OF SUBCONTRACTOR WHO PERFORMS ANY WORK KNOWING IT TO BE CONTRARY TO APPLICABLE LAWS, ORDINANCES OR REGULATION, AND WITHOUT WRITTEN NOTICE TO THE ARCHITECT SHALL ASSUME FULL RESPONSIBILITY AND SHALL BEAR ALL ATTRIBUTABLE COSTS.
- IN THE EVENT OF ANY CONFLICT BETWEEN ARCHITECTURAL DRAWINGS OR SPECIFICATIONS AND STRUCTURAL DRAWINGS OR SPECIFICATIONS, STRUCTURAL SHALL GOVERN.
- PROJECT IS TO RECEIVE HISTORIC TAX CREDITS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE WELL VERSED IN THE APPROVED PART 2 AND SUBSEQUENT AMENDMENTS, AND TO INFORM SUBCONTRACTORS OF ANY CHANGES /APPROVALS DURING THE BIDDING AND THE CONSTRUCTION PHASES.

GENERAL NOTES: ALL TRADES

- FURNISH ALL LABOR, MATERIAL AND APPURTENANCES NECESSARY FOR A COMPLETE AND OPERATIONAL SYSTEM AS SHOWN OR REQUIRED.
- ALL WORK SHALL CONFORM TO APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. EACH CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, TESTS AND INSPECTIONS FOR HIS OWN WORK AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- PERFORM ALL TESTS, ADJUSTMENTS, ETC. AS REQUIRED BY EQUIPMENT MANUFACTURER OR AUTHORITIES HAVING JURISDICTION.
- CONTRACTORS SHALL VISIT SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS AS MAY EFFECT HIS OWN WORK. EACH CONTRACTOR SHALL COORDINATE HIS OWN WORK WITH THAT OF OTHER TRADES.
- EACH CONTRACTOR SHALL FURNISH ALL CUTTING AND PATCHING REQUIRED FOR HIS OWN WORK. NO CUTTING SHALL BE PERFORMED WITHOUT PRIOR APPROVAL OF GENERAL CONTRACTOR.
- WORKMANSHIP SHALL REPRESENT THE HIGHEST STANDARD OF THE INDUSTRY. GUARANTEE ALL MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE.

GENERAL CONDITIONS

CONTRACT DOCUMENTS: INCLUDE THESE GENERAL CONDITIONS FOR CONSTRUCTION, DRAWINGS, SCHEDULES, AND SPECIFICATIONS PREPARED BY THE ARCHITECT AND CONTAINED HEREIN, AND ALL WRITTEN ADDENDA OR OTHER MODIFICATIONS ISSUED SUBSEQUENTLY BY THE ARCHITECT. THE CONTRACT DOCUMENTS SHALL NOT BE CONSTRUED TO CREATE ANY CONTRACTUAL RELATIONSHIP OF ANY KIND BETWEEN THE ARCHITECT AND THE CONTRACTOR.

CONTRACT MODIFICATIONS: THESE CONTRACT DOCUMENTS SHALL NOT BE FURTHER MODIFIED BY ANY TERMS OR CONDITIONS OTHER THAN THOSE LISTED HEREIN OR IN THE SPECIFICATIONS, OR IN ANY WRITTEN AGREEMENTS EXECUTED BY THE OWNER, CONTRACTOR AND SUBCONTRACTORS.

NOTES WRITTEN IN THE IMPERATIVE MOOD REFER TO ACTION TO BE PERFORMED BY THE CONTRACTOR. THE WORDS "THE CONTRACTOR SHALL" ARE ALWAYS IMPLIED, IF NOT STATED, UNLESS OTHERWISE NOTED. THE TERM "CONTRACTOR" SHALL ALSO APPLY TO ALL SUBCONTRACTORS OF THE CONTRACTOR.

THE CURRENT EDITION OF AIA DOCUMENT A101 SHALL BE THE FORM OF AGREEMENT TO BE SIGNED BY THE OWNER AND GENERAL CONTRACTOR. UNLESS THE OWNER AND CONTRACTOR MUTUALLY AGREE OTHERWISE. GENERAL CONDITIONS CONTAINED IN AIA DOCUMENT A201 SHALL APPLY.

BEST MANAGEMENT PRACTICES SHALL BE EMPLOYED TO CONTROL EROSION DURING CONSTRUCTION AND UNTIL FINAL COVER IS ESTABLISHED.

THE CONTRACTOR SHALL BE NOTIFIED, BOTH VERBALLY AND THROUGH NOTATIONS ON THE FINAL CONST. DWG, THAT WORK SHALL BE HALTED AT A LOT IF INDICATORS OF CONTAMINATION (FILL OTHER THAN "CLEAN FILL", DISCOLORED SOILS OR CHEMICAL/PETROLEUM ODORS) ARE IDENTIFIED DURING CONST. TO ALLOW FOR A QUALIFIED ENVIRONMENTAL PROFESSIONAL TO INSPECT THE LOT AND MAKE RECOMMENDATIONS REGARDING APPROPRIATE ACTIONS.

ANY WATER WELLS OR SEPTIC SYSTEMS IDENTIFIED DURING SITE DEVELOPMENT SHALL BE ABANDONED AS REQUIRED BY OAC 3745-9-10 OR 3701-29-21, AS APPLICABLE, AND AFTER CONSULTATION W/ THE LOCAL HEALTH DEPARTMENT.

DEFINITIONS:

"CONTRACTOR": THE PERSON OR ENTITY CONSTRUCTING THE DESIGNATED WORK.

"OWNER": THE PERSON OR ENTITY THAT OWNS THE BUILDING BEING RENOVATED. THE TERM "OWNER" INCLUDES HIS DESIGNATED AND AUTHORIZED AGENTS AND REPRESENTATIVES.

"WORK": THE TERM "WORK" MEANS OBLIGATIONS UNDERTAKEN BY THE CONTRACTOR PURSUANT TO THE CONTRACT DOCUMENTS. WORK INCLUDES THE FURNISHING OF ALL MATERIAL, LABOR, EQUIPMENT, SUPPLIES, TOOLS, SCAFFOLDING, SUPERVISION, TRANSPORTATION, INSURANCE, TAXES AND ALL OTHER SERVICES, INCIDENTALS AND EXPENSES NECESSARY FOR THE FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

"PROJECT": THE PROJECT IS THE TOTAL CONSTRUCTION OF WHICH THE WORK PERFORMED UNDER THE CONTRACT DOCUMENTS MAY BE THE WHOLE OR A PART.

"CONTRACT DOCUMENTS": THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS REQUIRED FOR COMPLETION OF THE WORK, INCLUDING DRAWINGS AND SPECIFICATIONS. ALTHOUGH THE CONTRACT DOCUMENTS HAVE BEEN PREPARED WITH DUE CARE AND DILIGENCE, PERFECTION CANNOT BE GUARANTEED. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF THE VARIOUS PARTS OF THE WORK SO THAT NO PART SHALL BE IN AN UNFINISHED OR INCOMPLETE CONDITION.

DRAWINGS PREPARED BY OTHERS:

ARCHITECTURAL, CIVIL, STRUCTURAL, MECHANICAL AND ELECTRICAL DWGS SHALL BE WORKED TOGETHER, INCLUDING THE LOCATION OF DEPRESSED SLABS, SLOPES, DRAINS, REGLETS, BOLT SETTINGS, ETC. ANY DISCREPANCY SHALL BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

SHOP DWGS PREPARED BY OTHER CONTRACTORS MAY BE REQUIRED TO SUPPLEMENT THE CONTRACT DOCUMENTS. SUCH DWGS ARE FURNISHED FOR THE CONTRACTOR'S INFORMATION AND COORDINATION ONLY.

GENERAL NOTES: PROPOSED WORK

- THIS IS A HISTORIC TAX CREDIT PROJECT. WORK MUST COMPLY W/ APPROVED PART 2, INCLUDING AMENDMENTS.
- NO HISTORIC ELEMENTS SHALL BE REMOVED/MODIFIED UNLESS SPECIFICALLY INDICATED IN ARCH PLANS.
- REPAIR OR REPLACE EXG DAMAGED OR DETERIORATED FLOOR FRAMING &/OR WOOD SUBFLOOR - PER STRUCT DWGS
- HISTORIC TRIM TO BE RETAINED. U.N.O. SEE DEMO & PROPOSED PLANS.
- RETAIN ANY REMAINING HISTORIC WOOD WINDOW SASH, FRAMES, BRICKMOLD & SHUTTER HARDWARE, U.N.O. SEE DEMO & EXTERIOR ELEVATIONS.
- REPAIR MATERIALS THAT ARE DETERIORATED OR HAVE MOISTURE/FIRE DAMAGE AS REQ. IF DAMAGE IS SEVERE AND HISTORIC ELEMENTS ARE NON-SALVAGEABLE, COORDINATE REPLACEMENT ELEMENTS WITH ARCHITECT.
- SEE CODE SHEETS FOR ROOF/FLOOR/CEILING ASSEMBLY LOCATIONS & PARTITION SCHEDULE FOR TYPES.
- PENETRATIONS OF RATED ASSEMBLIES TO BE PROTECTED PER SECTION 713.3 & 713.4 OBC. COORD W/ MEP DWGS.
- PROVIDE FIRE BLOCKING PER 717.2 OBC.
- PROVIDE DRAFTSTOPPING IN FLOORS, CLGS/ROOFS & ATTICS PER OBC.
- PROVIDE BLOCKING FOR SHELVING, CABINETS AND BATHROOM ACCESSORIES AND GRAB BARS. SEE PLANS AND INTERIOR ELEVATIONS.
- USE PRESSURE TREATED WOOD IN THE FOLLOWING LOCATIONS:
 - EXTERIOR APPLICATIONS.
 - IN BASEMENTS.
 - WOOD IN CONTACT WITH MASONRY, STONE, OR CONCRETE.
 - AT ANY NEW FRAMING IN CONTACT W/ MASONRY OR FOUNDATION WALL, PROVIDE SEPARATION/ JOIST & BEAM END WRAPS.
- EXTERIOR TRIM, SOFFITS, CORNICE AND STOREFRONT ELEMENTS TO BE REPAIRED/RETAINED/REPLACED AND PAINTED AS NOTED IN DRAWINGS. EXG. UN-PAINTED BRICK AND STONE TO REMAIN UNPAINTED. SEE EXTERIOR ELEVATIONS FOR SCOPE OF WORK. COORD COLORS DIRECTLY W/ ARCHITECT.
- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR LOCATION AND CONNECTIONS OF ALL MEP EQUIPMENT.
- PROVIDE SLEEVES THROUGH EXG. BRICK WALL IN ATTIC AS REQUIRED FOR HVAC LINE-SET INSTALLATION.
- ADDITIONAL OPENINGS IN EXTERIOR WALLS WILL BE REQUIRED FOR VARIOUS MEP DUCTS/PIPES/ETC., AND ARE NOT SHOWN ON ARCH & STRUCT PLANS. COORD W/ MEP PLANS. CONTACT ARCHITECT FOR PLACEMENT.
- PROVIDE FIRE EXTINGUISHERS PER CODE SUMMARY & NFPA REQS. COORD W/ FIRE MARSHALL.
- FASTENERS INTO EXISTING HISTORIC MASONRY WALLS ARE TO BE FASTENED INTO MORTAR JOINTS.
- EXTERIOR STEEL TO BE DUPLEX-FINISH (GALVANIZED, WITH HIGH-PERFORMANCE COMPATIBLE EPOXY PAINT).
- REPAIR & RESEAL AROUND EXG. CHIMNEYS, TYP. AS REQ. PROVIDE NEW ALUM CAP, TYP.
- EXTERIOR WOOD TO BE PRESSURE TREATED.
- WHERE INFILLING EXISTING OPENINGS IN, OR EXTENDING THE LENGTH OF AN EXISTING WOOD FRAMED PARTITION, FINISH FACES OF THE NEW CONSTRUCTION ARE TO ALIGN WITH ADJACENT EXISTING FINISH FACES ON BOTH SIDES.
- SHEET METAL WORK TO COMPLY WITH SPACNA ARCHITECTURAL SHEET METAL MANUAL.
- FLASH AND SEAL NEW ROOF PENETRATIONS THROUGH EXISTING ROOF. EMPLOY INSTALLERS ACCEPTABLE TO EXISTING ROOF MANUFACTURER AND COMPLY WITH EXISTING ROOF MANUFACTURER REQUIREMENTS TO MAINTAIN EXISTING ROOF WARRANTY.
- BASEMENTS TO BE TESTED FOR RADON EXPOSURE. PROVIDE VAPOR MITIGATION SYSTEM BELOW BASEMENT SLAB AS REQUIRED. CONNECT TO VERTICAL VENTS INDICATED IN FLOOR PLANS.
- MASONRY WORK: REFER TO PART 2 SHPO NARRATIVES AND STRUCTURAL DRAWINGS FOR FULL EXTENT AND SCOPE FOR MASONRY CLEANING, TUCK-POINTING, REPAIR, REPLACEMENT, AND PAINTING.
- MASONRY CLEANING: CONTRACTOR SHALL PERFORM MASONRY CLEANING WORK IN ACCORDANCE WITH PRESERVATION BRIEF 6 - "DANGERS OF ABRASIVE CLEANING TO HISTORIC BUILDINGS". CONTRACTOR SHALL CLEAN EXISTING MASONRY THROUGHOUT USING THE GENTLEST MEANS POSSIBLE AND SHALL START EACH NEW METHOD OF CLEANING (E.G. BY BRUSH, WITH DETERGENT, WITH WATER PRESSURE, ETC.) IN DISCRETE AREA OF EACH WALL. CONTRACTOR SHALL BEGIN BY CLEANING WITH WATER AND NATURAL BRISTLE BRUSHES. CONTRACTOR SHALL THEN CLEAN ANY AREAS THAT REQUIRE FURTHER CLEANING USING NON-ABRASIVE, NON-ACIDIC DETERGENTS WITH NATURAL BRISTLE BRUSHES. CONTRACTOR SHALL THEN CLEAN ANY AREAS THAT REQUIRE FURTHER CLEANING USING NON-ABRASIVE, NON-ACIDIC DETERGENTS WITH LOW PRESSURE WATER (STARTING AT 20 PSI AT TIP). UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE PRESSURE WASHING WITH GREATER THAN 40 PSI AT TIP. CLEANING SHALL BE PERFORMED EVENLY THROUGHOUT THE ENTIRETY OF EACH WALL. WALLS WHERE STUCCO / PARGING IS TO REMAIN SHALL NOT BE CLEANED WITH PRESSURE WASHING. REMOVE EXISTING LOOSE STUCCO / PARGING BY HAND WITH BRUSHES. PRESERVATION BRIEF 6 - "DANGERS OF ABRASIVE CLEANING TO HISTORIC BUILDINGS: HTTPS://WWW.NPS.GOV/TPS/HOW-TO-PRESERVE/BRIEFS/6-DANGERS-ABRASIVE-CLEANING.HTM
- PARGING: CONTRACTOR TO TEST AND ASSESS THE INTEGRITY OF EXISTING STUCCO / PARGING ON EXISTING MASONRY WALLS. ANY STUCCO / PARGING TO REMAIN MUST BE SECURELY HELD TO EXISTING MASONRY WALL. ANY STUCCO / PARGING THAT IS NOT SECURELY HELD TO MASONRY WALL SHALL BE REMOVED THROUGH GENTLEST MEANS POSSIBLE (SEE MASONRY CLEANING ABOVE). NEW STUCCO / PARGING SHALL BE INSTALLED WHERE EXISTING STUCCO / PARGING HAS BEEN REMOVED, AND AS INDICATED ON THE DRAWINGS, INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S HIGHEST RECOMMENDATIONS USING ALL ASSOCIATED COMPONENTS FOR FLASHING, PENETRATIONS, ETC. STUCCO / PARGING SHALL BE INSTALLED ON MASONRY JAMB SURFACES OF NEW DOOR AND WINDOWS OPENINGS UP TO THE WINDOW / DOOR UNIT. NEW STUCCO/ PARGING SHALL MATCH EXISTING IN TEXTURE AND COLOR. NEW STUCCO / PARGING SHALL BE A THREE-COAT SYSTEM (SCRATCH COAT, BROWN COAT AND FINISH COAT) WITH A GLASS FIBER REINFORCED LATH. BASIS-OF-DESIGN IS "SENERGY" BRAND, "SENERGY SENTRY STUCCO WALL SYSTEM PERMALATH 1000" WITH PRE-MIXED "SENERGY STUCCO BASE" AND "SENERGASTIC" FINISH COAT WITH TEXTURE TO MATCH EXISTING. CONTROL JOINTS TO BE ALIGNED WITH OPENINGS.
- GYPSUM BOARD: SEE PARTITION SCHEDULE. MOLD & MOISTURE RESISTANT GYPSUM BOARD IN ALL WET AREAS - RESTROOMS, KITCHENS, LAUNDRY, BASEMENTS.
- STORM WINDOWS: FRAME WIDTH CANNOT REDUCE THE DAYLIGHT OPENING OF THE WINDOW & THE CENTER CHECK RAIL MUST ALIGN WITH THE WINDOW CENTER CHECK RAIL. NO SCREENS.
- PROVIDE UNIT ENTRY SIGNAGE PER FINISH SCHEDULE AT EACH RESIDENTIAL UNIT ENTRY. FINAL LOCATION TO BE DETERMINED BY OWNER. IF MOUNTING ON DOOR, ENSURE INSTALLATION DOES NOT VOID RATING OF DOOR ASSEMBLY.
- PROVIDE BLINDS AT RESIDENTIAL UNITS PER FINISH SCHEDULE. QUANTITY AND LOCATIONS BY OWNER.
- SUBCONTRACTOR TO PROVIDE RECOMMENDED ALLOWANCE FOR PLASTER REPAIR.
- ALL NEW WORK DIMENSIONS ARE TAKEN FROM FACE OF STUD, U.N.O. DIMENSIONS FROM EXG WALLS TO REMAIN ARE TAKEN FROM FINISH FACE OF PLASTER, U.N.O.

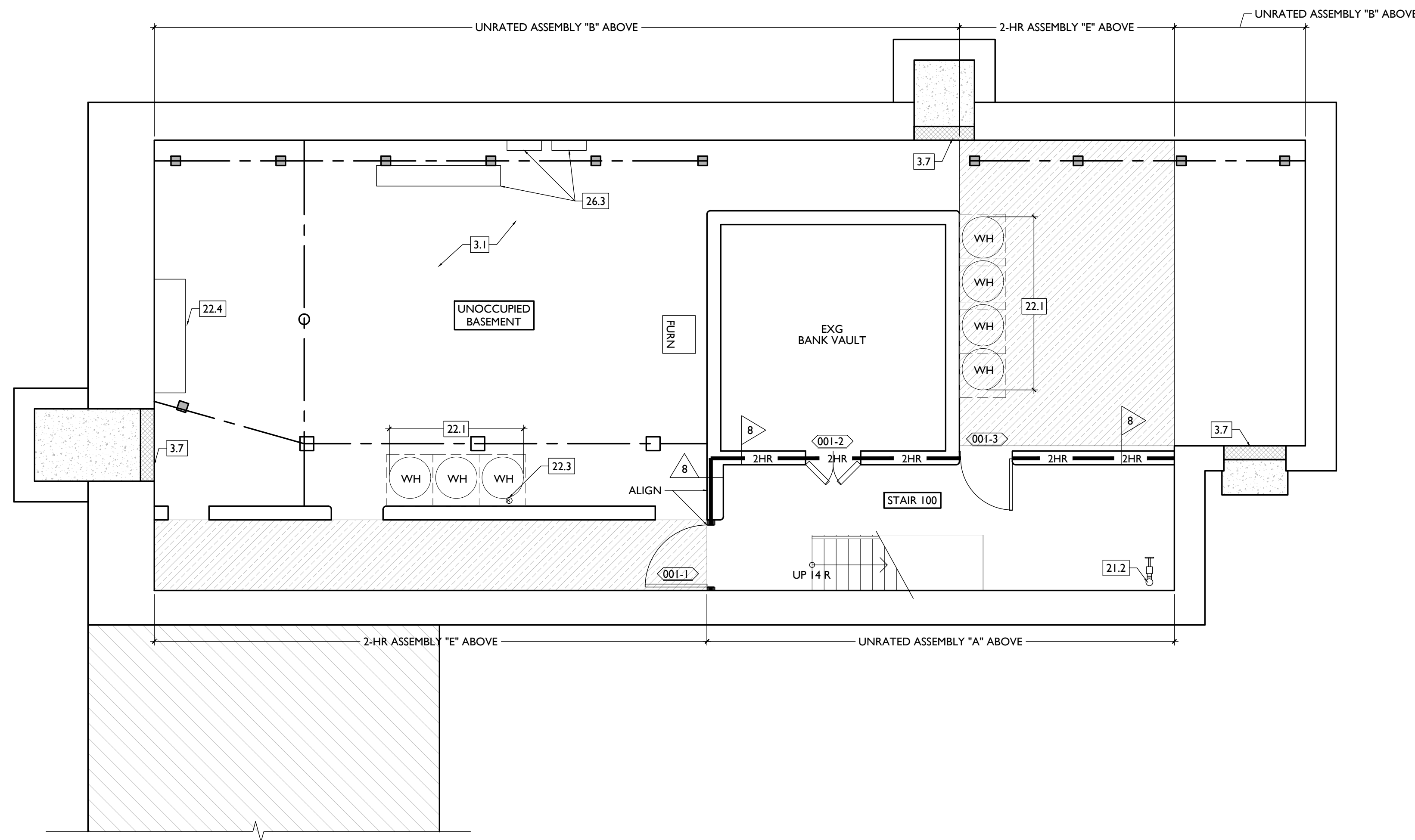
Progress Dates
2023.04.28 - BID/PERMIT
2024.08.30 - BID SET 2

Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
TB, AM

Job No: 22042 08.30.2024

NEW WORK PLANS & ELEVATIONS [KEYED] NOTES:		NEW WORK GRAPHIC KEY:	
<p>THIS IS A HISTORIC TAX CREDIT PROJECT. ALL WORK MUST COMPLY W/ APPROVED PART 2, INCLUDING AMENDMENTS. THESE DOCUMENTS ARE PART OF THE PROJECT CONTRACT DOCUMENTS.</p> <p>KEYED NOTES KEYED NOTES ARE CATEGORIZED FOR ORGANIZATIONAL PURPOSES ONLY. NOTES MAY REQUIRE MATERIALS OR WORK IN CATEGORIES OTHER THAN WHERE THEY OCCUR. THE CONTRACTOR IS RESPONSIBLE FOR THE WORK DESCRIBED IN ALL APPLICABLE NOTES REGARDLESS OF THE CATEGORY IN WHICH THEY OCCUR.</p> <p>ALL KEYED NOTES LISTED MAY NOT APPLY TO THIS SHEET.</p>		<p>2 PARTITION TYPE - TYPE 1 U.N.O.</p> <p>4 KEYNOTE</p> <p>EXG WALL</p> <p>NEW PARTITION WALL</p> <p>NEW MASONRY WALL</p> <p>OBJECT OVERHEAD</p> <p>1HR 1-HR FIRE RATING</p> <p>2HR 2-HR FIRE RATING</p> <p>NEW FLOOR & FRAMING TO MATCH ADJ - SEE STRUCT DWGS.</p> <p>NEW GYP BD SOFFIT/ BULKHEAD/ DROPPED CLG - SEE RCFS.</p> <p>AREA OF ATYPICAL FIRE-RATED ASSEMBLY ABOVE</p> <p>100A DOOR TAG - SEE SCHEDULE</p> <p>A WINDOW DESIGNATION</p> <p>SFA STOREFRONT DESIGNATION</p> <p>E EMERGENCY EGRESS EXIT</p> <p>T OPG CONTAINS TEMPERED GLAZING</p> <p>SH SINGLE HUNG OPG - UPPER SASH TO BE FIXED WITHIN 3'-0" OF EXHAUST</p> <p>X'-X" ELEVATION TAG</p>	
<p>3. CONCRETE</p> <p>3.1 SLAB TO REMAIN. SCOPE & VERIFY FLOOR DRAINS CONNECT TO SEWER. REPAIR AS REQUIRED.</p> <p>3.2 NEW CONCRETE SLAB W/ NEW FLOOR DRAIN(S) PER PLUMBING DRAWINGS. SLOPE 1/4"=12 MIN TO DRAIN. CONTROL JOINTS PER STRUCTURAL DWG. OR 10'0" O.C.</p> <p>3.3 NEW CONC. RETAINING WALL. SEE STRUCTURAL DWGS.</p> <p>3.4 EXG OPENING TO BASEMENT TO BE CAPPED WITH CONCRETE AT GRADE. WALL TO BE INFILLED W/ CMU. SEE CIVIL & STRUCT. FOR DETAILS.</p> <p>3.5 NEW CONCRETE STEPS, MAX RISER 7", MIN TREAD 11"; SEE CIVIL FOR DETAILS.</p> <p>3.6 NEW CONCRETE SLAB ON GRADE. SEE CIVIL DRAWINGS.</p> <p>3.7 EXG OPENING TO BASEMENT TO BE CAPPED WITH CONCRETE AT GRADE. WALL TO BE INFILLED W/ CMU. SEE STRUCTURAL FOR INFILL AND CIVIL FOR CONCRETE FLATWORK ABOVE OPENING.</p> <p>4. MASONRY</p> <p>4.1 NEW CAST STONE LINTEL / SILL. SEE STRUCT.</p> <p>4.2 REMOVE LOOSE AND/OR CRACKED PARING AS SHOWN ON STRUCT. ELEVATIONS & REPAIR TO MATCH FINISH OF EXG PARING PAINT TO MATCH ADJ.</p>	<p>5. METALS</p> <p>5.1 NEW CONTINUOUS STEEL PIPE HANDRAIL. SEE DETAILS.</p> <p>5.2 NEW BLACK METAL PICKET FENCE, B.O.D. = RETAFENCE "UPGRADE" STEEL FENCE, 6'-0" TALL, 3 RAIL, W/ SUMMIT PICKETS AND STANDARD BOTTOM. COORD. FINAL SPEC W/ ARCHITECT. SEE CIVIL FOR TOTAL SCOPE BETWEEN 1732-34 VINE AND 1726-1730 VINE / 1675 HAMER.</p> <p>6. WOOD, PLASTICS, AND COMPOSITES</p> <p>6.1 REPAIR DAMAGED PIECES OF WOOD STAIRS.</p> <p>A. TREADS &/OR RISERS</p> <p>B. BALUSTRADES/SIDEWALL</p> <p>6.2 REPAIR & REPAINT EXG WAINSCOTING.</p> <p>6.3 NEW CASED OPENING: IF APPLICABLE, JAMB EXTENSIONS TO MATCH DEPTH OF OPENING. SEE FINISH SCHEDULE FOR TRIM SIZES.</p> <p>A. MATCH HEIGHT TO ADJACENT DOOR HEADS</p> <p>B. MATCH HEIGHT TO ADJACENT TRANSOM HEADS</p> <p>HISTORIC INTERIOR MANTEL TRIM</p> <p>A. RETAIN & REPAIR</p> <p>B. REPAINT</p> <p>6.5 RETAIN & REPAIR STOREFRONT ELEMENTS.</p> <p>6.6 NEW RAKE TRIM AND GUTTER BOARD</p> <p>6.7 STRUCTURAL POST. SEE STRUCTURAL DWGS.</p> <p>7. THERMAL AND MOISTURE PROTECTION</p> <p>7.1 REPAIR AND RELINE EXG BOX GUTTER; NEW PRE-FINISHED ALUMINUM DOWNSPOUT.</p> <p>7.2 NEW FULLY ADHERED MEMBRANE ROOF W/ CRICKETS WHERE REQUIRED FOR POSITIVE DRAINAGE AND W/TERMINATION BARS & METAL COUNTERFLASHING - SEE ROOF DETAILS. INSULATION PER SCHEDULE.</p> <p>7.3 NEW ROOF ACCESS HATCH, INSTALL PER MANUF'S INSTRUCTS. BASIS OF DESIGN: BILCO F-507B 48" X 48"</p> <p>7.4 NEW ALUM CAP @ CHIMNEY. TYP ALL CHIMNEYS.</p> <p>7.5 EXG PARAPET TO REMAIN - REPAIR & REPLACE CAPS/COPING AS REQUIRED - SEE EXTERIOR ELEVATIONS.</p> <p>7.6 NEW PRE-FINISHED DOWNSPOUT. SEE EXTERIOR ELEVATIONS. TIE INTO EXG SEWER SYSTEM. PROVIDE NEW PVC AT LOWER 6' OF DOWNSPOUT. PAINT TO MATCH DOWNSPOUT.</p>	<p>7.7 NOT USED</p> <p>7.8 EXISTING HISTORIC CORNICE TO REMAIN. REPAIR AND REPLICATE ANY MISSING PIECES. REPAINT PER COLORED ELEVATIONS.</p> <p>8. OPENINGS</p> <p>8.1 NOT USED</p> <p>8.2 NEW EXTERIOR BUILDING ENTRY DOOR AND FRAME - SEE DOOR SCHEDULE.</p> <p>8.3 NOT USED</p> <p>8.4 REPAIRED / REPLICATED HISTORIC WINDOW PER WINDOW TYPE. SEE ELEV. FIX WINDOW IN CLOSED POSITION & BACK PAINT GLAZING BLACK. INFILL INTERIOR OPENING WITH DRYWALL FLUSH TO ADJACENT WALL</p> <p>8.5 EXG TRANSOM TO REMAIN AND BE COVERED ON UNIT SIDE WITH GYP BD TO ACHIEVE THE REQUIRED FIRE RATING. GYP BD IS TO BE PAINTED WHITE ON GLAZING SIDE. SEE FIRE-RATING DETAILS FOR MORE INFORMATION.</p> <p>9. FINISHES</p> <p>9.1 MAINTAIN FIRE RATING BEHIND FIXED HISTORIC DOOR.</p> <p>9.2 FIRE-RATING TO BE CONTINUOUS BEHIND PLUMBING/CHASE/ FURRING WALL. FIRE RATING TO BE CONTINUOUS AT INTERSECTION W/ NON-RATED WALL.</p> <p>9.3 GHOST SIGN TO REMAIN.</p> <p>9.4 NEW PLASTER FINISH TO MATCH ADJ. WAINSCOT HEIGHT. PROVIDE CAP TRIM. PAINT TO MATCH ADJ. WAINSCOT.</p> <p>9.5 HISTORIC TIN CEILING TO BE REINSTALLED AT UNDERSIDE OF RATED ASSEMBLY.</p> <p>10. SPECIALTIES</p> <p>10.1 LOCKABLE & RECESSED MAILBOXES. BOXES TO MEET USFS-AC STANDARDS & ACCESSIBILITY REQUIREMENTS. PROVIDE CONT FIRE-RATING BEHIND MAILBOXES, WHEN REQ.</p> <p>10.2 ENTRY SYSTEM CALLBOX B.O.D. = "2N ACCESS CONTROL" CLOSETS W/ BLOCKING AT RODS & BRACKETS. PROVIDE 12" MELAMINE SHELF & CLOTHES ROD @ 66" A.F.F.; TYP U.N.O.:</p> <p>A. TYP. REACH-IN CLOSET</p> <p>B. WALK-IN CLOSET</p> <p>C. ABOVE W/D</p> <p>10.4 PROVIDE "NO SMOKING" SIGN AT EXTERIOR WALL</p> <p>10.5 FIRE EXTINGUISHER. COORDINATE FINAL LOCATION WITH LOCAL FIRE MARSHAL.</p> <p>A. SURFACE MOUNTED.</p> <p>B. IN SINK CABINET IN RESIDENTIAL UNIT, TYPICAL</p> <p>10.6 PROVIDE BLOCKING FOR WALL-MOUNTED CHANGING STATION. SEE INT. ELEV.</p> <p>10.7 NOT USED.</p> <p>10.8 SHOWER NICHE. SEE ENLARGED PLANS, INTERIOR ELEVATIONS AND DETAIL 1/A5.00.</p> <p>10.9 FIRE ESCAPE ACCESS WINDOW.</p> <p>21. FIRE SUPPRESSION</p> <p>21.1 APPROX LOCATION OF FDC CONNECTION - COORDINATE W/ FIRE DEPT.</p> <p>21.2 SPRINKLER RISER. SEE PLUMBING DWGS.</p> <p>21.3 EXTERIOR TAMPERFLOW NOTIFICATION DEVICE - COORDINATE WITH ELECTRICAL AND FIRE PROTECTION SYSTEMS</p> <p>22. PLUMBING</p> <p>22.1 PROVIDE DRAIN PAN UNDER WASHING MACHINE / WATER HEATER.</p> <p>22.2 HOSEBIB LOCATION. SEE PLUMBING.</p> <p>22.3 PROVIDE RADON RISER, AS REQ'D BY OWNER'S CONSULTANT. RISER TO EXTEND FROM BASEMENT TO ATTIC. COORDINATE WITH PLUMBING</p> <p>22.4 LOCATION OF SPRINKLER EQUIPMENT. SEE PLUMBING.</p> <p>23. HEATING, VENTILATING, AND AIR CONDITIONING</p> <p>23.1 MECHANICAL UNIT(S) - HATCHED AREA SHOWS APPROXIMATE LOCATION OF NEW FIXED ROOF WALKWAY PADS. GUARDRAIL REQUIRED IF EQUIPMENT <10' FROM ROOF EDGE. PROVIDE OVER-FRAMED PLATFORM PER 11/A5.00. SEE HVAC & STRUCTURAL DWGS.</p> <p>26. ELECTRICAL</p> <p>26.1 ELECTRIC PANEL RECESSED IN WALL W/ 30"W X 36"D CLEAR IN FRONT. PAINT TO MATCH ADJACENT WALL W APPROPRIATE PAINT TYPE FOR PANEL.</p> <p>26.2 NEW MASTHEAD. SEE ELECT. AND CIVIL</p> <p>26.3 LOCATION OF ELECTRICAL EQUIPMENT. SEE ELECTRICAL.</p> <p>32. EXTERIOR IMPROVEMENTS</p> <p>32.1 NOT USED</p>	



SCALE: 1/4" = 1'-0"

PROPOSED PLAN - BASEMENT

1

PROPOSED PROJECT:
**RENOVATION FOR
 1732 VINE ST. / 1734 VINE ST.**
 CINCINNATI, OH, 45202
 FINDLAY FLATS

Job No: 22042 08.30.2024

AI.10

Progress Dates
 2023.04.28 - BID/PERMIT
 2024.08.30 - BID SET 2

Revisions

Design Team:
 CO, JK, MR, MR, RK, RO, SO, TB
 Drawn by:
 TB, AM

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KEYED NOTES
KEYED NOTES ARE CATEGORIZED FOR ORGANIZATIONAL PURPOSES ONLY. NOTES MAY REQUIRE MATERIALS OR WORK IN CATEGORIES OTHER THAN WHERE THEY OCCUR. THE CONTRACTOR IS RESPONSIBLE FOR THE WORK DESCRIBED IN ALL APPLICABLE NOTES REGARDLESS OF THE CATEGORY IN WHICH THEY OCCUR.
ALL KEYED NOTES LISTED MAY NOT APPLY TO THIS SHEET.

3. CONCRETE
3.1 SLAB TO REMAIN. SCOPE & VERIFY FLOOR DRAINS CONNECT TO SEWER. REPAIR AS REQUIRED.
3.2 NEW CONCRETE SLAB W/ NEW FLOOR DRAIN(S) PER PLUMBING DRAWINGS. SLOPE 1/4"=12 MIN TO DRAIN. CONTROL JOINTS PER STRUCTURAL DWG. OR 10'0" O.C.
3.3 NEW CONC. RETAINING WALL. SEE STRUCTURAL DWGS.
3.4 EXG OPENING TO BASEMENT TO BE CAPPED WITH CONCRETE AT GRADE. WALL TO BE INFILLED W/ CMU. SEE CIVIL & STRUCT. FOR DETAILS.
3.5 NEW CONCRETE STEPS, MAX RISER 7", MIN TREAD 11". SEE CIVIL FOR DETAILS.
3.6 NEW CONCRETE SLAB ON GRADE. SEE CIVIL DRAWINGS.
3.7 EXG OPENING TO BASEMENT TO BE CAPPED WITH CONCRETE AT GRADE. WALL TO BE INFILLED W/ CMU. SEE STRUCTURAL FOR INFILL AND CIVIL FOR CONCRETE FLATWORK ABOVE OPENING.

4. MASONRY
4.1 NEW CAST STONE LINTEL / SILL. SEE STRUCT.
4.2 REMOVE LOOSE AND/OR CRACKED PARING AS SHOWN ON STRUCT. ELEVATIONS & REPAIR TO MATCH FINISH OF EXG PARING PAINT TO MATCH ADJ.

5. METALS
5.1 NEW CONTINUOUS STEEL PIPE HANDRAIL. SEE DETAILS.
5.2 NEW BLACK METAL PICKET FENCE, B.O.D. = BETA FENCE "UPGRADE" STEEL FENCE, 6'-0" TALL, 3 RAIL, W/ SUMMIT PICKETS AND STANDARD BOTTOM. COORD. FINAL SPEC W/ ARCHITECT. SEE CIVIL FOR TOTAL SCOPE BETWEEN 1732-34 VINE AND 1726-1730 VINE / 1675 HAMER.

6. WOOD, PLASTICS, AND COMPOSITES
6.1 REPAIR DAMAGED PIECES OF WOOD STAIRS.
A. TREADS &/OR RISERS.
B. BALUSTRADES/SIDEWALL.
6.2 REPAIR & REPAINT EXG WAINSCOTING.
6.3 NEW CASED OPENING: IF APPLICABLE, JAMB EXTENSIONS TO MATCH DEPTH OF OPENING. SEE FINISH SCHEDULE FOR TRIM SIZES.
A. MATCH HEIGHT TO ADJACENT DOOR HEADS.
B. MATCH HEIGHT TO ADJACENT TRANSOM HEADS.
HISTORIC INTERIOR MANTEL TRIM.
A. RETAIN & REPAIR.
B. REPAINT.
6.4
6.5
6.6
6.7

7.7 NOT USED
7.8 EXISTING HISTORIC CORNICE TO REMAIN. REPAIR AND REPLICATE ANY MISSING PIECES. REPAINT PER COLORED ELEVATIONS.

8. OPENINGS
8.1 NOT USED
8.2 NEW EXTERIOR BUILDING ENTRY DOOR AND FRAME - SEE DOOR SCHEDULE.
8.3 NOT USED
8.4 REPAIRED / REPLICATED HISTORIC WINDOW PER WINDOW TYPE. SEE ELEV. FIX WINDOW IN CLOSED POSITION & BACK PAINT GLAZING BLACK. INFILL INTERIOR OPENING WITH DRYWALL FLUSH TO ADJACENT WALL.
8.5 EXG TRANSOM TO REMAIN AND BE COVERED ON UNIT SIDE WITH GYP BD TO ACHIEVE THE REQUIRED FIRE RATING. GYP BD IS TO BE PAINTED WHITE ON GLAZING SIDE. SEE FIRE-RATING DETAILS FOR MORE INFORMATION.

9. FINISHES
9.1 MAINTAIN FIRE RATING BEHIND FIXED HISTORIC DOOR.
9.2 FIRE-RATING TO BE CONTINUOUS BEHIND PLUMBING/CHASE/FURRING WALL. FIRE RATING TO BE CONTINUOUS AT INTERSECTION W/ NON-RATED WALL.
9.3 GHOST SIGN TO REMAIN.
9.4 NEW PLASTER FINISH TO MATCH ADJ. WAINSCOT HEIGHT. PROVIDE CAP TRIM. PAINT TO MATCH ADJ. WAINSCOT.
9.5 HISTORIC TIN CEILING TO BE REINSTALLED AT UNDERSIDE OF RATED ASSEMBLY.

10. SPECIALTIES
10.1 LOCKABLE & RECESSED MAILBOXES. BOXES TO MEET USPS-4C STANDARDS & ACCESSIBILITY REQUIREMENTS. PROVIDE CONT. FIRE-RATING BEHIND MAILBOXES, WHEN REQ.
10.2 ENTRY SYSTEM CALLBOX B.O.D. = "2N ACCESS CONTROL"
10.3 CLOSETS W/ BLOCKING AT RODS & BRACKETS. PROVIDE 12" MELAMINE SHELF & CLOTHES ROD @ 66" A.F.F., TYP. U.N.O.:

NEW WORK PLANS & ELEVATIONS [KEYED] NOTES:

A. TYP. REACH-IN CLOSET
B. WALK-IN CLOSET
C. ABOVE W/D.

10.4 PROVIDE "NO SMOKING" SIGN AT EXTERIOR WALL
10.5 FIRE EXTINGUISHER. COORDINATE FINAL LOCATION WITH LOCAL FIRE MARSHAL.
A. SURFACE MOUNTED.
B. IN SINK CABINET IN RESIDENTIAL UNIT, TYPICAL.
10.6 PROVIDE BLOCKING FOR WALL-MOUNTED CHANGING STATION. SEE INT. ELEV.
10.7 NOT USED.
10.8 SHOWER NICHE. SEE ENLARGED PLANS, INTERIOR ELEVATIONS AND DETAIL 1/AS.00.
10.9 FIRE ESCAPE ACCESS WINDOW.

21. FIRE SUPPRESSION
21.1 APPROX LOCATION OF FDC CONNECTION - COORDINATE W/ FIRE DEPT.
21.2 SPRINKLER RISER. SEE PLUMBING DWGS.
21.3 EXTERIOR TAMPERFLOW NOTIFICATION DEVICE - COORDINATE WITH ELECTRICAL AND FIRE PROTECTION SYSTEMS

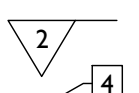
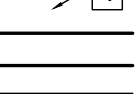
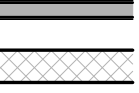
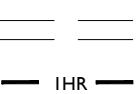
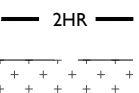
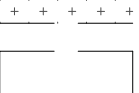

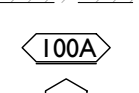


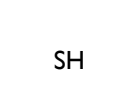
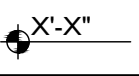





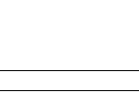
22. PLUMBING
22.1 PROVIDE DRAIN PAN UNDER WASHING MACHINE / WATER HEATER.
22.2 HOSEBIB LOCATION. SEE PLUMBING.
22.3 PROVIDE RADON RISER, AS REQ'D BY OWNER'S CONSULTANT. RISER TO EXTEND FROM BASEMENT TO ATTIC. COORDINATE WITH PLUMBING
22.4 LOCATION OF SPRINKLER EQUIPMENT. SEE PLUMBING.

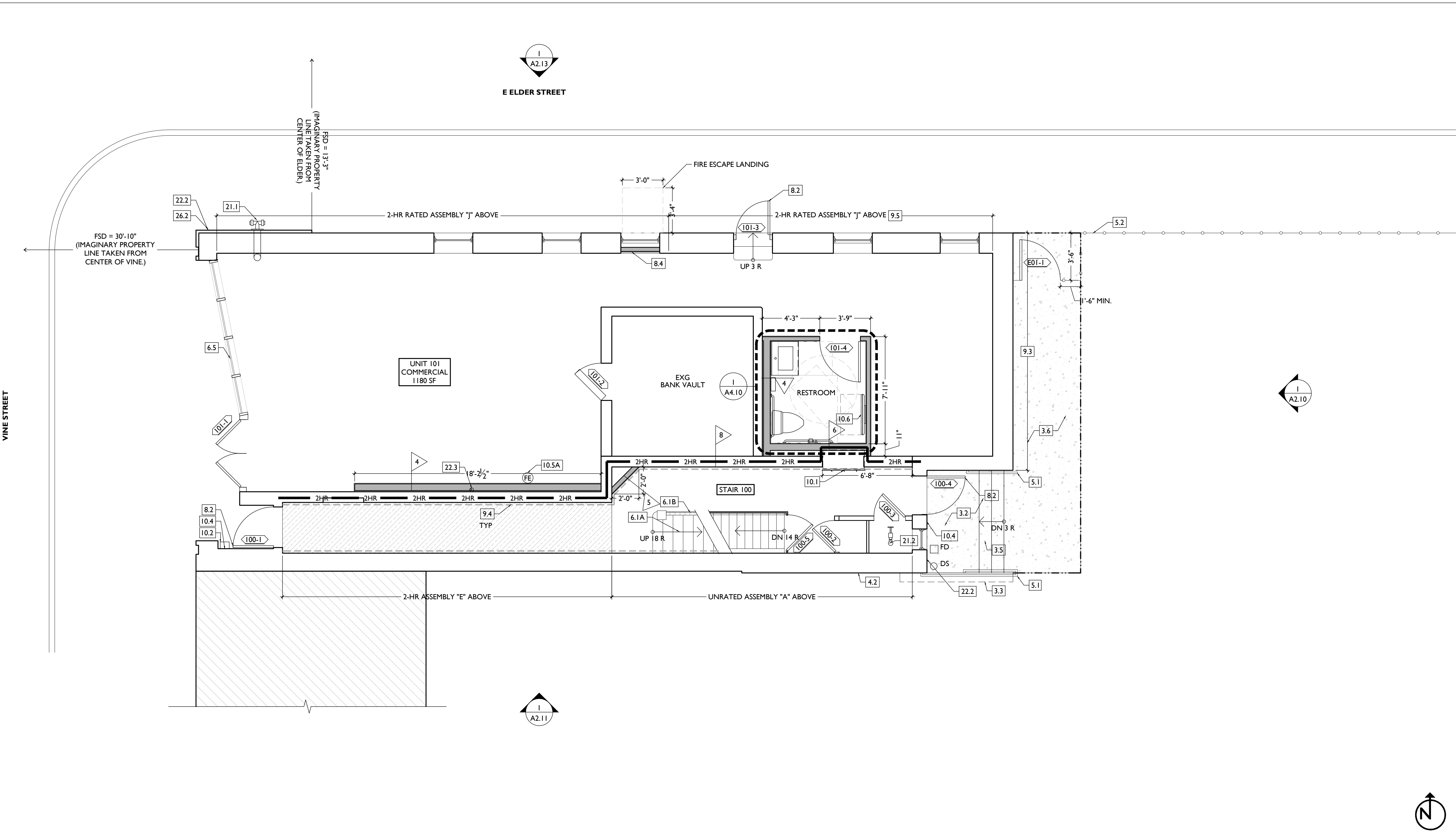
23. HEATING, VENTILATING, AND AIR CONDITIONING
23.1 MECHANICAL UNIT(S) - HATCHED AREA SHOWS APPROXIMATE LOCATION OF NEW FIXED ROOF WALKWAY PADS. GUARDRAIL REQUIRED IF EQUIPMENT <10' FROM ROOF EDGE. PROVIDE OVER-FRAMED PLATFORM PER 11/AS.00. SEE HVAC & STRUCTURAL DWGS.

26. ELECTRICAL
26.1 ELECTRIC PANEL RECESSED IN WALL W/ 30"W X 36"D CLEAR IN FRONT. PAINT TO MATCH ADJACENT WALL W/ APPROPRIATE PAINT TYPE FOR PANEL.
26.2 NEW MASTHEAD. SEE ELECT. AND CIVIL
26.3 LOCATION OF ELECTRICAL EQUIPMENT. SEE ELECTRICAL.

32. EXTERIOR IMPROVEMENTS
32.1 NOT USED

NEW WORK GRAPHIC KEY:

-  PARTITION TYPE - TYPE 1 U.N.O.
-  KEYNOTE
-  EXG WALL
-  NEW PARTITION WALL
-  NEW MASONRY WALL
-  OBJECT OVERHEAD
-  1-HR FIRE RATING
-  2-HR FIRE RATING
-  NEW FLOOR & FRAMING TO MATCH ADJ - SEE STRUCT DWGS.
-  NEW GYP BD SOFFIT/ BULKHEAD/ DROPPED CLG - SEE RCPS.
-  AREA OF ATYPICAL FIRE-RATED ASSEMBLY ABOVE
-  100A DOOR TAG. SEE SCHEDULE.
-  WINDOW DESIGNATION.
-  STOREFRONT DESIGNATION.
-  EMERGENCY EGRESS EXIT.
-  T OPG CONTAINS TEMPERED GLAZING.
-  SH SINGLE HUNG OPG - UPPER SASH TO BE FIXED WITHIN 3'-0" OF EXHAUST.
-  X'-X" ELEVATION TAG.



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Progress Dates
2023.04.28 - BID/PERMIT
2024.08.30 - BID SET 2

Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
TB, AM

PROPOSED PROJECT:
**RENOVATION FOR
1732 VINE ST. / 1734 VINE ST.**
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 08.30.2024

THIS IS A HISTORIC TAX CREDIT PROJECT. ALL WORK MUST COMPLY W/ APPROVED PART 2, INCLUDING AMENDMENTS. THESE DOCUMENTS ARE PART OF THE PROJECT CONTRACT DOCUMENTS.

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KEYED NOTES ARE CATEGORIZED FOR ORGANIZATIONAL PURPOSES ONLY. NOTES MAY REQUIRE MATERIALS OR WORK IN CATEGORIES OTHER THAN WHERE THEY OCCUR. THE CONTRACTOR IS RESPONSIBLE FOR THE WORK DESCRIBED IN ALL APPLICABLE NOTES REGARDLESS OF THE CATEGORY IN WHICH THEY OCCUR.
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3. CONCRETE
3.1 SLAB TO REMAIN. SCOPE & VERIFY FLOOR DRAINS CONNECT TO SEWER. REPAIR AS REQUIRED.
3.2 NEW CONCRETE SLAB W/ NEW FLOOR DRAIN(S) PER PLUMBING DRAWINGS. SLOPE 1/4"=12 MIN TO DRAIN. CONTROL JOINTS PER STRUCTURAL DWG. OR 10'0" O.C.
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3.4 EXG OPENING TO BASEMENT TO BE CAPPED WITH CONCRETE AT GRADE. WALL TO BE INFILLED W/ CMU. SEE CIVIL & STRUCT. FOR DETAILS.
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4.1 NEW CAST STONE LINTEL / SILL. SEE STRUCT.
4.2 REMOVE LOOSE AND/OR CRACKED PARGING AS SHOWN ON STRUCT. ELEVATIONS & REPAIR TO MATCH FINISH OF EXG PARGING PAINT TO MATCH ADJ.

5. METALS
5.1 NEW CONTINUOUS STEEL PIPE HANDRAIL. SEE DETAILS.
5.2 NEW BLACK METAL PICKET FENCE, B.O.D. = BETA FENCE "UPGRADE" STEEL FENCE, 6'-0" TALL, 3 RAIL, W/ SUMMIT PICKETS AND STANDARD BOTTOM. COORD. FINAL SPEC W/ ARCHITECT. SEE CIVIL FOR TOTAL SCOPE BETWEEN 1732-34 VINE AND 1726-1730 VINE / 1675 HAMER.

6. WOOD, PLASTICS, AND COMPOSITES
6.1 REPAIR DAMAGED PIECES OF WOOD STAIRS.
A. TREADS &/OR RISERS.
B. BALUSTRADES/SIDEWALL.
6.2 REPAIR & REPAINT EXG WAINSCOTING.
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A. MATCH HEIGHT TO ADJACENT DOOR HEADS.
B. MATCH HEIGHT TO ADJACENT TRANSOM HEADS.
HISTORIC INTERIOR MANTEL TRIM.
A. RETAIN & REPAIR.
B. REPAINT.
6.5 RETAIN & REPAIR STOREFRONT ELEMENTS.
6.6 NEW RAKE TRIM AND GUTTER BOARD
6.7 STRUCTURAL POST. SEE STRUCTURAL DWGS.

7. THERMAL AND MOISTURE PROTECTION
7.1 REPAIR AND RELINE EXG BOX GUTTER; NEW PRE-FINISHED ALUMINUM DOWNSPOUT.
7.2 NEW FULLY ADHERED MEMBRANE ROOF W/ CRACKETS WHERE REQUIRED FOR POSITIVE DRAINAGE AND W/TERMINATION BARS & METAL COUNTERFLASHING - SEE ROOF DETAILS. INSULATION PER SCHEDULE.
7.3 NEW ROOF ACCESS HATCH, INSTALL PER MANUF'S INSTRUCTS. BASIS OF DESIGN: BILCO F-507B 48" X 48".
7.4 NEW ALUM CAP @ CHIMNEY. TYP ALL CHIMNEYS.
7.5 EXG PARAPET TO REMAIN - REPAIR & REPLACE CAPS/COPING AS REQUIRED - SEE EXTERIOR ELEVATIONS.
7.6 NEW PRE-FINISHED DOWNSPOUT. SEE EXTERIOR ELEVATIONS. TIE INTO EXG SEWER SYSTEM. PROVIDE NEW PVC AT LOWER 6' OF DOWNSPOUT. PAINT TO MATCH DOWNSPOUT.

7.7 NOT USED
7.8 EXISTING HISTORIC CORNICE TO REMAIN. REPAIR AND REPLICATE ANY MISSING PIECES. REPAINT PER COLORED ELEVATIONS.

8. OPENINGS
8.1 NOT USED
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10.2 ENTRY SYSTEM CALLBOX B.O.D. = "2N ACCESS CONTROL"
10.3 CLOSETS W/ BLOCKING AT RODS & BRACKETS. PROVIDE 12" MELAMINE SHELF & CLOTHES ROD @ 66" A.F.F.; TYP U.N.O.:

NEW WORK PLANS & ELEVATIONS [KEYED] KEYED NOTES:

A. TYP. REACH-IN CLOSET
B. WALK-IN CLOSET.
C. ABOVE W/D.

10.4 PROVIDE "NO SMOKING" SIGN AT EXTERIOR WALL
10.5 FIRE EXTINGUISHER. COORDINATE FINAL LOCATION WITH LOCAL FIRE MARSHAL.
A. SURFACE MOUNTED.
B. IN SINK CABINET IN RESIDENTIAL UNIT, TYPICAL.
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10.7 NOT USED.
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10.9 FIRE ESCAPE ACCESS WINDOW.

21. FIRE SUPPRESSION
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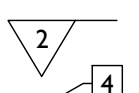
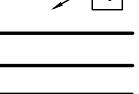
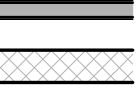
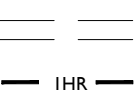
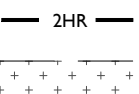
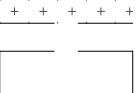

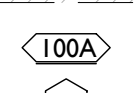


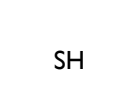
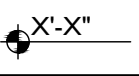






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22.1 PROVIDE DRAIN PAN UNDER WASHING MACHINE / WATER HEATER.
22.2 HOSEBIB LOCATION. SEE PLUMBING.
22.3 PROVIDE RADON RISER, AS REQ'D BY OWNER'S CONSULTANT. RISER TO EXTEND FROM BASEMENT TO ATTIC. COORDINATE WITH PLUMBING
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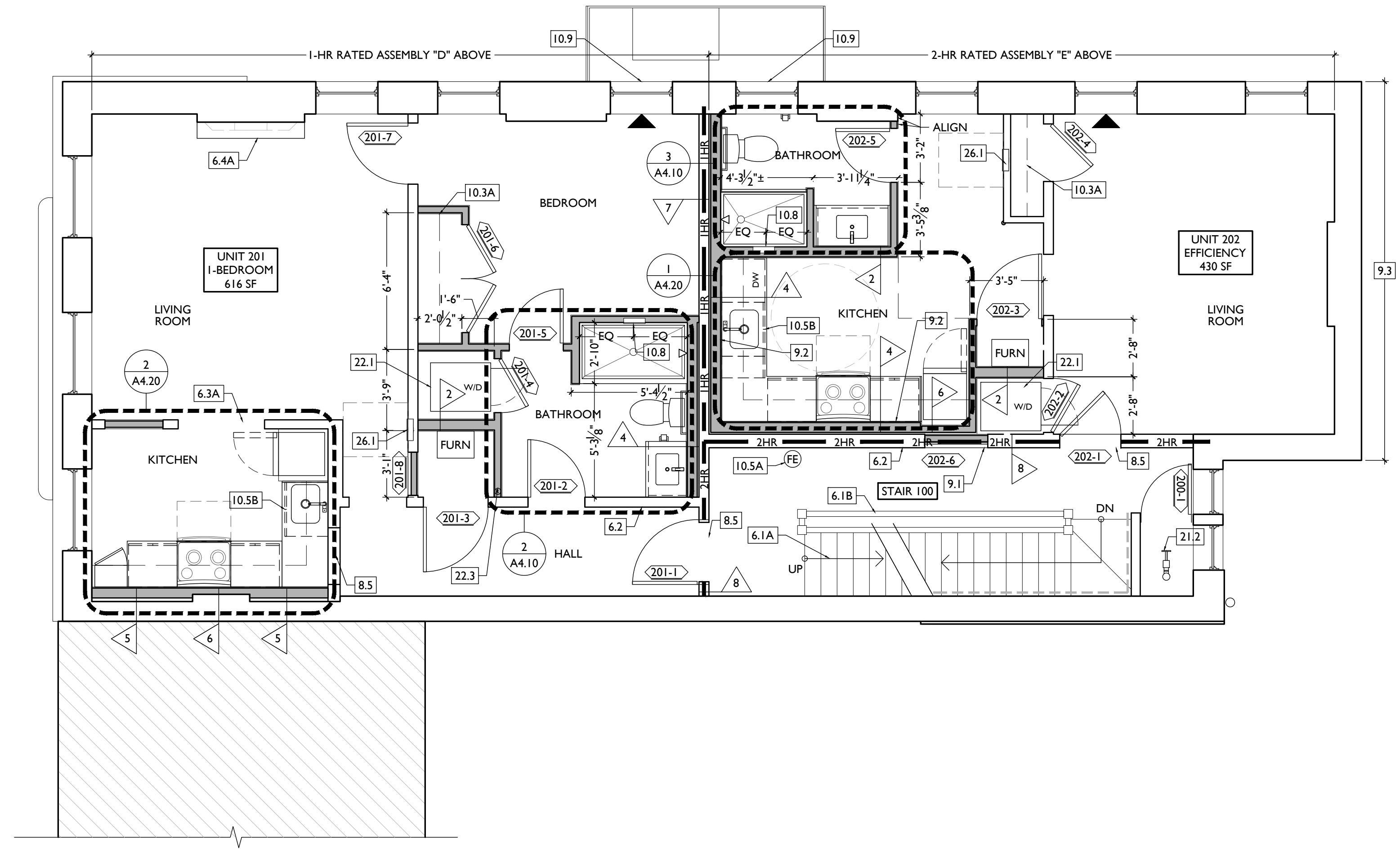
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32.1 NOT USED

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-  NEW MASONRY WALL
-  OBJECT OVERHEAD
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-  2HR 2-HR FIRE RATING.
-  NEW FLOOR & FRAMING TO MATCH ADJ - SEE STRUCT DWGS.
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-  X'-X" ELEVATION TAG.



SCALE: 1/4" = 1'-0"

PROPOSED PLAN - SECOND FLOOR | 1

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Progress Dates
2023.04.28 - BID/PERMIT
2024.08.30 - BID SET 2

Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
TB, AM

PROPOSED PROJECT:
RENOVATION FOR
1732 VINE ST. / 1734 VINE ST.
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 08.30.2024

A1.12

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B. BALUSTRADES/SEWALL.
6.2 REPAIR & REPAINT EXG WAINSCOTING.
6.3 NEW CASED OPENING: IF APPLICABLE, JAMB EXTENSIONS TO MATCH DEPTH OF OPENING. SEE FINISH SCHEDULE FOR TRIM SIZES.
A. MATCH HEIGHT TO ADJACENT DOOR HEADS.
B. MATCH HEIGHT TO ADJACENT TRANSOM HEADS.
HISTORIC INTERIOR MANTEL TRIM.
A. RETAIN & REPAIR.
B. REPAINT.
6.5 RETAIN & REPAIR STOREFRONT ELEMENTS.
6.6 NEW RAKE TRIM AND GUTTER BOARD
6.7 STRUCTURAL POST. SEE STRUCTURAL DWGS.

7. THERMAL AND MOISTURE PROTECTION
7.1 REPAIR AND RELINE EXG BOX GUTTER; NEW PRE-FINISHED ALUMINUM DOWNSPOUT.
7.2 NEW FULLY ADHERED MEMBRANE ROOF W/ CRACKETS WHERE REQUIRED FOR POSITIVE DRAINAGE AND W/TERMINATION BARS & METAL COUNTERFLASHING - SEE ROOF DETAILS. INSULATION PER SCHEDULE.
7.3 NEW ROOF ACCESS HATCH, INSTALL PER MANUF'S INSTRUCTS. BASIS OF DESIGN: BILCO F-507B 48" X 48".
7.4 NEW ALUM CAP @ CHIMNEY. TYP ALL CHIMNEYS.
7.5 EXG PARAPET TO REMAIN - REPAIR & REPLACE CAPS/COPING AS REQUIRED - SEE EXTERIOR ELEVATIONS.
7.6 NEW PRE-FINISHED DOWNSPOUT. SEE EXTERIOR ELEVATIONS. TIE INTO EXG SEWER SYSTEM. PROVIDE NEW PVC AT LOWER 6' OF DOWNSPOUT. PAINT TO MATCH DOWNSPOUT.

7.7 NOT USED
7.8 EXISTING HISTORIC CORNICE TO REMAIN. REPAIR AND REPLICATE ANY MISSING PIECES. REPAINT PER COLORED ELEVATIONS.

8. OPENINGS
8.1 NOT USED
8.2 NEW EXTERIOR BUILDING ENTRY DOOR AND FRAME - SEE DOOR SCHEDULE.
8.3 NOT USED
8.4 REPAIRED / REPLICATED HISTORIC WINDOW PER WINDOW TYPE. SEE ELEV. FIX WINDOW IN CLOSED POSITION & BACK PAINT GLAZING BLACK. INFILL INTERIOR OPENING WITH DRYWALL FLUSH TO ADJACENT WALL.
8.5 EXG TRANSOM TO REMAIN AND BE COVERED ON UNIT SIDE WITH GYP BD TO ACHIEVE THE REQUIRED FIRE RATING. GYP BD IS TO BE PAINTED WHITE ON GLAZING SIDE. SEE FIRE-RATING DETAILS FOR MORE INFORMATION.

9. FINISHES
9.1 MAINTAIN FIRE RATING BEHIND FIXED HISTORIC DOOR.
9.2 FIRE-RATING TO BE CONTINUOUS BEHIND PLUMBING/CHASE/FURRING WALL. FIRE RATING TO BE CONTINUOUS AT INTERSECTION W/ NON-RATED WALL.
9.3 GHOST SIGN TO REMAIN.
9.4 NEW PLASTER FINISH TO MATCH ADJ. WAINSCOT HEIGHT. PROVIDE CAP TRIM. PAINT TO MATCH ADJ. WAINSCOT.
9.5 HISTORIC TIN CEILING TO BE REINSTALLED AT UNDERSIDE OF RATED ASSEMBLY.

10. SPECIALTIES
10.1 LOCKABLE & RECESSED MAILBOXES. BOXES TO MEET USFS-4C STANDARDS & ACCESSIBILITY REQUIREMENTS. PROVIDE CONT. FIRE-RATING BEHIND MAILBOXES, WHEN REQ.
10.2 ENTRY SYSTEM CALLBOX B.O.D. = "2N ACCESS CONTROL"
10.3 CLOSETS W/ BLOCKING AT RODS & BRACKETS. PROVIDE 12" MELAMINE SHELF & CLOTHES ROD @ 66" A.F.F.; TYP U.N.O.:

NEW WORK PLANS & ELEVATIONS [KEYED] KEYED NOTES:

A. TYP. REACH-IN CLOSET
B. WALK-IN CLOSET.
C. ABOVE W/D.

10.4 PROVIDE "NO SMOKING" SIGN AT EXTERIOR WALL
10.5 FIRE EXTINGUISHER. COORDINATE FINAL LOCATION WITH LOCAL FIRE MARSHAL.
A. SURFACE MOUNTED.
B. IN SINK CABINET IN RESIDENTIAL UNIT, TYPICAL.
10.6 PROVIDE BLOCKING FOR WALL-MOUNTED CHANGING STATION. SEE INT. ELEV.
10.7 NOT USED.
10.8 SHOWER NICHE. SEE ENLARGED PLANS, INTERIOR ELEVATIONS AND DETAIL 1/A5.00.
10.9 FIRE ESCAPE ACCESS WINDOW.

21. FIRE SUPPRESSION
21.1 APPROX LOCATION OF FDC CONNECTION - COORDINATE W/ FIRE DEPT.
21.2 SPRINKLER RISER. SEE PLUMBING DWGS.
21.3 EXTERIOR TAMPERFLOW NOTIFICATION DEVICE - COORDINATE WITH ELECTRICAL AND FIRE PROTECTION SYSTEMS

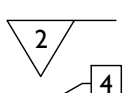
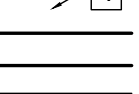
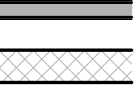
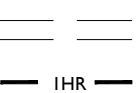
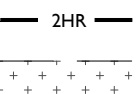
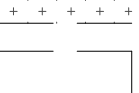

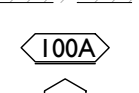


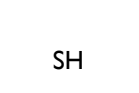
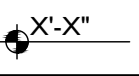






22. PLUMBING
22.1 PROVIDE DRAIN PAN UNDER WASHING MACHINE / WATER HEATER.
22.2 HOSEBIB LOCATION. SEE PLUMBING.
22.3 PROVIDE RADON RISER, AS REQ'D BY OWNER'S CONSULTANT. RISER TO EXTEND FROM BASEMENT TO ATTIC. COORDINATE WITH PLUMBING
22.4 LOCATION OF SPRINKLER EQUIPMENT. SEE PLUMBING.

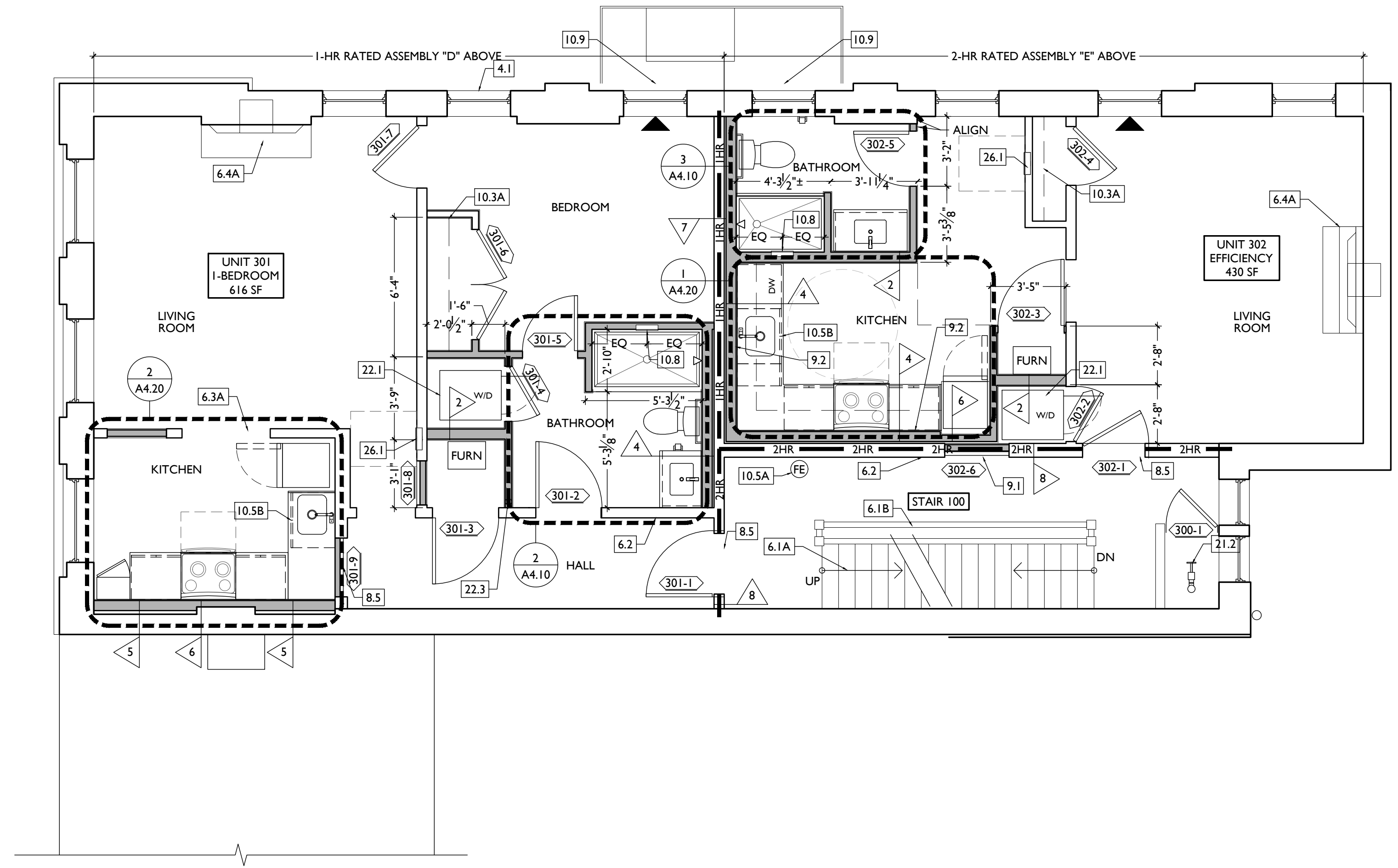
23. HEATING, VENTILATING, AND AIR CONDITIONING
23.1 MECHANICAL UNIT(S) - HATCHED AREA SHOWS APPROXIMATE LOCATION OF NEW FIXED ROOF WALKWAY PADS. GUARDRAIL REQUIRED IF EQUIPMENT <10' FROM ROOF EDGE. PROVIDE OVER-FRAMED PLATFORM PER 11/A5.00. SEE HVAC & STRUCTURAL DWGS.

26. ELECTRICAL
26.1 ELECTRIC PANEL RECESSED IN WALL W/ 30"W X 36" CLEAR IN FRONT. PAINT TO MATCH ADJACENT WALL W/ APPROPRIATE PAINT TYPE FOR PANEL.
26.2 NEW MASTHEAD. SEE ELECT. AND CIVIL
26.3 LOCATION OF ELECTRICAL EQUIPMENT. SEE ELECTRICAL.

32. EXTERIOR IMPROVEMENTS
32.1 NOT USED

NEW WORK GRAPHIC KEY:

-  PARTITION TYPE - TYPE 1 U.N.O.
-  KEYNOTE
-  EXG WALL
-  NEW PARTITION WALL
-  NEW MASONRY WALL
-  OBJECT OVERHEAD.
-  1HR 1-HR FIRE RATING.
-  2HR 2-HR FIRE RATING.
-  NEW FLOOR & FRAMING TO MATCH ADJ - SEE STRUCT DWGS.
-  NEW GYP BD SOFFIT/ BULKHEAD/ DROPPED CLG - SEE RCFS.
-  AREA OF ATYPICAL FIRE-RATED ASSEMBLY ABOVE.
-  100A DOOR TAG. SEE SCHEDULE.
-  A WINDOW DESIGNATION.
-  SFA STOREFRONT DESIGNATION.
-  E/E EMERGENCY EGRESS EXIT.
-  T OPG CONTAINS TEMPERED GLAZING.
-  SH SINGLE HUNG OPG - UPPER SASH TO BE FIXED WITHIN 3'-0" OF EXHAUST.
-  X'-X" ELEVATION TAG.



SCALE: 1/4" = 1'-0"

PROPOSED PLAN - THIRD FLOOR | 1

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Progress Dates
2023.04.28 - BID/PERMIT
2024.08.30 - BID SET 2

Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
TB, AM

PROPOSED PROJECT:
RENOVATION FOR
1732 VINE ST. / 1734 VINE ST.
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 08.30.2024

A1.13

THIS IS A HISTORIC TAX CREDIT PROJECT. ALL WORK MUST COMPLY W/ APPROVED PART 2, INCLUDING AMENDMENTS. THESE DOCUMENTS ARE PART OF THE PROJECT CONTRACT DOCUMENTS.

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- 3. CONCRETE**
- 3.1 SLAB TO REMAIN. SCOPE & VERIFY FLOOR DRAINS CONNECT TO SEWER. REPAIR AS REQUIRED.
- 3.2 NEW CONCRETE SLAB W/ NEW FLOOR DRAIN(S) PER PLUMBING DRAWINGS. SLOPE 1/4"=12 MIN TO DRAIN. CONTROL JOINTS PER STRUCTURAL DWG. OR 10'0" O.C.
- 3.3 NEW CONC. RETAINING WALL. SEE STRUCTURAL DWGS.
- 3.4 EXG OPENING TO BASEMENT TO BE CAPPED WITH CONCRETE AT GRADE. WALL TO BE INFILLED W/ CMU. SEE CIVIL & STRUCT. FOR DETAILS.
- 3.5 NEW CONCRETE STEPS, MAX RISER 7", MIN TREAD 11"; SEE CIVIL FOR DETAILS.
- 3.6 NEW CONCRETE SLAB ON GRADE. SEE CIVIL DRAWINGS.
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- 4. MASONRY**
- 4.1 NEW CAST STONE LINTEL / SILL. SEE STRUCT.
- 4.2 REMOVE LOOSE AND/OR CRACKED PARGING AS SHOWN ON STRUCT. ELEVATIONS & REPAIR TO MATCH FINISH OF EXG PARGING PAINT TO MATCH ADJ.
- 5. METALS**
- 5.1 NEW CONTINUOUS STEEL PIPE HANDRAIL. SEE DETAILS.
- 5.2 NEW BLACK METAL PICKET FENCE, B.O.D. = RETAFENCE "UPGRADE" STEEL FENCE, 6'-0" TALL, 3 RAIL, W/ SUMMIT PICKETS AND STANDARD BOTTOM. COORD. FINAL SPEC W/ ARCHITECT. SEE CIVIL FOR TOTAL SCOPE BETWEEN 1732-34 VINE AND 1726-1730 VINE / 1675 HAMER.
- 6. WOOD, PLASTICS, AND COMPOSITES**
- 6.1 REPAIR DAMAGED PIECES OF WOOD STAIRS.
- A. TREADS &/OR RISERS.
- B. BALUSTRADES/SIDEWALL.
- 6.2 REPAIR & REPAINT EXG WAINSCOTING.
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- 6.6 NEW RAKE TRIM AND GUTTER BOARD.
- 6.7 STRUCTURAL POST. SEE STRUCTURAL DWGS.
- 7. THERMAL AND MOISTURE PROTECTION**
- 7.1 REPAIR AND RELINE EXG BOX GUTTER; NEW PRE-FINISHED ALUMINUM DOWNSPOUT.
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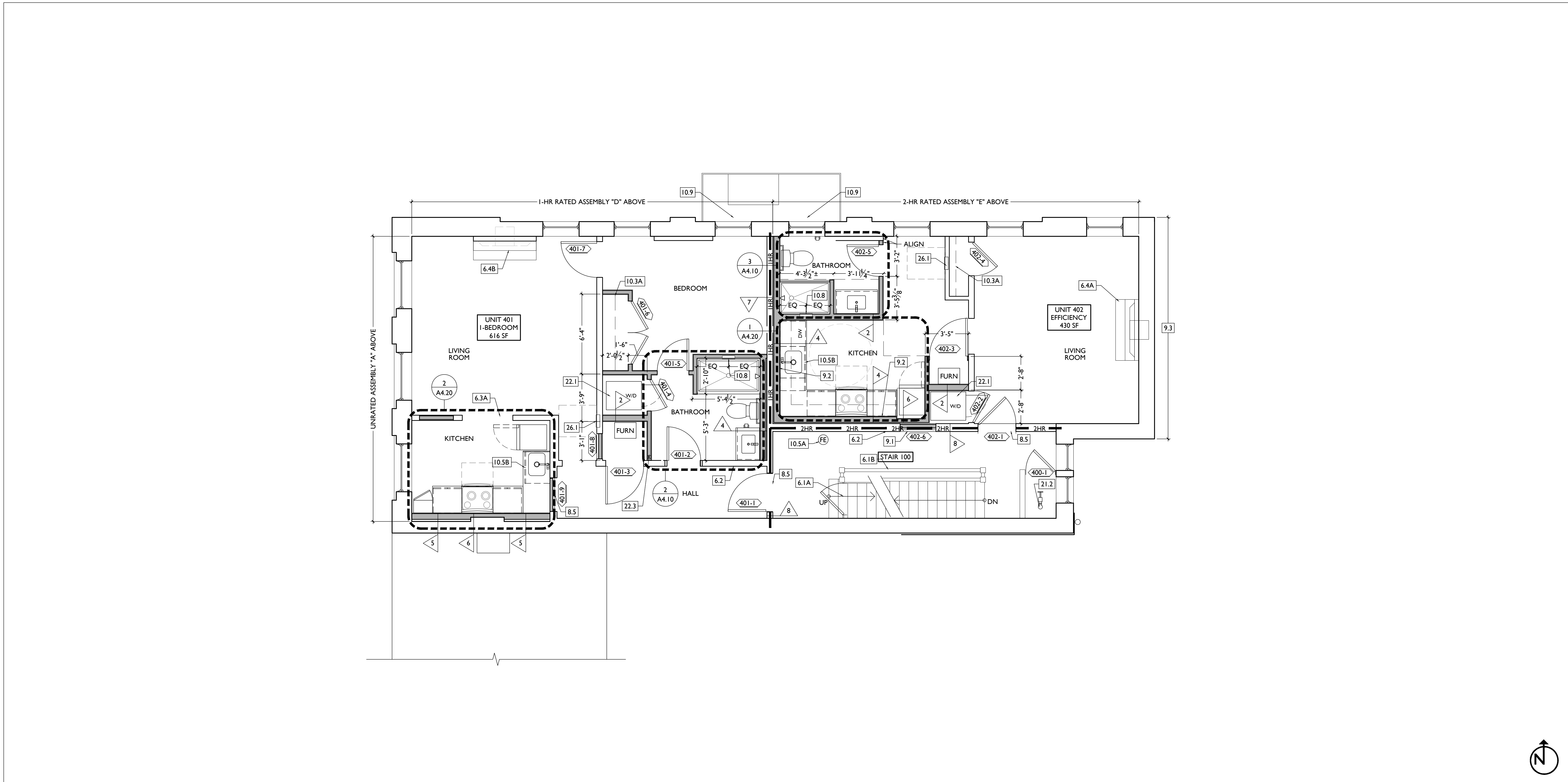
- 7.7 NOT USED
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- 8. OPENINGS**
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- 8.4 REPAIRED / REPLICATED HISTORIC WINDOW PER WINDOW TYPE. SEE ELEV. FIX WINDOW IN CLOSED POSITION & BACK PAINT GLAZING BLACK. INFILL INTERIOR OPENING WITH DRYWALL FLUSH TO ADJACENT WALL.
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- 9. FINISHES**
- 9.1 MAINTAIN FIRE RATING BEHIND FIXED HISTORIC DOOR.
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- 10.2 ENTRY SYSTEM CALLBOX B.O.D. = "2N ACCESS CONTROL"
- 10.3 CLOSETS W/ BLOCKING AT RODS & BRACKETS. PROVIDE 12" MELAMINE SHELF & CLOTHES ROD @ 66" A.F.F.; TYP U.N.O.:

- A. TYP. REACH-IN CLOSET
- B. WALK-IN CLOSET.
- C. ABOVE WID.
- 10.4 PROVIDE "NO SMOKING" SIGN AT EXTERIOR WALL
- 10.5 FIRE EXTINGUISHER. COORDINATE FINAL LOCATION WITH LOCAL FIRE MARSHAL.
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- 10.9 FIRE ESCAPE ACCESS WINDOW.
- 21. FIRE SUPPRESSION**
- 21.1 APPROX LOCATION OF FDC CONNECTION - COORDINATE W/ FIRE DEPT.
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- 26.1 ELECTRIC PANEL RECESSED IN WALL W/ 30"W X 36"D CLEAR IN FRONT. PAINT TO MATCH ADJACENT WALL W/ APPROPRIATE PAINT TYPE FOR PANEL.
- 26.2 NEW MASTHEAD. SEE ELECT. AND CIVIL
- 26.3 LOCATION OF ELECTRICAL EQUIPMENT. SEE ELECTRICAL.
- 32. EXTERIOR IMPROVEMENTS**
- 32.1 NOT USED

NEW WORK GRAPHIC KEY:

- 2 PARTITION TYPE - TYPE 1 U.N.O.
- 4 KEYNOTE
- EXG WALL
- NEW PARTITION WALL
- NEW MASONRY WALL
- OBJECT OVERHEAD.
- 1HR 1-HR FIRE RATING.
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- NEW FLOOR & FRAMING TO MATCH ADJ - SEE STRUCT DWGS.
- NEW GYP BD SOFFIT/ BULKHEAD/ DROPPED CLG - SEE RCFS.
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- 100A DOOR TAG. SEE SCHEDULE.
- WINDOW DESIGNATION.
- STOREFRONT DESIGNATION.
- EMERGENCY EGRESS EXIT.
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- X'-X" ELEVATION TAG.



SCALE: 1/4" = 1'-0"

PROPOSED PLAN - FOURTH FLOOR

1

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Progress Dates
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2024.08.30 - BID SET 2

Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
TB, AM

PROPOSED PROJECT:
**RENOVATION FOR
1732 VINE ST. / 1734 VINE ST.**
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 08.30.2024

AI.14

NEW WORK PLANS & ELEVATIONS [KEYED] NOTES:

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10.3 CLOSETS W/ BLOCKING AT RODS & BRACKETS. PROVIDE 12" MELAMINE SHELF & CLOTHES ROD @ 66" A.F.F.; TYP U.N.O.:

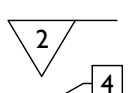
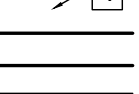
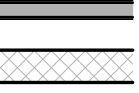
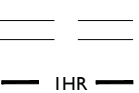
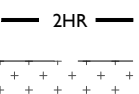
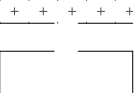

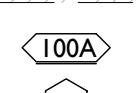


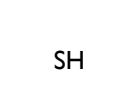
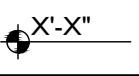






- 7.7 NOT USED
7.8 EXISTING HISTORIC CORNICE TO REMAIN. REPAIR AND REPLICATE ANY MISSING PIECES. REPAINT PER COLORED ELEVATIONS.
11. ELECTRICAL
11.1 TYP. REACH-IN CLOSET
11.2 WALK-IN CLOSET.
11.3 ABOVE W/D.
11.4 PROVIDE "NO SMOKING" SIGN AT EXTERIOR WALL
11.5 FIRE EXTINGUISHER. COORDINATE FINAL LOCATION WITH LOCAL FIRE MARSHAL.
A. SURFACE MOUNTED.
B. IN SINK CABINET IN RESIDENTIAL UNIT, TYPICAL.
11.6 PROVIDE BLOCKING FOR WALL-MOUNTED CHANGING STATION. SEE INT. ELEV.
11.7 NOT USED.
11.8 SHOWER NICHE. SEE ENLARGED PLANS, INTERIOR ELEVATIONS AND DETAIL 1/A5.00.
11.9 FIRE ESCAPE ACCESS WINDOW.
12. FIRE SUPPRESSION
12.1 APPROX LOCATION OF FDC CONNECTION - COORDINATE W/ FIRE DEPT.
12.2 SPRINKLER RISER. SEE PLUMBING DWGS.
12.3 EXTERIOR TAMPERFLOW NOTIFICATION DEVICE - COORDINATE WITH ELECTRICAL AND FIRE PROTECTION SYSTEMS
13. PLUMBING
13.1 PROVIDE DRAIN PAN UNDER WASHING MACHINE / WATER HEATER.
13.2 HOSEBIB LOCATION. SEE PLUMBING.
13.3 PROVIDE RADON RISER, AS REQ'D BY OWNER'S CONSULTANT. RISER TO EXTEND FROM BASEMENT TO ATTIC. COORDINATE WITH PLUMBING
13.4 LOCATION OF SPRINKLER EQUIPMENT. SEE PLUMBING.
14. HEATING, VENTILATING, AND AIR CONDITIONING
14.1 MECHANICAL UNIT(S) - HATCHED AREA SHOWS APPROXIMATE LOCATION OF NEW FIXED ROOF WALKWAY PADS. GUARDRAIL REQUIRED IF EQUIPMENT <10' FROM ROOF EDGE. PROVIDE OVER-FRAMED PLATFORM PER 11/A5.00. SEE HVAC & STRUCTURAL DWGS.

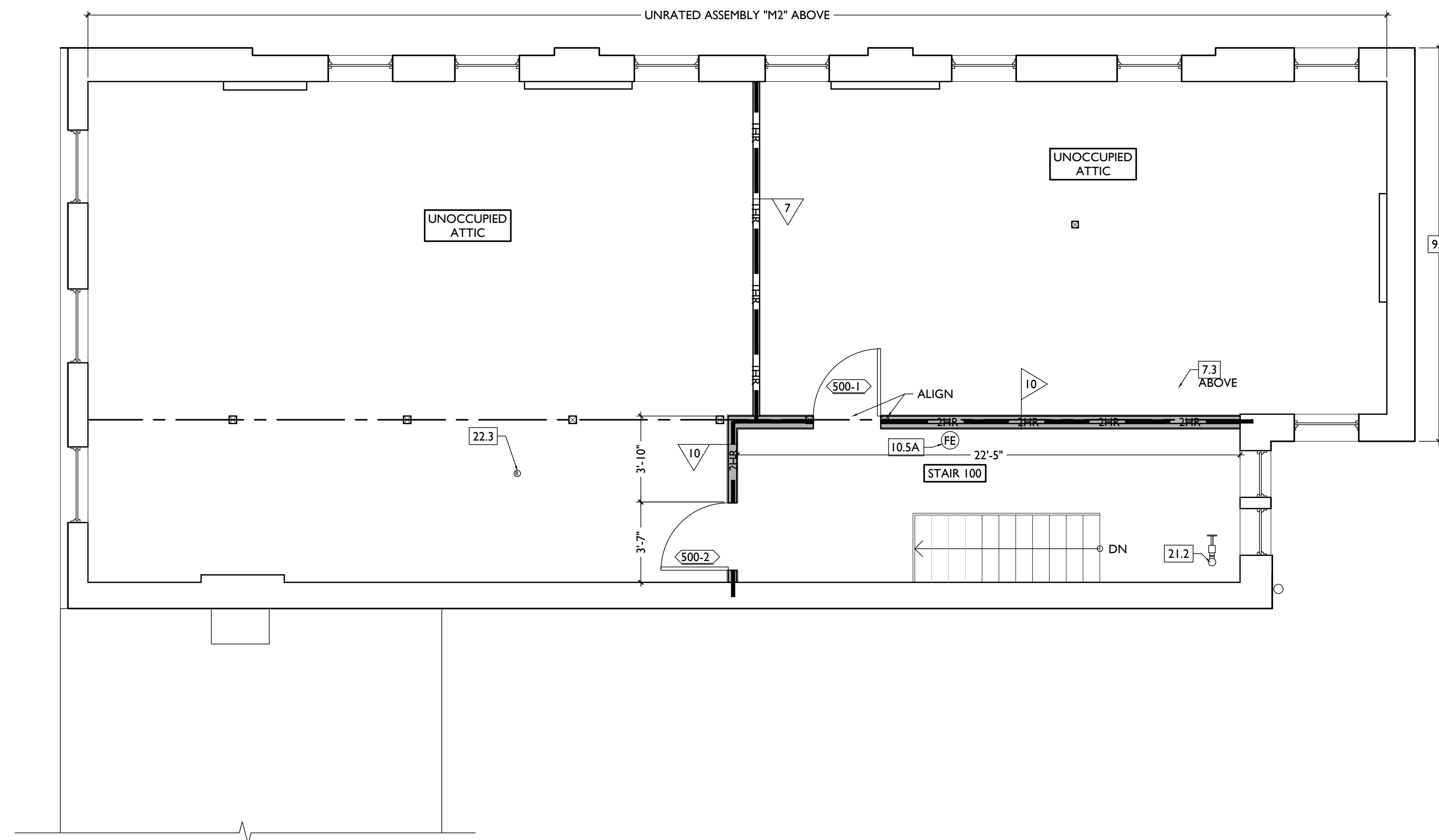
26. **ELECTRICAL**
26.1 ELECTRIC PANEL RECESSED IN WALL W/ 30"W X 36"D CLEAR IN FRONT. PAINT TO MATCH ADJACENT WALL W APPROPRIATE PAINT TYPE FOR PANEL.
26.2 NEW MASTHEAD. SEE ELECT. AND CIVIL
26.3 LOCATION OF ELECTRICAL EQUIPMENT. SEE ELECTRICAL.
32. EXTERIOR IMPROVEMENTS
32.1 NOT USED

- 21. FIRE SUPPRESSION**
21.1 APPROX LOCATION OF FDC CONNECTION - COORDINATE W/ FIRE DEPT.
21.2 SPRINKLER RISER. SEE PLUMBING DWGS.
21.3 EXTERIOR TAMPERFLOW NOTIFICATION DEVICE - COORDINATE WITH ELECTRICAL AND FIRE PROTECTION SYSTEMS
22. PLUMBING
22.1 PROVIDE DRAIN PAN UNDER WASHING MACHINE / WATER HEATER.
22.2 HOSEBIB LOCATION. SEE PLUMBING.
22.3 PROVIDE RADON RISER, AS REQ'D BY OWNER'S CONSULTANT. RISER TO EXTEND FROM BASEMENT TO ATTIC. COORDINATE WITH PLUMBING
22.4 LOCATION OF SPRINKLER EQUIPMENT. SEE PLUMBING.
23. HEATING, VENTILATING, AND AIR CONDITIONING
23.1 MECHANICAL UNIT(S) - HATCHED AREA SHOWS APPROXIMATE LOCATION OF NEW FIXED ROOF WALKWAY PADS. GUARDRAIL REQUIRED IF EQUIPMENT <10' FROM ROOF EDGE. PROVIDE OVER-FRAMED PLATFORM PER 11/A5.00. SEE HVAC & STRUCTURAL DWGS.

- 24. EXTERIOR IMPROVEMENTS**
24.1 NOT USED

NEW WORK GRAPHIC KEY:

-  PARTITION TYPE - TYPE 1 U.N.O.
-  KEYNOTE
-  EXG WALL
-  NEW PARTITION WALL
-  NEW MASONRY WALL
-  OBJECT OVERHEAD.
-  1HR 1-HR FIRE RATING.
-  2HR 2-HR FIRE RATING.
-  NEW FLOOR & FRAMING TO MATCH ADJ - SEE STRUCT DWGS.
-  NEW GYP BD SOFFIT/ BULKHEAD/ DROPPED CLG - SEE RCPS.
-  AREA OF ATYPICAL FIRE-RATED ASSEMBLY ABOVE.
-  100A DOOR TAG. SEE SCHEDULE.
-  WINDOW DESIGNATION.
-  STOREFRONT DESIGNATION.
-  E EMERGENCY EGRESS EXIT.
-  T OPG CONTAINS TEMPERED GLAZING.
-  SH SINGLE HUNG OPG - UPPER SASH TO BE FIXED WITHIN 3'-0" OF EXHAUST.
-  X'-X" ELEVATION TAG.



SCALE: 1/4" = 1'-0"

PROPOSED PLAN - ATTIC | 1

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Progress Dates
2023.04.28 - BID/PERMIT
2024.08.30 - BID SET 2

Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
TB, AM

PROPOSED PROJECT:
RENOVATION FOR
1732 VINE ST. / 1734 VINE ST.
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 08.30.2024

A1.15

NEW WORK PLANS & ELEVATIONS [KEYED] NOTES:

THIS IS A HISTORIC TAX CREDIT PROJECT. ALL WORK MUST COMPLY W/ APPROVED PART 2, INCLUDING AMENDMENTS. THESE DOCUMENTS ARE PART OF THE PROJECT CONTRACT DOCUMENTS.

KEYED NOTES
KEYED NOTES ARE CATEGORIZED FOR ORGANIZATIONAL PURPOSES ONLY. NOTES MAY REQUIRE MATERIALS OR WORK IN CATEGORIES OTHER THAN WHERE THEY OCCUR. THE CONTRACTOR IS RESPONSIBLE FOR THE WORK DESCRIBED IN ALL APPLICABLE NOTES REGARDLESS OF THE CATEGORY IN WHICH THEY OCCUR.
ALL KEYED NOTES LISTED MAY NOT APPLY TO THIS SHEET.

- 3. CONCRETE**
3.1 SLAB TO REMAIN. SCOPE & VERIFY FLOOR DRAINS CONNECT TO SEWER. REPAIR AS REQUIRED.
3.2 NEW CONCRETE SLAB W/ NEW FLOOR DRAIN(S) PER PLUMBING DRAWINGS. SLOPE 1/4"=12 MIN TO DRAIN. CONTROL JOINTS PER STRUCTURAL DWG. OR 10'0" O.C.
3.3 NEW CONC. RETAINING WALL. SEE STRUCTURAL DWGS.
3.4 EXG OPENING TO BASEMENT TO BE CAPPED WITH CONCRETE AT GRADE. WALL TO BE INFILLED W/ CMU. SEE CIVIL & STRUCT. FOR DETAILS.
3.5 NEW CONCRETE STEP(S), MAX RISER 7". MIN TREAD 11". SEE CIVIL FOR DETAILS.
3.6 NEW CONCRETE SLAB ON GRADE. SEE CIVIL DRAWINGS.
3.7 EXG OPENING TO BASEMENT TO BE CAPPED WITH CONCRETE AT GRADE. WALL TO BE INFILLED W/ CMU. SEE STRUCTURAL FOR INFILL AND CIVIL FOR CONCRETE FLATWORK ABOVE OPENING.

- 4. MASONRY**
4.1 NEW CAST STONE LINTEL / SILL. SEE STRUCT.
4.2 REMOVE LOOSE AND/OR CRACKED PARGING AS SHOWN ON STRUCT. ELEVATIONS & REPAIR TO MATCH FINISH OF EXG PARGING PAINT TO MATCH ADJ.

- 5. METALS**
5.1 NEW CONTINUOUS STEEL PIPE HANDRAIL. SEE DETAILS.
5.2 NEW BLACK METAL PICKET FENCE, B.O.D. = RETAFENCE "UPGRADE" STEEL FENCE, 6'-0" TALL, 3 RAIL, W/ SUMMIT PICKETS AND STANDARD BOTTOM. COORD. FINAL SPEC W/ ARCHITECT. SEE CIVIL FOR TOTAL SCOPE BETWEEN 1732-34 VINE AND 1726-1730 VINE / 1675 HAMER.
6. WOOD, PLASTICS, AND COMPOSITES
6.1 REPAIR DAMAGED PIECES OF WOOD STAIRS.
A. TREADS &/OR RISERS.
B. BALUSTRADES/SIDEWALL.
6.2 REPAIR & REPAINT EXG WAINSCOTING.
6.3 NEW CASER OPENING: IF APPLICABLE, JAMB EXTENSIONS TO MATCH DEPTH OF OPENING. SEE FINISH SCHEDULE FOR TRIM SIZES.
A. MATCH HEIGHT TO ADJACENT DOOR HEADS.
B. MATCH HEIGHT TO ADJACENT TRANSOM HEADS.
HISTORIC INTERIOR MANTEL TRIM.
A. RETAIN & REPAIR.
B. REPAINT.

- 6.4 HISTORIC INTERIOR MANTEL TRIM.
A. RETAIN & REPAIR.
B. REPAINT.
6.5 RETAIN & REPAIR STOREFRONT ELEMENTS.
6.6 NEW RAKE TRIM AND GUTTER BOARD
6.7 STRUCTURAL POST. SEE STRUCTURAL DWGS.
7. THERMAL AND MOISTURE PROTECTION
7.1 REPAIR AND RELINE EXG BOX GUTTER; NEW PRE-FINISHED ALUMINUM DOWNSPOUT.
7.2 NEW FULLY ADHERED MEMBRANE ROOF W/ CRICKETS WHERE REQUIRED FOR POSITIVE DRAINAGE AND W/TERMINATION BARS & METAL COUNTERFLASHING - SEE ROOF DETAILS. INSULATION PER SCHEDULE.
7.3 NEW ROOF ACCESS HATCH, INSTALL PER MANUF'S INSTRUCTS. BASIS OF DESIGN: BILCO F-507B 48" X 48".
7.4 NEW ALUM CAP @ CHIMNEY. TYP ALL CHIMNEYS.
7.5 EXG PARAPET TO REMAIN - REPAIR & REPLACE CAPS/COPING AS REQUIRED - SEE EXTERIOR ELEVATIONS.
7.6 NEW PRE-FINISHED DOWNSPOUT. SEE EXTERIOR ELEVATIONS. TIE INTO EXG SEWER SYSTEM. PROVIDE NEW PVC AT LOWER 6' OF DOWNSPOUT. PAINT TO MATCH DOWNSPOUT.

- 7.7 NOT USED
7.8 EXISTING HISTORIC CORNICE TO REMAIN. REPAIR AND REPLICATE ANY MISSING PIECES. REPAINT PER COLORED ELEVATIONS.
8. OPENINGS
8.1 NOT USED
8.2 NEW EXTERIOR BUILDING ENTRY DOOR AND FRAME - SEE DOOR SCHEDULE.
8.3 NOT USED
8.4 REPAIRED / REPLICATED HISTORIC WINDOW PER WINDOW TYPE. SEE ELEV. FIX WINDOW IN CLOSED POSITION & BACK PAINT GLAZING BLACK. INFILL INTERIOR OPENING WITH DRYWALL FLUSH TO ADJACENT WALL.
8.5 EXG TRANSOM TO REMAIN AND BE COVERED ON UNIT SIDE WITH GYP BD TO ACHIEVE THE REQUIRED FIRE RATING. GYP BD IS TO BE PAINTED WHITE ON GLAZING SIDE. SEE FIRE-RATING DETAILS FOR MORE INFORMATION.

- 9. FINISHES**
9.1 MAINTAIN FIRE RATING BEHIND FIXED HISTORIC DOOR.
9.2 FURRING WALL. FIRE RATING TO BE CONTINUOUS AT INTERSECTION W/ NON-RATED WALL.
9.3 GHOST SIGN TO REMAIN.
9.4 NEW PLASTER FINISH TO MATCH ADJ. WAINSCOT HEIGHT. PROVIDE CAP TRIM. PAINT TO MATCH ADJ. WAINSCOT.
9.5 HISTORIC TIN CEILING AT BE REINSTALLED AT UNDERSIDE OF RATED ASSEMBLY.
10. SPECIALTIES
10.1 LOCKABLE & RECESSED MAILBOXES. BOXES TO MEET USFS-AC STANDARDS & ACCESSIBILITY REQUIREMENTS. PROVIDE CONT FIRE-RATING BEHIND MAILBOXES, WHEN REQ.
10.2 ENTRY SYSTEM CALLBOX B.O.D. = "2N ACCESS CONTROL"
10.3 CLOSETS W/ BLOCKING AT RODS & BRACKETS. PROVIDE 12" MELAMINE SHELF & CLOTHES ROD @ 66" A.F.F.; TYP U.N.O.:

- A. TYP. REACH-IN CLOSET
B. WALK-IN CLOSET.
C. ABOVE W/D.
10.4 PROVIDE "NO SMOKING" SIGN AT EXTERIOR WALL
10.5 FIRE EXTINGUISHER. COORDINATE FINAL LOCATION WITH LOCAL FIRE MARSHAL.
A. SURFACE MOUNTED.
B. IN SINK CABINET IN RESIDENTIAL UNIT, TYPICAL.
10.6 PROVIDE BLOCKING FOR WALL-MOUNTED CHANGING STATION. SEE INT. ELEV.
10.7 NOT USED.
10.8 SHOWER NICHE. SEE ENLARGED PLANS, INTERIOR ELEVATIONS AND DETAIL 1/A5.00.
10.9 FIRE ESCAPE ACCESS WINDOW.



















- 21. FIRE SUPPRESSION**
21.1 APPROX LOCATION OF FDC CONNECTION - COORDINATE W/ FIRE DEPT.
21.2 SPRINKLER RISER. SEE PLUMBING DWGS.
21.3 EXTERIOR TAMPERFLOW NOTIFICATION DEVICE - COORDINATE WITH ELECTRICAL AND FIRE PROTECTION SYSTEMS
22. PLUMBING
22.1 PROVIDE DRAIN PAN UNDER WASHING MACHINE / WATER HEATER.
22.2 HOSEBIB LOCATION. SEE PLUMBING.
22.3 PROVIDE RADON RISER, AS REQ'D BY OWNER'S CONSULTANT. RISER TO EXTEND FROM BASEMENT TO ATTIC. COORDINATE WITH PLUMBING
22.4 LOCATION OF SPRINKLER EQUIPMENT. SEE PLUMBING.

- 23. HEATING, VENTILATING, AND AIR CONDITIONING**
23.1 MECHANICAL UNIT(S) - HATCHED AREA SHOWS APPROXIMATE LOCATION OF NEW FIXED ROOF WALKWAY PADS. GUARDRAIL REQUIRED IF EQUIPMENT <10' FROM ROOF EDGE. PROVIDE OVER-FRAMED PLATFORM PER 11/A5.00. SEE HVAC & STRUCTURAL DWGS.

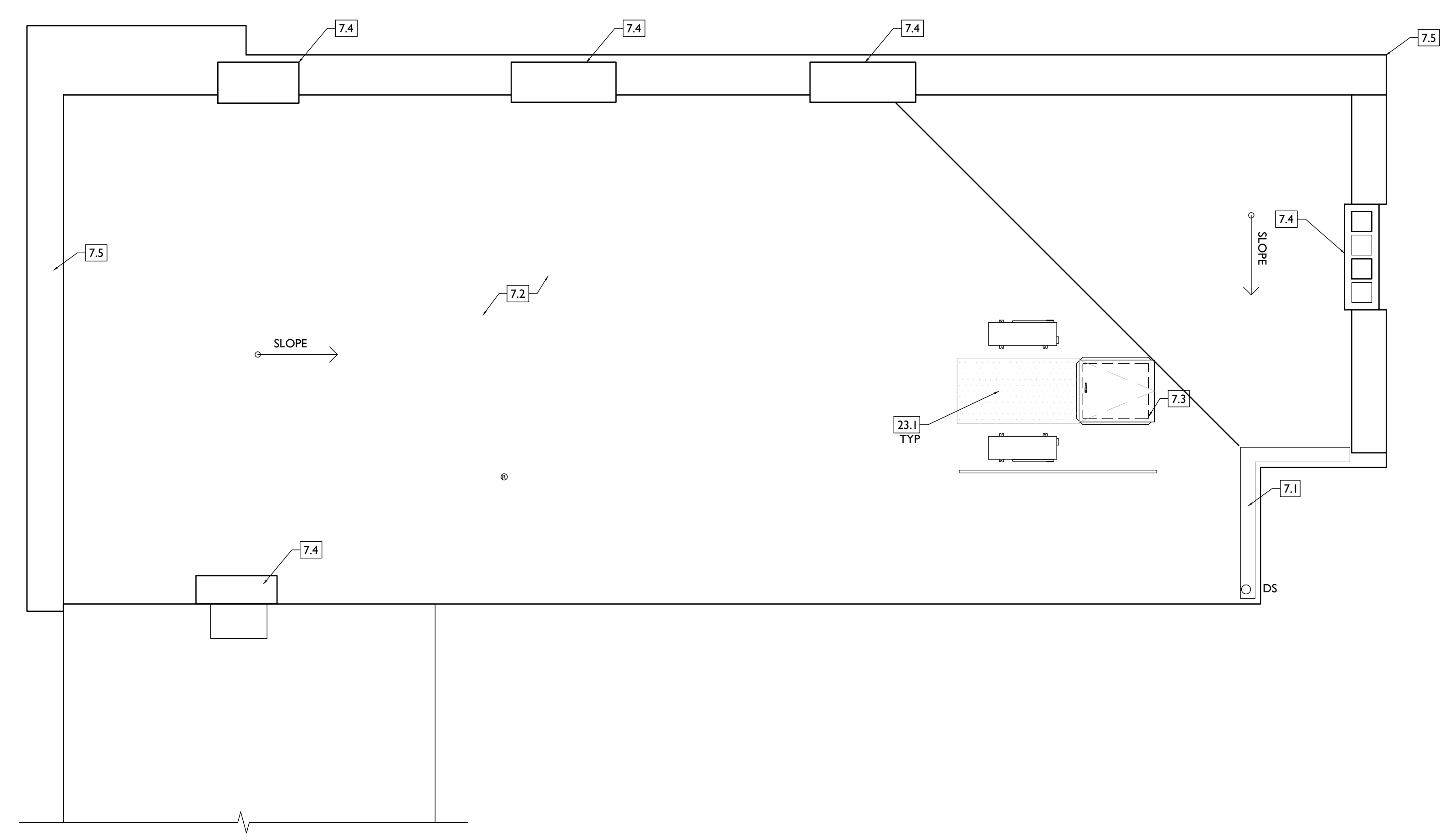
- 26. ELECTRICAL**
26.1 ELECTRIC PANEL RECESSED IN WALL W/ 30"W X 36"D CLEAR IN FRONT. PAINT TO MATCH ADJACENT WALL W APPROPRIATE PAINT TYPE FOR PANEL.
26.2 NEW MASTHEAD. SEE ELECT. AND CIVIL
26.3 LOCATION OF ELECTRICAL EQUIPMENT. SEE ELECTRICAL.

- 32. EXTERIOR IMPROVEMENTS**
32.1 NOT USED

NEW WORK GRAPHIC KEY:

-  PARTITION TYPE - TYPE 1 U.N.O.
-  KEYNOTE
-  EXG WALL
-  NEW PARTITION WALL
-  NEW MASONRY WALL
-  OBJECT OVERHEAD
-  1-HR FIRE RATING
-  2-HR FIRE RATING
-  NEW FLOOR & FRAMING TO MATCH ADJ - SEE STRUCT DWGS.
-  NEW GYP BD SOFFIT/ BULKHEAD/ DROPPED CLG - SEE RCFS.
-  AREA OF ATYPICAL FIRE-RATED ASSEMBLY ABOVE
-  DOOR TAG. SEE SCHEDULE.
-  WINDOW DESIGNATION.
-  STOREFRONT DESIGNATION.
-  EMERGENCY EGRESS EXIT.
-  OPG CONTAINS TEMPERED GLAZING.
-  SINGLE HUNG OPG - UPPER SASH TO BE FIXED WITHIN 3'-0" OF EXHAUST.
-  ELEVATION TAG.

NOTE: CONTRACTOR TO DESIGN AND INSTALL ROOF VENTING SYSTEM THAT COMPLIES WITH OBC 1203. CONTRACTOR TO DETERMINE SIZE AND LOCATION OF VENTS. TOTAL AMOUNT OF NET FREE VENTILATING AREA SHOULD BE MINIMUM 1/150 OF ATTIC SF.



SCALE: 1/4" = 1'-0"

PROPOSED PLAN - ROOF | 1

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Progress Dates
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2024.08.30 - BID SET 2

Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
TB, AM

PROPOSED PROJECT:
**RENOVATION FOR
1732 VINE ST. / 1734 VINE ST.**
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 08.30.2024

A1.16

SYMBOL	FIXTURE TYPE	REMARKS
SM1	SURFACE MOUNT LED CAN LIGHT	SM1 - GENERAL LIGHTS. PROVIDE DIMMERS IN RESIDENTIAL UNITS.
SM2		SM2 - DAMP RATED, TYPICAL IN SHOWERS.
SM3		SM3 - ALWAYS ON, TYPICAL IN COMMON STAIRHALLS.
SM13	SURFACE MOUNT ENTRY LIGHT	STAIR HALL ENTRY VESTIBULE, 1ST FLOOR ONLY
SM8	SURFACE MOUNT LINEAR LED	TYPICAL IN COMMERCIAL TURNKEY SPACES
ST1	SURFACE MOUNT UTILITY FIXTURE	TYPICAL IN ATTICS AND IN BASEMENTS
V1	WALL MOUNT VANITY LIGHT	V1 - TYPICAL OVER BATHROOM VANITIES IN TYPICAL RESIDENTIAL UNITS.
V2	WALL MOUNT VANITY LIGHT	V2 - TYPICAL ON SIDES OF BATHROOM VANITIES IN TYPICAL RESIDENTIAL UNITS.
TLI	SURFACE MOUNT TRACK LIGHT	DIMMABLE, TYPICAL IN COMMERCIAL TURNKEY SPACES AND IN LOBBIES
PI	SURFACE MOUNT PENDANT	TYPICAL OVER KITCHEN ISLANDS

REFLECTED CEILING PLAN FIXTURE LEGEND:

SYMBOL	FIXTURE TYPE	REMARKS
F1	CEILING FAN WITH LIGHT	SMALL FAN, TYPICAL IN BEDROOMS AND LIVING ROOMS
F2	CEILING FAN WITH LIGHT	LARGE FAN, TYPICAL IN BEDROOM AND LIVING ROOM
WM1	WALL MOUNT EXTERIOR LIGHT	EXTERIOR ARCHITECTURAL UP-DOWN LIGHT
WMS	WALL MOUNT EXTERIOR LIGHT	EXTERIOR ARCHITECTURAL GOOSENECK LIGHT
ES	EMERGENCY EGRESS LIGHT	EMERGENCY EGRESS EXIT SIGN
ESL	EMERGENCY EGRESS LIGHT	EMERGENCY EGRESS EXIT SIGN W/ LIGHTS
EF1	BATHROOM VENT	TYPICAL BATHROOM EXHAUST FAN/VENT

SYMBOL	FIXTURE TYPE	REMARKS
RH1	EMERGENCY EGRESS LIGHT	LED REMOTE HEAD EMERGENCY EGRESS LIGHT
EM	EMERGENCY EGRESS LIGHT	EMERGENCY EGRESS LIGHT WALL PACK

REFLECTED CEILING PLAN GENERAL NOTES:

A. NOTE: THIS IS A HISTORIC TAX CREDIT PROJECT. ALL WORK MUST COMPLY W/ APPROVED PART 2, INCLUDING AMENDMENTS. NO HISTORIC ELEMENTS SHALL BE REMOVED/MODIFIED UNLESS SPECIFICALLY INDICATED IN ARCH DWGS.

B. IF A FIXTURE APPEARS TO BE CENTERED IN A SPACE, THEN CENTER IT.

C. LOWERED CEILINGS AND SOFFITS SHALL BE 8'-0" HIGH A.F.F., U.N.O.

D. CLG HTS AT EXG FLOORS ARE TO BE W.F.

E. ALL CEILING FINISHES IN OCCUPIED SPACES TO BE SMOOTH PAINTED DRYWALL U.N.O. SEE FINISH SCHEDULE FOR PAINT COLORS.

F. BASEMENTS & UNOCCUPIED ATTICS TO HAVE EXPOSED JOISTS - NO FINISH CLGS U.N.O.

G. ALL SOFFITS OVER KITCHEN CABINETS TO BE 8'-0" AFF AND 2'-1 1/2" WIDE MINIMUM.

H. PROVIDE UNDER-CABINET LIGHTING BENEATH ALL UPPER KITCHEN CABINETS IN RESIDENTIAL UNITS. SEE ELEC DWGS.

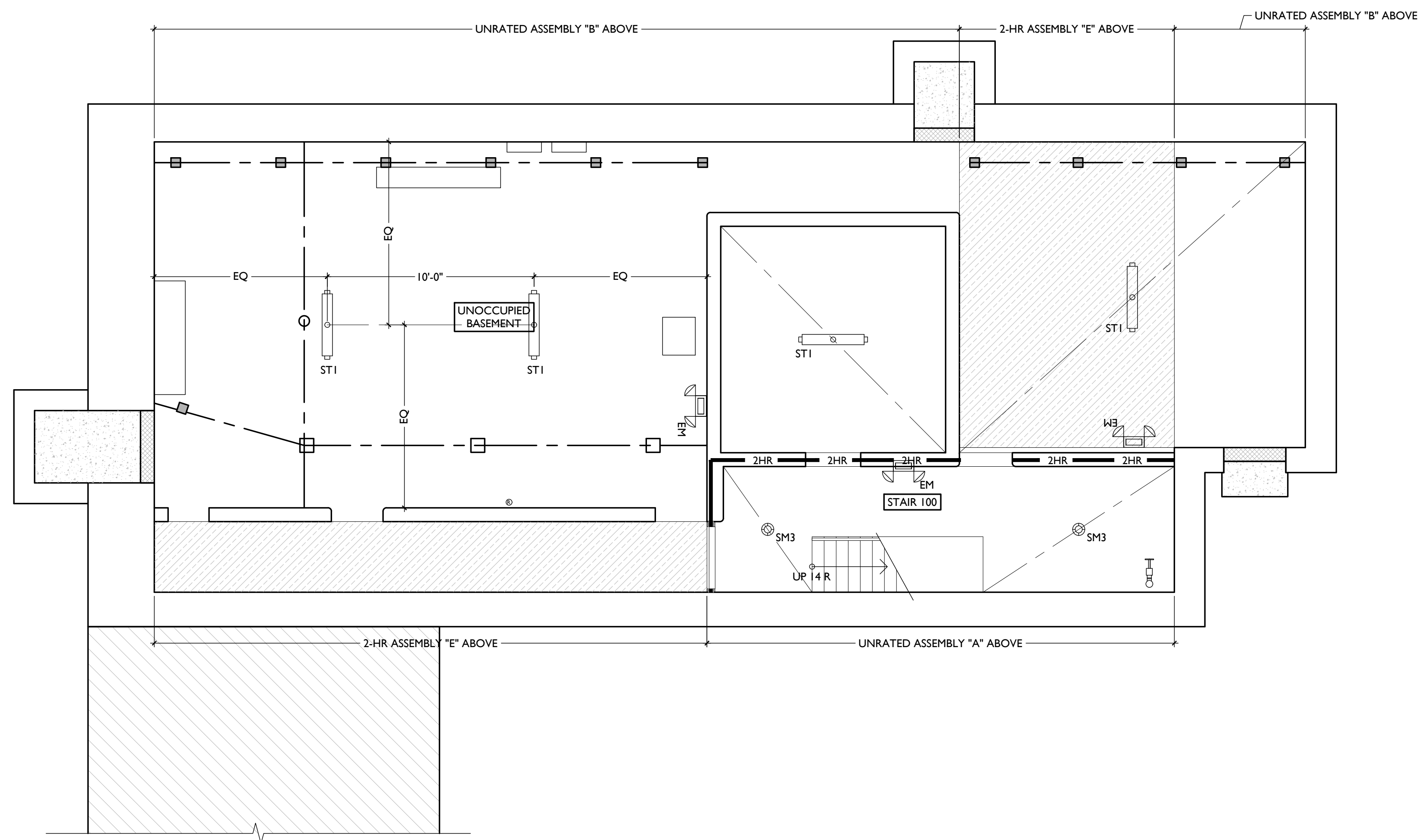
I. SEE EXTERIOR ELEVATIONS FOR MOUNTING HEIGHTS OF EXTERIOR LIGHTS.

J. SEE ELECTRICAL DRAWINGS FOR FIXTURE SPECIFICATIONS.

K. ANY FIXTURES LOCATED IN AREAS WITH REMAINING HISTORIC TIN CEILINGS SHOULD BE CENTERED ON THE CEILING TILES, RATHER THAN PERFECTLY CENTERED IN THE SPACE. ADJUST THE GRID PLACEMENT/DIMENSIONS BY A FEW INCHES AS REQUIRED TO ACCOMMODATE THIS.

REFLECTED CEILING PLAN GRAPHIC KEY:

CH: 8'-0"	CEILING HEIGHT TAG (TYP 8'-0" U.N.O.)
[Symbol]	SOFFIT/LOWERED GYP BD CEILING
[Symbol]	AREA OF ATYPICAL FIRE-RATING. SEE PLANS & SHEET A0.01
WC	WATER CURTAIN HEAD TO PROVIDE 100% COVERAGE OF WINDOW. COORD W/ F.P PLANS
(NL)	DENOTES NIGHT LIGHT FIXTURE
(OS)	DENOTES OCCUPANCY SENSOR
[Symbol]	COMBO SMOKE/CARBON MONOXIDE DETECTOR: IONIZATION (TYP BEDROOMS)
[Symbol]	PHOTOELECTRIC
[Symbol]	CENTER ON ARCHITECTURAL FEATURE
[Symbol]	STRUCTURAL MEMBER - SEE STRUCTURAL DWGS



SCALE: 1/4" = 1'-0"

REFLECTED CEILING PLAN - BASEMENT



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CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 08.30.2024

A1.20

SYMBOL	FIXTURE TYPE	REMARKS
SM1	SURFACE MOUNT LED CAN LIGHT	SM1 - GENERAL LIGHTS. PROVIDE DIMMERS IN RESIDENTIAL UNITS.
SM2	SURFACE MOUNT LED CAN LIGHT	SM2 - DAMP RATED, TYPICAL IN SHOWERS.
SM3	SURFACE MOUNT LED CAN LIGHT	SM3 - ALWAYS ON, TYPICAL IN COMMON STAIRHALLS.
SM13	SURFACE MOUNT ENTRY LIGHT	STAIR HALL ENTRY VESTIBULE, 1ST FLOOR ONLY
SM8	SURFACE MOUNT LINEAR LED	TYPICAL IN COMMERCIAL TURNKEY SPACES
ST1	SURFACE MOUNT UTILITY FIXTURE	TYPICAL IN ATTICS AND IN BASEMENTS
V1	WALL MOUNT VANITY LIGHT	V1 - TYPICAL OVER BATHROOM VANITIES IN TYPICAL RESIDENTIAL UNITS.
V2	WALL MOUNT VANITY LIGHT	V2 - TYPICAL ON SIDES OF BATHROOM VANITIES IN TYPICAL RESIDENTIAL UNITS.
TLI	SURFACE MOUNT TRACK LIGHT	DIMMABLE, TYPICAL IN COMMERCIAL TURNKEY SPACES AND IN LOBBIES
PI	SURFACE MOUNT PENDANT	TYPICAL OVER KITCHEN ISLANDS

REFLECTED CEILING PLAN FIXTURE LEGEND:

SYMBOL	FIXTURE TYPE	REMARKS
F1	CEILING FAN WITH LIGHT	SMALL FAN, TYPICAL IN BEDROOMS AND LIVING ROOMS
F2	CEILING FAN WITH LIGHT	LARGE FAN, TYPICAL IN BEDROOM AND LIVING ROOM
WM1	WALL MOUNT EXTERIOR LIGHT	EXTERIOR ARCHITECTURAL UP-DOWN LIGHT
WM5	WALL MOUNT EXTERIOR LIGHT	EXTERIOR ARCHITECTURAL GOOSENECK LIGHT
ES	EMERGENCY EGRESS LIGHT	EMERGENCY EGRESS EXIT SIGN
ESL	EMERGENCY EGRESS LIGHT	EMERGENCY EGRESS EXIT SIGN W/ LIGHTS
EF1	BATHROOM VENT	TYPICAL BATHROOM EXHAUST FAN/VENT

SYMBOL	FIXTURE TYPE	REMARKS
RH1	EMERGENCY EGRESS LIGHT	LED REMOTE HEAD EMERGENCY EGRESS LIGHT
EM	EMERGENCY EGRESS LIGHT	EMERGENCY EGRESS LIGHT WALL PACK

REFLECTED CEILING PLAN GENERAL NOTES:

A. NOTE: THIS IS A HISTORIC TAX CREDIT PROJECT. ALL WORK MUST COMPLY W/ APPROVED PART 2, INCLUDING AMENDMENTS. NO HISTORIC ELEMENTS SHALL BE REMOVED/MODIFIED UNLESS SPECIFICALLY INDICATED IN ARCH DWGS.

B. IF A FIXTURE APPEARS TO BE CENTERED IN A SPACE, THEN CENTER IT.

C. LOWERED CEILINGS AND SOFFITS SHALL BE 8'-0" HIGH A.F.F., U.N.O.

D. CLG HTS AT EXG FLOORS ARE TO BE W.F.

E. ALL CEILING FINISHES IN OCCUPIED SPACES TO BE SMOOTH PAINTED DRYWALL U.N.O. SEE FINISH SCHEDULE FOR PAINT COLORS.

F. BASEMENTS & UNOCCUPIED ATTICS TO HAVE EXPOSED JOISTS - NO FINISH CLGS U.N.O.

G. ALL SOFFITS OVER KITCHEN CABINETS TO BE 8'-0" AFF AND 2'-1 1/2" WIDE MINIMUM.

H. PROVIDE UNDER-CABINET LIGHTING BENEATH ALL UPPER KITCHEN CABINETS IN RESIDENTIAL UNITS. SEE ELEC DWGS.

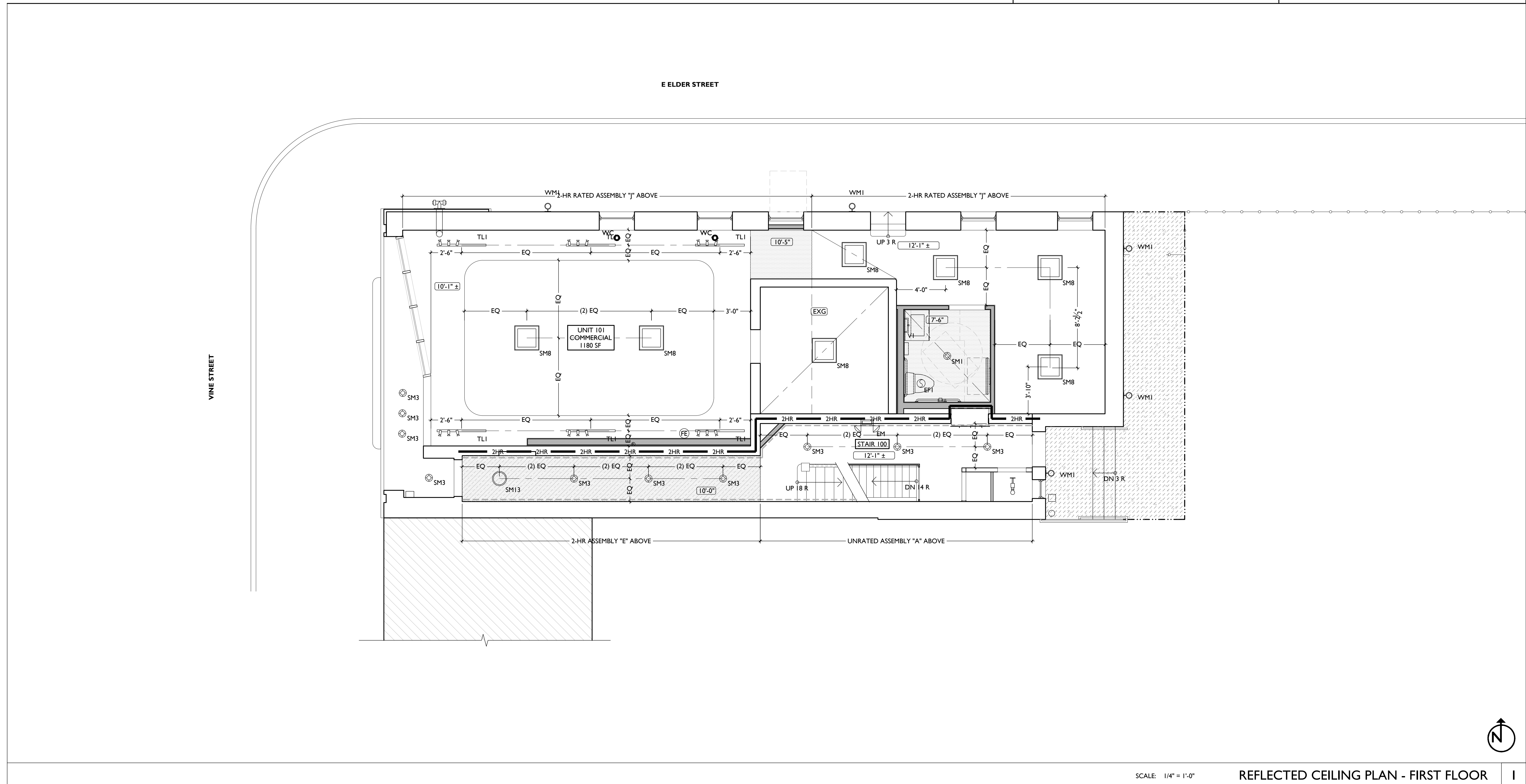
I. SEE EXTERIOR ELEVATIONS FOR MOUNTING HEIGHTS OF EXTERIOR LIGHTS.

J. SEE ELECTRICAL DRAWINGS FOR FIXTURE SPECIFICATIONS.

K. ANY FIXTURES LOCATED IN AREAS WITH REMAINING HISTORIC TIN CEILINGS SHOULD BE CENTERED ON THE CEILING TILES, RATHER THAN PERFECTLY CENTERED IN THE SPACE. ADJUST THE GRID PLACEMENT/DIMENSIONS BY A FEW INCHES AS REQUIRED TO ACCOMMODATE THIS.

REFLECTED CEILING PLAN GRAPHIC KEY:

CH: 8'-0"	CEILING HEIGHT TAG (TYP 8'-0" U.N.O.)
---	SOFFIT/LOWERED GYP BD CEILING
///	AREA OF ATYPICAL FIRE-RATING. SEE PLANS & SHEET A0.01
WC	WATER CURTAIN HEAD TO PROVIDE 100% COVERAGE OF WINDOW- COORD W/ F.P PLANS
(NL)	DENOTES NIGHT LIGHT FIXTURE
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SD	COMBO SMOKE/CARBON MONOXIDE DETECTOR: IONIZATION (TYP BEDROOMS)
SDP	PHOTOELECTRIC
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Progress Dates
2023.04.28 - BID/PERMIT
2024.08.30 - BID SET 2

Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
TB, AM

PROPOSED PROJECT:
RENOVATION FOR
1732 VINE ST. / 1734 VINE ST.
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 08.30.2024

A1.21

SYMBOL	FIXTURE TYPE	REMARKS
SM1	SURFACE MOUNT LED CAN LIGHT	SM1 - GENERAL LIGHTS. PROVIDE DIMMERS IN RESIDENTIAL UNITS.
SM2		SM2 - DAMP RATED, TYPICAL IN SHOWERS.
SM3		SM3 - ALWAYS ON, TYPICAL IN COMMON STAIRHALLS.
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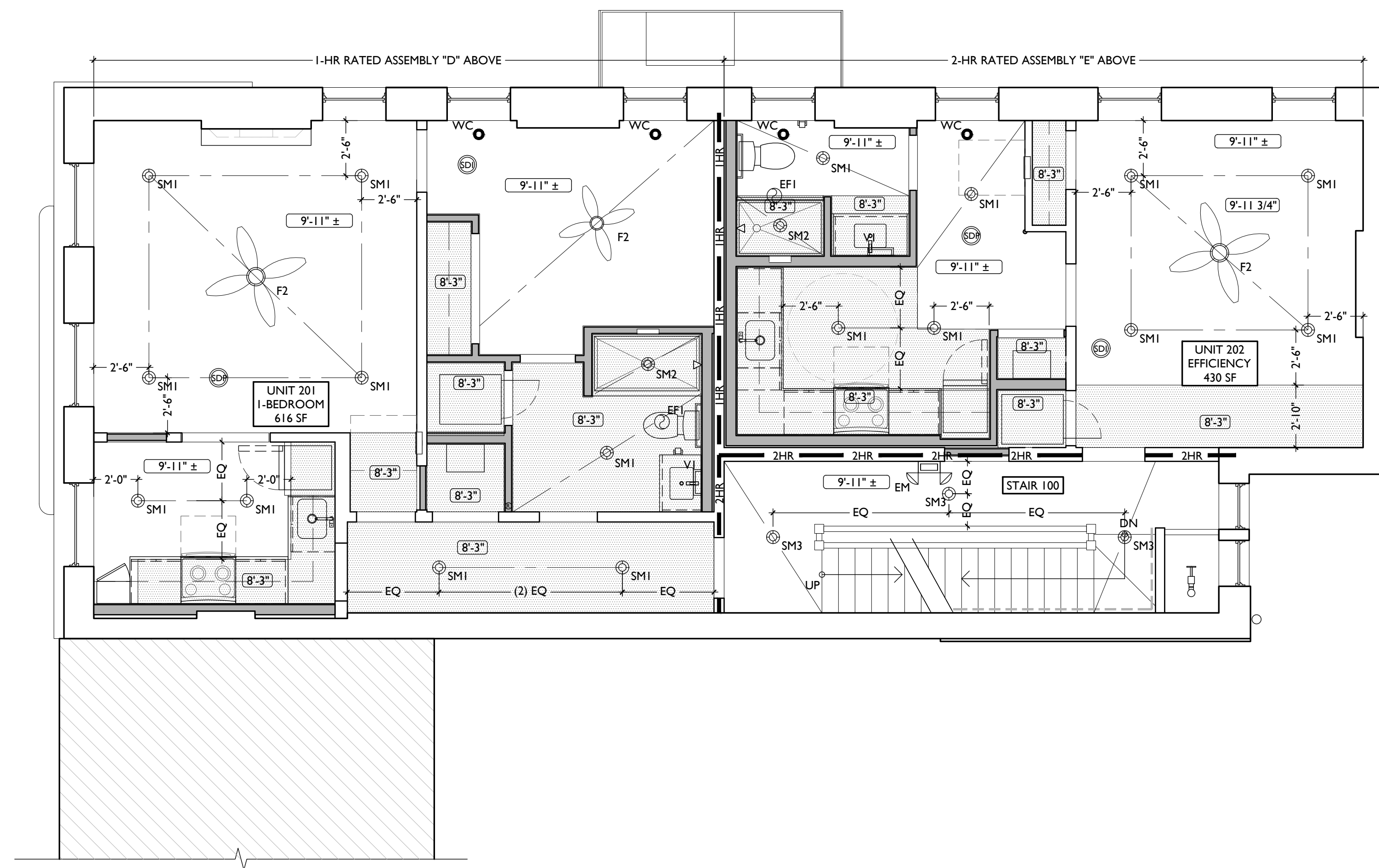
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Progress Dates
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 2024.08.30 - BID SET 2

Revisions

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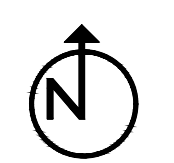
PROPOSED PROJECT:
 RENOVATION FOR
1732 VINE ST. / 1734 VINE ST.
 CINCINNATI, OH, 45202
 FINDLAY FLATS

Job No: 22042 08.30.2024

A1.22

SCALE: 1/4" = 1'-0"

REFLECTED CEILING PLAN - SECOND FLOOR



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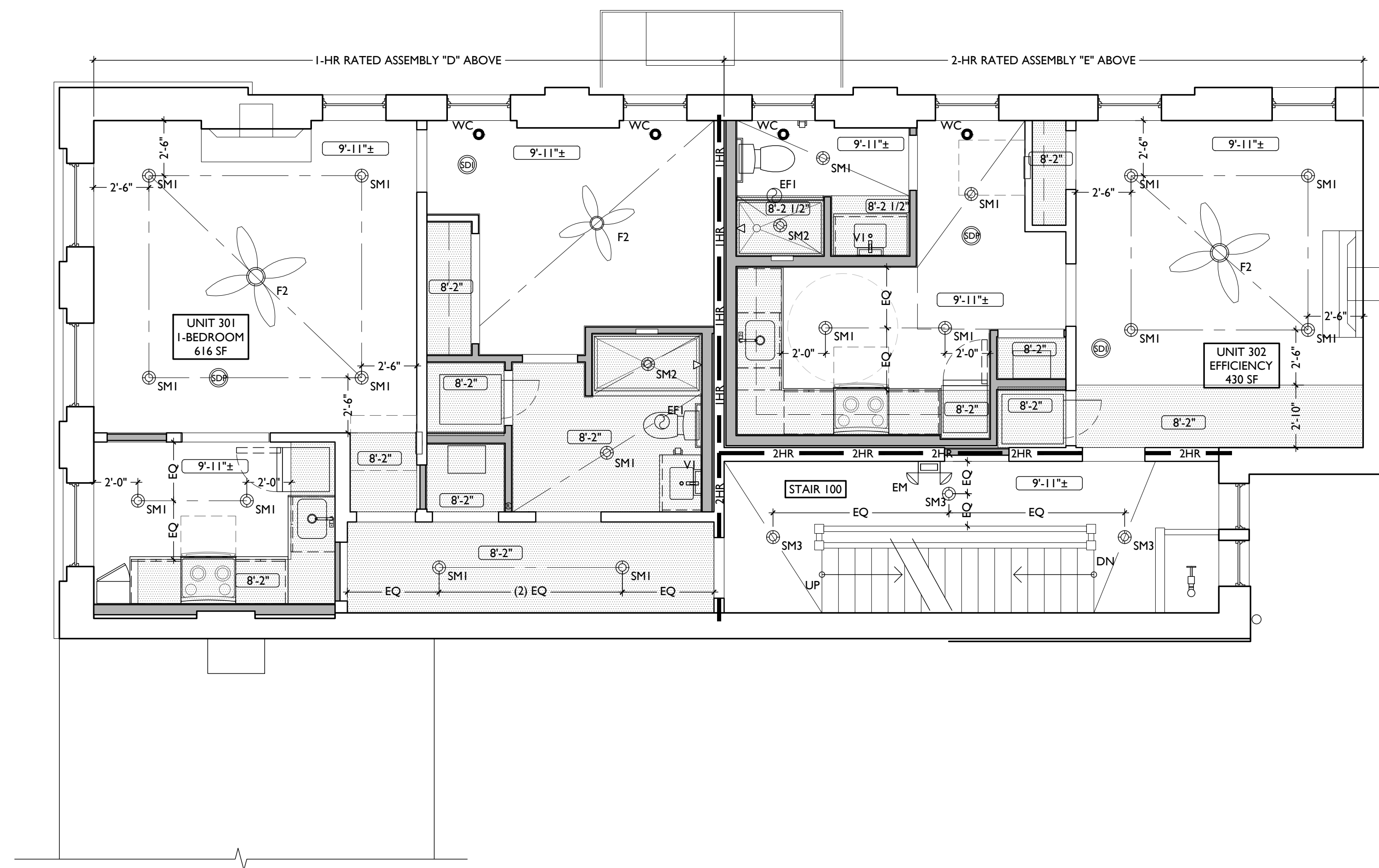
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SCALE: 1/4" = 1'-0"

REFLECTED CEILING PLAN - THIRD FLOOR



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Progress Dates
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Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
TB, AM

PROPOSED PROJECT:
RENOVATION FOR
1732 VINE ST. / 1734 VINE ST.
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 08.30.2024

A1.23

SYMBOL	FIXTURE TYPE	REMARKS
SM1	SURFACE MOUNT LED CAN LIGHT	SM1 - GENERAL LIGHTS. PROVIDE DIMMERS IN RESIDENTIAL UNITS.
SM2		SM2 - DAMP RATED, TYPICAL IN SHOWERS.
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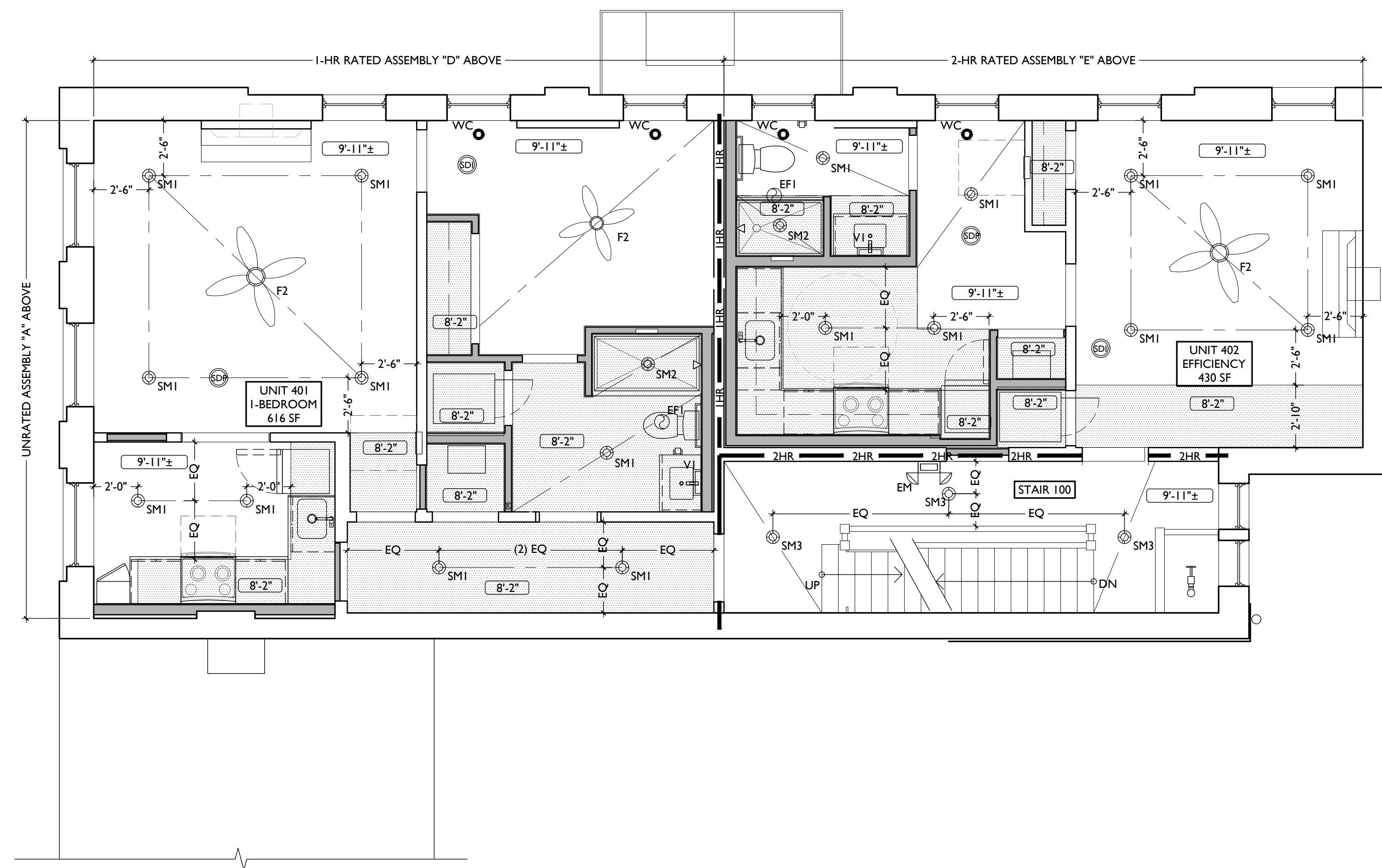
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SCALE: 1/4" = 1'-0"

REFLECTED CEILING PLAN - FOURTH FLOOR



Progress Dates
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Revisions

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PROPOSED PROJECT:
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A1.24

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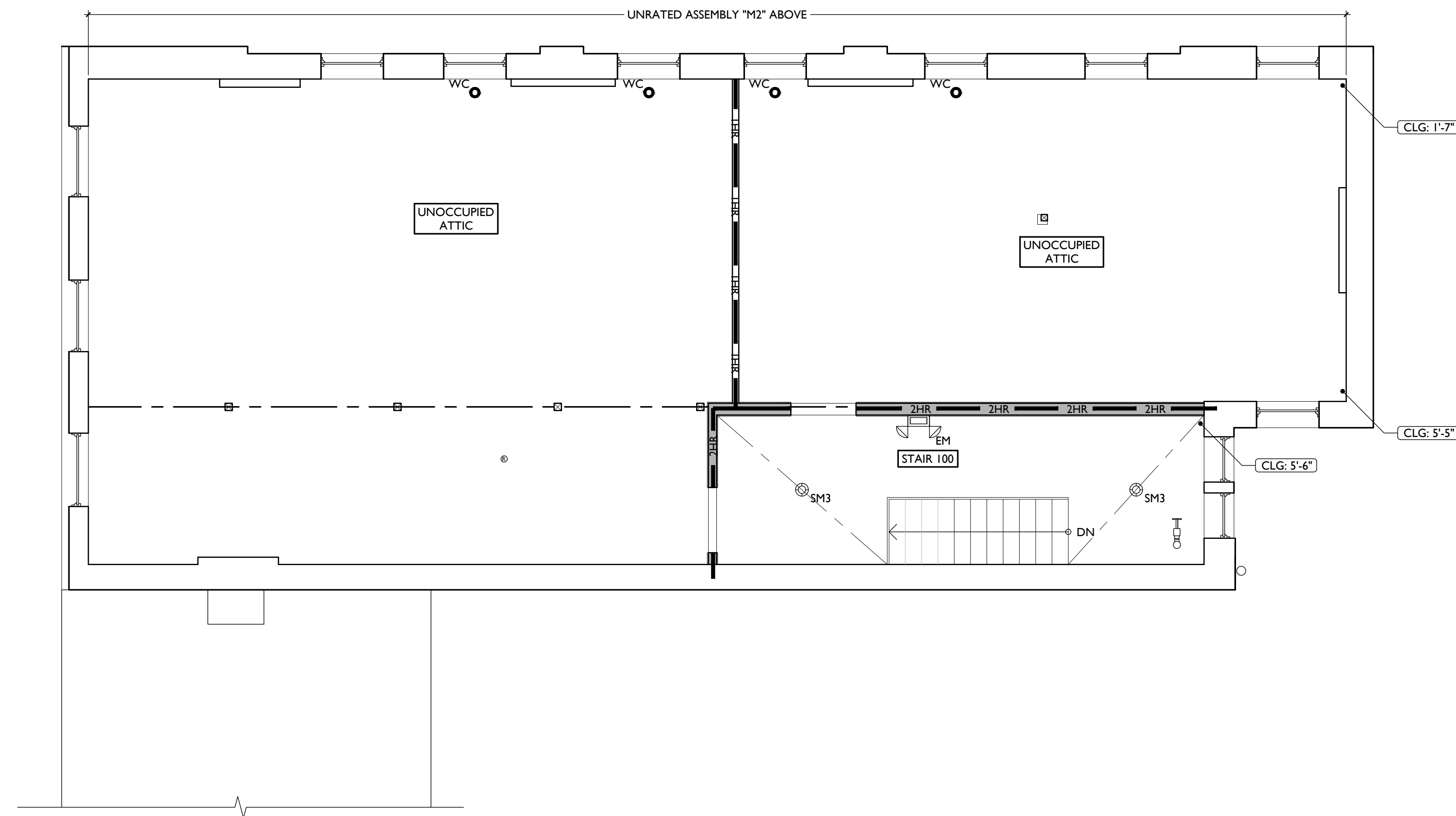
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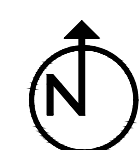
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SDP	PHOTOELECTRIC
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---	STRUCTURAL MEMBER - SEE STRUCTURAL DWGS



SCALE: 1/4" = 1'-0"

REFLECTED CEILING PLAN - ATTIC



Progress Dates
2023.04.28 - BID/PERMIT
2024.08.30 - BID SET 2

Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
TB, AM

PROPOSED PROJECT:
RENOVATION FOR
1732 VINE ST. / 1734 VINE ST.
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 08.30.2024

A1.25

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NEW WORK PLANS & ELEVATIONS [KEYED] NOTES:		NEW WORK GRAPHIC KEY:	
<p>THIS IS A HISTORIC TAX CREDIT PROJECT. ALL WORK MUST COMPLY W/ APPROVED PART 2, INCLUDING AMENDMENTS. THESE DOCUMENTS ARE PART OF THE PROJECT CONTRACT DOCUMENTS.</p> <p>KEYED NOTES KEYED NOTES ARE CATEGORIZED FOR ORGANIZATIONAL PURPOSES ONLY. NOTES MAY REQUIRE MATERIALS OR WORK IN CATEGORIES OTHER THAN WHERE THEY OCCUR. THE CONTRACTOR IS RESPONSIBLE FOR THE WORK DESCRIBED IN ALL APPLICABLE NOTES REGARDLESS OF THE CATEGORY IN WHICH THEY OCCUR.</p> <p>ALL KEYED NOTES LISTED MAY NOT APPLY TO THIS SHEET.</p>		<p>PARTITION TYPE - TYPE 1 U.N.O.</p> <p>KEYNOTE</p> <p>EXG WALL</p> <p>NEW PARTITION WALL</p> <p>NEW MASONRY WALL</p> <p>OBJECT OVERHEAD</p> <p>1HR 1-HR FIRE RATING</p> <p>2HR 2-HR FIRE RATING</p> <p>NEW FLOOR & FRAMING TO MATCH ADJ - SEE STRUCT DWGS.</p> <p>NEW GYP BD SOFFIT/ BULKHEAD/ DROPPED CLG - SEE RCPS.</p> <p>AREA OF ATYPICAL FIRE-RATED ASSEMBLY ABOVE</p> <p>100A DOOR TAG - SEE SCHEDULE</p> <p>A WINDOW DESIGNATION</p> <p>SFA STOREFRONT DESIGNATION</p> <p>E EMERGENCY EGRESS EXIT</p> <p>T OPG CONTAINS TEMPERED GLAZING</p> <p>SH SINGLE HUNG OPG - UPPER SASH TO BE FIXED WITHIN 3'-0" OF EXHAUST</p> <p>X-X" ELEVATION TAG</p>	
<p>3. CONCRETE</p> <p>3.1 SLAB TO REMAIN. SCOPE & VERIFY FLOOR DRAINS CONNECT TO SEWER. REPAIR AS REQUIRED.</p> <p>3.2 NEW CONCRETE SLAB W/ NEW FLOOR DRAIN(S) PER PLUMBING DRAWINGS. SLOPE 1/4"=12 MIN TO DRAIN. CONTROL JOINTS PER STRUCTURAL DWG. OR 10'0" O.C.</p> <p>3.3 NEW CONC. RETAINING WALL. SEE STRUCTURAL DWGS.</p> <p>3.4 EXG OPENING TO BASEMENT TO BE CAPPED WITH CONCRETE AT GRADE. WALL TO BE INFILLED W/ CMU. SEE CIVIL & STRUCT. FOR DETAILS.</p> <p>3.5 NEW CONCRETE STEPS, MAX RISER 7", MIN TREAD 11". SEE CIVIL FOR DETAILS.</p> <p>3.6 NEW CONCRETE SLAB ON GRADE. SEE CIVIL DRAWINGS.</p> <p>3.7 EXG OPENING TO BASEMENT TO BE CAPPED WITH CONCRETE AT GRADE. WALL TO BE INFILLED W/ CMU. SEE STRUCTURAL FOR INFILL AND CIVIL FOR CONCRETE FLATWORK ABOVE OPENING.</p> <p>4. MASONRY</p> <p>4.1 NEW CAST STONE LINTEL / SILL. SEE STRUCT.</p> <p>4.2 REMOVE LOOSE AND/OR CRACKED PARGING AS SHOWN ON STRUCT. ELEVATIONS & REPAIR TO MATCH FINISH OF EXG PARGING PAINT TO MATCH ADJ.</p>	<p>5. METALS</p> <p>5.1 NEW CONTINUOUS STEEL PIPE HANDRAIL. SEE DETAILS.</p> <p>5.2 NEW BLACK METAL PICKET FENCE, B.O.D. = BETA FENCE "UPGRADE" STEEL FENCE, 6'-0" TALL, 3 RAIL, W/ SUMMIT PICKETS AND STANDARD BOTTOM. COORD. FINAL SPEC W/ ARCHITECT. SEE CIVIL FOR TOTAL SCOPE BETWEEN 1732-34 VINE AND 1726-1730 VINE / 1675 HAMER.</p> <p>6. WOOD, PLASTICS, AND COMPOSITES</p> <p>6.1 REPAIR DAMAGED PIECES OF WOOD STAIRS.</p> <p>A. TREADS &/OR RISERS.</p> <p>B. BALUSTRADES/SIDEWALL.</p> <p>6.2 REPAIR & REPAINT EXG WAINSCOTING.</p> <p>6.3 NEW CASED OPENING: IF APPLICABLE, JAMB EXTENSIONS TO MATCH DEPTH OF OPENING. SEE FINISH SCHEDULE FOR TRIM SIZES.</p> <p>A. MATCH HEIGHT TO ADJACENT DOOR HEADS.</p> <p>B. MATCH HEIGHT TO ADJACENT TRANSOM HEADS.</p> <p>HISTORIC INTERIOR MANTEL TRIM.</p> <p>A. RETAIN & REPAIR.</p> <p>B. REPAINT.</p> <p>6.5 RETAIN & REPAIR STOREFRONT ELEMENTS.</p> <p>6.6 NEW RAKE TRIM AND GUTTER BOARD.</p> <p>6.7 STRUCTURAL POST. SEE STRUCTURAL DWGS.</p> <p>7. THERMAL AND MOISTURE PROTECTION</p> <p>7.1 REPAIR AND RELINE EXG BOX GUTTER; NEW PRE-FINISHED ALUMINUM DOWNSPOUT.</p> <p>7.2 NEW FULLY ADHERED MEMBRANE ROOF W/ CRICKETS WHERE REQUIRED FOR POSITIVE DRAINAGE AND WATERMINATION BARS & METAL COUNTERFLASHING - SEE ROOF DETAILS. INSULATION PER SCHEDULE.</p> <p>7.3 NEW ROOF ACCESS HATCH, INSTALL PER MANUF'S INSTRUCTS. BASIS OF DESIGN: BILCO F-507B 48" X 48".</p> <p>7.4 NEW ALUM CAP @ CHIMNEY. TYP ALL CHIMNEYS.</p> <p>7.5 EXG PARAPET TO REMAIN - REPAIR & REPLACE CAPS/COPING AS REQUIRED - SEE EXTERIOR ELEVATIONS.</p> <p>7.6 NEW PRE-FINISHED DOWNSPOUT. SEE EXTERIOR ELEVATIONS. TIE INTO EXG SEWER SYSTEM. PROVIDE NEW PVC AT LOWER 6' OF DOWNSPOUT. PAINT TO MATCH DOWNSPOUT.</p>	<p>7.7 NOT USED</p> <p>7.8 EXISTING HISTORIC CORNICE TO REMAIN. REPAIR AND REPLICATE ANY MISSING PIECES. REPAINT PER COLORED ELEVATIONS.</p> <p>8. 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SPECIALTIES</p> <p>10.1 LOCKABLE & RECESSED MAILBOXES. BOXES TO MEET USFS-4C STANDARDS & ACCESSIBILITY REQUIREMENTS. PROVIDE CONT. FIRE-RATING BEHIND MAILBOXES, WHEN REQ.</p> <p>10.2 ENTRY SYSTEM CALLBOX B.O.D. = "2N ACCESS CONTROL"</p> <p>10.3 CLOSETS W/ BLOCKING AT RODS & BRACKETS. PROVIDE 12" MELAMINE SHELF & CLOTHES ROD @ 66" A.F.F.; TYP U.N.O.:</p> <p>A. TYP. REACH-IN CLOSET</p> <p>B. WALK-IN CLOSET.</p> <p>C. ABOVE W/D.</p> <p>10.4 PROVIDE "NO SMOKING" SIGN AT EXTERIOR WALL</p> <p>10.5 FIRE EXTINGUISHER. COORDINATE FINAL LOCATION WITH LOCAL FIRE MARSHAL.</p> <p>A. SURFACE MOUNTED.</p> <p>B. IN SINK CABINET IN RESIDENTIAL UNIT, TYPICAL.</p> <p>10.6 PROVIDE BLOCKING FOR WALL-MOUNTED CHANGING STATION. SEE INT. ELEV.</p> <p>10.7 NOT USED.</p> <p>10.8 SHOWER NICHE. SEE ENLARGED PLANS, INTERIOR ELEVATIONS AND DETAIL 1/A5.00.</p> <p>10.9 FIRE ESCAPE ACCESS WINDOW.</p> <p>21. FIRE SUPPRESSION</p> <p>21.1 APPROX LOCATION OF FDC CONNECTION - COORDINATE W/ FIRE DEPT.</p> <p>21.2 SPRINKLER RISER. SEE PLUMBING DWGS.</p> <p>21.3 EXTERIOR TAMPERFLOW NOTIFICATION DEVICE - COORDINATE WITH ELECTRICAL AND FIRE PROTECTION SYSTEMS</p> <p>22. PLUMBING</p> <p>22.1 PROVIDE DRAIN PAN UNDER WASHING MACHINE / WATER HEATER.</p> <p>22.2 HOSEBIB LOCATION. SEE PLUMBING.</p> <p>22.3 PROVIDE RADON RISER, AS REQ'D BY OWNER'S CONSULTANT. RISER TO EXTEND FROM BASEMENT TO ATTIC. COORDINATE WITH PLUMBING</p> <p>22.4 LOCATION OF SPRINKLER EQUIPMENT. SEE PLUMBING.</p> <p>23. HEATING, VENTILATING, AND AIR CONDITIONING</p> <p>23.1 MECHANICAL UNIT(S) - HATCHED AREA SHOWS APPROXIMATE LOCATION OF NEW FIXED ROOF WALKWAY PADS. GUARDRAIL REQUIRED IF EQUIPMENT <10' FROM ROOF EDGE. PROVIDE OVER-FRAMED PLATFORM PER 11/A5.00. SEE HVAC & STRUCTURAL DWGS.</p> <p>26. ELECTRICAL</p> <p>26.1 ELECTRIC PANEL RECESSED IN WALL W/ 30"W X 36"D CLEAR IN FRONT. PAINT TO MATCH ADJACENT WALL W/ APPROPRIATE PAINT TYPE FOR PANEL.</p> <p>26.2 NEW MASTHEAD. SEE ELECT. AND CIVIL</p> <p>26.3 LOCATION OF ELECTRICAL EQUIPMENT. SEE ELECTRICAL.</p> <p>32. EXTERIOR IMPROVEMENTS</p> <p>32.1 NOT USED</p>	



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CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 08.30.2024

A2.11

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3. CONCRETE
3.1 SLAB TO REMAIN. SCOPE & VERIFY FLOOR DRAINS CONNECT TO SEWER. REPAIR AS REQUIRED.
3.2 NEW CONCRETE SLAB W/ NEW FLOOR DRAIN(S) PER PLUMBING DRAWINGS. SLOPE 1/4"=12 MIN TO DRAIN. CONTROL JOINTS PER STRUCTURAL DWG. OR 10'0" O.C.
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4.2 REMOVE LOOSE AND/OR CRACKED PARING AS SHOWN ON STRUCT. ELEVATIONS & REPAIR TO MATCH FINISH OF EXG PARING PAINT TO MATCH ADJ.

5. METALS
5.1 NEW CONTINUOUS STEEL PIPE HANDRAIL. SEE DETAILS.
5.2 NEW BLACK METAL PICKET FENCE, B.O.D. = RETAFENCE "UPGRADE" STEEL FENCE, 6'-0" TALL, 3 RAIL, W/ SUMMIT PICKETS AND STANDARD BOTTOM. COORD. FINAL SPEC W/ ARCHITECT. SEE CIVIL FOR TOTAL SCOPE BETWEEN 1732-34 VINE AND 1726-1730 VINE / 1675 HAMER.

6. WOOD, PLASTICS, AND COMPOSITES
6.1 REPAIR DAMAGED PIECES OF WOOD STAIRS.
A. TREADS &/OR RISERS.
B. BALUSTRADES/SIDEWALL.
6.2 REPAIR & REPAINT EXG WAINSCOTING.
6.3 NEW CASER OPENING: IF APPLICABLE, JAMB EXTENSIONS TO MATCH DEPTH OF OPENING. SEE FINISH SCHEDULE FOR TRIM SIZES.
A. MATCH HEIGHT TO ADJACENT DOOR HEADS.
B. MATCH HEIGHT TO ADJACENT TRANSOM HEADS.
6.4 HISTORIC INTERIOR MANTEL TRIM.
A. RETAIN & REPAIR.
B. REPAINT.
6.5 RETAIN & REPAIR STOREFRONT ELEMENTS.
6.6 NEW RAKE TRIM AND GUTTER BOARD
6.7 STRUCTURAL POST. SEE STRUCTURAL DWGS.

7. THERMAL AND MOISTURE PROTECTION
7.1 REPAIR AND RELINE EXG BOX GUTTER; NEW PRE-FINISHED ALUMINUM DOWNSPOUT.
7.2 NEW FULLY ADHERED MEMBRANE ROOF W/ CRACKETS WHERE REQUIRED FOR POSITIVE DRAINAGE AND W/TERMINATION BARS & METAL COUNTERFLASHING - SEE ROOF DETAILS. INSULATION PER SCHEDULE.
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9. FINISHES
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9.3 GHOST SIGN TO REMAIN.
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9.5 HISTORIC TIN CEILING TO BE REINSTALLED AT UNDERSIDE OF RATED ASSEMBLY.

10. SPECIALTIES
10.1 LOCKABLE & RECESSED MAILBOXES. BOXES TO MEET USFS-4C STANDARDS & ACCESSIBILITY REQUIREMENTS. PROVIDE CONT. FIRE-RATING BEHIND MAILBOXES, WHEN REQ.
10.2 ENTRY SYSTEM CALLBOX B.O.D. = "2N ACCESS CONTROL"
10.3 CLOSETS W/ BLOCKING AT RODS & BRACKETS. PROVIDE 12" MELAMINE SHELF & CLOTHES ROD @ 66" A.F.F.; TYP U.N.O.:

NEW WORK PLANS & ELEVATIONS [KEYED] NOTES:

A. TYP. REACH-IN CLOSET
B. WALK-IN CLOSET.
C. ABOVE W/D.
10.4 PROVIDE "NO SMOKING" SIGN AT EXTERIOR WALL
10.5 FIRE EXTINGUISHER. COORDINATE FINAL LOCATION WITH LOCAL FIRE MARSHAL.
A. SURFACE MOUNTED.
B. IN SINK CABINET IN RESIDENTIAL UNIT, TYPICAL.
10.6 PROVIDE BLOCKING FOR WALL-MOUNTED CHANGING STATION. SEE INT. ELEV.
10.7 NOT USED.
10.8 SHOWER NICHE. SEE ENLARGED PLANS, INTERIOR ELEVATIONS AND DETAIL 1/A5.00.
10.9 FIRE ESCAPE ACCESS WINDOW.

21. FIRE SUPPRESSION
21.1 APPROX LOCATION OF FDC CONNECTION - COORDINATE W/ FIRE DEPT.
21.2 SPRINKLER RISER. SEE PLUMBING DWGS.
21.3 EXTERIOR TAMPER/FLOW NOTIFICATION DEVICE - COORDINATE WITH ELECTRICAL AND FIRE PROTECTION SYSTEMS

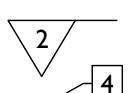
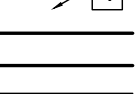
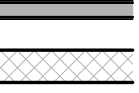
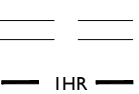
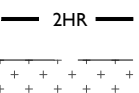
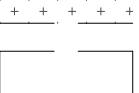

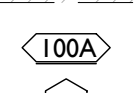


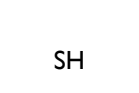
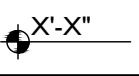






22. PLUMBING
22.1 PROVIDE DRAIN PAN UNDER WASHING MACHINE / WATER HEATER.
22.2 HOSEBIB LOCATION. SEE PLUMBING.
22.3 PROVIDE RADON RISER, AS REQ'D BY OWNER'S CONSULTANT. RISER TO EXTEND FROM BASEMENT TO ATTIC. COORDINATE WITH PLUMBING
22.4 LOCATION OF SPRINKLER EQUIPMENT. SEE PLUMBING.

23. HEATING, VENTILATING, AND AIR CONDITIONING
23.1 MECHANICAL UNIT(S) - HATCHED AREA SHOWS APPROXIMATE LOCATION OF NEW FIXED ROOF WALKWAY PADS. GUARDRAIL REQUIRED IF EQUIPMENT <10' FROM ROOF EDGE. PROVIDE OVER-FRAMED PLATFORM PER 1/A5.00. SEE HVAC & STRUCTURAL DWGS.

26. ELECTRICAL
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26.2 NEW MASTHEAD. SEE ELECT. AND CIVIL
26.3 LOCATION OF ELECTRICAL EQUIPMENT. SEE ELECTRICAL.

32. EXTERIOR IMPROVEMENTS
32.1 NOT USED

NEW WORK GRAPHIC KEY:

-  PARTITION TYPE - TYPE 1 U.N.O.
-  KEYNOTE
-  EXG WALL
-  NEW PARTITION WALL
-  NEW MASONRY WALL
-  OBJECT OVERHEAD.
-  1HR 1-HR FIRE RATING.
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-  AREA OF ATYPICAL FIRE-RATED ASSEMBLY ABOVE.
-  100A DOOR TAG. SEE SCHEDULE.
-  WINDOW DESIGNATION.
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-  EMERGENCY EGRESS EXIT.
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-  SH SINGLE HUNG OPG - UPPER SASH TO BE FIXED WITHIN 3'-0" OF EXHAUST.
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A. TREADS &/OR RISERS.
B. BALUSTRADES/SIDEWALL.
6.2 REPAIR & REPAINT EXG WAINSCOTING.
6.3 NEW CASED OPENING: IF APPLICABLE, JAMB EXTENSIONS TO MATCH DEPTH OF OPENING. SEE FINISH SCHEDULE FOR TRIM SIZES.
A. MATCH HEIGHT TO ADJACENT DOOR HEADS.
B. MATCH HEIGHT TO ADJACENT TRANSOM HEADS.
HISTORIC INTERIOR MANTEL TRIM.
A. RETAIN & REPAIR.
B. REPAINT.

- 6.5 RETAIN & REPAIR STOREFRONT ELEMENTS.
6.6 NEW RAKE TRIM AND GUTTER BOARD
6.7 STRUCTURAL POST. SEE STRUCTURAL DWGS.

- 7. THERMAL AND MOISTURE PROTECTION**
7.1 REPAIR AND RELINE EXG BOX GUTTER; NEW PRE-FINISHED ALUMINUM DOWNSPOUT.
7.2 NEW FULLY ADHERED MEMBRANE ROOF W/ CRICKETS WHERE REQUIRED FOR POSITIVE DRAINAGE AND WATERMINATION BARS & METAL COUNTERFLASHING - SEE ROOF DETAILS. INSULATION PER SCHEDULE.

- 7.3 NEW ROOF ACCESS HATCH, INSTALL PER MANUF'S INSTRUCTS. BASIS OF DESIGN: BILCO F-507B 48" X 48".
7.4 NEW ALUM CAP @ CHIMNEY. TYP ALL CHIMNEYS.
7.5 EXG PARAPET TO REMAIN - REPAIR & REPLACE CAPS/COPING AS REQUIRED - SEE EXTERIOR ELEVATIONS.
7.6 NEW PRE-FINISHED DOWNSPOUT. SEE EXTERIOR ELEVATIONS. TIE INTO EXG SEWER SYSTEM. PROVIDE NEW PVC AT LOWER 6' OF DOWNSPOUT. PAINT TO MATCH DOWNSPOUT.

- 7.7 NOT USED
7.8 EXISTING HISTORIC CORNICE TO REMAIN. REPAIR AND REPLICATE ANY MISSING PIECES. REPAINT PER COLORED ELEVATIONS.

- 8. OPENINGS**
8.1 NOT USED
8.2 NEW EXTERIOR BUILDING ENTRY DOOR AND FRAME - SEE DOOR SCHEDULE.
8.3 NOT USED
8.4 REPAIRED / REPLICATED HISTORIC WINDOW PER WINDOW TYPE. SEE ELEVS. FIX WINDOW IN CLOSED POSITION & BACK PAINT GLAZING BLACK. INFILL INTERIOR OPENING WITH DRYWALL FLUSH TO ADJACENT WALL.
8.5 EXG TRANSOM TO REMAIN AND BE COVERED ON UNIT SIDE WITH GYP BD TO ACHIEVE THE REQUIRED FIRE RATING. GYP BD IS TO BE PAINTED WHITE ON GLAZING SIDE. SEE FIRE-RATING DETAILS FOR MORE INFORMATION.

- 9. FINISHES**
9.1 MAINTAIN FIRE RATING BEHIND FIXED HISTORIC DOOR.
9.2 FIRE-RATING TO BE CONTINUOUS BEHIND PLUMBING/CHASE/FURRING WALL. FIRE RATING TO BE CONTINUOUS AT INTERSECTION W/ NON-RATED WALL.
9.3 GHOST SIGN TO REMAIN.
9.4 NEW PLASTER FINISH TO MATCH ADJ. WAINSCOT HEIGHT. PROVIDE CAP TRIM. PAINT TO MATCH ADJ. WAINSCOT.
9.5 HISTORIC TIN CEILING TO BE REINSTALLED AT UNDERSIDE OF RATED ASSEMBLY.

- 10. SPECIALTIES**
10.1 LOCKABLE & RECESSED MAILBOXES. BOXES TO MEET USFS-4C STANDARDS & ACCESSIBILITY REQUIREMENTS. PROVIDE CONT FIRE-RATING BEHIND MAILBOXES, WHEN REQ.
10.2 ENTRY SYSTEM CALLBOX B.O.D. = "2N ACCESS CONTROL" REQUIRED - SEE EXTERIOR ELEVATIONS.
10.3 CLOSETS W/ BLOCKING AT RODS & BRACKETS. PROVIDE 12" MELAMINE SHELF & CLOTHES ROD @ 66" A.F.F.; TYP U.N.O.:

- A. TYP. REACH-IN CLOSET
B. WALK-IN CLOSET.
C. ABOVE W/D.
10.4 PROVIDE "NO SMOKING" SIGN AT EXTERIOR WALL
10.5 FIRE EXTINGUISHER. COORDINATE FINAL LOCATION WITH LOCAL FIRE MARSHAL.
A. SURFACE MOUNTED.
B. IN SINK CABINET IN RESIDENTIAL UNIT, TYPICAL.
10.6 PROVIDE BLOCKING FOR WALL-MOUNTED CHANGING STATION. SEE INT. ELEVS.
10.7 NOT USED.
10.8 SHOWER NICHE. SEE ENLARGED PLANS, INTERIOR ELEVATIONS AND DETAIL 1/A5.00.
10.9 FIRE ESCAPE ACCESS WINDOW.

- 21. FIRE SUPPRESSION**
21.1 APPROX LOCATION OF FDC CONNECTION - COORDINATE W/ FIRE DEPT.
21.2 SPRINKLER RISER. SEE PLUMBING DWGS.
21.3 EXTERIOR TAMPERFLOW NOTIFICATION DEVICE - COORDINATE WITH ELECTRICAL AND FIRE PROTECTION SYSTEMS



















- 22. PLUMBING**
22.1 PROVIDE DRAIN PAN UNDER WASHING MACHINE / WATER HEATER.
22.2 HOSEBIB LOCATION. SEE PLUMBING.
22.3 PROVIDE RADON RISER, AS REQ'D BY OWNER'S CONSULTANT. RISER TO EXTEND FROM BASEMENT TO ATTIC. COORDINATE WITH PLUMBING
22.4 LOCATION OF SPRINKLER EQUIPMENT. SEE PLUMBING.

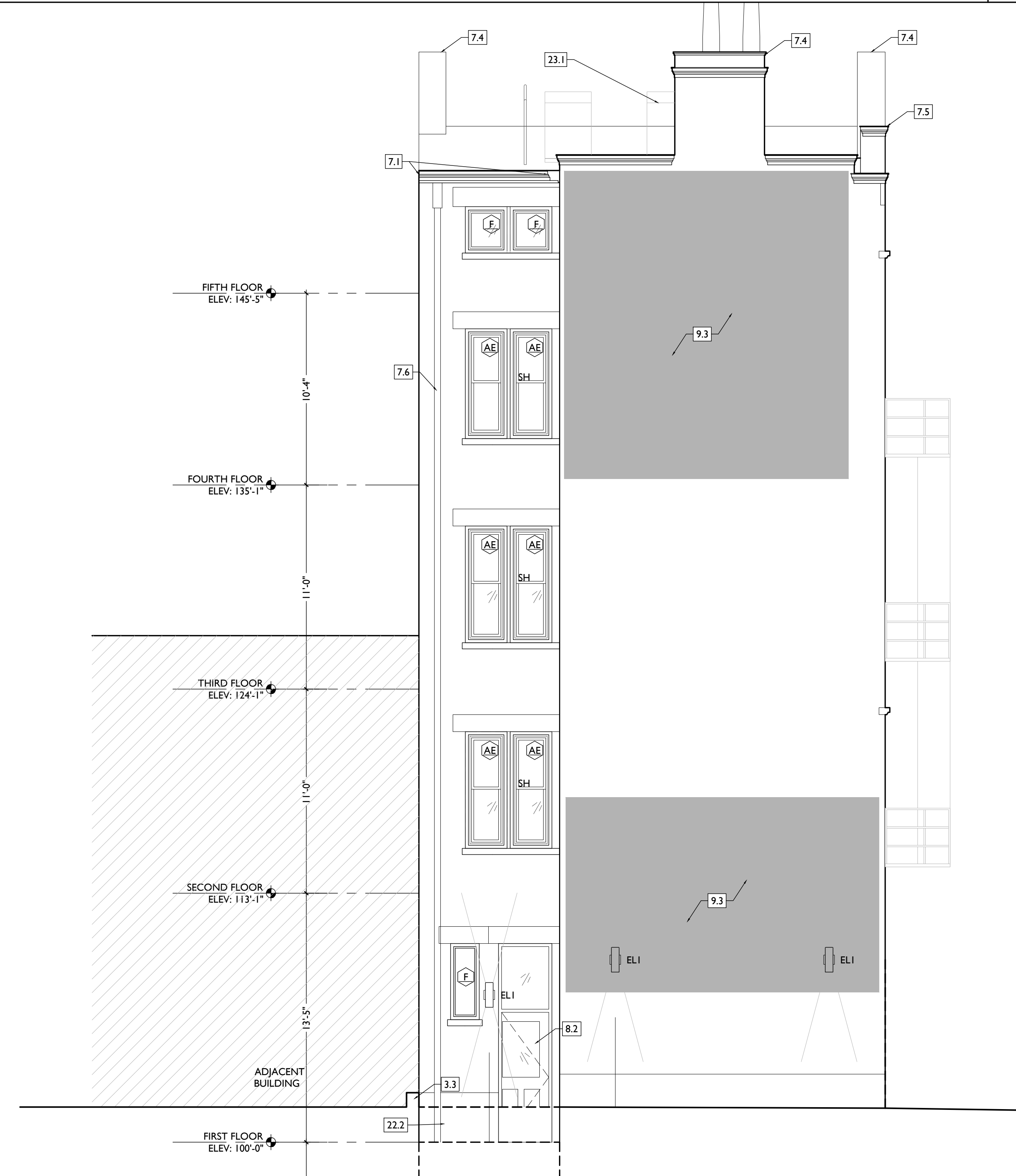
- 23. HEATING, VENTILATING, AND AIR CONDITIONING**
23.1 MECHANICAL UNIT(S) - HATCHED AREA SHOWS APPROXIMATE LOCATION OF NEW FIXED ROOF WALKWAY PADS. GUARDRAIL REQUIRED IF EQUIPMENT <10' FROM ROOF EDGE. PROVIDE OVER-FRAMED PLATFORM PER 11/A5.00. SEE HVAC & STRUCTURAL DWGS.

- 26. ELECTRICAL**
26.1 ELECTRIC PANEL RECESSED IN WALL W/ 30"W X 36"D CLEAR IN FRONT. PAINT TO MATCH ADJACENT WALL W APPROPRIATE PAINT TYPE FOR PANEL.
26.2 NEW MASTHEAD. SEE ELECT. AND CIVIL
26.3 LOCATION OF ELECTRICAL EQUIPMENT. SEE ELECTRICAL.

- 32. EXTERIOR IMPROVEMENTS**
32.1 NOT USED

NEW WORK GRAPHIC KEY:

-  PARTITION TYPE - TYPE 1 U.N.O.
-  KEYNOTE
-  EXG WALL
-  NEW PARTITION WALL
-  NEW MASONRY WALL
-  OBJECT OVERHEAD
-  1-HR FIRE RATING
-  2-HR FIRE RATING
-  NEW FLOOR & FRAMING TO MATCH ADJ - SEE STRUCT DWGS.
-  NEW GYP BD SOFFIT/ BULKHEAD/ DROPPED CLG - SEE RCFS.
-  AREA OF ATYPICAL FIRE-RATED ASSEMBLY ABOVE
-  DOOR TAG. SEE SCHEDULE.
-  WINDOW DESIGNATION.
-  STOREFRONT DESIGNATION.
-  EMERGENCY EGRESS EXIT.
-  OPG CONTAINS TEMPERED GLAZING.
-  SINGLE HUNG OPG - UPPER SASH TO BE FIXED WITHIN 3'-0" OF EXHAUST.
-  ELEVATION TAG.



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Revisions

Design Team:
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TB, AM

PROPOSED PROJECT:
RENOVATION FOR
1732 VINE ST. / 1734 VINE ST.
CINCINNATI, OH, 45202
FINDLAY FLATS

NEW WORK PLANS & ELEVATIONS [KEYED] NOTES:		NEW WORK GRAPHIC KEY:	
<p>THIS IS A HISTORIC TAX CREDIT PROJECT. ALL WORK MUST COMPLY W/ APPROVED PART 2, INCLUDING AMENDMENTS. THESE DOCUMENTS ARE PART OF THE PROJECT CONTRACT DOCUMENTS.</p> <p>KEYED NOTES KEYED NOTES ARE CATEGORIZED FOR ORGANIZATIONAL PURPOSES ONLY. NOTES MAY REQUIRE MATERIALS OR WORK IN CATEGORIES OTHER THAN WHERE THEY OCCUR. THE CONTRACTOR IS RESPONSIBLE FOR THE WORK DESCRIBED IN ALL APPLICABLE NOTES REGARDLESS OF THE CATEGORY IN WHICH THEY OCCUR.</p> <p>ALL KEYED NOTES LISTED MAY NOT APPLY TO THIS SHEET.</p>		<p>PARTITION TYPE - TYPE 1 U.N.O.</p> <p>KEYNOTE</p> <p>EXG WALL</p> <p>NEW PARTITION WALL</p> <p>NEW MASONRY WALL</p> <p>OBJECT OVERHEAD</p> <p>1-HR FIRE RATING</p> <p>2-HR FIRE RATING</p> <p>NEW FLOOR & FRAMING TO MATCH ADJ - SEE STRUCT DWGS.</p> <p>NEW GYP BD SOFFIT/ BULKHEAD/ DROPPED CLG - SEE RCPS.</p> <p>AREA OF ATYPICAL FIRE-RATED ASSEMBLY ABOVE</p> <p>DOOR TAG - SEE SCHEDULE</p> <p>WINDOW DESIGNATION</p> <p>STOREFRONT DESIGNATION</p> <p>EMERGENCY EGRESS EXIT</p> <p>OPG CONTAINS TEMPERED GLAZING</p> <p>SINGLE HUNG OPG - UPPER SASH TO BE FIXED WITHIN 3'-0" OF EXHAUST</p> <p>ELEVATION TAG</p>	
<p>3. CONCRETE</p> <p>3.1 SLAB TO REMAIN. SCOPE & VERIFY FLOOR DRAINS CONNECT TO SEWER. REPAIR AS REQUIRED.</p> <p>3.2 NEW CONCRETE SLAB W/ NEW FLOOR DRAIN(S) PER PLUMBING DRAWINGS. SLOPE 1/4"=12 MIN TO DRAIN. CONTROL JOINTS PER STRUCTURAL DWG. OR 10'0" O.C.</p> <p>3.3 NEW CONC. RETAINING WALL. SEE STRUCTURAL DWGS.</p> <p>3.4 EXG OPENING TO BASEMENT TO BE CAPPED WITH CONCRETE AT GRADE. WALL TO BE INFILLED W/ CMU. SEE CIVIL & STRUCT. FOR DETAILS.</p> <p>3.5 NEW CONCRETE STEPS, MAX RISER 7", MIN TREAD 11". SEE CIVIL FOR DETAILS.</p> <p>3.6 NEW CONCRETE SLAB ON GRADE. SEE CIVIL DRAWINGS.</p> <p>3.7 EXG OPENING TO BASEMENT TO BE CAPPED WITH CONCRETE AT GRADE. WALL TO BE INFILLED W/ CMU. SEE STRUCTURAL FOR INFILL AND CIVIL FOR CONCRETE FLATWORK ABOVE OPENING.</p> <p>4. MASONRY</p> <p>4.1 NEW CAST STONE LINTEL / SILL. SEE STRUCT.</p> <p>4.2 REMOVE LOOSE AND/OR CRACKED PARING AS SHOWN ON STRUCT. ELEVATIONS & REPAIR TO MATCH FINISH OF EXG PARING PAINT TO MATCH ADJ.</p>	<p>5. METALS</p> <p>5.1 NEW CONTINUOUS STEEL PIPE HANDRAIL. SEE DETAILS.</p> <p>5.2 NEW BLACK METAL PICKET FENCE, B.O.D. = RETAFENCE "UPGRADE" STEEL FENCE, 6'-0" TALL, 3 RAIL, W/ SUMMIT PICKETS AND STANDARD BOTTOM. COORD. FINAL SPEC W/ ARCHITECT. SEE CIVIL FOR TOTAL SCOPE BETWEEN 1732-34 VINE AND 1726-1730 VINE / 1675 HAMER.</p> <p>6. WOOD, PLASTICS, AND COMPOSITES</p> <p>6.1 REPAIR DAMAGED PIECES OF WOOD STAIRS.</p> <p>A. TREADS &/OR RISERS.</p> <p>B. BALUSTRADES/SIDEWALL.</p> <p>6.2 REPAIR & REPAINT EXG WAINSCOTING.</p> <p>6.3 NEW CASED OPENING: IF APPLICABLE, JAMB EXTENSIONS TO MATCH DEPTH OF OPENING. FINISH SCHEDULE FOR TRIM SIZES.</p> <p>A. MATCH HEIGHT TO ADJACENT DOOR HEADS.</p> <p>B. MATCH HEIGHT TO ADJACENT TRANSOM HEADS.</p> <p>HISTORIC INTERIOR MANTEL TRIM.</p> <p>A. RETAIN & REPAIR.</p> <p>B. REPAINT.</p> <p>6.5 RETAIN & REPAIR STOREFRONT ELEMENTS.</p> <p>6.6 NEW RAKE TRIM AND GUTTER BOARD</p> <p>6.7 STRUCTURAL POST. SEE STRUCTURAL DWGS.</p> <p>7. THERMAL AND MOISTURE PROTECTION</p> <p>7.1 REPAIR AND RELINE EXG BOX GUTTER; NEW PRE-FINISHED ALUMINUM DOWNSPOUT.</p> <p>7.2 NEW FULLY ADHERED MEMBRANE ROOF W/ CRACKETS WHERE REQUIRED FOR POSITIVE DRAINAGE AND W/TERMINATION BARS & METAL COUNTERFLASHING - SEE ROOF DETAILS. INSULATION PER SCHEDULE.</p> <p>7.3 NEW ROOF ACCESS HATCH, INSTALL PER MANUF'S INSTRUCTS. BASIS OF DESIGN: BILCO F-507B 48" X 48".</p> <p>7.4 NEW ALUM CAP @ CHIMNEY. TYP ALL CHIMNEYS.</p> <p>7.5 EXG PARAPET TO REMAIN - REPAIR & REPLACE CAPS/COPING AS REQUIRED - SEE EXTERIOR ELEVATIONS.</p> <p>7.6 NEW PRE-FINISHED DOWNSPOUT. SEE EXTERIOR ELEVATIONS. TIE INTO EXG SEWER SYSTEM. PROVIDE NEW PVC AT LOWER 6' OF DOWNSPOUT. PAINT TO MATCH DOWNSPOUT.</p>	<p>7.7 NOT USED</p> <p>7.8 EXISTING HISTORIC CORNICE TO REMAIN. REPAIR AND REPLICATE ANY MISSING PIECES. REPAINT PER COLORED ELEVATIONS.</p> <p>8. OPENINGS</p> <p>8.1 NOT USED</p> <p>8.2 NEW EXTERIOR BUILDING ENTRY DOOR AND FRAME - SEE DOOR SCHEDULE.</p> <p>8.3 NOT USED</p> <p>8.4 REPAIRED / REPLICATED HISTORIC WINDOW PER WINDOW TYPE. SEE ELEVS. FIX WINDOW IN CLOSED POSITION & BACK PAINT GLAZING BLACK. INFILL INTERIOR OPENING WITH DRYWALL FLUSH TO ADJACENT WALL.</p> <p>8.5 EXG TRANSOM TO REMAIN AND BE COVERED ON UNIT SIDE WITH GYP BD TO ACHIEVE THE REQUIRED FIRE RATING. GYP BD IS TO BE PAINTED WHITE ON GLAZING SIDE. SEE FIRE-RATING DETAILS FOR MORE INFORMATION.</p> <p>9. FINISHES</p> <p>9.1 MAINTAIN FIRE RATING BEHIND FIXED HISTORIC DOOR.</p> <p>9.2 FIRE-RATING TO BE CONTINUOUS BEHIND PLUMBING/CHASE/ FURRING WALL. FIRE RATING TO BE CONTINUOUS AT INTERSECTION W/ NON-RATED WALL.</p> <p>9.3 GHOST SIGN TO REMAIN.</p> <p>9.4 NEW PLASTER FINISH TO MATCH ADJ. WAINSCOT HEIGHT. PROVIDE CAP TRIM. PAINT TO MATCH ADJ. WAINSCOT.</p> <p>9.5 HISTORIC TIN CEILING TO BE REINSTALLED AT UNDERSIDE OF RATED ASSEMBLY.</p> <p>10. SPECIALTIES</p> <p>10.1 LOCKABLE & RECESSED MAILBOXES. BOXES TO MEET USFS-4C STANDARDS & ACCESSIBILITY REQUIREMENTS. PROVIDE CONT FIRE-RATING BEHIND MAILBOXES, WHEN REQ.</p> <p>10.2 ENTRY SYSTEM CALLBOX B.O.D. = "2N ACCESS CONTROL"</p> <p>10.3 CLOSETS W/ BLOCKING AT RODS & BRACKETS. PROVIDE 12" MELAMINE SHELF & CLOTHES ROD @ 66" A.F.F.; TYP U.N.O.:</p> <p>A. TYP. REACH-IN CLOSET</p> <p>B. WALK-IN CLOSET.</p> <p>C. ABOVE WID.</p> <p>10.4 PROVIDE "NO SMOKING" SIGN AT EXTERIOR WALL</p> <p>10.5 FIRE EXTINGUISHER. COORDINATE FINAL LOCATION WITH LOCAL FIRE MARSHAL.</p> <p>A. SURFACE MOUNTED.</p> <p>B. IN SINK CABINET IN RESIDENTIAL UNIT, TYPICAL.</p> <p>10.6 PROVIDE BLOCKING FOR WALL-MOUNTED CHANGING STATION. SEE INT. ELEV.</p> <p>10.7 NOT USED.</p> <p>10.8 SHOWER NICHE. SEE ENLARGED PLANS, INTERIOR ELEVATIONS AND DETAIL 1/A5.00.</p> <p>10.9 FIRE ESCAPE ACCESS WINDOW.</p> <p>21. FIRE SUPPRESSION</p> <p>21.1 APPROX LOCATION OF FDC CONNECTION - COORDINATE W/ FIRE DEPT.</p> <p>21.2 SPRINKLER RISER. SEE PLUMBING DWGS.</p> <p>21.3 EXTERIOR TAMPERFLOW NOTIFICATION DEVICE - COORDINATE WITH ELECTRICAL AND FIRE PROTECTION SYSTEMS</p> <p>22. PLUMBING</p> <p>22.1 PROVIDE DRAIN PAN UNDER WASHING MACHINE / WATER HEATER.</p> <p>22.2 HOSEBIB LOCATION. SEE PLUMBING.</p> <p>22.3 PROVIDE RADON RISER, AS REQ'D BY OWNER'S CONSULTANT. RISER TO EXTEND FROM BASEMENT TO ATTIC. COORDINATE WITH PLUMBING</p> <p>22.4 LOCATION OF SPRINKLER EQUIPMENT. SEE PLUMBING.</p> <p>23. HEATING, VENTILATING, AND AIR CONDITIONING</p> <p>23.1 MECHANICAL UNIT(S) - HATCHED AREA SHOWS APPROXIMATE LOCATION OF NEW FIXED ROOF WALKWAY PADS. GUARDRAIL REQUIRED IF EQUIPMENT <10' FROM ROOF EDGE. PROVIDE OVER-FRAMED PLATFORM PER 11/A5.00. SEE HVAC & STRUCTURAL DWGS.</p> <p>26. ELECTRICAL</p> <p>26.1 ELECTRIC PANEL RECESSED IN WALL W/ 30"W X 36"D CLEAR IN FRONT. PAINT TO MATCH ADJACENT WALL W APPROPRIATE PAINT TYPE FOR PANEL.</p> <p>26.2 NEW MASTHEAD. SEE ELECT. AND CIVIL</p> <p>26.3 LOCATION OF ELECTRICAL EQUIPMENT. SEE ELECTRICAL.</p> <p>32. EXTERIOR IMPROVEMENTS</p> <p>32.1 NOT USED</p>	



SCALE: 1/4" = 1'-0" PROPOSED ELEVATION - SOUTH |

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Progress Dates
2023.04.28 - BID/PERMIT
2024.08.30 - BID SET 2

Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
TB, AM

PROPOSED PROJECT:
**RENOVATION FOR
1732 VINE ST. / 1734 VINE ST.**
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 08.30.2024

A2.14

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A4.00

APPLIANCE/ EQUIPMENT SCHEDULE

ITEM/ LOCATION	CODE	DESCRIPTION	FINISH	NOTES
MICROWAVE HOOD, RESIDENTIAL KITCHENS	EQ-1	MANU: GE - 1.7 CU.FT. OVER-THE-OVEN MICROWAVE OVEN OUTSIDE EXHAUST - VERTICAL VENT MODEL: JWM3162RJS5	STAINLESS	MOUNTING HEIGHT, SEE ELEVATIONS.
RANGE/OVEN, RESIDENTIAL KITCHENS	EQ-2	MANU: GE-PROFILE-30" WIDE 5.3 CU.FT. FREE STANDING ELECTRIC FINGERPRINT RESISTANT RANGE WITH CONVECTION OVEN MODEL: P8935TPFS	STAINLESS	MOUNTING HEIGHT, SEE ELEVATIONS.
DISHWASHER, RESIDENTIAL KITCHENS	EQ-3	MANU: GE-24" WIDE DISHWASHER WITH FRONT CONTROLS MODEL: GDF510PSRSS	STAINLESS	MOUNTING HEIGHT, SEE ELEVATIONS.
REFRIGERATOR, 1 BEDROOM & EFFICIENCY UNITS	EQ-4	MANU: GE - 24" WIDE SMALL SPACE TOP-FREEZER REFRIGERATOR - 11.6 CU.FT MODEL: GPE12FSKSB	STAINLESS WITH BLACK HANDLES	MOUNTING HEIGHT, SEE ELEVATIONS.
REFRIGERATOR 2&3 BEDROOM UNITS	EQ-5	MANU: GE - 30" WIDE TOP-FREEZER REFRIGERATOR - 19.2 CU.FT. MODEL: GPE12FSKB	FINGERPRINT RESISTANT STAINLESS	MOUNTING HEIGHT, SEE ELEVATIONS.
WASHER, RESIDENTIAL UNITS	EQ-6	MANU: GE - 27" WIDE FRONT LOAD WASHER 4.5 DOE CU.FT. MODEL: GFW430SSMWW	WHITE	MOUNTING HEIGHT, SEE PLANS
DRYER, RESIDENTIAL UNITS	EQ-7	MANU: GE - 27" WIDE FRONT LOAD DRYER 7.5 CU.FT. CAPACITY	WHITE	MOUNTING HEIGHT, SEE PLANS
WASHER, SHARED LAUNDRY FACILITIES	EQ-8	MANU: SPEED QUEEN QUANTUM GOLD FRONT CONTROL FRONT LOAD WASHER	WHITE	MOUNTING HEIGHT, SEE PLANS
DRYER, SHARED LAUNDRY FACILITIES	EQ-9	MANU: SPEED QUEEN QUANTUM GOLD PRO FRONT CONTROL SINGLE DRYER	WHITE	MOUNTING HEIGHT, SEE PLANS
MICROWAVE, ACCESSIBLE RESIDENTIAL KITCHENS	EQ-10	MANU: FRIGIDAIRE GALLERY - 2.2 CU.FT. BELOW COUNTERTOP BUILT-IN MICROWAVE OVEN (#GMB3068AF) W/ 27" TRIM KIT	STAINLESS	MOUNTING HEIGHT, SEE ELEVATIONS.
RANGE HOOD, ACCESSIBLE RESIDENTIAL KITCHENS	EQ-11	MANU: GE - 30" WIDE OVER THE RANGE CONVERTIBLE HOOD	FINGERPRINT RESISTANT STAINLESS	MOUNTING HEIGHT, SEE ELEVATIONS.

TYPICAL UNIT FINISHES SCHEDULE

MATERIAL / LOCATION	CODE	DESCRIPTION	NOTES	SOURCE
FLOORING				
EXISTING WOOD FLOORING - WHERE MAINTAINED	FL-1	EXISTING WOOD FLOORING FINISH: MINWAX STAIN COLOR: HEIRLOOM OAK MW441	STRIP, SAND AND STAIN PER MANUFACTURER'S SPECIFICATIONS	
NEW WOOD FLOORING - WHERE REQUIRED	FL-2	MANU: WOODWARD FLOORING FINISH: NATURAL WHITE OAK PLANK WIDTH: 3.25"	SEE FINISH PLANS FOR INSTALL DIRECTION.	
FLOOR TILE - BATHROOMS AND ADJACENT MEP/LAUNDRY ROOMS	FL-3	MANU: FLORIDA TILE COLLECTION: AURA COLOR: EARTH BEIGE SIZE: 12 X 24 - 3/8" THICKNESS GROUT: LATICRETE; COLOR: 97 IRON INSTALL: RUNNING BOND WITH 1/3 OFFSET	PROVIDE LIQUID APPLIED WATERPROOF MEMBRANE BELOW TILE AND FIRESTOP SEALANT AT FLOOR PENETRATIONS	FLORIDA TILE EMILY FISCHER@FLORIDATILE.COM 513.824.1791
VCT - MEP/LAUNDRY ROOM FLOORS	FL-4	MANU: ARMSTRONG COLLECTION: EXCELON VCT COLOR: 51861 SOFT WARM GRAY	USE IN LAUNDRY AND MEP ONLY IF ROOM IS NOT ADJACENT TO BATHROOM. UNDERLAYMENT AS REQ'D.	PAUL MCKAY PAMCKAY@ARMSTRONGFLOORING.COM 513.515.0228
FLOOR TILE - KITCHENS WHERE REQUIRED	FL-5	MANU: FLORIDA TILE COLLECTION: AURA COLOR: EARTH BEIGE SIZE: 12 X 24 - 3/8" THICKNESS GROUT: LATICRETE; COLOR: 97 IRON INSTALL: RUNNING BOND WITH 1/3 OFFSET	PROVIDE LIQUID APPLIED WATERPROOF MEMBRANE BELOW TILE AND FIRESTOP SEALANT AT FLOOR PENETRATIONS	FLORIDA TILE EMILY FISCHER@FLORIDATILE.COM 513.824.1791
FLOOR TILE - RECESSED EXTERIOR ENTRY WHERE REQUIRED	FL-6	MANU: FIRE EARTH COLOR: BLACK, PORCELAIN FINISH: MATTE SIZE: 1X1 GROUT: LATICRETE; COLOR: 24 NATURAL GRAY STRAIGHT JOINT	SEE FINISH PLANS FOR LOCATION. SEE DETAILS. INSTALL PER MANUFACTURER'S INSTRUCTIONS.	THE TILE SHOP ITEM #615819
WALL TILE				
TILE - SHOWER WALLS	WT-1	MANU: FLORIDA TILE COLLECTION: ALUSTRA SIZE: 12x24 COLOR: MAJESTIC WHITE GROUT: MAPEI 11; COLOR: 93 WARM GREY INSTALL: HORIZONTAL RUNNING BOND	BLACK SCHLUTER EDGE	LOUISVILLE TILE ROBYN VIDIC RVIDIC@LOUISVILLE-TILE.COM 513-276-4840
TILE - KITCHEN BACKSPLASH	WT-2	MANU: MOSA COLLECTION: COLORS SIZE: 6X6 COLOR: ACCENT WHITE GROUT: MAPEI 11; COLOR: WARM GRAY INSTALL: HORIZONTAL RUNNING BOND		
PAINT				
GENERAL PAINT - UNIT AND CORRIDOR WALLS AND CEILING	PT-1	MANU: PPG ARCHITECTURAL COATINGS COLOR: SILVER FEATHER - PPG 1002-1	WALL FINISH: SATIN CEILING FINISH: FLAT	
PAINT - UNIT TRIM	PT-2	MANU: PPG ARCHITECTURAL COATINGS COLOR: IN THE CLOUD - PPG 0999-1	BASE, TRIM, MILLWORK FINISH: SEMI-GLOSS	
PAINT - UNIT ENTRY DOORS CORRIDOR: HISTORIC MILLWORK & STAIR RISERS AS REQ'D PER BUILDING	PT-3	MANU: PPG ARCHITECTURAL COATINGS COLOR: IN THE CLOUD - PPG 0999-1	FINISH: SEMI-GLOSS	
PAINT - STAIR TREADS AND/OR RISERS, AND RAILING BALUSTER AS REQ'D PER BUILDING	PT-4	MANU: PPG ARCHITECTURAL COATINGS COLOR: STONEHENGE GREIGE - PPG 1024-5	FINISH: SEMI-GLOSS SEE FINISH FLOOR PLANS	
WALL BASE				
HISTORIC WOOD BASE - WHERE ABLE TO RETAIN	WB-1	IN-UNIT: PT-2 STAIR HALL: PT-3	KEEP ALL HISTORIC BASE - REPAIR/RETAIN WHEN PRESENT. PATCH TO MATCH ADJACENT. CLEAN, SAND, AND PAINT.	
TILE BASE - BATHROOMS	WB-2	MANU: FLORIDA TILE COLLECTION: AURA COLOR: EARTH BEIGE SIZE: 12 X 24 - 3/8" THICKNESS GROUT: LATICRETE - 97 IRON	TILE TO ALIGN WITH WALL BASE 3 X 24" BLACK SCHLUTER EDGE	LOUISVILLE TILE ROBYN VIDIC RVIDIC@LOUISVILLE-TILE.COM 513-276-4840
TYPICAL NEW PAINTED WOOD BASE - WHERE REQUIRED.	WB-3	CONTRACTOR PROVIDED 1X6 POPLAR W/ TOE MOLDING		

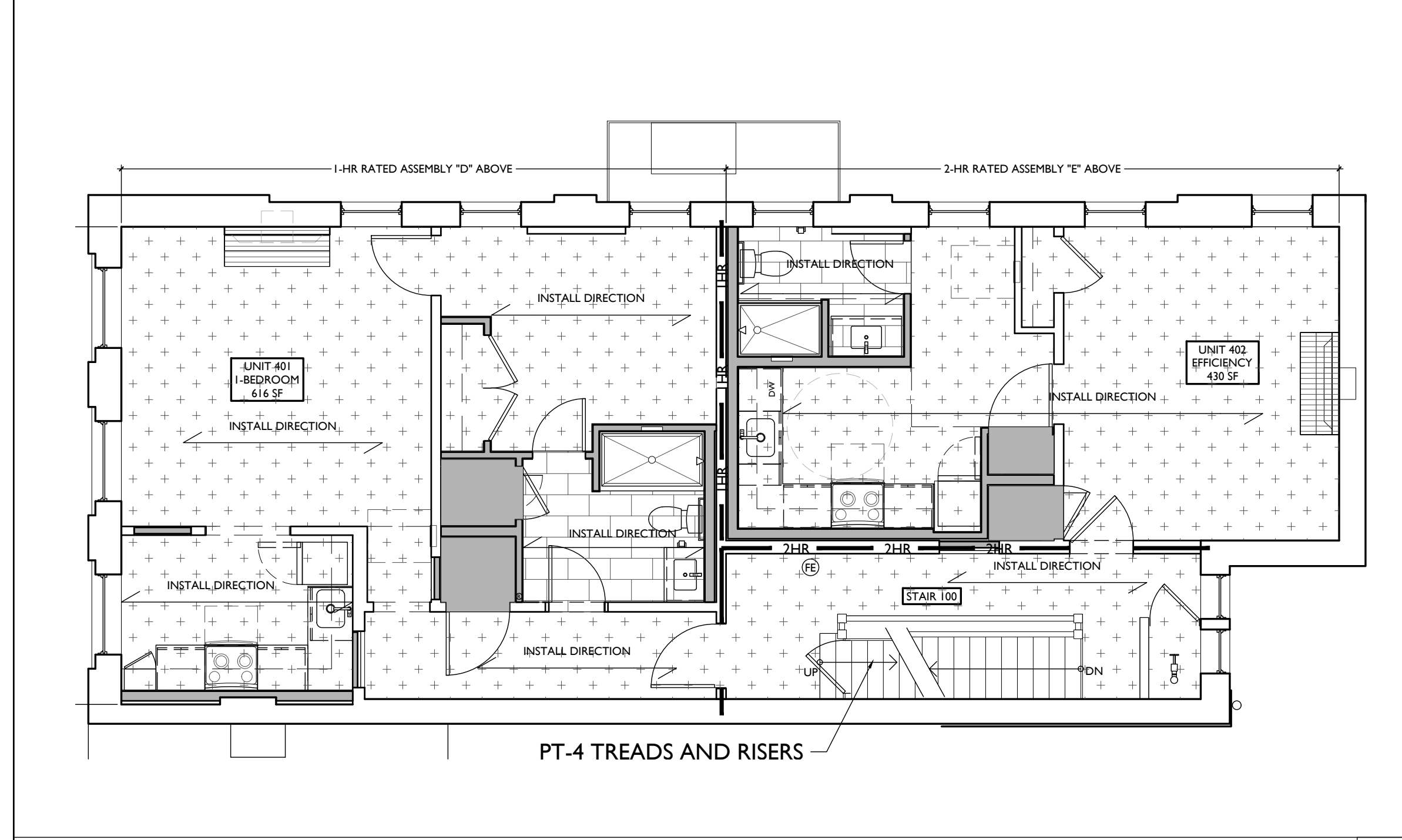
SOLID SURFACE

QUARTZ - KITCHEN COUNTERTOPS & COUNTERTOPS THROUGHOUT	SS-1	MANU: CORIAN - QUARTZ COLOR: CALCATTA VILLA - 2CM	BRIAN FORTIN BRIAN.FORTIN@OVSCO.COM 513.582.2528
CASEGOODS			
CABINETS - IN UNITS/ COMMERCIAL RR	CG-1	MANU: SMART CABINETS W/ PLYWOOD BOX DOOR STYLE: SUMMIT (SOLID WOOD) MAPLE, FULL OVERLAY FINISH: STAIN - FAWN	DOOR PULLS - MANU: AMEROCK MONUMENT 5-1/16" CENTER TO CENTER CABINET PULL MODEL: BP36571FB FINISH: BLACK SMART CABINETS SALES@SMARTCABINETS.COM 574.831.5010
GLASS			
GLASS SHOWER ENCLOSURE - UNIT BATHROOMS	GL-1	CELESTA FRAMELESS 3/8" GLASS SWING DOOR & PANEL SHOWER DOOR MODEL: CELA-935 GLASS: AQUA GLIDE GLASS FINISH: CHROME	
OTHER			
BLINDS		2" FAUX WOOD BLINDS AT ALL RESIDENTIAL UNITS. WHITE FINISH. VERIFY ALL LOCATIONS WITH OWNER	
UNIT ENTRY SIGNAGE		BECIZY 4" X 2.5" W FLOATING WALL MOUNT MODERN HOUSE NUMBER, BLACK. VERIFY ALL LOCATIONS WITH OWNER. COORDINATE LOCATIONS WITH ACCESSIBILITY REQUIREMENTS A117.1-2009	FINAL LOCATION TO BE DETERMINED BY OWNER AMAZON https://tinyurl.com/mr37wxn

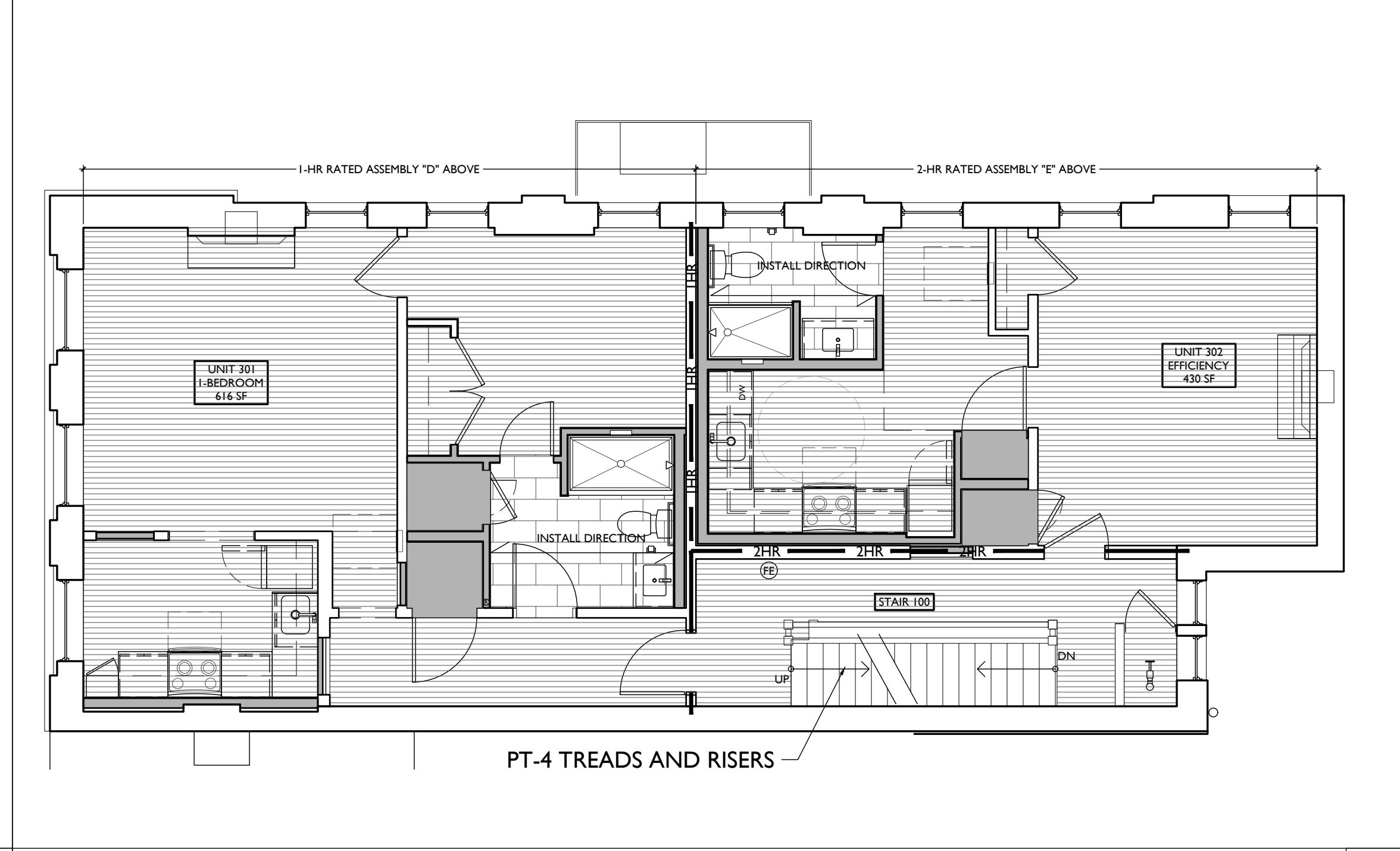
BATHROOM EQUIPMENT SCHEDULE

CODE	ITEM	MANUFACTURER & PRODUCT #	MOUNTING HEIGHT	REMARKS
A	GRAB BARS	MANU: BOBRICK LINE: B-5806X18 SIZE: (18") X 36 (36") & 42 (42")	PER ELEVATIONS & ACCESSIBILITY REQUIREMENTS	COMMERCIAL BATHROOM
B	DIAPER CHANGE STATION	MANU: KOALA KARE MODEL: KB200-SS HORIZONTAL WALL MOUNTED FINISH: GREY 01	48" A.F.F. MAX MOUNTING HEIGHT TO T.O. STATION. WORKSURFACE WHEN OPEN TO BE 34" MAX - 28" MIN.	COMMERCIAL BATHROOM
C1	MEDICINE CABINET	RECESSED: MANU: KOHLER 16"x20" SINGLE DOOR REVERSIBLE HINGE FRAMELESS MIRROR. MEDICINE CABINET MODEL: K-CB-CLR1620FS	PER ELEVATIONS	UNIT BATHROOMS
C2	MEDICINE CABINET	SURFACE MOUNT: RANGAIRE SURFACE MOUNT 16"x22" SINGLE DOOR MEDICINE CABINET WITH REVERSIBLE DOOR SWING MODEL: 4565MX		
D	PAPER TOWEL DISPENSER	ASI TRADITIONAL PAPER TOWEL DISPENSER MULTI, C-FOLD, SURFACE MOUNTED BLACK MODEL: ASI 0210-41	PER ACCESSIBILITY REQUIREMENTS, 48" MAX TO HIGHEST OPERABLE PART	COMMERCIAL BATHROOM
E1	TOILET TISSUE DISPENSER	HARNEY HARDWARE COLLECTION: CLEARWATER TOILET PAPER HOLDER FINISH: MATTE BLACK PRODUCT #10220	PER ELEVATIONS & ACCESSIBILITY REQUIREMENTS	UNIT/COMMERCIAL BATHROOMS
E2	TOWEL HOOK	HARNEY HARDWARE COLLECTION: CLEARWATER 24" TOWEL BAR FINISH: MATTE BLACK PRODUCT #10222	48" A.F.F.	UNIT BATHROOMS
E3	ROBE HOOK	HARNEY HARDWARE COLLECTION: CLEARWATER ROBE HOOK FINISH: MATTE BLACK PRODUCT # 10218"	48" A.F.F.	UNIT/COMMERCIAL BATHROOMS
F	MIRROR	MANU: NUTYPE (HOME DEPOT) COLLECTION: MEDIUM RECTANGLE BLACK SHELVES AND DRAWERS MODERN MIRROR SIZE: 24 X 36 FINISH: BLACK	PER ELEVATIONS & ACCESSIBILITY REQUIREMENTS	UNIT/COMMERCIAL BATHROOM
G	TOILET PARTITION	MANU: ASI ACCURATE PARTITIONS MATERIAL: SOLID PLASTIC (HDPE)	PER ELEVATIONS & ACCESSIBILITY REQUIREMENTS	COMMERCIAL BATHROOM
H	SHOWER CURTAIN ROD	TBD	PER ELEVATIONS	UNIT BATHROOMS

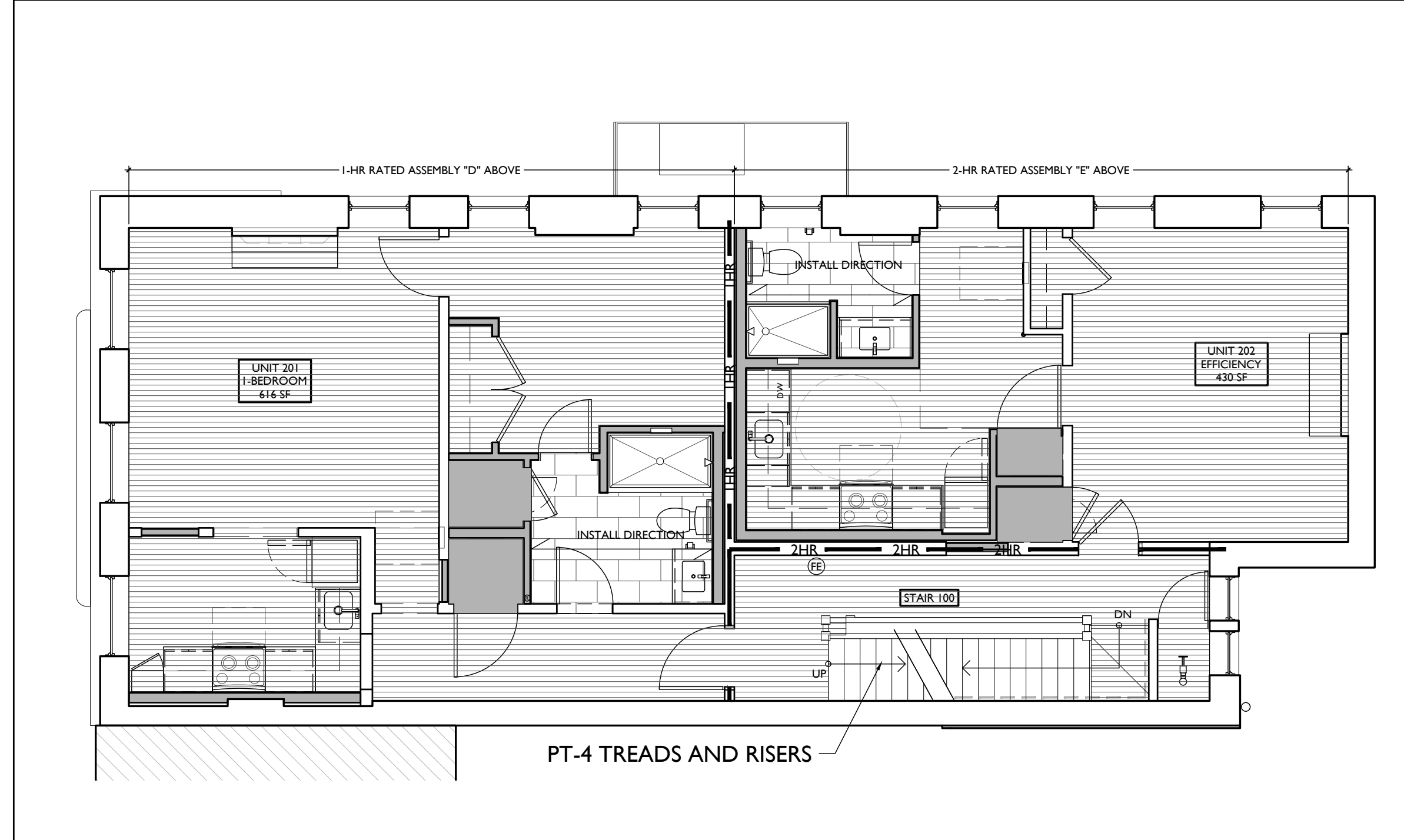
FLOOR GENERAL NOTES	FLOOR FINISH LEGEND (SEE FINISH SCHEDULES A4.00-A4.02 FOR DETAILS)
<ol style="list-style-type: none"> WHERE EXG. HEARTH TILE IS PRESENT, PROTECT AND MAINTAIN AS IS. WHERE EXG. HEARTH IS CONCRETE, PATCH / PROVIDE SOME SKIM COAT, PAINT CONCRETE. COLOR TBD. TRANSITION TYPES: <ol style="list-style-type: none"> PROVIDE TRANSITION STRIPS WHERE CHANGES IN MATERIAL OCCUR. PROVIDE NEW WOOD TRANSITIONS WHERE NEW WOOD FLOOR MEETS HISTORIC WOOD FLOOR. WHERE FLOOR TILE TRANSITIONS TO WOOD PROVIDE ALUMINUM TILE EDGE, B.O.D BENGARD-SHUR-TRIM, THICKNESS TO BE DETERMINED IN THE FIELD. INFILL WOOD TO MATCH SPECIES, WIDTH, AND STAIN OF EXISTING WOOD FLOORS. TOOTH-IN TO EXISTING WHERE POSSIBLE. 	<ul style="list-style-type: none"> FL-1 EXG HISTORIC FINISH FLOORS TO REMAIN FL-2 NEW WOOD FLOORS FL-3 RESTROOMS FL-4 RESIDENTIAL LAUNDRY/ MECH ROOMS BUILDING STORAGE ROOMS



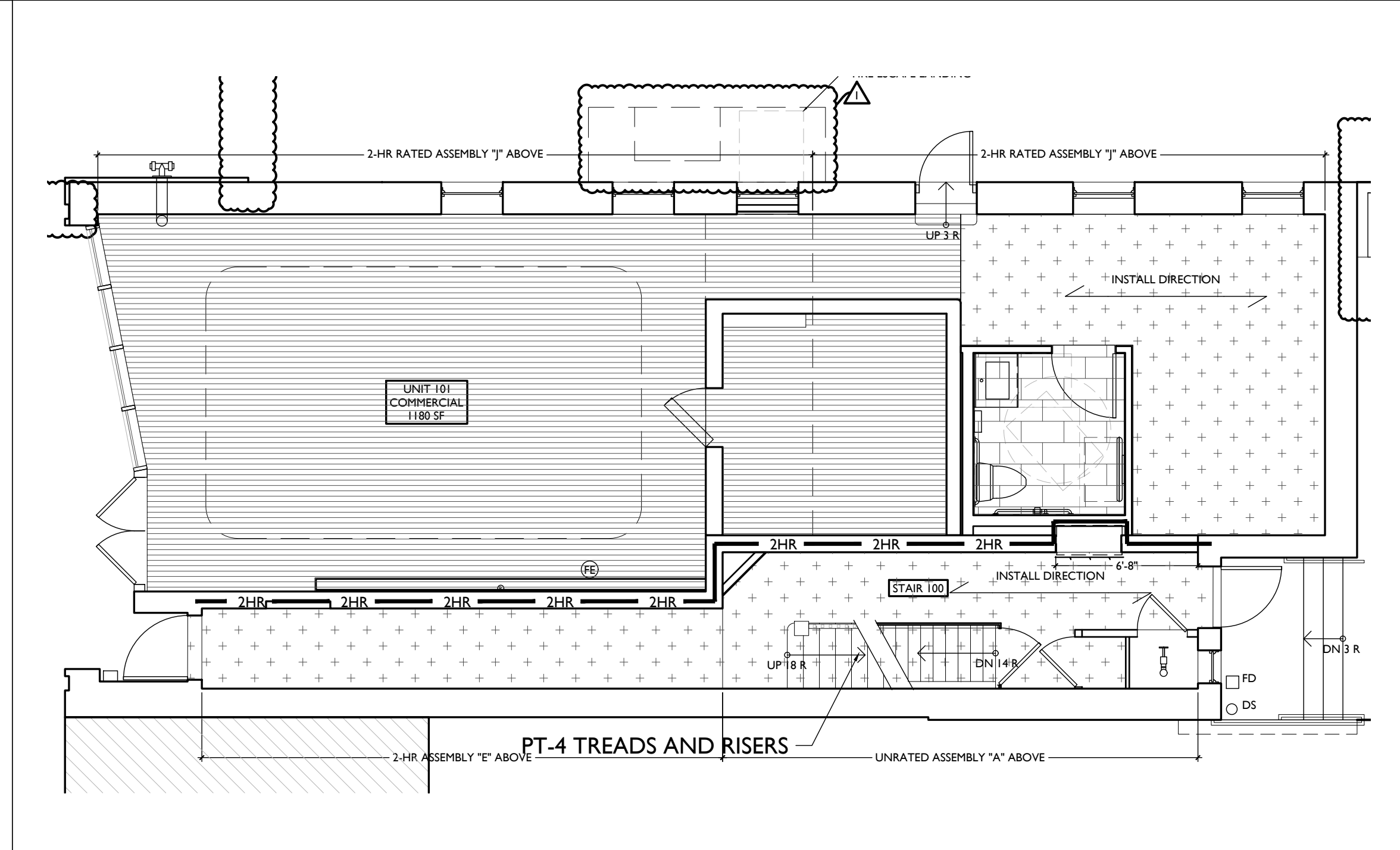
SCALE: 3/16" = 1'-0" **FOURTH FLOOR** 4



SCALE: 3/16" = 1'-0" **THIRD FLOOR** 3



SCALE: 3/16" = 1'-0" **SECOND FLOOR** 2



SCALE: 3/16" = 1'-0" **FIRST FLOOR** 1

FINISH FLOOR PLANS

Progress Dates
 2023.04.28 - BID/PERMIT
 2024.08.30 - BID SET 2

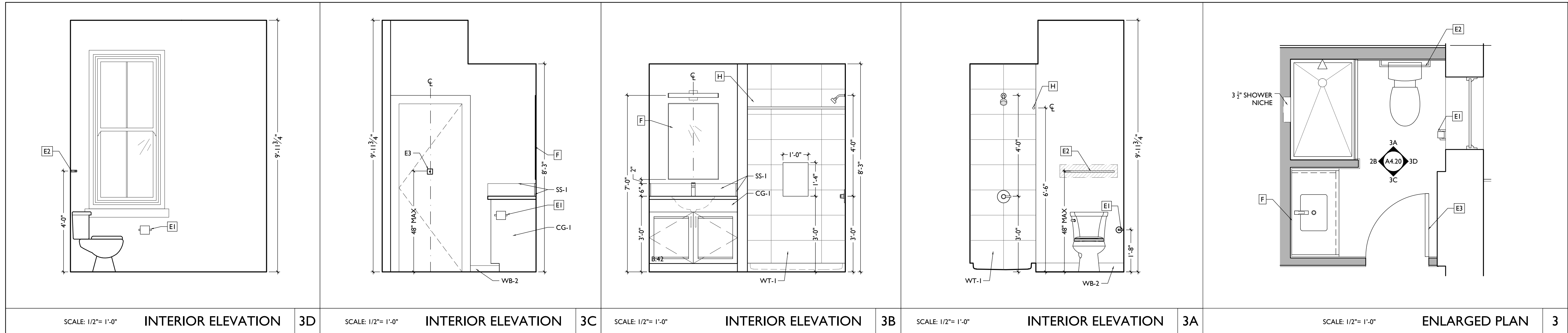
Revisions

Design Team:
 CO, JK, MR, MR, RK, RO, SO, TB
 Drawn by:
 TB, AM

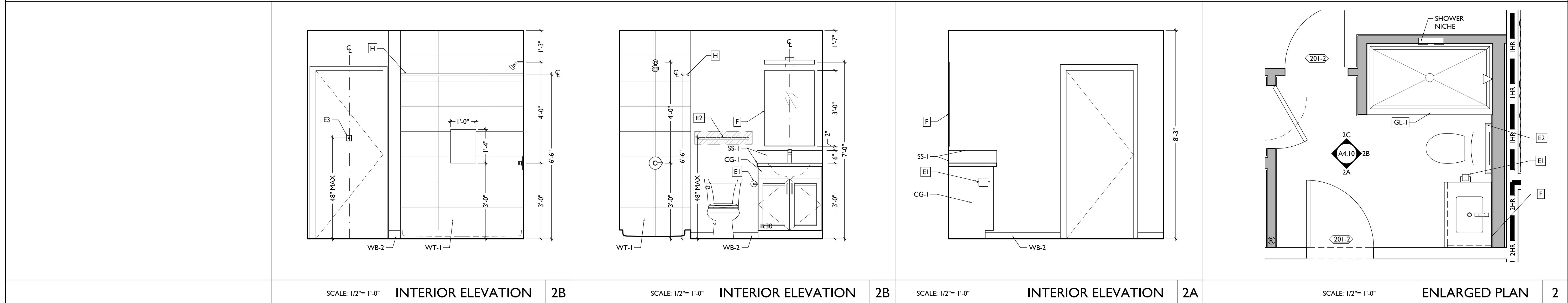
PROPOSED PROJECT:
**RENOVATION FOR
 1732 VINE ST. / 1734 VINE ST.**
 CINCINNATI, OH, 45202
 FINDLAY FLATS

Job No: 22042 08.30.2024

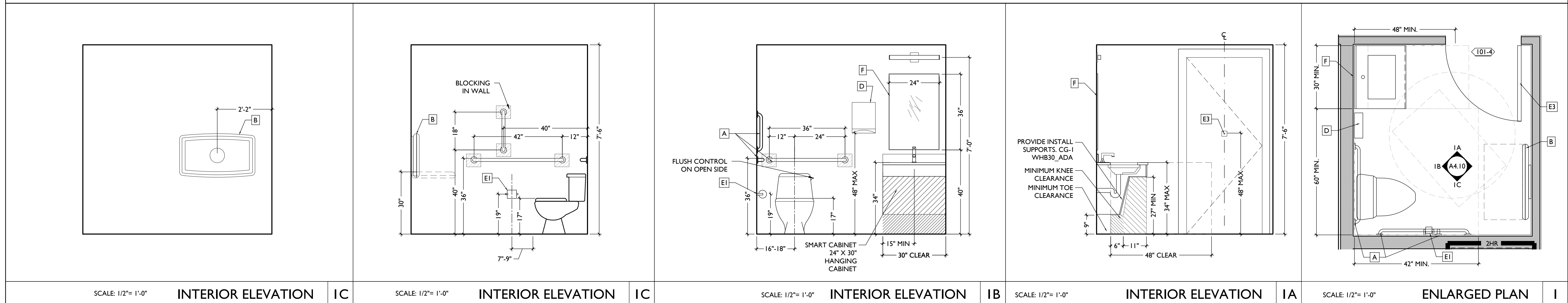
A4.01



UNIT 201, 301, 401 BATHROOM - ENLARGED PLANS & INT ELEVATIONS



UNIT 201, 301, 401 RESTROOM - ENLARGED PLANS & INT ELEVATIONS



COMMERCIAL RESTROOM - ENLARGED PLANS & INT ELEVATIONS

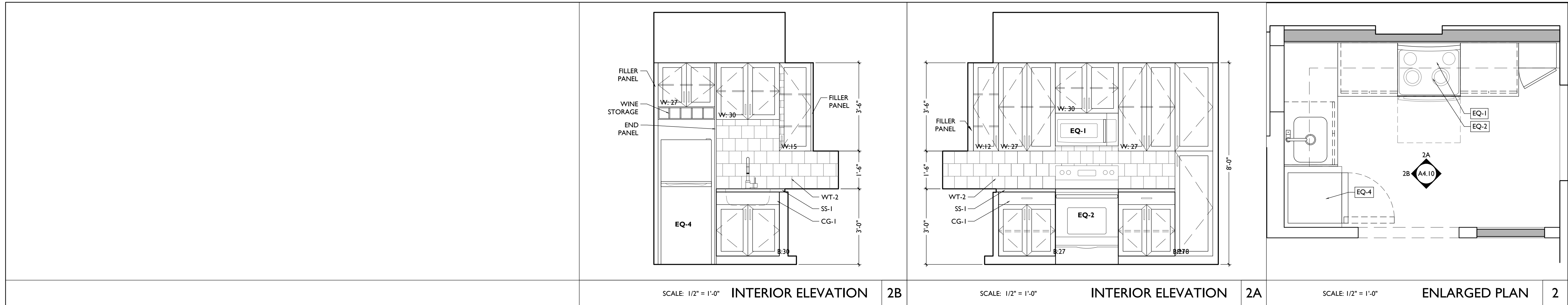
Progress Dates
2023.04.28 - BID/PERMIT
2024.08.30 - BID SET 2

Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
TB, AM

PROPOSED PROJECT:
**RENOVATION FOR
1732 VINE ST. / 1734 VINE ST.**
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 08.30.2024

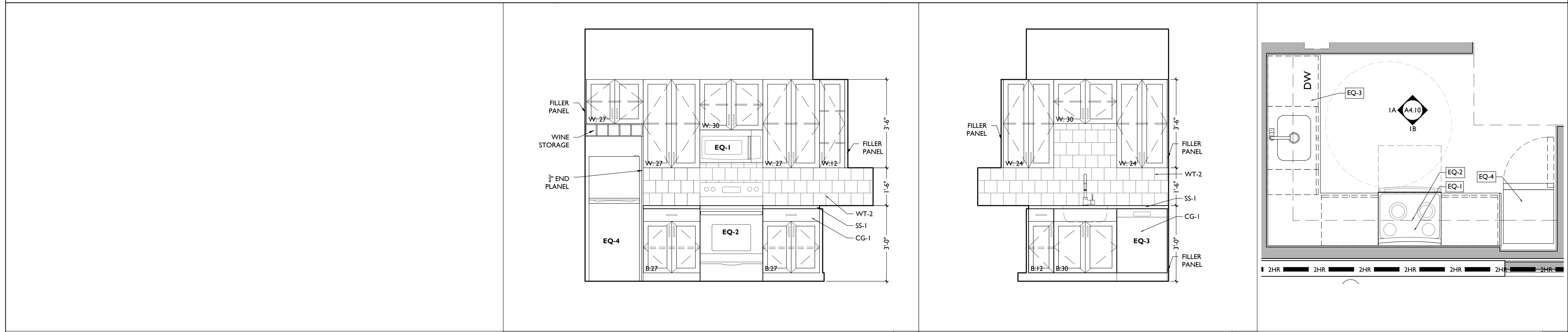


SCALE: 1/2" = 1'-0" INTERIOR ELEVATION 2B

SCALE: 1/2" = 1'-0" INTERIOR ELEVATION 2A

SCALE: 1/2" = 1'-0" ENLARGED PLAN 2

UNIT 202, 302, 402 BATHROOM - ENLARGED PLANS & INT ELEVATIONS



SCALE: 1/2" = 1'-0" INTERIOR ELEVATION 1B

SCALE: 1/2" = 1'-0" INTERIOR ELEVATION 1A

SCALE: 1/2" = 1'-0" ENLARGED PLAN 1

UNIT 202, 302, 402 KITCHEN - ENLARGED PLANS & INT ELEVATIONS

Progress Dates
2023.04.28 - BID/PERMIT
2024.08.30 - BID SET 2

Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
TB, AM

PROPOSED PROJECT:
**RENOVATION FOR
1732 VINE ST. / 1734 VINE ST.**
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 08.30.2024

A4.20

Progress Dates
2023.04.28 - BID/PERMIT
2024.08.30 - BID SET 2

Revisions

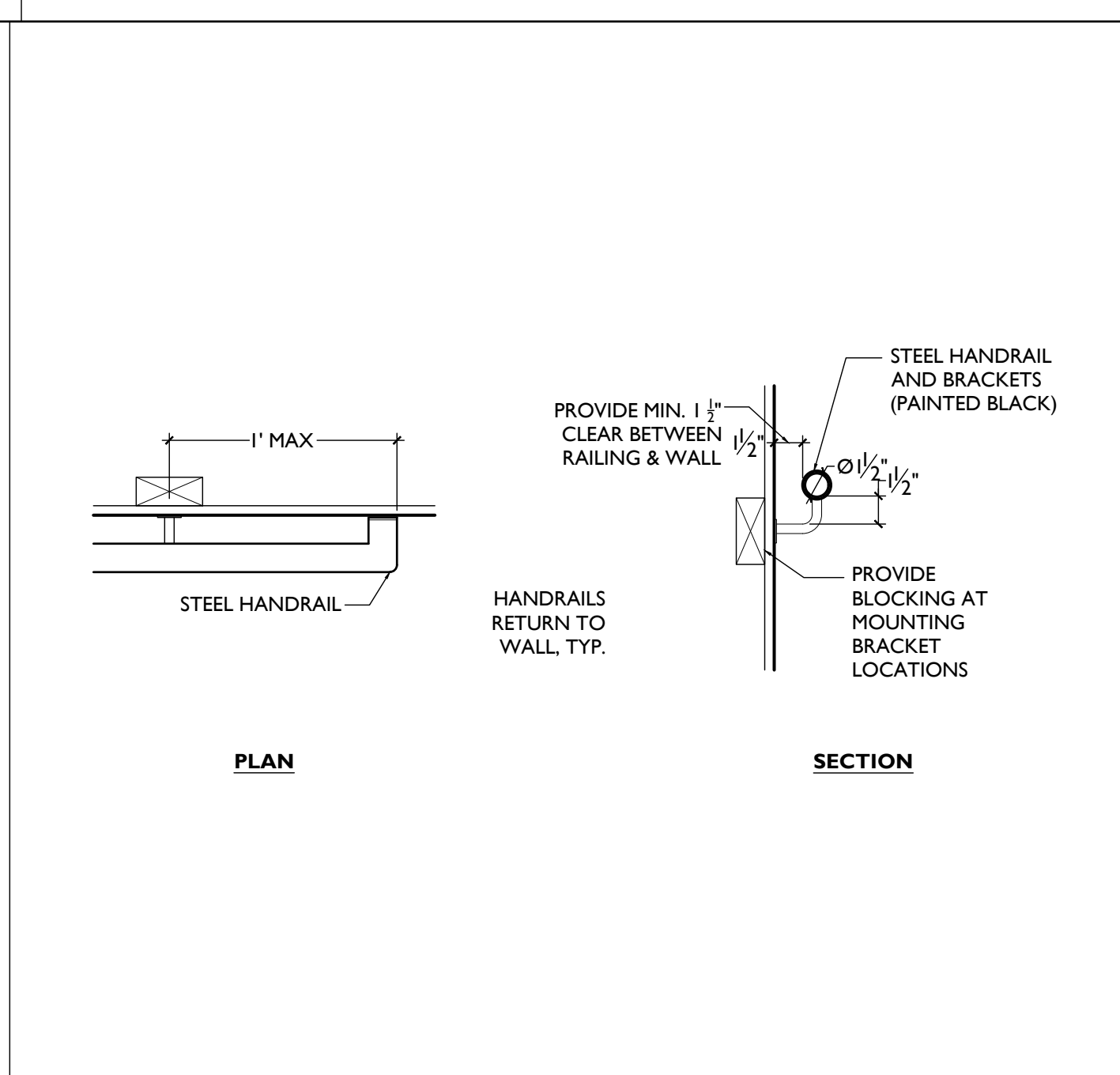
Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
TB, AM

PROPOSED PROJECT:
**RENOVATION FOR
1732 VINE ST. / 1734 VINE ST.**
CINCINNATI, OH, 45202
FINDLAY FLATS

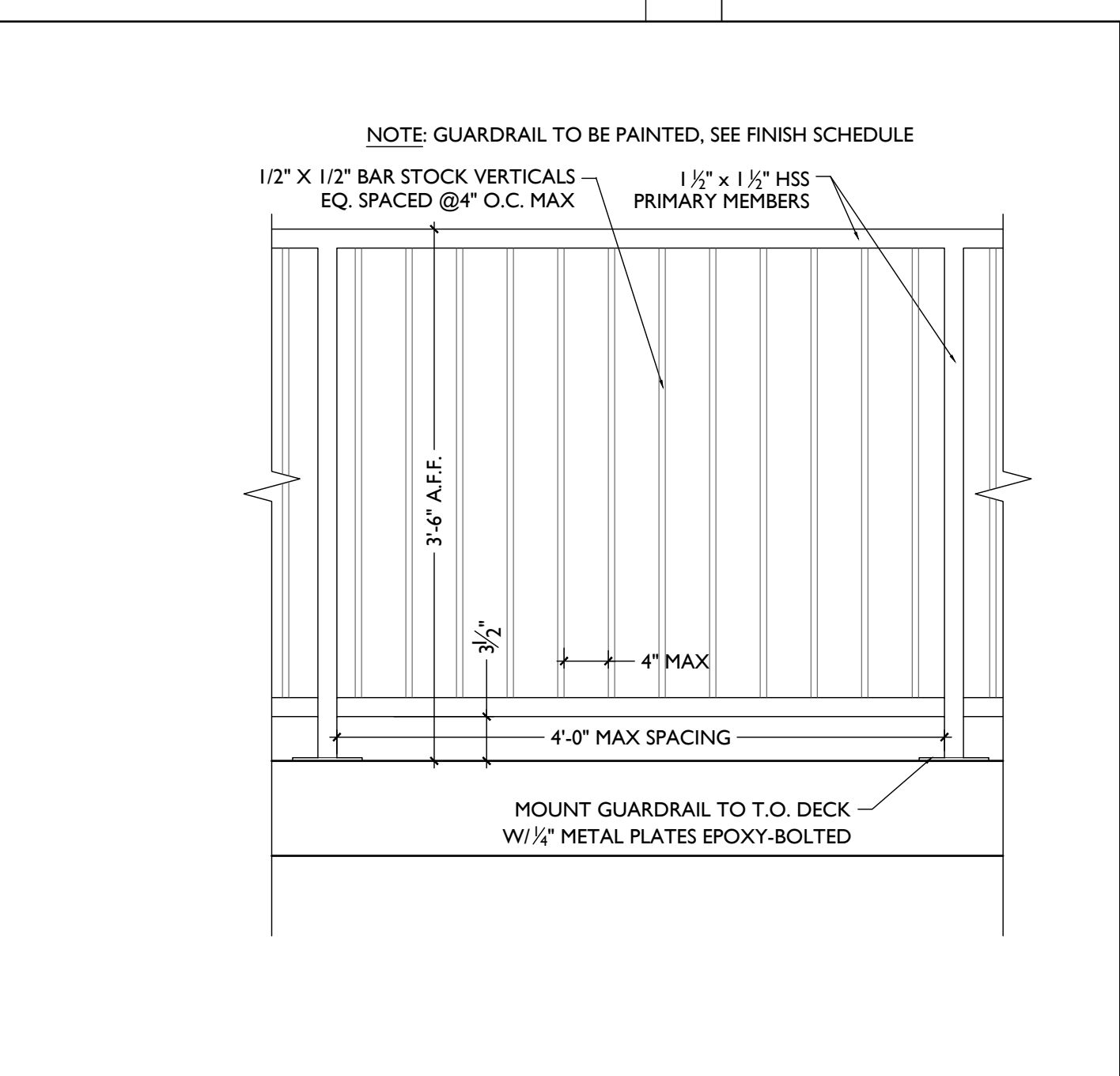
Job No: 22042 08.30.2024

A5.00

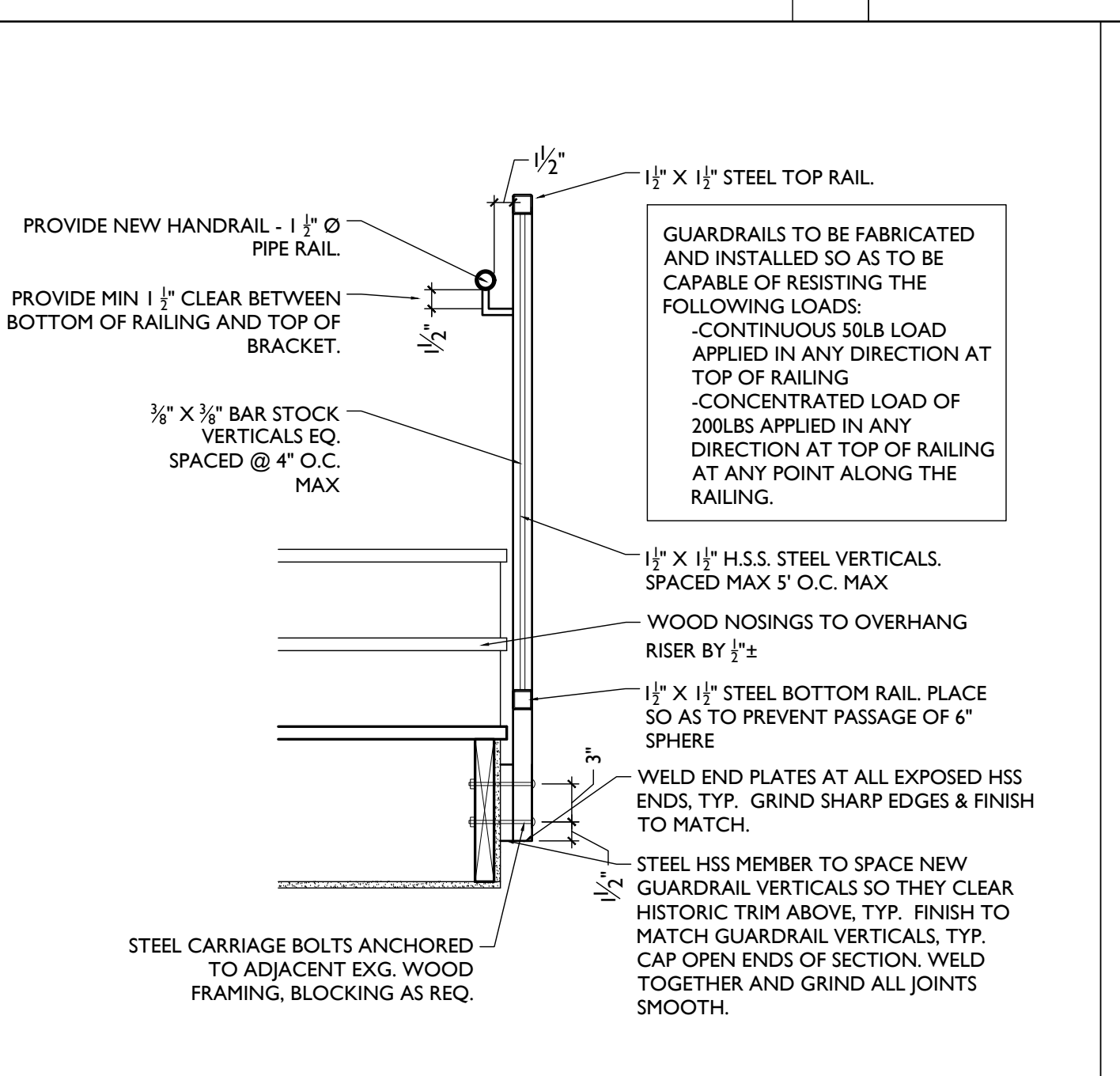
SCALE: 3/4" = 1'-0"	NOT USED 21	SCALE: 1 1/2" = 1'-0" NOT USED 12
SCALE: 3/4" = 1'-0"	NOT USED 11	SCALE: 3/4" = 1'-0"



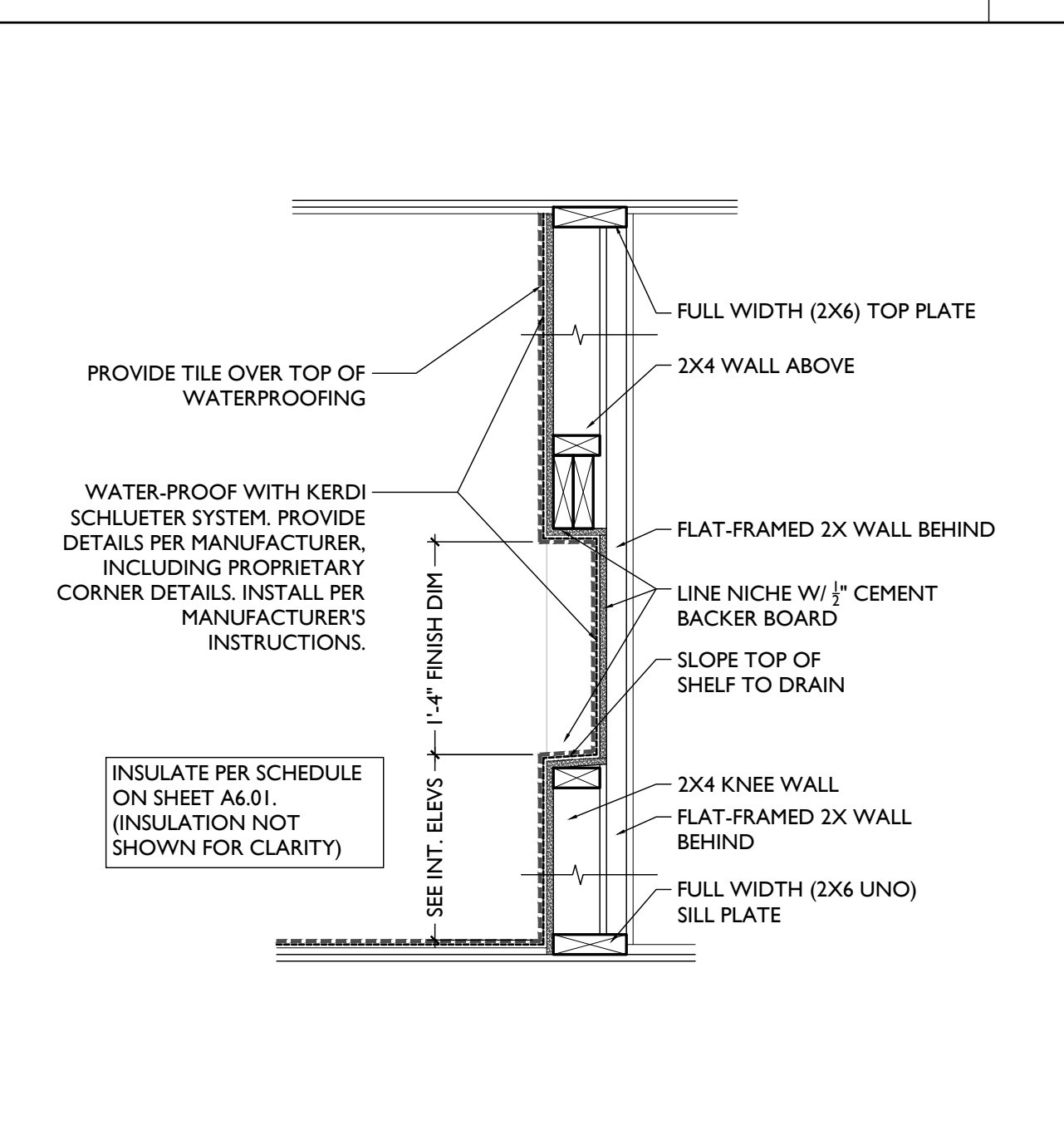
SCALE: 1 1/2" = 1'-0" **HANDRAIL** 3



SCALE: 1" = 1'-0" **HANDRAIL / GUARDRAIL** 3



SCALE: 1" = 1'-0" **HANDRAIL / GUARDRAIL** 2



SCALE: 1" = 1'-0" **SHOWER NICHE** 1

TYPICAL DETAILS

WALL ASSEMBLIES/ PARTITION TYPES

KEYED NOTES:

1. FINISHED FLOOR - SEE FINISH SCHEDULE
2. SCHEDULED BASE - SEE FINISH SCHEDULE
3. WOOD WALL FRAMING
 - 3.1. 2X4 WALL FRAMING @ 16" O.C.
 - 3.2. 2X6 WALL FRAMING @ 16" O.C.
 - 3.3. EXG. FRAMED WALL
4. MASONRY WALL
 - 4.1. EXISTING MASONRY WALL (SEAL WHERE EXPOSED)
 - 4.2. 8" CMU
 - 4.3. 6" CMU
 - 4.4. BRICK VENEER
5. METAL WALL FRAMING (NEW OR EXG)
 - 5.1. 1 5/8" METAL STUD FURRING @ 16" O.C.
 - 5.2. 3 5/8" METAL STUD @ 16" O.C.
 - 5.3. 6" METAL STUD @ 16" O.C.
 - 5.4. 7/8" HAT CHANNEL @ 16" O.C.
6. GYPSUM BOARD
 - 6.1. EXG. GYP/PLASTER
 - 6.2. 1/2"
 - 6.3. 5/8" GYP.
 - 6.4. 5/8" TYPE X
 - 6.5. 1" NOMINAL GYP. LINER
 - 6.6. 1/2" TYPE
7. AIR GAP AS REQUIRED PER ASSEMBLY TYPE
8. INSULATION PER SCHEDULE
9. RESILIENT CHANNELS
 - 9.1. 1/2" METAL CHANNELS @ 24" O.C. RUN HORIZONTAL
 - 9.2. 5/8" METAL CHANNELS @ 16" O.C. RUN HORIZONTAL
10. EXG. WALL
11. J-TRACK
12. C- H STUD
 - 12.1. 2 1/2" C-H @ 24" O.C.
 - 12.2. 4" C-H @ 24" O.C.
13. FLR/CLG FRAMING
 - 13.1. RATED ASSEMBLY TO BE CONTINUOUS TO RATED PARTITION OR WALL. REFER TO FLR/CLG ASSEMBLIES AND RATING DIAGRAMS FOR DTLS
 - 13.2. EXTEND RATED ASSEMBLY TO UNDERSIDE OF FLOOR SHEATHING ABOVE
 - 13.3. WALL STRUCTURE TO BE INDEPENDENT OF AND CONTINUE THROUGH FLR/CLG ASSEMBLY. SEE STRUCTURAL FOR FRAMING OF FLR/CLG ASSEMBLY. SEE FLR/CLG ASSEMBLIES AND RATING DIAGRAMS FOR FLR/CLG ASSEMBLY DTLS.
 - 13.4. FRAMING TO BEAR ON FLOOR OF EQUAL RATING. SEE FLR/CLG ASSEMBLIES AND RATING DIAGRAMS.
 - 13.5. SEE FLR/CLG ASSEMBLIES AND RATING DIAGRAMS FOR HORIZONTAL ASSEMBLY DTLS
14. HARDIE BOARD SIDING
15. 1/2" OSB SHEATHING WITH INTEGRAL AIR/MOISTURE BARRIER
16. EXG WALL - CONTRACTOR TO VERIFY
 - 16.1. BRICK VENEER
 - 16.2. AIR CAVITY
 - 16.3. AIR/MOISTURE BARRIER
 - 16.4. 1/2" APA RATED GYPSUM SHEATHING
 - 16.5. 2X6 FRTW STUD FRAMING
 - 16.6. 5/8" TYPE X MAT GYPSUM SHEATHING
 - 16.7. HARDIE BOARD SIDING
 - 16.8. 1/2" APA RATED GYPSUM SHEATHING WITH INTEGRAL AIR/MOISTURE BARRIER
 - 16.9. 2X6 FRTW STUD FRAMING
 - 16.10. 5/8" TYPE X MAT GYPSUM SHEATHING
 - 16.11. WEATHER-RESISTANT BARRIER
 - 16.12. 3-COAT STUCCO SYSTEM

GENERAL NOTES

- A. CONTRACTOR TO ASSUME WALLS NOT CALLED OUT WITH WALLTAG ARE TO BE WALLTYPE 1.

TYPICAL INTERIOR PARTITION WALL 1	TYPICAL PLUMBING WET WALL 2	FURRING AT EXG WALLS 3	PLUMBING FURRING AT EXG WALLS 4	CHASE WALL 5	CHASE WALL 6
N/A GYP/UL # NON RATED RATING	N/A GYP/UL # NON RATED RATING	N/A GYP/UL # NON RATED RATING	N/A GYP/UL # NON RATED RATING	N/A GYP/UL # NON RATED RATING	N/A GYP/UL # NON RATED RATING
NOTES: -PROVIDE PT. SILL PLATE IN BASEMENT	NOTES: - PROVIDE MOISTURE RESISTANT DRYWALL ON BATHROOM/KITCHEN SIDE -PROVIDE PT. SILL PLATE IN BASEMENT	NOTES: - PROVIDE MOISTURE RESISTANT DRYWALL ON BATHROOM/KITCHEN SIDE -PROVIDE PT. SILL PLATE IN BASEMENT	UL #: NOTES: - PROVIDE MOISTURE RESISTANT DRYWALL ON BATHROOM/KITCHEN SIDE -PROVIDE PT. SILL PLATE IN BASEMENT	UL #: NOTES: - PROVIDE MOISTURE RESISTANT DRYWALL ON BATHROOM/KITCHEN SIDE -PROVIDE PT. SILL PLATE IN BASEMENT	NOTES: - PROVIDE MOISTURE RESISTANT DRYWALL ON BATHROOM/KITCHEN SIDE -PROVIDE PT. SILL PLATE IN BASEMENT
EXG. 1HR RATED BARRIER 7	EXG. 2HR RATED BARRIER 8	NEW 1HR RATED BARRIER 9	NEW 2HR RATED BARRIER 10	NEW 1HR SHAFTWALL 11	NEW 2HR SHAFTWALL 12
PERSCRPTIVE_FIRE BARRIER GYP/UL # 1-HR RATING	PERSCRPTIVE_FIRE BARRIER GYP/UL # 2-HR RATING	U309 - FIRE BARRIER GYP/UL # 1-HR RATING	U301 - FIRE BARRIER GYP/UL # 2-HR RATING	U419 A- FIRE BARRIER GYP/UL # 1-HR RATING	U415 B- FIRE BARRIER GYP/UL # 2-HR RATING
FIRE RATING = 50 MIN EXG (20 MIN STUD (16" O.C.) + 30 MIN EXG FINISH (5/8" EXG PLASTER) + 40 MIN NEW (5/8" TYPE X GYP BD) = 90 MIN TOTAL FIRE RATING	FIRE RATING = 50 MIN EXG (20 MIN STUD (16" O.C.) + 30 MIN EXG FINISH (5/8" EXG PLASTER) + 80 MIN NEW (2 LAYERS TYPE X GYP BD @ 40 MIN EA) = 120 MIN TOTAL FIRE RATING - BA - ADD 1/2" RESILIENT CHANNELS 1 SIDE	TYPICAL AT STAIRS	TYPICAL AT STAIRS - 10A - NO RESILIENT CHANNELS		

NOTE: SEE TABLES 721.1(2) AND 722.6 FOR PRESCRIPTIVE FIRE RATINGS. PER 721.1(2) EXCEPTION "E", PLASTER MAY BE SUBSTITUTED FOR GYPSUM WALLBOARD PROVIDED IT IS THE SAME SIZE/THICKNESS/CORE TYPE.

INSULATION SCHEDULE

LOCATION	TYPE	R-VALUE	NOTES
MECHANICAL CLOSET WALLS	SOUND ATTENUATION BATT	-	FILL STUD CAVITY
BATHROOM WALLS	SOUND ATTENUATION BATT	-	FILL STUD CAVITY
PLUMBING CHASE WALLS	FIBERGLASS BATTS STAPLED TO STUDS	R-13 MIN.	CONTINUOUS PIPE INSULATION AT ALL PLUMBING LINES
BETWEEN OFFICE TENANT SPACES	SOUND ATTENUATION BATT	-	FILL CAVITY
BETWEEN DWELLING UNITS	SOUND ATTENUATION BATT	-	FILL CAVITY
FURRING AT EXTERIOR WALLS	SPRAY-APPLIED CELLULOSE	-	FILL CAVITY
STAIR HALL ENCLOSURE WALLS	SOUND ATTENUATION BATTS	-	FILL CAVITY & COORD W/ FIRE-RATING & UL ASSEMBLY
STAIR HALL ENCLOSURE WALLS AT UNCONDITIONED ATTIC	BLOWN-IN CELLULOSE OR FIBERGLASS BATTS	R-19 MIN.	FILL CAVITY
CLG BETWEEN ATTIC FLOOR AND OCCUPIED UNIT BELOW	BLOWN-IN CELLULOSE OR FIBERGLASS BATTS	R-38	INSULATION BETWEEN JOISTS
CEILING BETWEEN BASEMENT/RESIDENTIAL	CLOSED CELL SPRAY FOAM	R-30	COORD W/ UL ASSEMBLY & FIRE RATING
ATTIC CEILING	NONE REQ	---	REQ INSULATION PROVIDED @ ATTIC FLOOR
CEILING OF OCCUPIED ATTIC	CLOSED CELL SPRAY FOAM	R-38	
CEILING B/W BREEZEWAY/OCCUPIED SPACE	FIBERGLASS BATTS	R-30 MIN.	FILL CAVITY & COORD W/ FIRE-RATING & UL ASSEMBLY
CEILING B/W TWO SEPARATE OCCUPIED RESIDENCES	SOUND ATTENUATION BATT	6" MIN SOUND BATT	COORD W/ UL ASSEMBLY & FIRE RATING
CEILING B/W FLOORS OF SAME RESIDENCE	SOUND ATTENUATION BATTS	6" MIN SOUND BATT	

NOTES: COORDINATE ALL W/ FIRE RATING & U.L. ASSEMBLY.

2017 OHIO BUILDING CODE
721 PRESCRIPTIVE FIRE RESISTANCE - TABLE 720.1 (2) RATED FIRE-RESISTANCE FOR WALLS

MATERIAL	ITEM NUMBER	MIN. EQUIV. THICKNESS / RATING
1. CLAY OR SHALE BRICK; SOLID BRICK	1-1.1	4.9" 3.8" 2.7"
2. CONCRETE MASONRY UNIT	3-1.2	4.4" 3.6" 2.6"

EXG. MASONRY WALL 13	NEW 1HR RATED UNIT SEPERATION 14	FURRING AT EXG WALLS 15	NEW 1HR RATED BREEZEWAY WALL 16
PERSCRPTIVE - FIRE BARRIER GYP/UL # 2-HR RATING	U309 - FIRE PARTITIONS GYP/UL # 1-HR RATING	N/A GYP/UL # NON RATED RATING	U305 - FIRE BARRIER GYP/UL # 1-HR RATING
FIRE RATING = 3.8" MIN EXG. SOLID BRICK = 2HR MIN	TYPICAL UNIT SEPERATION/CORRIDOR WALLS	NOTES: - PROVIDE MOISTURE RESISTANT DRYWALL ON BATHROOM/KITCHEN SIDE. -PROVIDE PT. SILL PLATE IN BASEMENT	NOTES:
EXG. BRICK VENEER WALL W/ STUD BACKUP 17	NEW BRICK VENEER WALL W/ STUD BACKUP 18	EXG. STUD WALL W/ SIDING 19	NEW STUD WALL W/ SIDING 20
U302 - FIRE BARRIER GYP/UL# 2-HR RATING	U302 - FIRE BARRIER GYP/UL# 2-HR RATING	U301 - FIRE BARRIER GYP/UL# 2-HR RATING	U301 - FIRE BARRIER GYP/UL# 2-HR RATING
CONTRACTOR TO VERIFY EXG CONDITIONS	USE SALVAGED HISTORIC BRICK.	CONTRACTOR TO VERIFY EXG CONDITIONS.	PROVIDE P.T. SILL PLATE IN BASEMENT AND ON CONCRETE SLABS.
			NEW 2HR CMU WALL 21
			TABLE 721.1(2) OBC# 2-HR RATING

SCALE: 1" = 1'-0"

ASSEMBLY TYPES

Progress Dates
2023.04.28 - BID/PERMIT
2024.08.30 - BID SET 2

Revisions

Design Team:
CO, JK, MR, RK, RO, SO, TB
Drawn by:
TB, AM

Job No: 22042 08.30.2024

TYPICAL FLOOR/CEILING/SHAFT ASSEMBLIES
(LABELED ON PLANS AND SECTION DIAGRAM ON SHEET A0.01)

FLR/CLG ASSEMBLY A		FLR/CLG ASSEMBLY B		1-HR FLR/CLG MEMBRANE C		1-HR FLR/CLG DWELLING SEPERATION D		2 HR FLR/CLG CORRIDOR/USE GROUP SEP. E	
N/A GYP/UL # NON RATED RATING		N/A GYP/UL # NON RATED RATING		GA-FC-5406 GYP/UL # 1-HR RATING		UL#LS14 GYP/UL # 1-HR RATING		UL#LS05 -OR- LS11 GYP/UL # 2-HR RATING	
NOTES: PROVIDE MOISTURE RESISTANT DRYWALL IN BASEMENTS		NOTES: PROVIDE MOISTURE RESISTANT DRYWALL IN BASEMENTS		NOTES: -PROTECTION PROVIDED FROM UNDERSIDE -PROVIDE MOISTURE RESISTANT DRYWALL IN BASEMENTS		NOTES: PROVIDE MOISTURE RESISTANT DRYWALL IN BASEMENTS + EXTERIOR SOFFIT BOARD EXTERIOR APPLICATIONS		NOTES: PROVIDE MOISTURE RESISTANT DRYWALL IN BASEMENTS + EXTERIOR SOFFIT BOARD IN EXTERIOR APPLICATIONS	
2-HR FLR/CLG MEMBRANE F		FLR/CLG ASSEMBLY G		1-HR FLR/CLG MEMBRANE H		2-HR FLR/CLG MEMBRANE I			
GA-FC-5725 GYP/UL # 2-HR RATING		GYP/UL # NON RATED RATING		UL #LS14 GYP/UL # 1-HR RATING		UL #LS05 -OR- LS11 GYP/UL # 2-HR RATING			
NOTES: -PROVIDES PROTECTION FROM UNDERSIDE -PROVIDE MOISTURE RESISTANT DRYWALL IN BASEMENTS				NOTES: - PROVIDE MOISTURE RESISTANT DRYWALL IN BASEMENTS + EXTERIOR SOFFIT BOARD IN EXTERIOR APPLICATIONS - IF INDICATED IN PLAN KEYNOTES, REINSTALL HISTORIC TIN CEILING AT UNDERSIDE OF ASSEMBLY		NOTES: - PROVIDE MOISTURE RESISTANT DRYWALL IN BASEMENTS + EXTERIOR SOFFIT BOARD IN EXTERIOR APPLICATIONS - IF INDICATED IN PLAN KEYNOTES, REINSTALL HISTORIC TIN CEILING AT UNDERSIDE OF ASSEMBLY			

TYPICAL ROOF ASSEMBLIES
(LABELED ON PLANS AND SECTION DIAGRAM ON SHEET A0.01)

INSULATED MEMBRANE ROOF M1		UNINSULATED MEMBRANE ROOF M2		OUTBOARD INSULATED MEMBRANE ROOF M3		INSULATED METAL ROOF MT1		UNINSULATED METAL ROOF MT2	
N/A GYP/UL # RATING		N/A GYP/UL # RATING		N/A GYP/UL # RATING		N/A GYP/UL # RATING		N/A GYP/UL # RATING	
NOTES: - USED WHERE TOP FLOOR IS OCCUPIED		NOTES: - USED WHERE ATTIC/INTERSTITIAL SPACE IS UNOCCUPIED - INSULATION TO BE PROVIDE AT CLG OF OCCUPIED SPACE BELOW		NOTES: - USED WHERE TOP FLOOR IS OCCUPIED		NOTES: - USED WHERE TOP FLOOR IS OCCUPIED		NOTES: - USED WHERE TOP FLOOR IS OCCUPIED	
UNINSULATED SHINGLE ROOF S1		INSULATED SHINGLE ROOF S2							
N/A GYP/UL # RATING		N/A GYP/UL # RATING							
		NOTES: - USED WHERE TOP FLOOR IS OCCUPIED. - COORDINATE W/ INSULATION SCHEDULE							

SCALE: 1/2" = 1'-0" ASSEMBLY TYPES

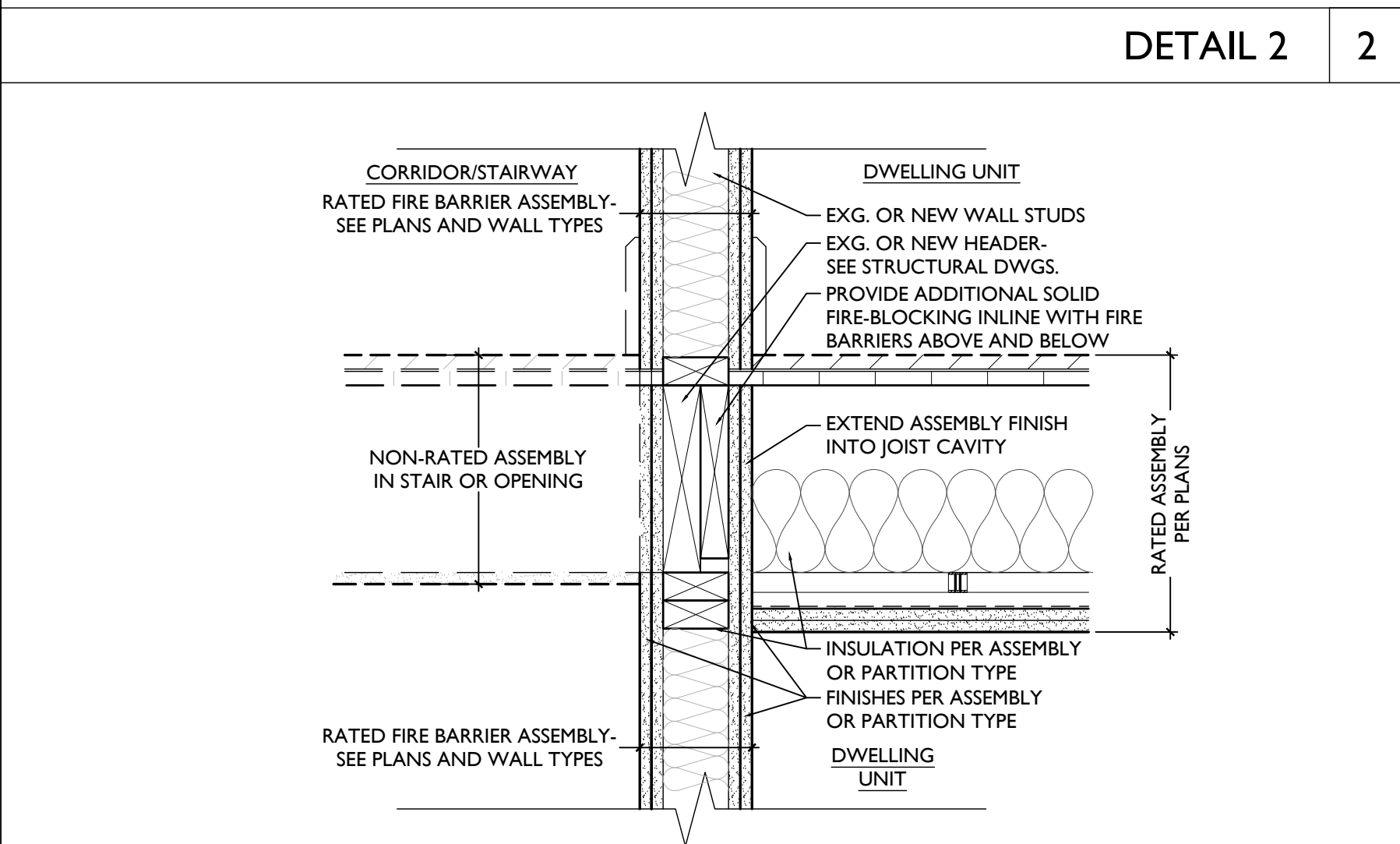
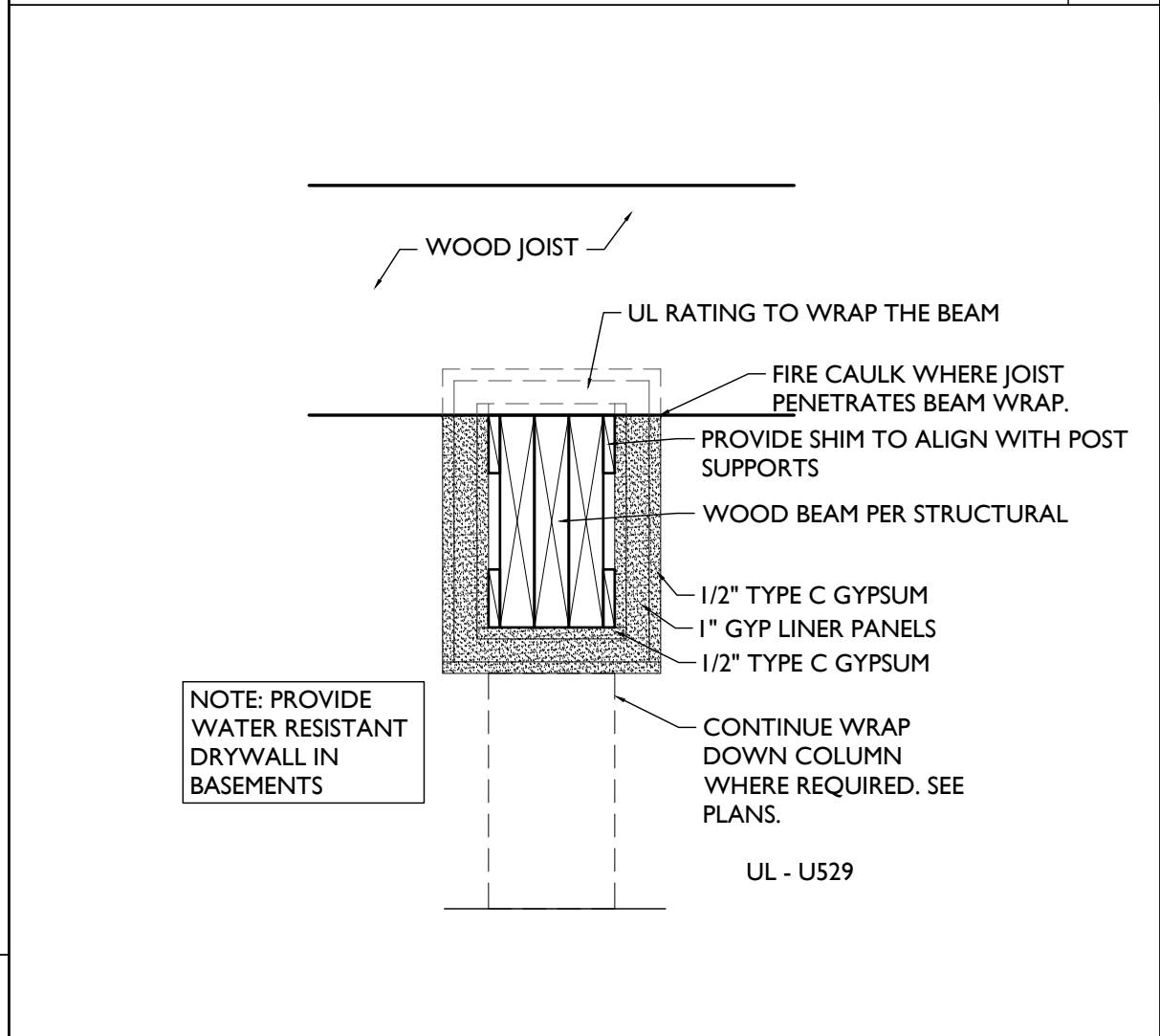
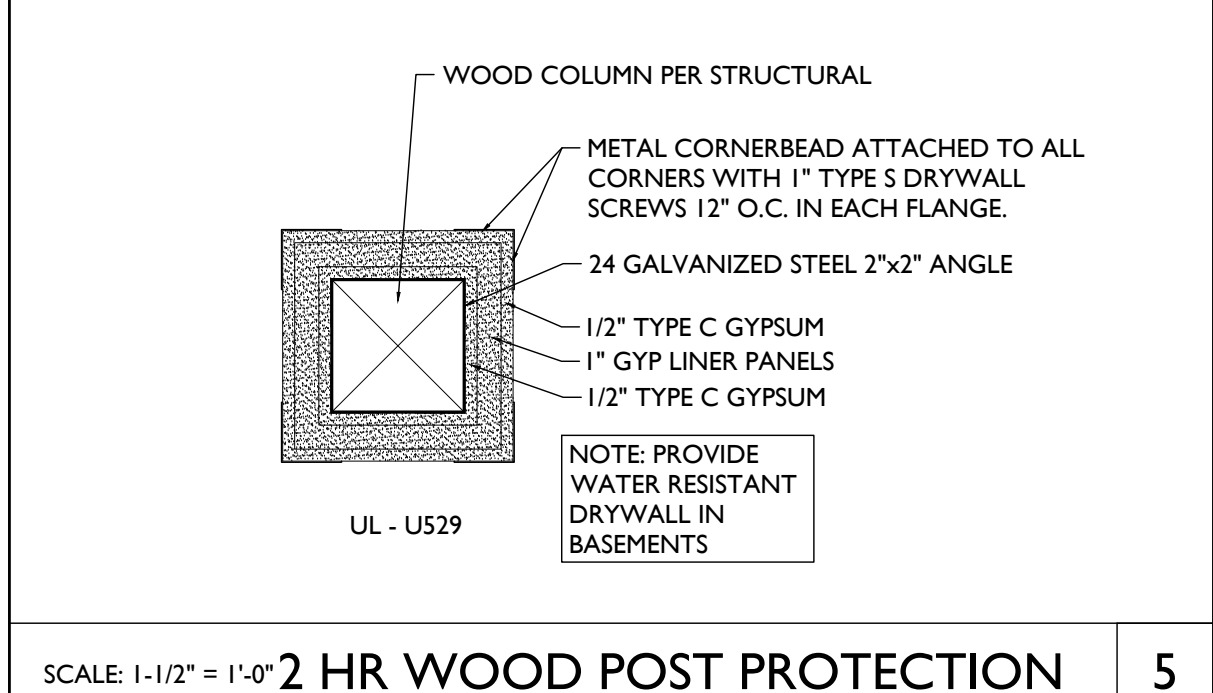
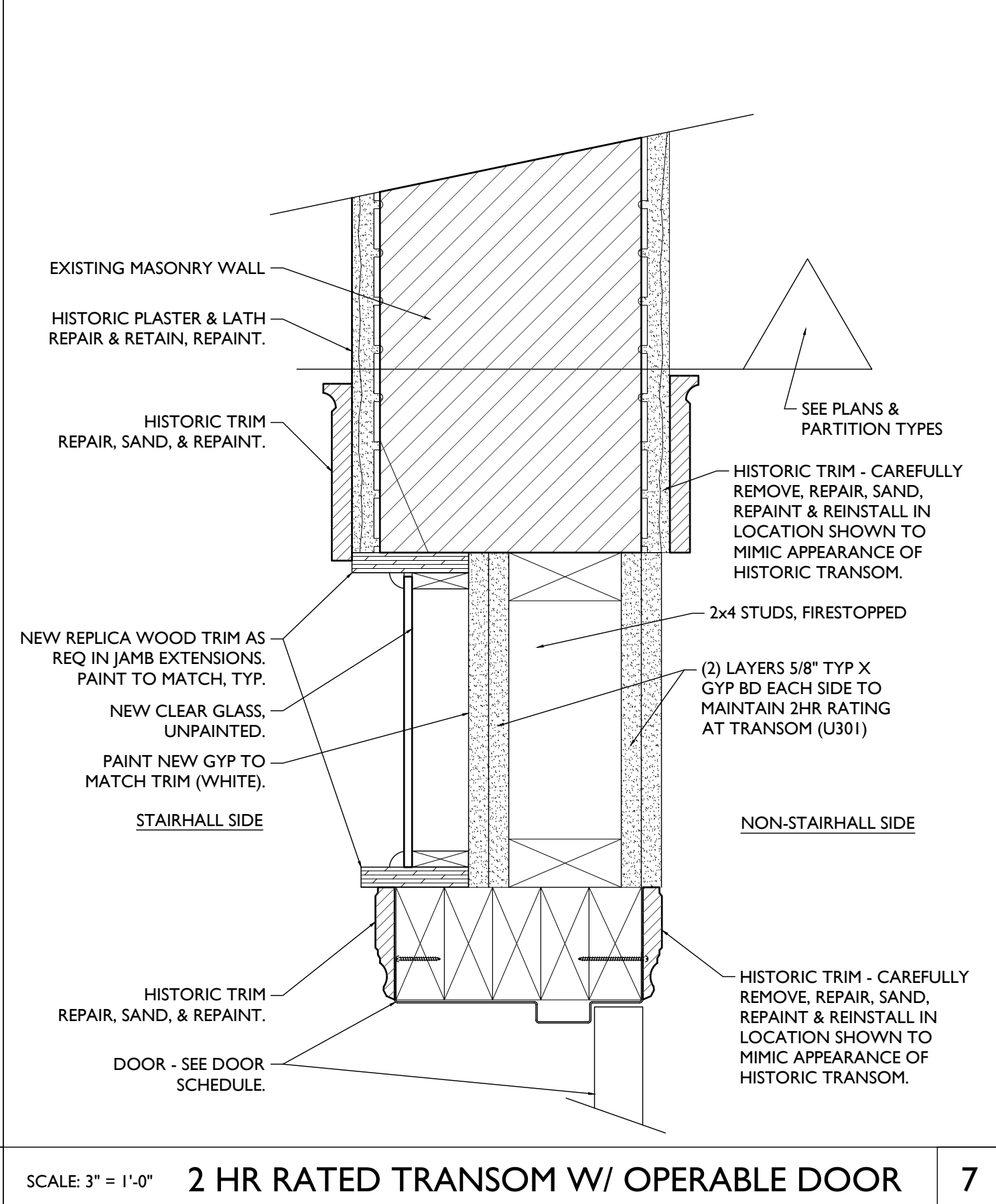
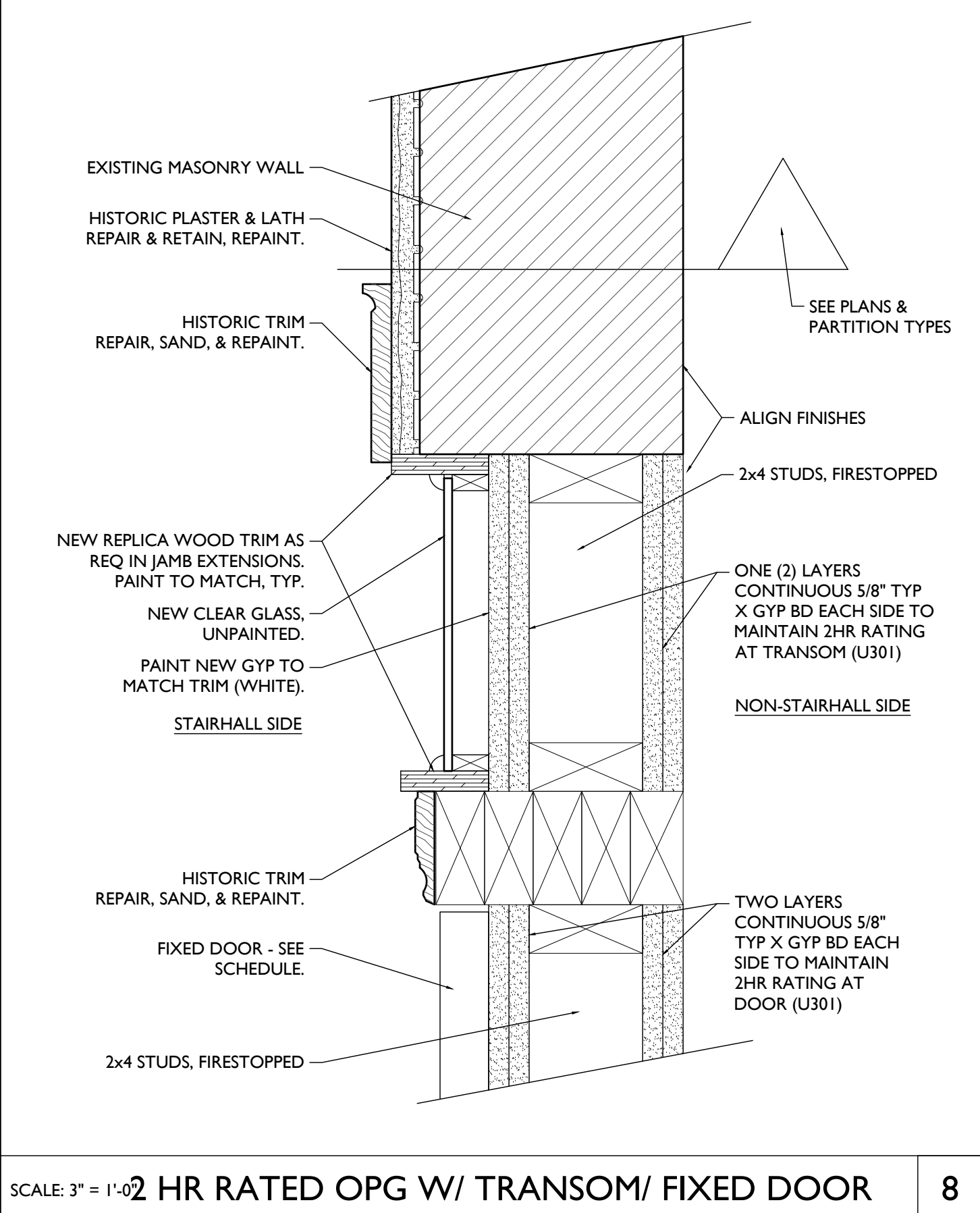
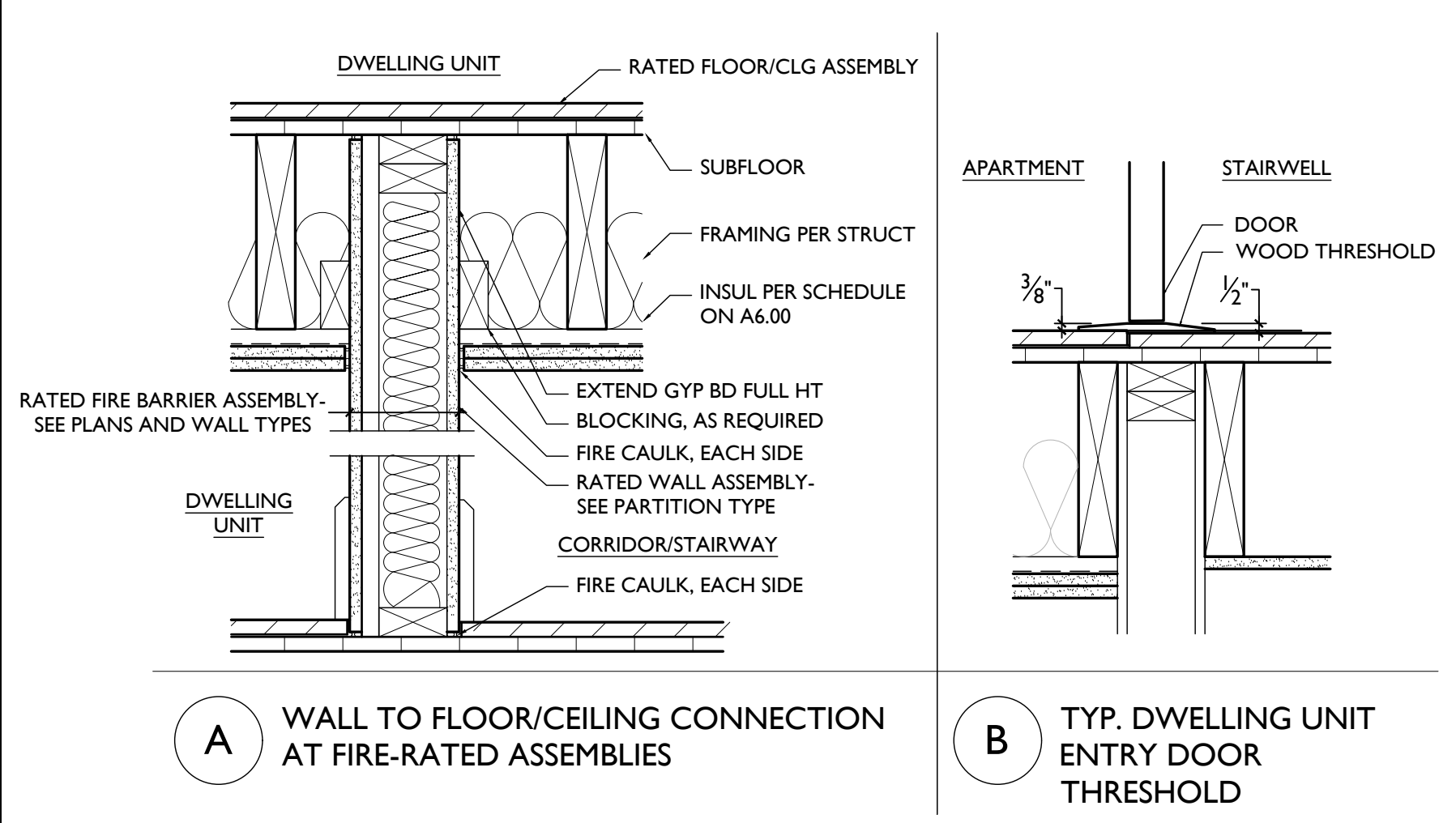
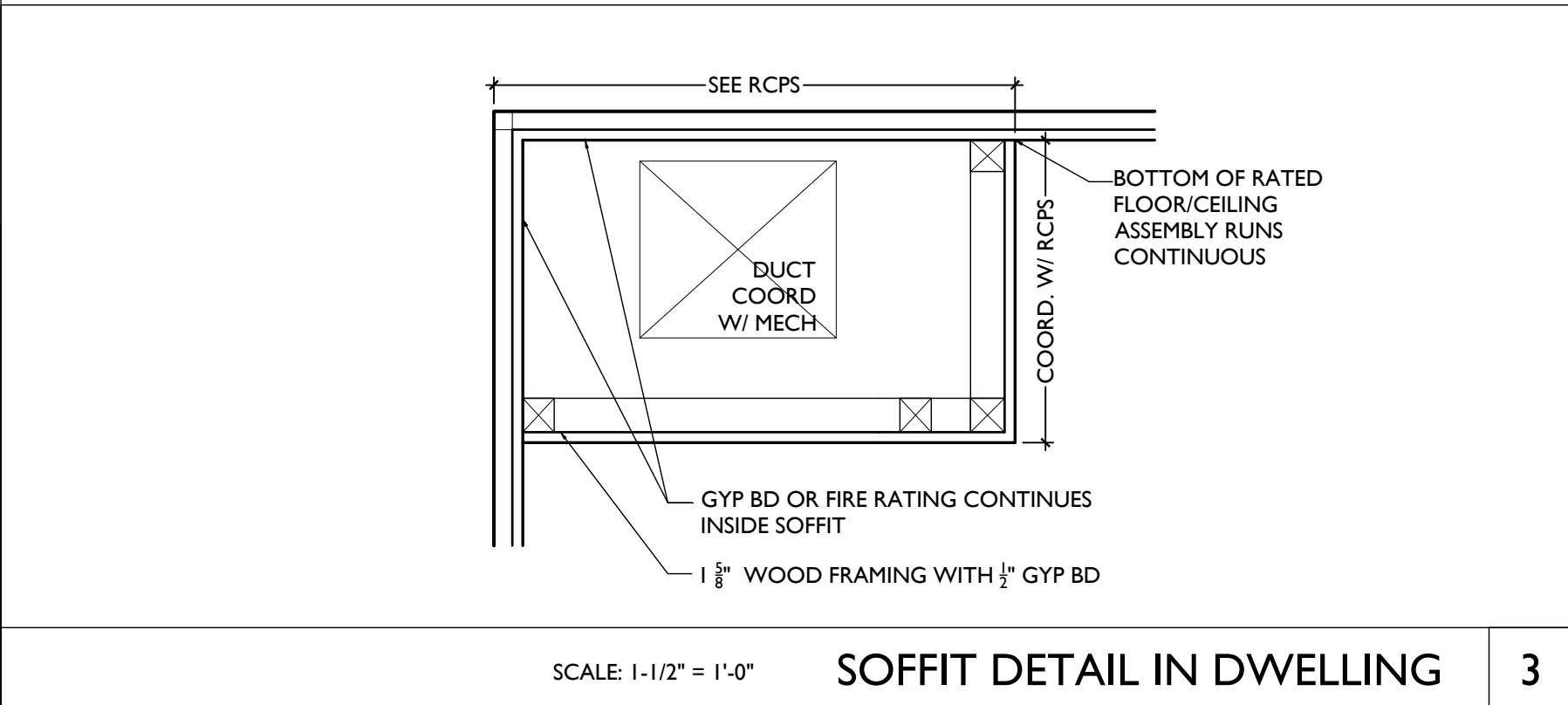
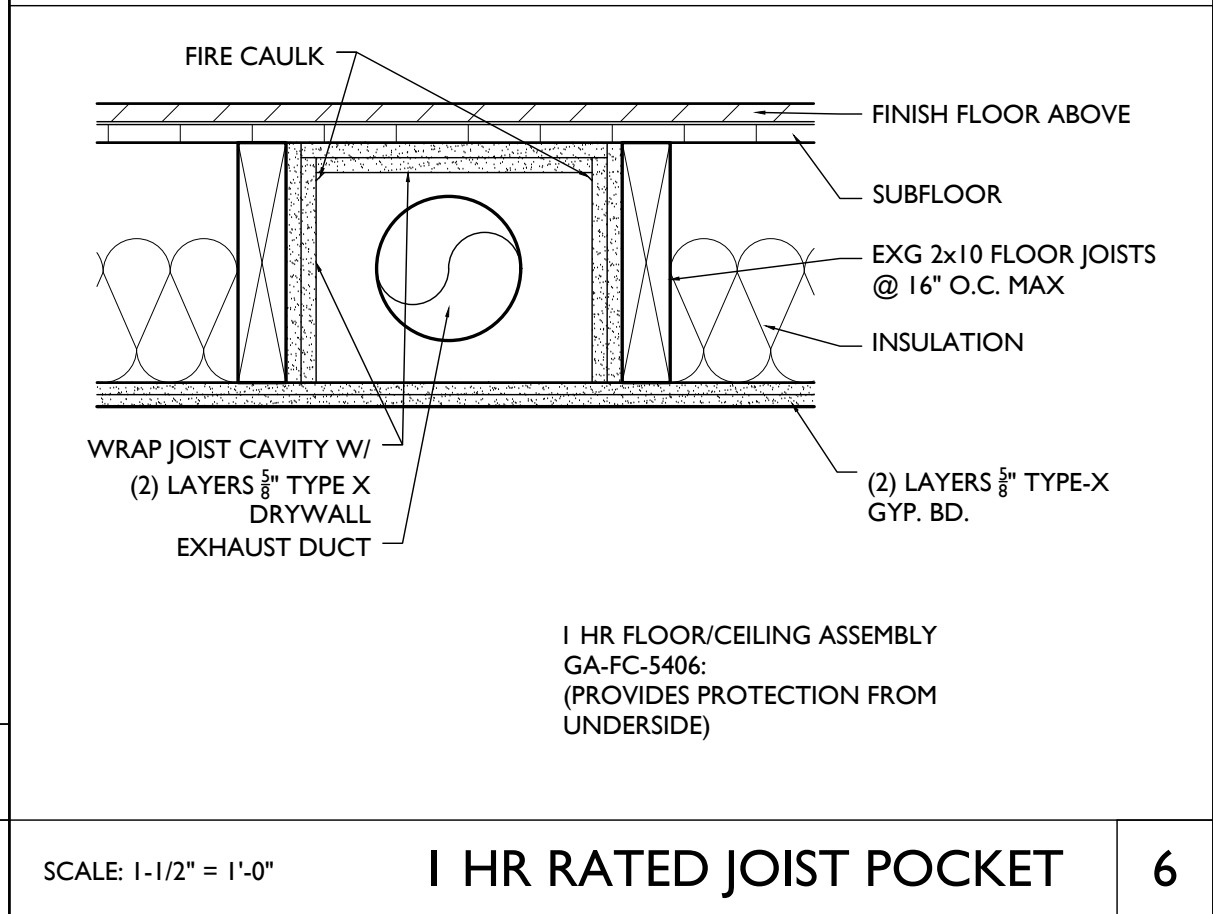
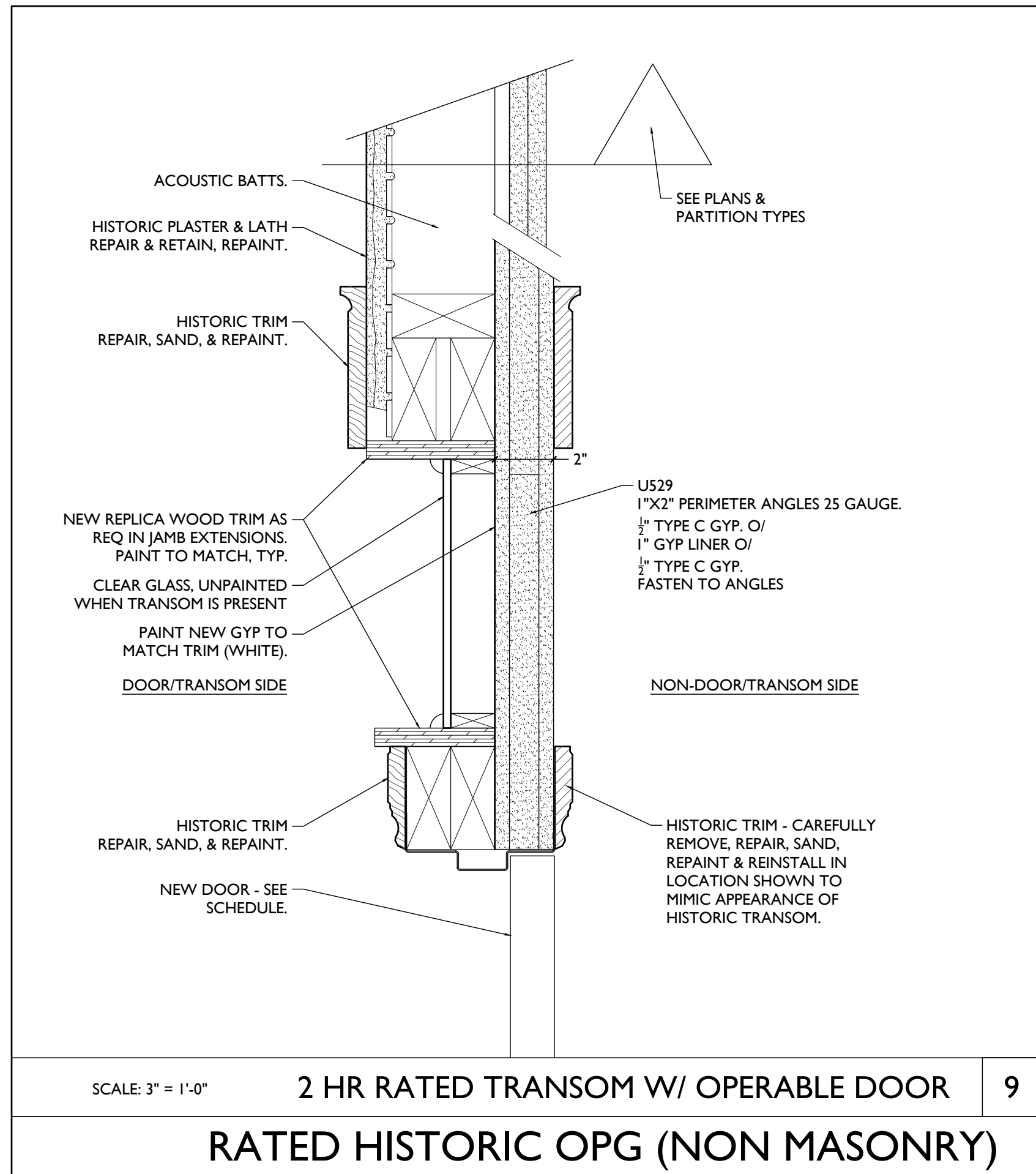
Progress Dates
2023.04.28 - BID/PERMIT
2024.08.30 - BID SET 2

Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
TB, AM

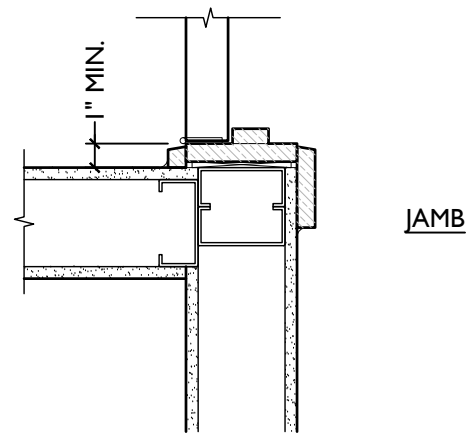
PROPOSED PROJECT:
**RENOVATION FOR
1732 VINE ST. / 1734 VINE ST.**
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 08.30.2024

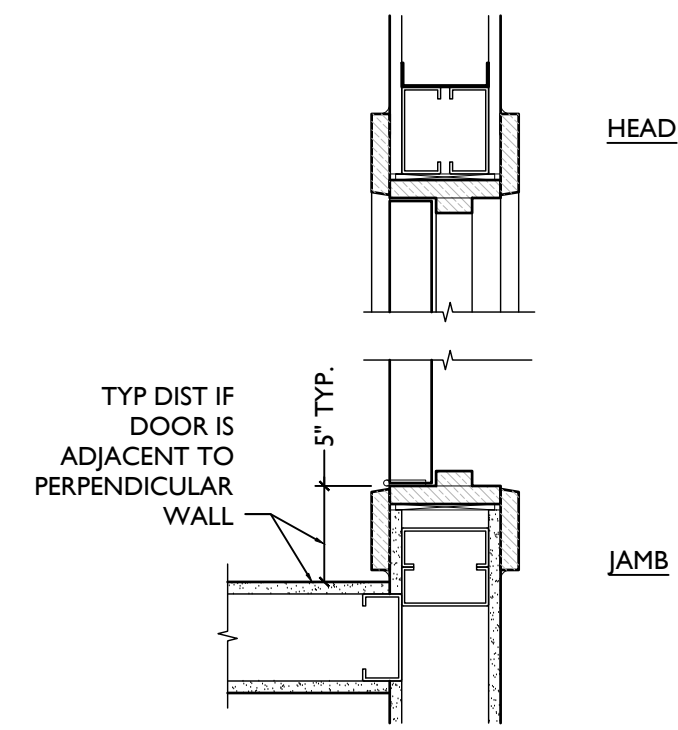


DOOR DETAILS NOTE:
SEE NEW PLANS & SHEET A6.00 FOR SPECIFIC
ASSEMBLY INFO AND FIRE-RATINGS.

TYPICAL DOOR DETAILS

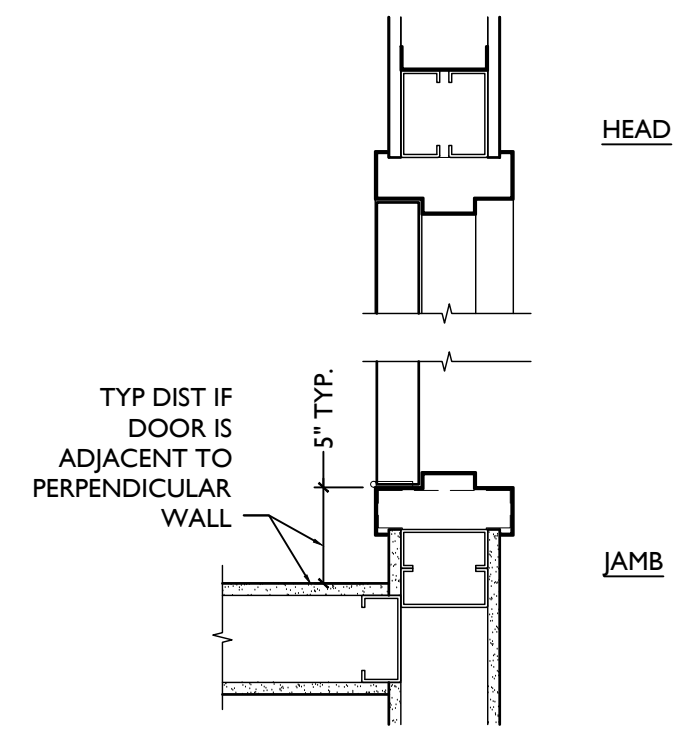


8 WD FRAME JAMB MIN.
SCALE: 1 1/2" = 1'-0"

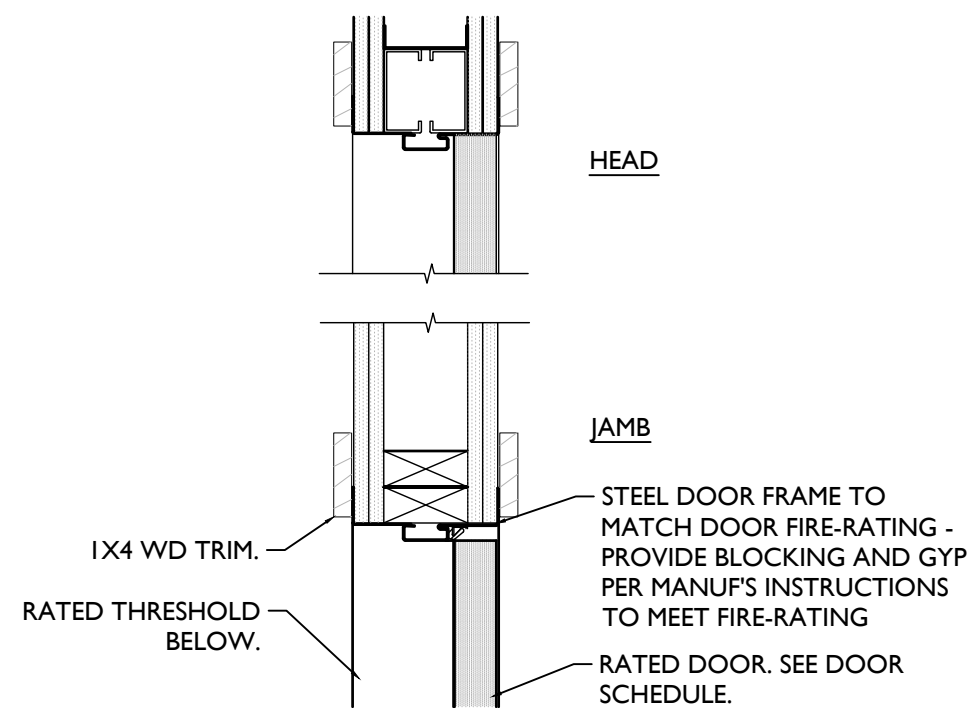


7 WD FRAME HEAD/JAMB
SCALE: 1 1/2" = 1'-0"

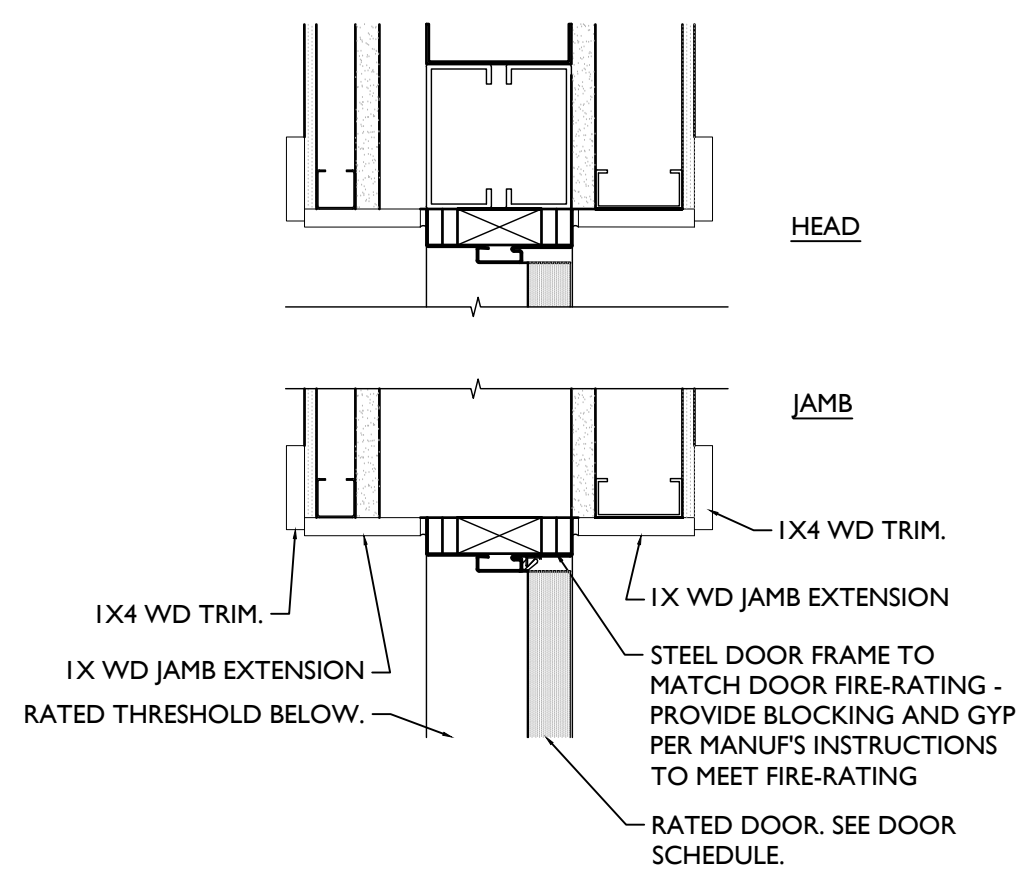
6 NOT USED
SCALE: 1 1/2" = 1'-0"



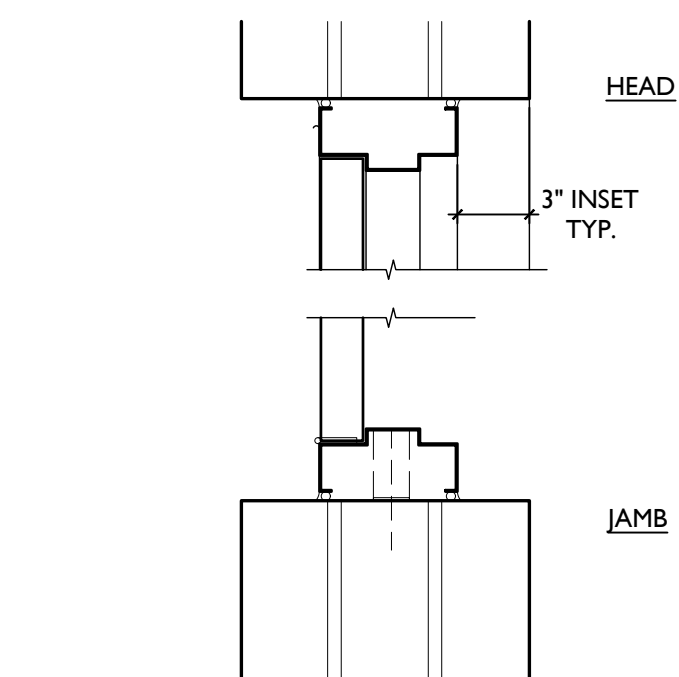
5 MTL FRAME @ STUD WALL
BASEMENT ONLY SCALE: 1 1/2" = 1'-0"



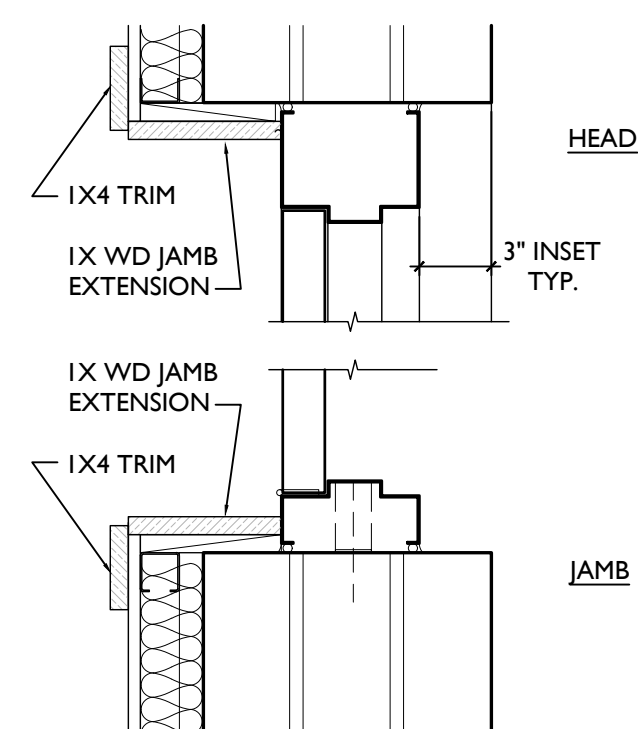
4 MTL FRAME @ STUD WALL
FIRE-RATED ONLY, ABOVE BASEMENT SCALE: 1 1/2" = 1'-0"



3 MTL FRAME @ MSNRY - INTERIOR
FIRE-RATED ONLY SCALE: 1 1/2" = 1'-0"

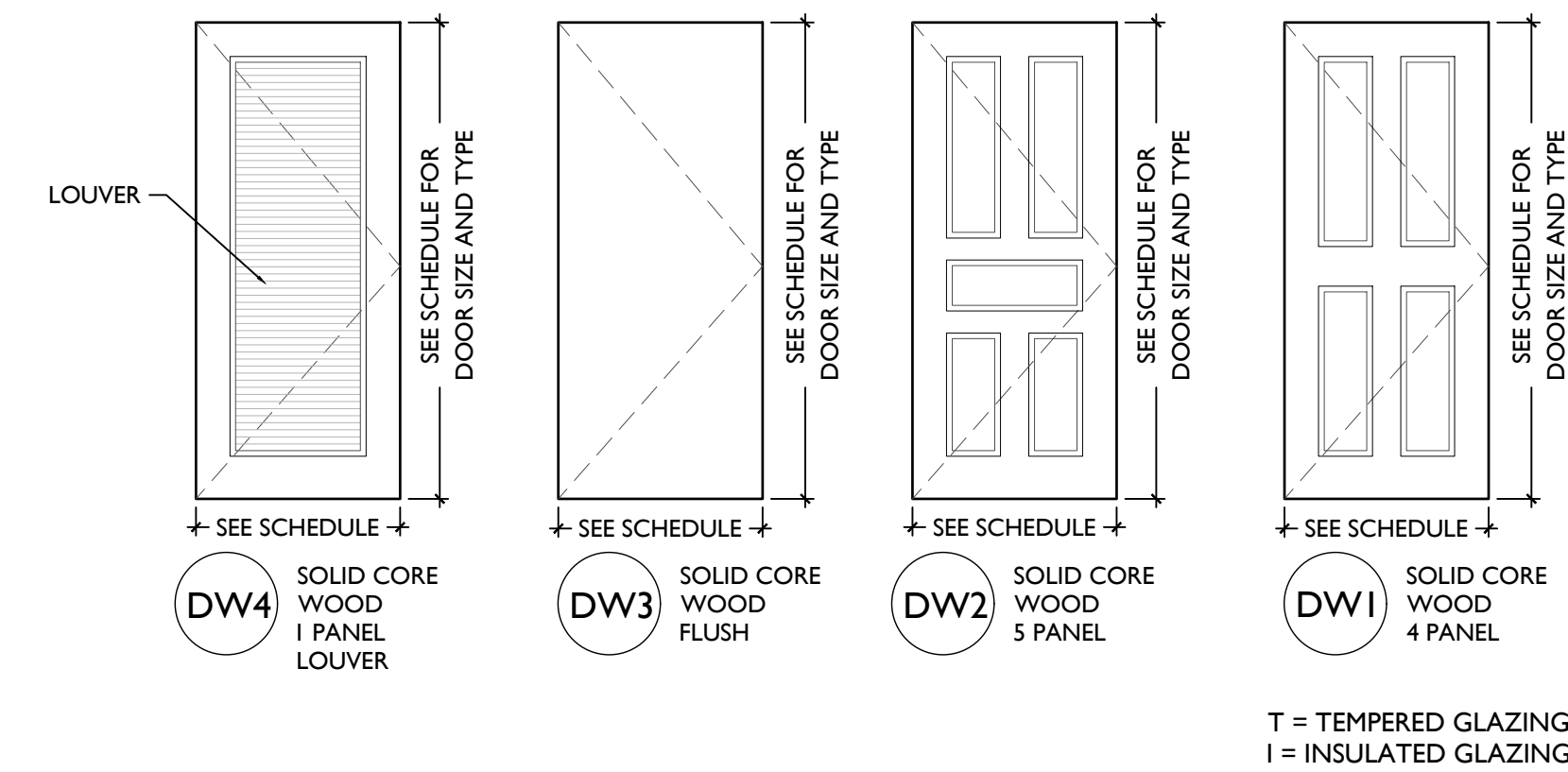
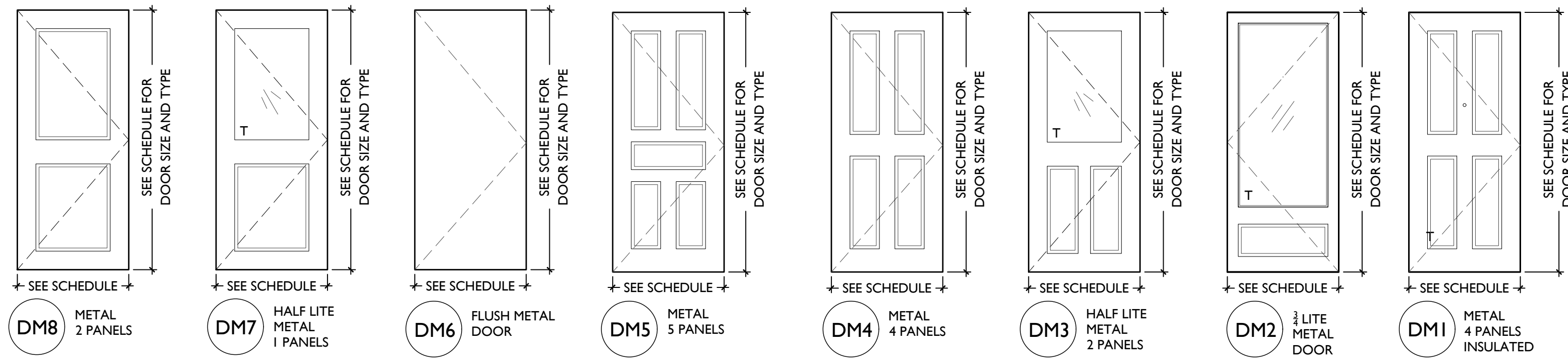
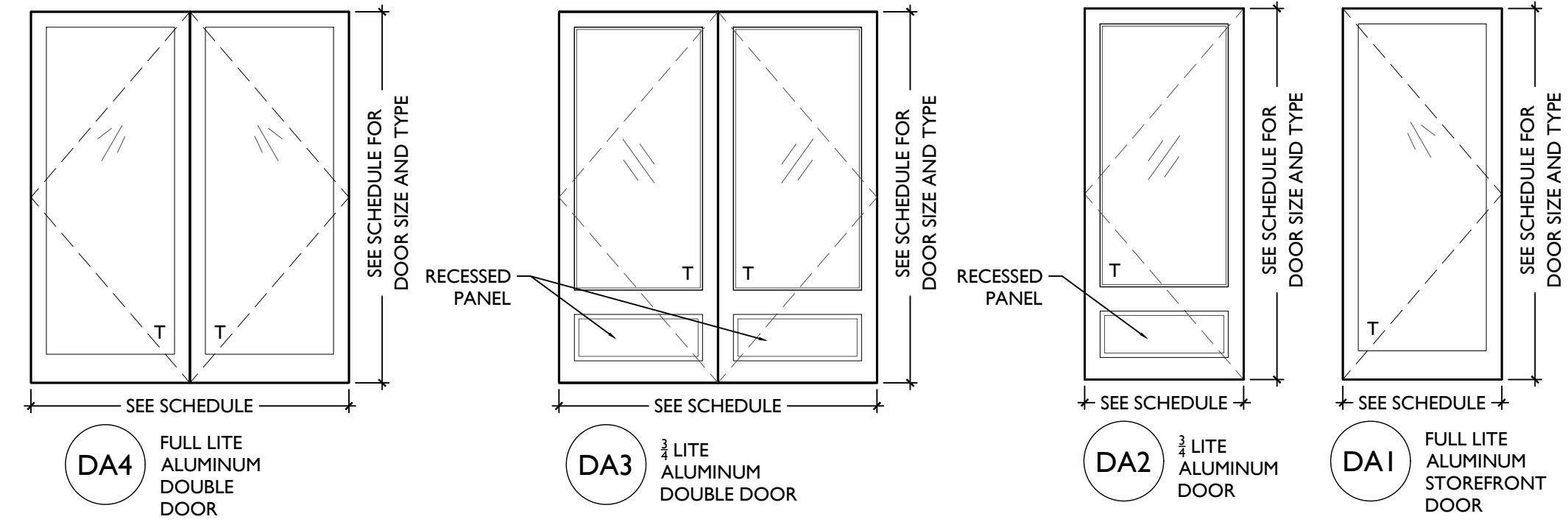


2 MTL FRAME @ MSNRY - INTERIOR
BASEMENT ONLY SCALE: 1 1/2" = 1'-0"



1 MTL FRAME @ MSNRY - EXTERIOR
SCALE: 1 1/2" = 1'-0"

NOTE: SEE A6.12 FOR
STOREFRONT FRAMES



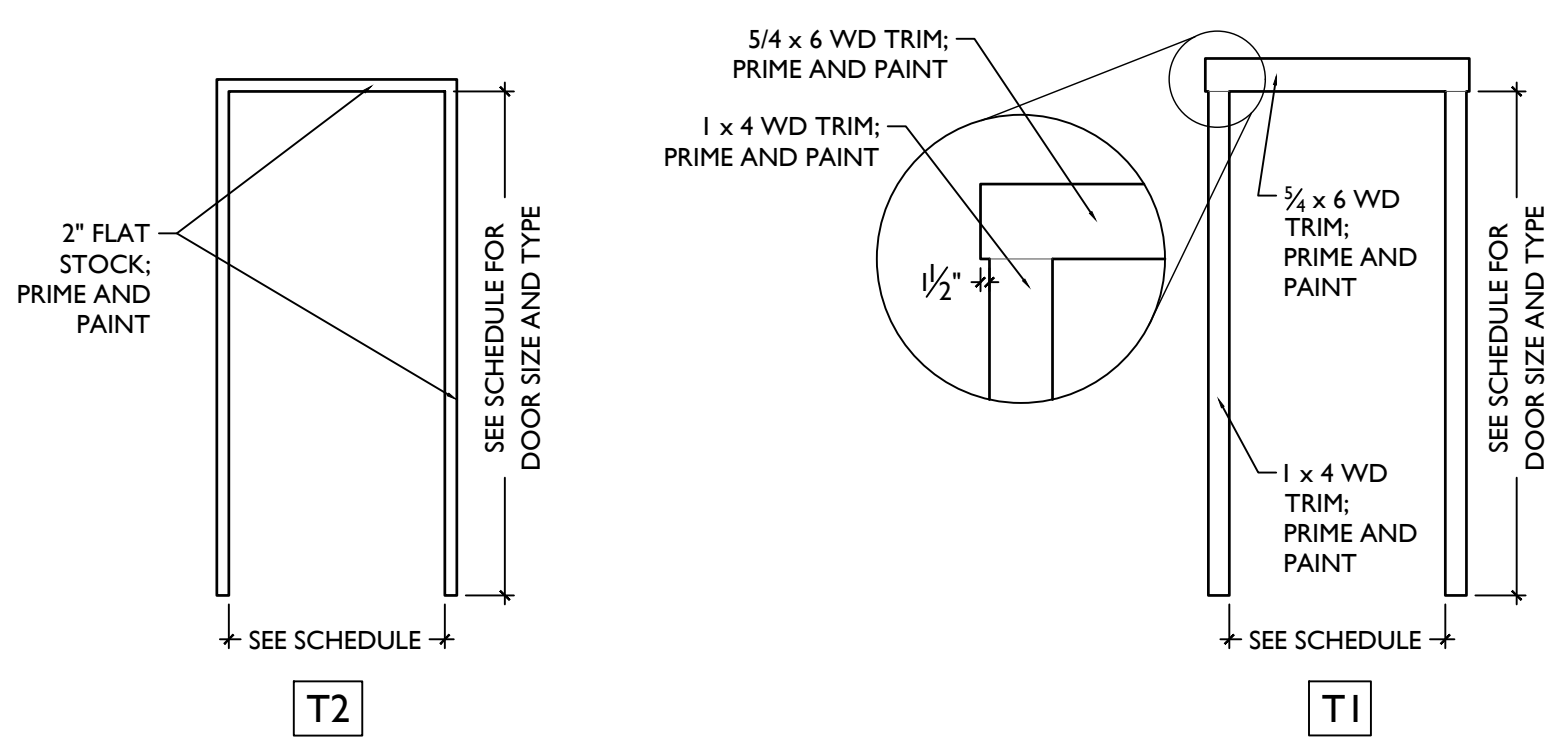
T = TEMPERED GLAZING
I = INSULATED GLAZING

ALUMINUM

METAL

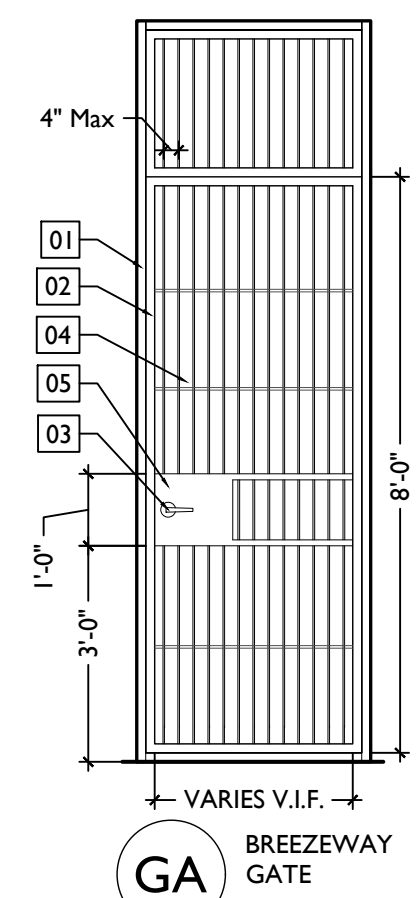
WOOD

TYPICAL NEW WD DOOR TRIM CASING



NOTES:
1. AT DOORWAYS WITH NEW TRIM CASING, INSTALL PER "T1". IF WALL SPACE IS CONSTRAINED AT JAMBS, INSTALL PER "T2".
2. NO WOOD DOOR TRIM AT BASEMENT, U.N.O.

TYPICAL GATE TYPES



KEYED GATE NOTES:
01. 1/2" x 2" x 2" SQUARE STEEL FRAME ATTACHED TO ADJACENT EXG. MASONRY WALL
02. 1/2" x 2" x 2" POWDER-COATED STEEL TUBE DOOR FRAME MOUNTED ON HINGES
03. TYPICAL GATE HARDWARE - SEE DOOR AND DOOR HARDWARE SCHEDULE
04. STEEL BAR STOCK AT VERTICAL AND HORIZONTAL, TYPICAL
05. 1/6 GA STEEL PLATE WELDED TO ADJACENT FRAME TO HOUSE HARDWARE
NOTE: EXTERIOR STEEL TO BE GALVANIZED, TYP., & PAINTED BLACK.

Progress Dates
2023.04.28 - BID/PERMIT
2024.08.30 - BID SET 2

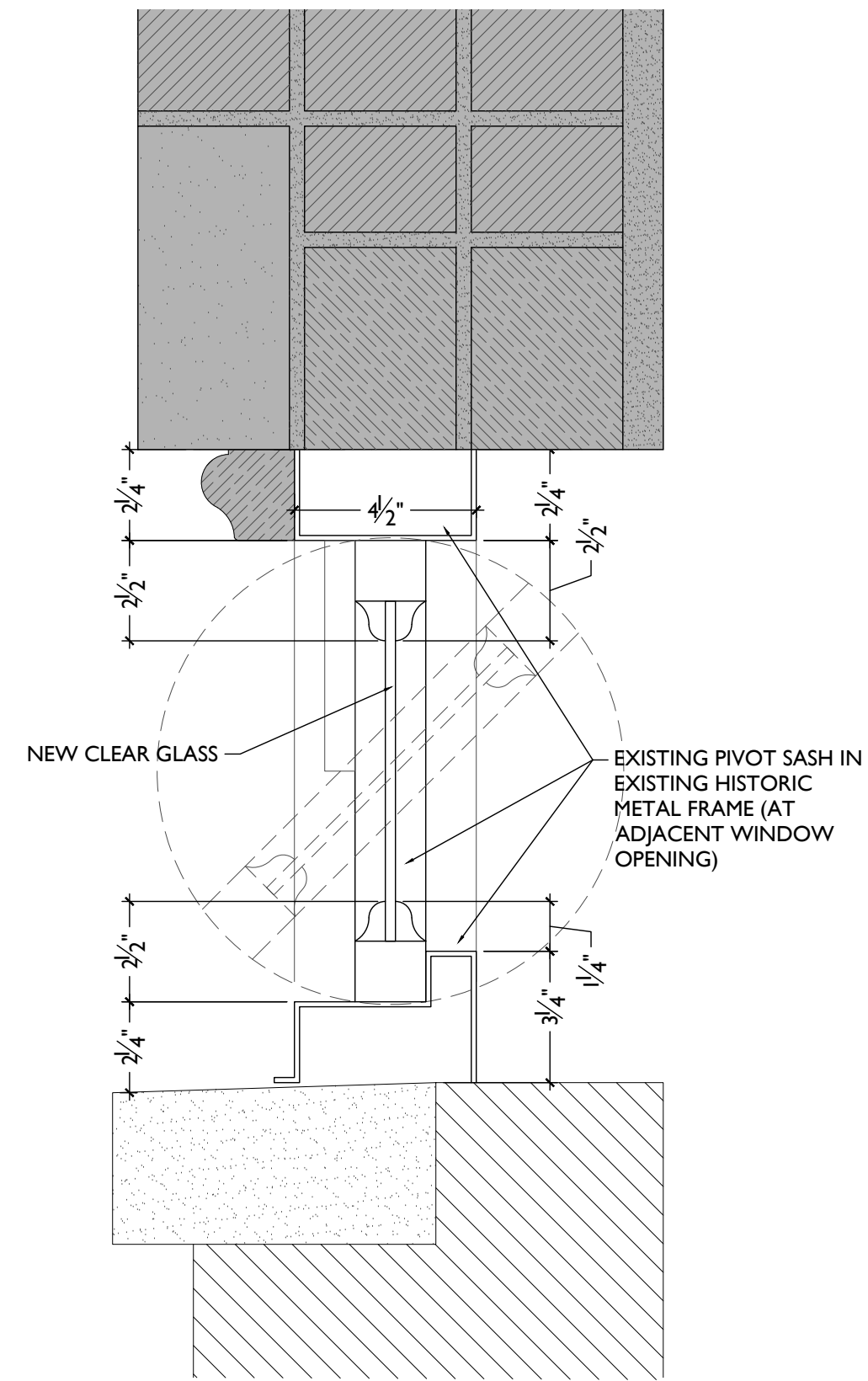
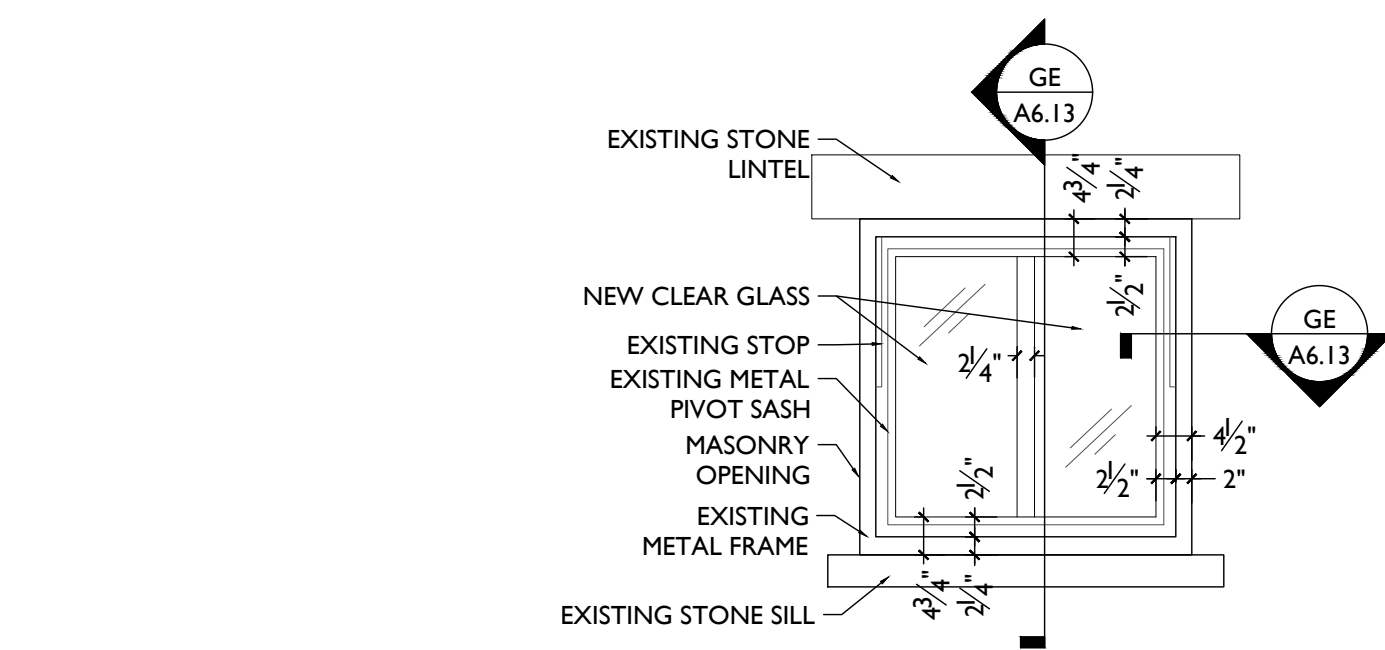
Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
TB, AM

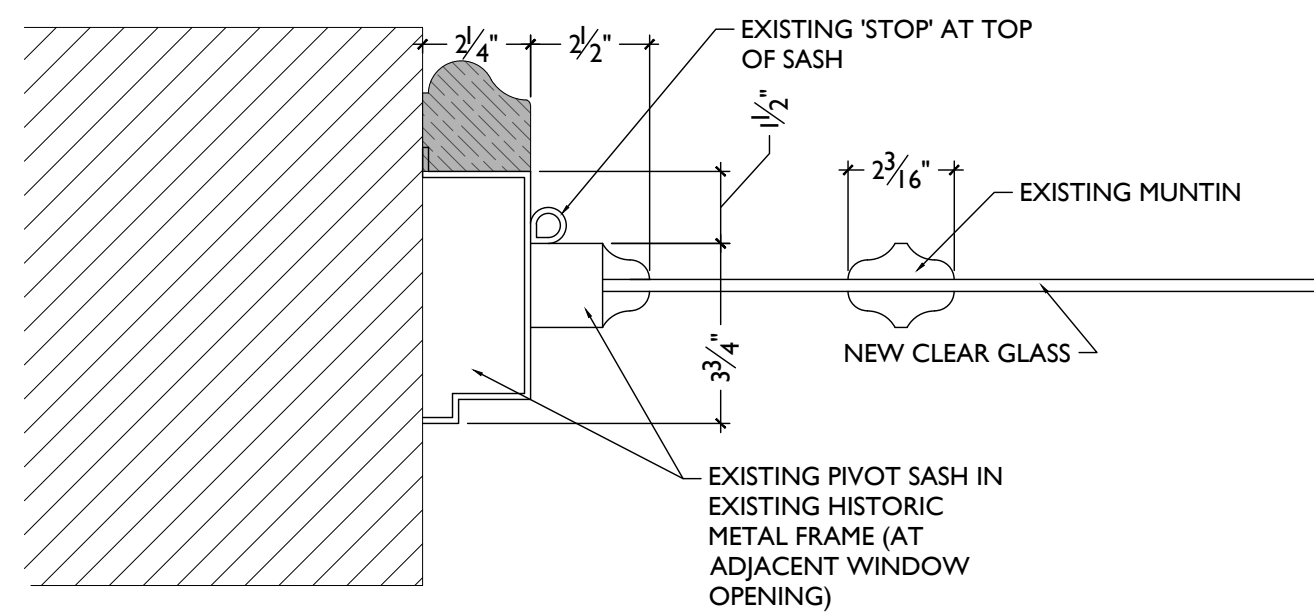
Job No: 22042 08.30.2024

DETAILED ELEVATION

SCALE: 1/2" = 1'-0"

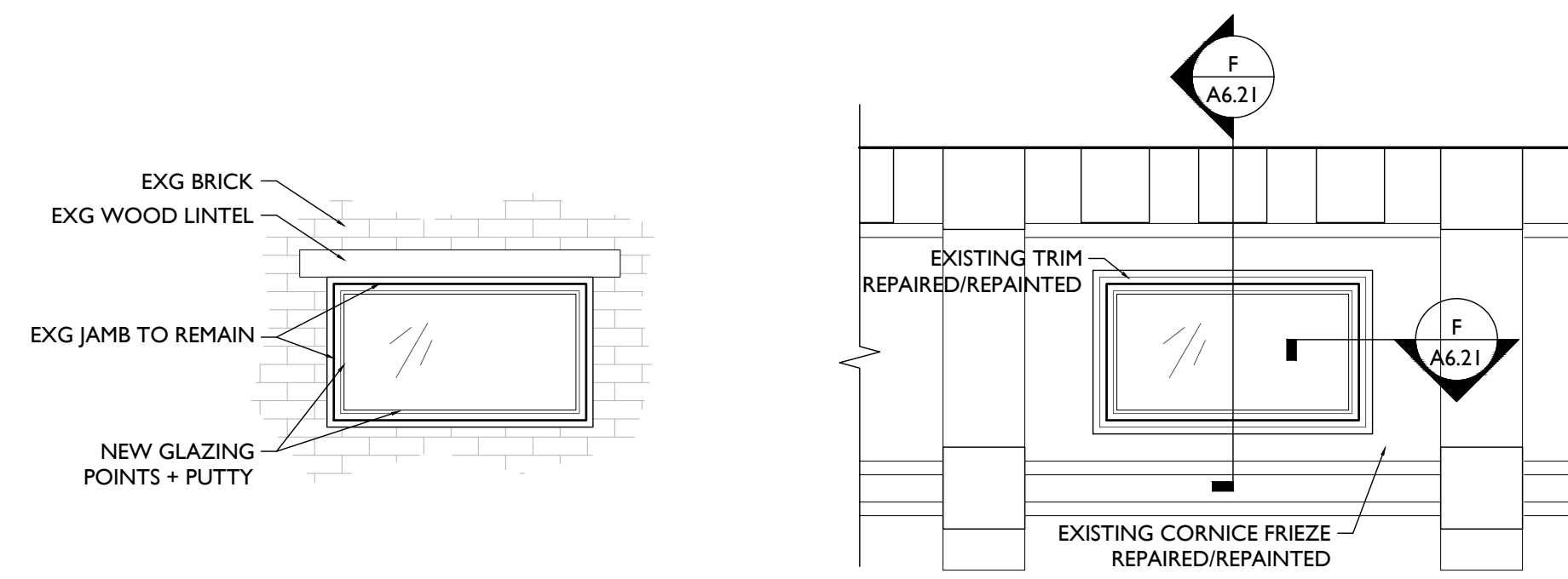


HEAD AND SILL



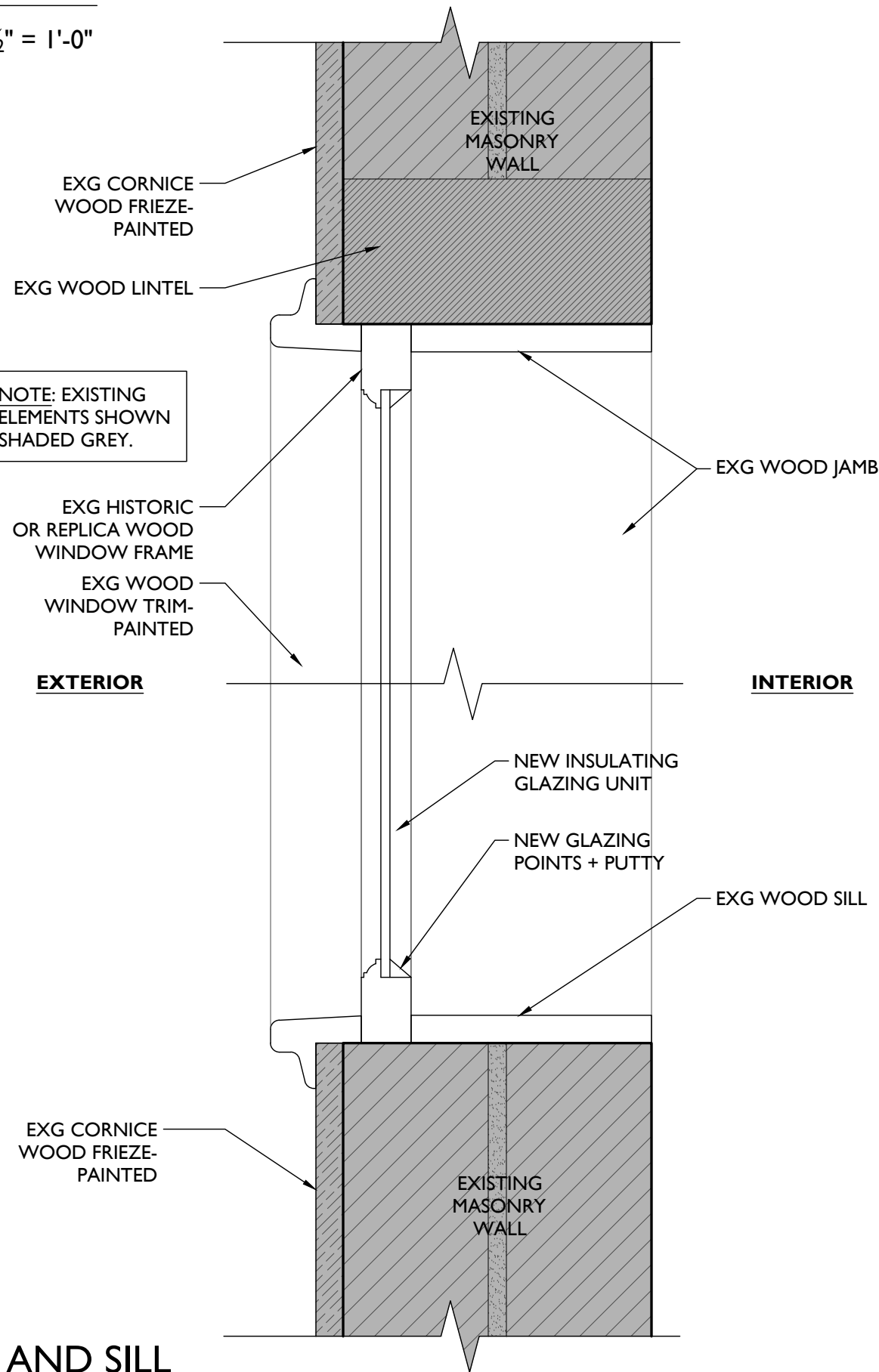
JAMB

TYPE 'GE' - REPLACEMENT GLAZING IN CORNICE/ATTIC GE

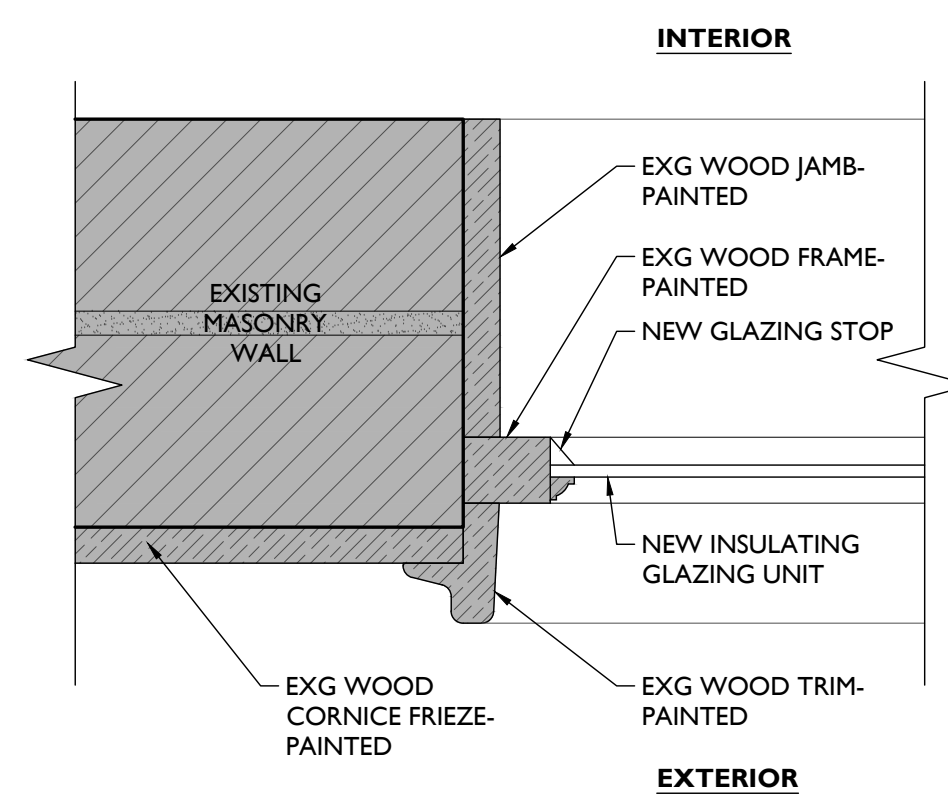


DETAILED ELEVATION

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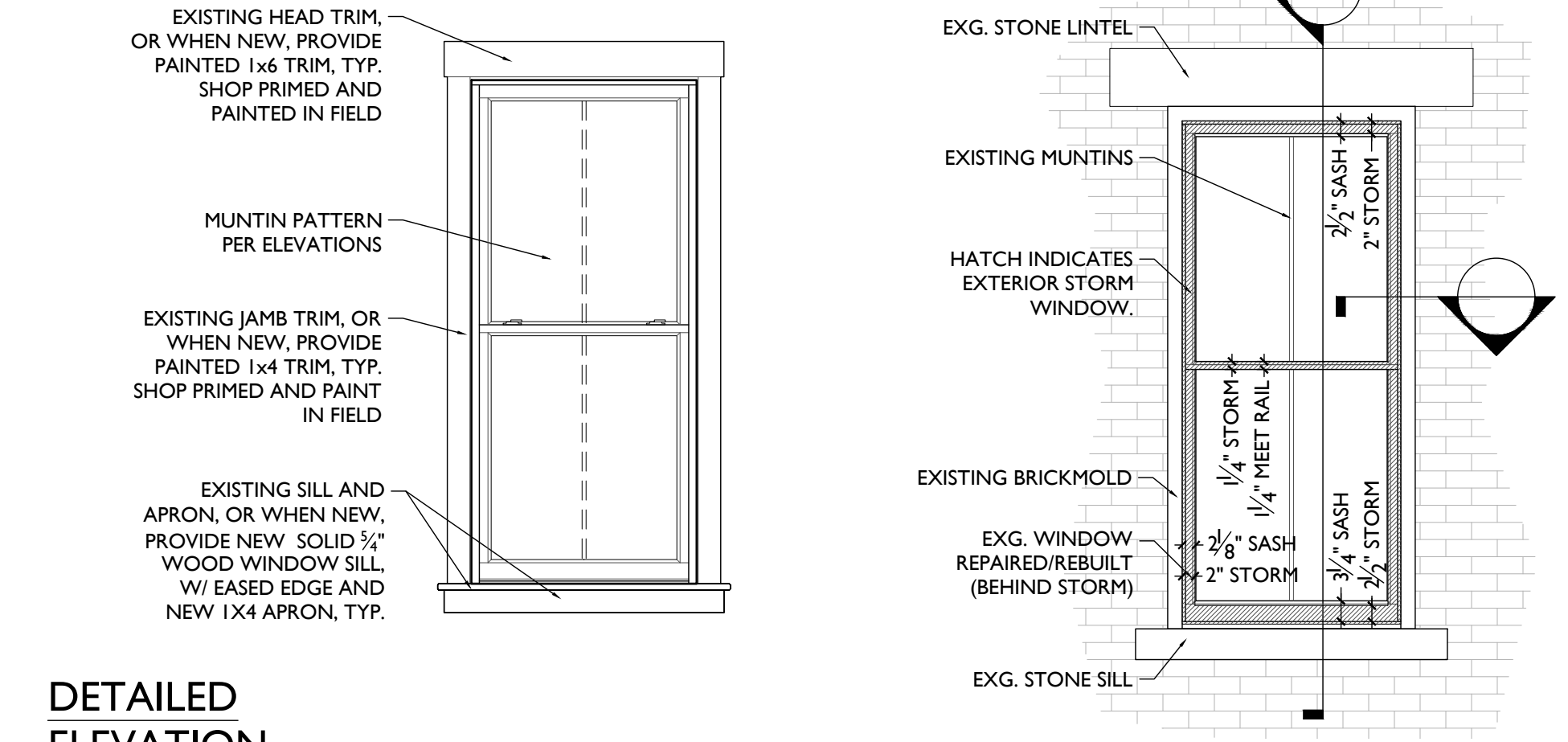


HEAD AND SILL



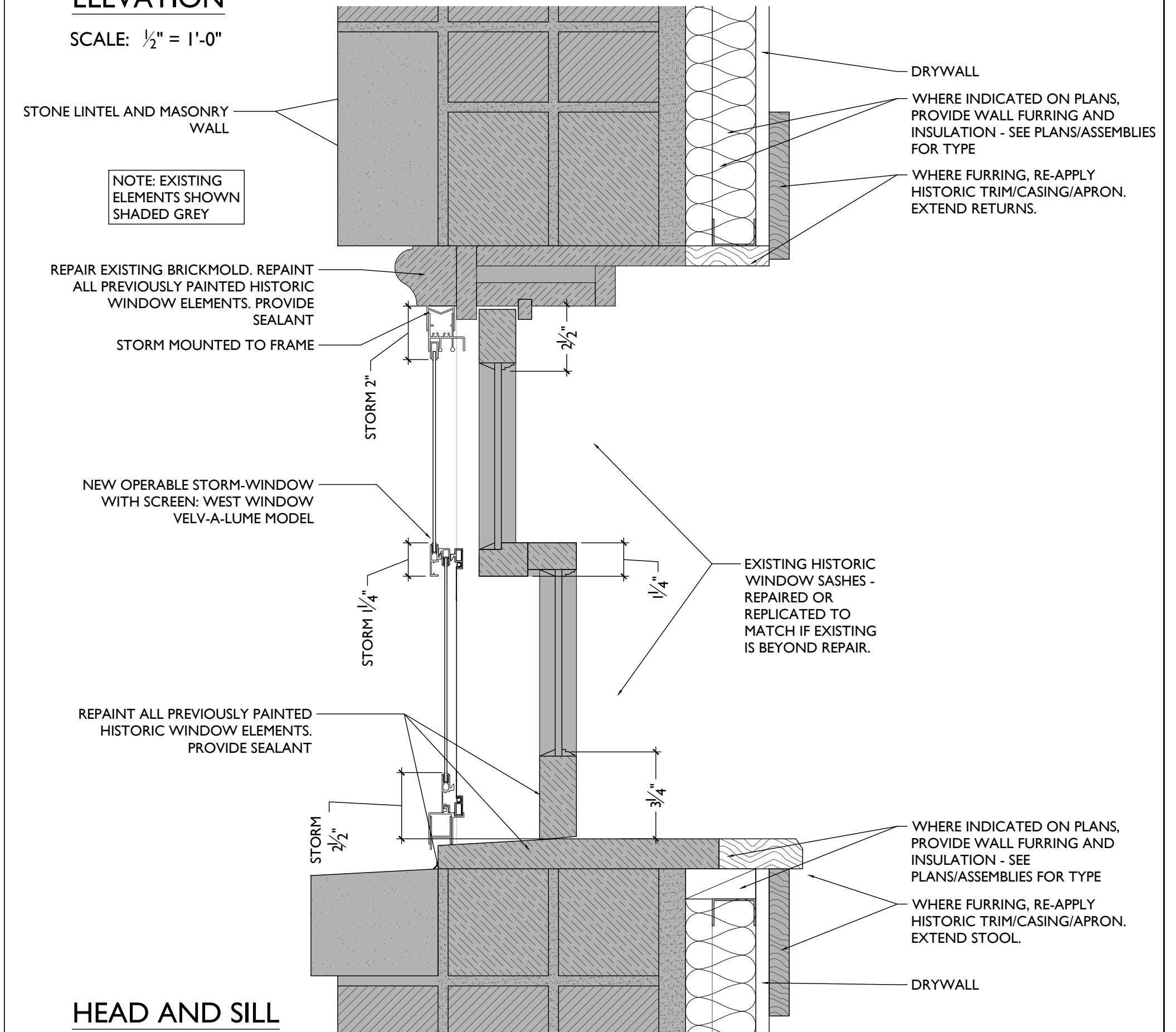
JAMB

TYPE 'F' - REPLACEMENT GLAZING IN CORNICE/ATTIC F

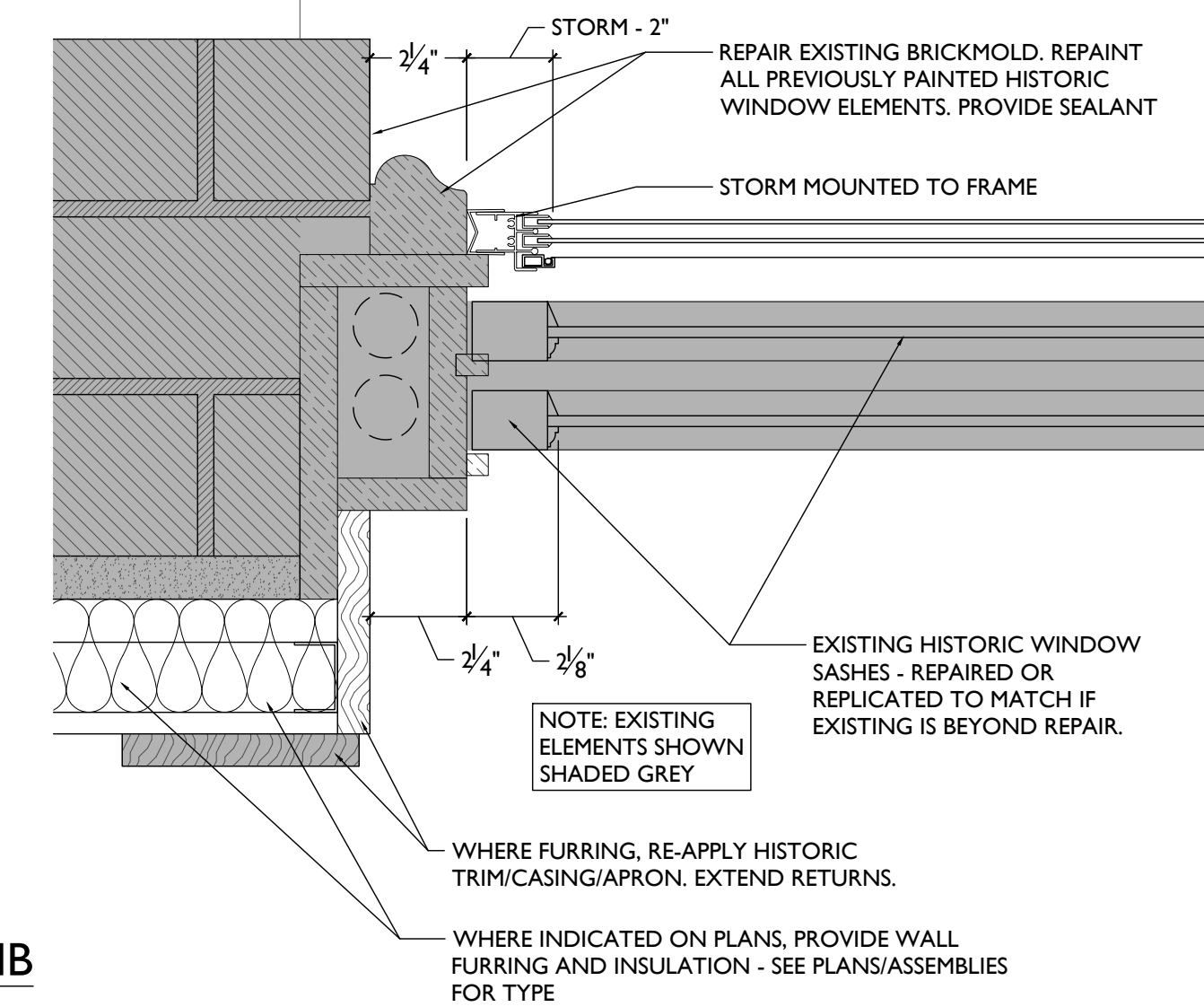


DETAILED ELEVATION

SCALE: 1/2" = 1'-0"



HEAD AND SILL



JAMB

TYPE 'AE' - EXG. OR REPLICA WINDOW W/ NEW STORMS AE

SCALE: 3/8" = 1'-0"

WINDOW TYPES & DETAILS

Progress Dates
2023.04.28 - BID/PERMIT
2024.08.30 - BID SET 2

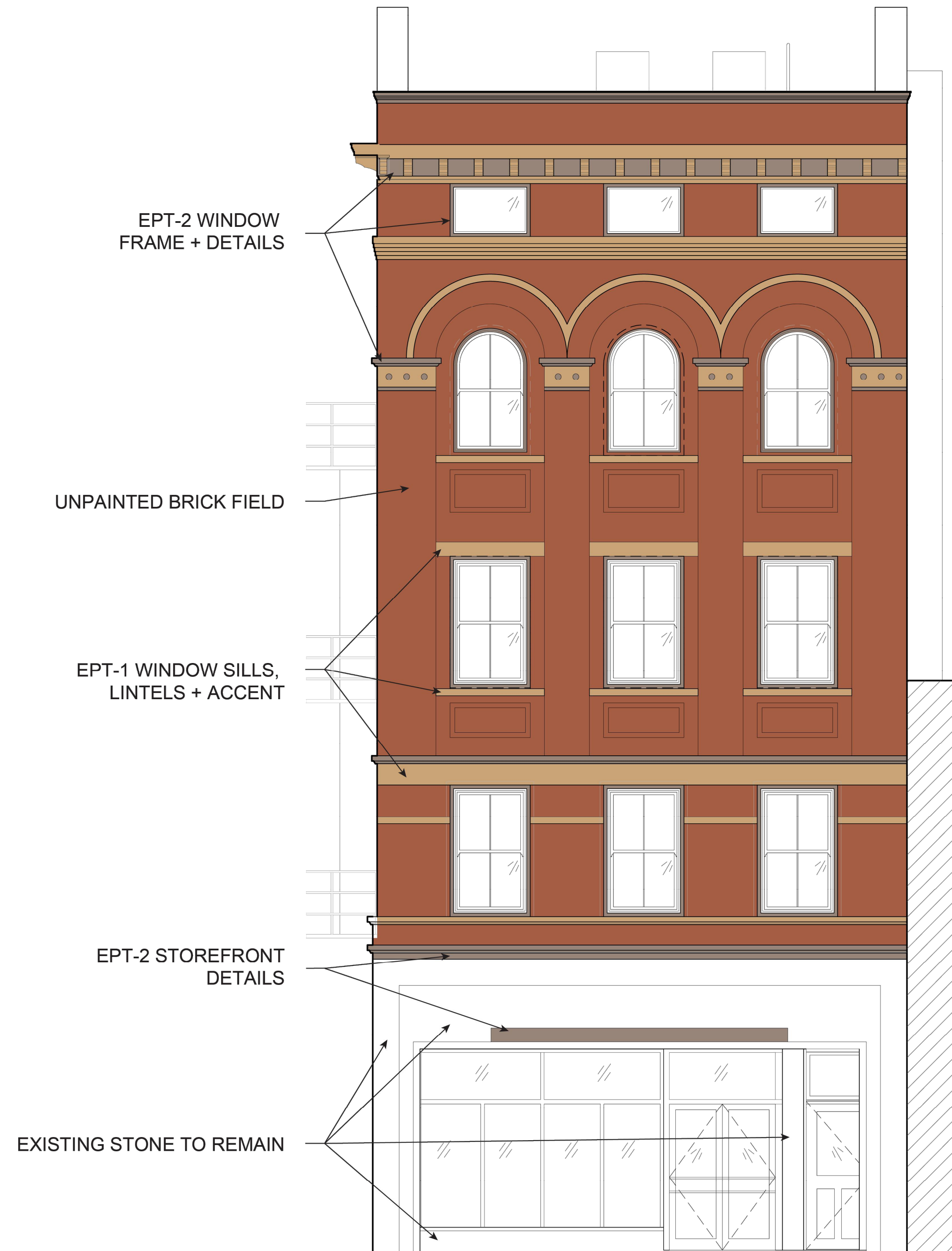
Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
TB, AM

Job No: 22042 08.30.2024

1732 VINE STREET

- UNPAINTED BRICK
- #PPG1092-4 CRAFTSMAN GOLD: EPT-1
- #PPG14-01 SHADOW TAUPE: EPT-2



PROPOSED WEST ELEVATION



PROPOSED NORTH ELEVATION

SCALE: 1/4" = 1'-0"

COLORED ELEVATION |

Progress Dates
2023.04.28 - BID/PERMIT
2024.08.30 - BID SET 2

Revisions

Design Team:
CO, JK, MR, MR, RK, RO, SO, TB
Drawn by:
TB, AM

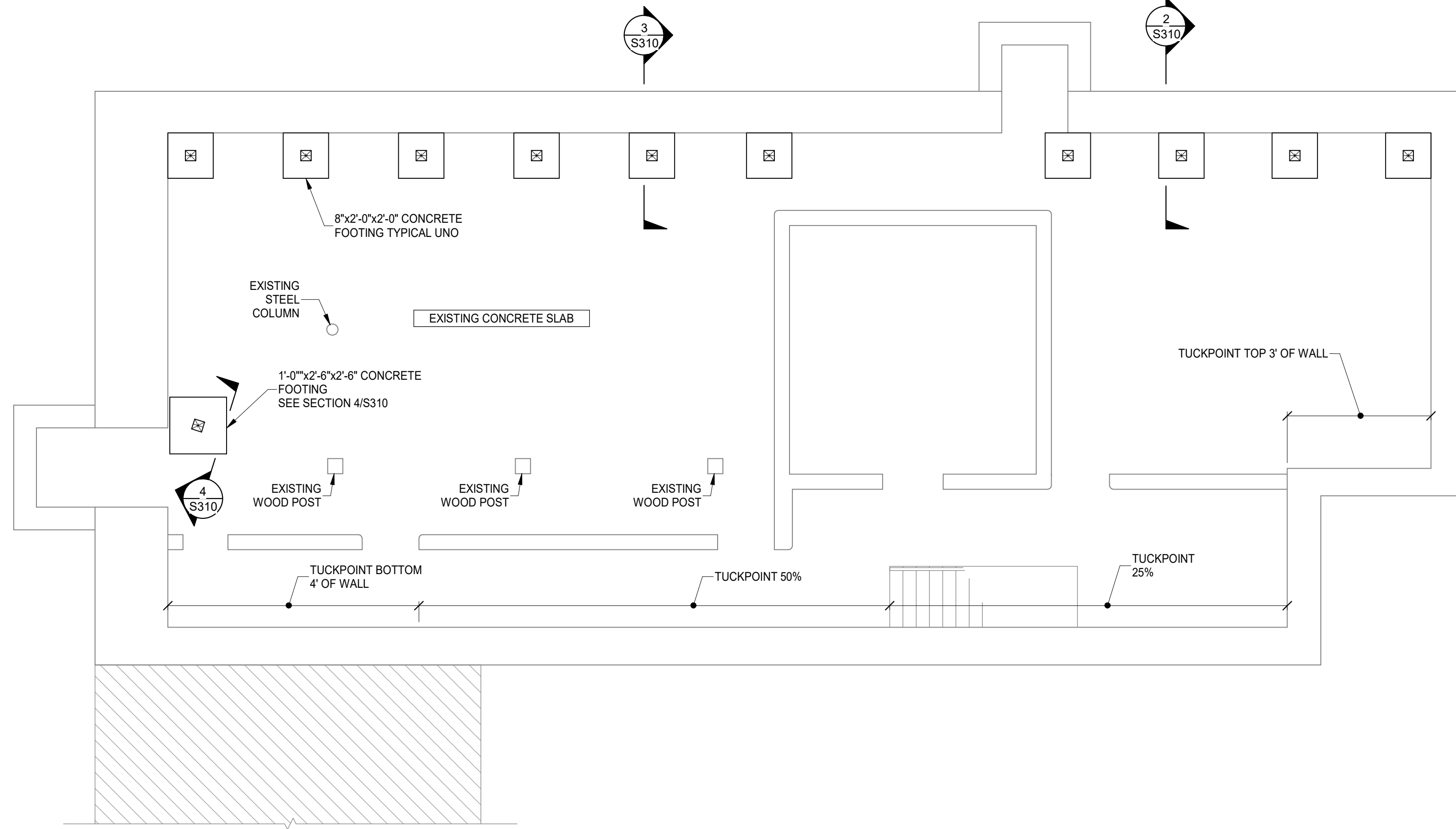
PROPOSED PROJECT:
RENOVATION FOR
1732 VINE ST. / 1734 VINE ST.
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 08.30.2024

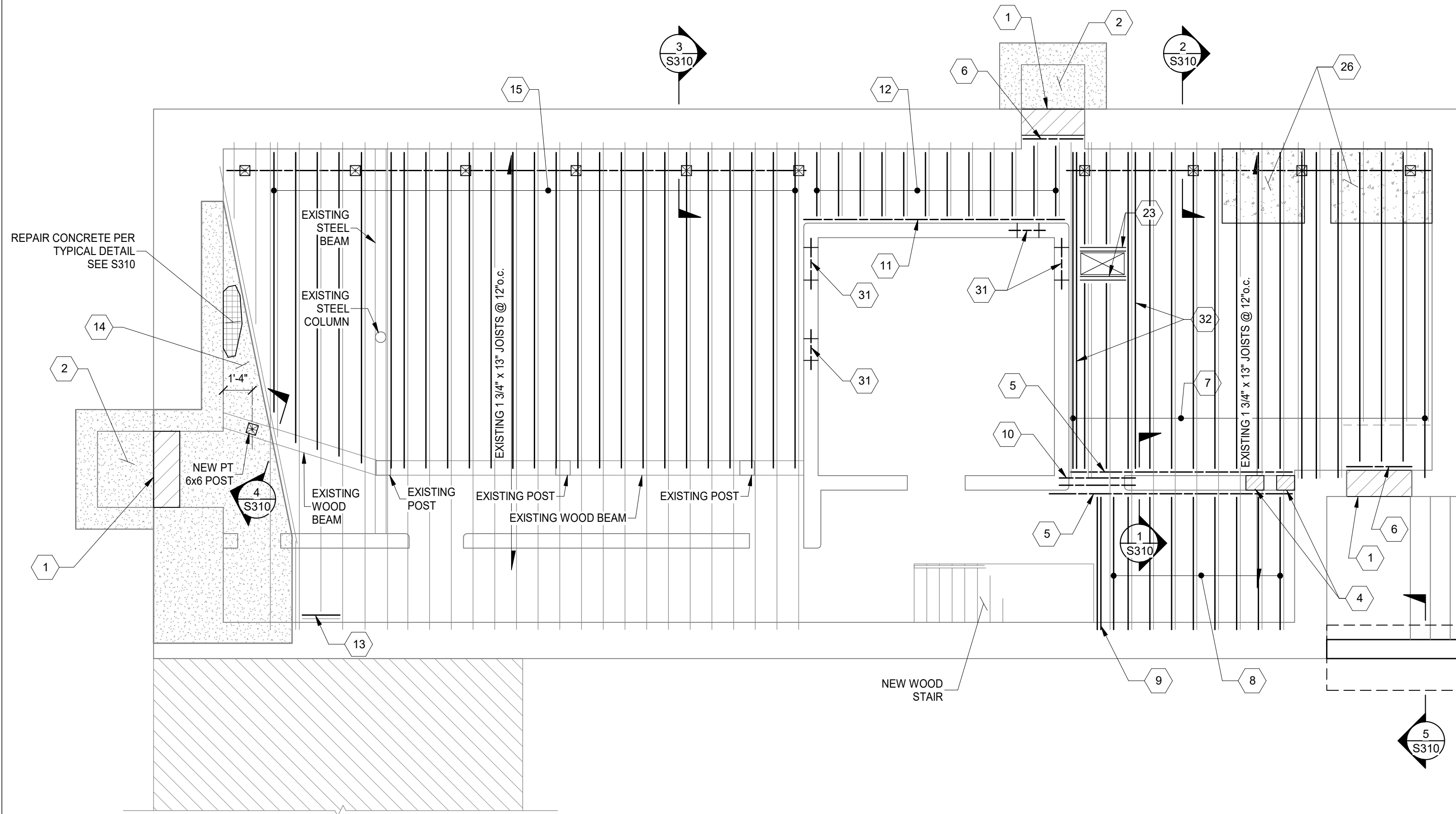
A8.00

1732 VINE ST
CINCINNATI, OH 45202

1732 VINE ST



FOUNDATION PLAN
SCALE 1/4" = 1'-0"



1ST FLOOR FRAMING PLAN
SCALE 1/4" = 1'-0"



PROJECT KEYNOTES:

- 1 INFILL EX OPENING WITH SOLID CMU OR HOLLOW CMU GROUTED SOLID, TO MATCH WALL THICKNESS ABOVE. GROUT/MORTAR TIGHT TO EX STONE FOUNDATION WALLS AND MASONRY ABOVE.
- 2 REMOVE EX SLAB HATCH OR GRATE. FILL AREA WITH 500 PSI CDF, TOP WITH A NEW 4" CONCRETE SLAB.
- 3 INFILL OPENING WITH 2x8 WITH LUS26 EACH END
- 4 REPAIR EXISTING BRICK AND INFILL OPENINGS WITH NEW BRICK MASONRY.
- 5 NEW (2) 2x8 P.T. LEDGER.
- 6 NEW (2) 2x8 P.T. LEDGER BOLTED TO NEW SOLID CMU INFILL w/ 3/4" GALV THREADED RODS AND HILTI HIT-HY 270 ADHESIVE, 6" MIN EMBED, AT 8' o.c.
- 7 NEW 2x12 P.T. SISTER AT EACH EX JOIST. BEAR SISTER ON NEW WOOD BEAM AT NORTH WALL, AND ON NEW LEDGER OR EXISTING MASONRY LEDGE AT SOUTH WALL.
- 8 NEW 2x12 P.T. SISTER EACH EX JOIST. BEAR SISTER ON NEW WOOD LEDGER AT NORTH WALL AND ON EXISTING MASONRY LEDGE AT SOUTH WALL.
- 9 REMOVE EXISTING DOUBLE AND REPLACE WITH NEW (2) 2x12 BEAM. RE-HANG EX STAIR BEAM w/ HU48 HANGER.
- 10 REMOVE EXISTING STEEL LINTEL AND REPLACE WITH NEW LINTEL PER TYPICAL INTERIOR LINTEL DETAIL.
- 11 NEW (2) 2x8 P.T. LEDGER w/ 3/4" THRU BOLT @ 32" o.c.
- 12 NEW 2x12 P.T. SISTER EACH JOIST. BEAR ON EX MASONRY LEDGE AND NEW WOOD LEDGER. TIGHT TO SHEATHING, SHIM AT BEARING.
- 13 PROVIDE 2x12 SISTER ON HEADER. CONNECT HEADER AND EX JOISTS w/ LU9 ANGLES.
- 14 PREP EXISTING STRUCTURAL SLAB AND APPLY A PENETRATING SILANE/SILOXANE SEALER TO TOP OF SLAB.
- 15 NEW 1-3/4"x8-1/4" LVL SISTER BEAR ON WOOD BEAM EACH END. NOTCH BOTTOM OF BEAR AS NEEDED FOR BEAM BEARING, 2" MINIMUM BEARING LENGTH AT EXISTING TIMBER BEAM. FASTEN SISTER PER SECTION 3A/S310.
- 16 FULL LENGTH OF WALL. REPLACE MISSING HORIZONTAL COURSE OF MASONRY WITH NEW BRICK. WHERE WOOD REMAINS IN WALL, REMOVE WOOD AND REPLACE WITH MASONRY.
- 17 NEW 2x12 SISTERS, BEAR ON MASONRY WALL EACH END.
- 18 EXISTING FIRE ESCAPE. EVALUATION IS NOT PART OF SCOPE. INSPECTION AND REPAIR DOCUMENTS SHALL BE PREPARED BY A DESIGN PROFESSIONAL HIRED BY OWNER, SUBMITTED UNDER THE CITY OF CINCINNATI FIRE ESCAPE INSPECTION PROGRAM, IF NOT PREVIOUSLY DONE.
- 19 PROVIDE NEW (2) 2x12 HEADER w/ LUS210-2 HANGERS EACH END. CUT EX JOISTS AND HANG TO HEADER w/ LUS28R-18 HANGERS. HANG SISTERED JOISTS TO HEADER w/ HU48 HANGERS. PROVIDE NEW 2x12 JOIST AT MASONRY w/ L70 ANGLE EACH END.
- 20 NEW 2x12 SISTER. HANG SISTER AND JOIST TO HEADER w/ HU48 HANGERS. EXTEND SISTER TO WITHIN 4" OF SOUTH MASONRY WALL, w/ (3) 1/2"x3" SWS AT SOUTH END.
- 21 NEW 2x12x8" 10' SISTER AT NOTCHED JOISTS. HANG SISTER AND EXISTING JOIST TO EXISTING HEADER w/ HU48 HANGERS. CONNECT SISTER w/ (3) 1/2"x3" SWS EACH END AND EACH SIDE OF NOTCH.
- 22 NEW (2) 2x12 BEAM FOR HATCH, HANG TO EX HIP BEAM w/ SIMPSON SURL210-2 SKEWED HANGERS. BEAR ON NEW 2x6 WALL.
- 23 NEW (2) 2x12 HEADER w/ LUS210-2 HANGERS EACH END. CUT EX JOISTS AND HANG w/ LUS28R-18 HANGERS.
- 24 NEW 2x6 BEARING WALL WITH (2) 2x6 TOP AND BOTTOM PLATES AND 2x6 STUDS AT 16" o.c. AT OPENING PROVIDE (2) 2x12 HEADER FLUSH WITH JOISTS WITH (2) 2x6 BEARING STUDS EACH END. HANG EXISTING JOISTS TO HEADER WITH U210R HANGERS.
- 25 REMOVE EX EXTERIOR WYTHE STONE LINTEL. REPLACE WITH PRECAST CAST STONE LINTEL w/ #4 TOP AND BOTTOM.
- 26 REMOVE EXISTING CONCRETE SLAB. PROVIDE NEW APA RATED SHEATHING.
- 27 NEW AWNING BY OTHERS. SUPPLIER TO PROVIDE STRUCTURAL DESIGN AND REVIEW LETTER SIGNED AND SEALED BY AN OHIO PE. CONNECTION TO THE STRUCTURE AND REINFORCEMENT OF THE STRUCTURE TO BE DESIGNED BY ADVANTAGE UPON RECEIVING SHOP DRAWINGS.
- 28 REMOVE EXISTING POST AND PROVIDE NEW 4x4 POST. EXISTING POSTS CAN BE RE-USED IF NOT WARPED.
- 29 REMOVE EXISTING WOOD BEAM AND PROVIDE NEW (2) 2x10 BEAM, CONT SPLICE AT POST CENTERLINES ONLY.
- 30 REMOVE BEAM FROM MASONRY POCKET AND GROUT SOLID.
- 31 NEW STEEL LINTEL AT NEW OPENING PER TYPICAL DETAIL.
- 32 (2) 2x12 SISTER WITH 1/4"x4 1/2" SWS @ 16" o.c. STAGGERED. BEAR ON NEW BEAM AND LEDGER.
- 33 NEW 4x4 POST WITH 4x4x4'-0" LONG SPREADER BEAM AT BASE. CONNECT WITH (2) LPC4Z TOP AND BOTTOM.

PLAN NOTES:

1. COORDINATE ALL DIMENSIONS, DOOR AND WINDOW LOCATIONS WITH ARCHITECTURAL DRAWINGS.
2. REMOVE DAMAGED OR SATURATED SHEATHING AND REPLACE WITH NEW APA RATED SHEATHING. REPLACE DAMAGED, SATURATED OR DETERIORATED JOISTS WITH NEW JOISTS OF THE SAME SIZE.
3. LUMBER AT 1ST FLOOR AND BASEMENT SHALL BE PRESSURE TREATED.
4. WOOD LINTELS AT OPENINGS IN MASONRY WALLS WHERE ROTTED SHALL BE REPLACED WITH A STEEL HSS4x4x3/8 (GALVANIZED) LINTEL AT EACH 4" WYTHE. ALTERNATIVELY USE A 4"x8" PRECAST CONCRETE LINTEL WITH #5 TOP AND BOTTOM EACH 4" WYTHE, OR AN L4x3-1/2x5/16" LINTEL LVL, EACH WYTHE.
5. SEE STRUCTURAL ELEVATION DRAWINGS FOR EXTERIOR BRICK REPAIR AND TUCKPOINTING.
6. REPAIR AND TUCKPOINT INTERIOR MASONRY PER THE GENERAL NOTES.
7. FIELD VERIFY ALL EXISTING CONDITIONS, NOTIFY ADVANTAGE GROUP ENGINEERS OF ANY DISCREPANCIES.
8. SWS = STRUCTURAL WOOD SCREW. ALLOWABLE SCREWS ARE 1/4" SIMPSON SDS, 1/4" SPAX POWERLAGS OR 1/4" FASTEN MASTER LEDGER LOK.
9. FASTEN SISTERS WITH 1/4"x3" SWS @ 24" o.c. STAGGERED UNLESS NOTED OTHERWISE.

STRUCTURAL INFORMATION NOTED IS BASED ON ASSUMPTIONS OF CONDITION OF EXISTING FRAMING & FRAMING HIDDEN FROM VISUAL OBSERVATION. DETAILS OF PROPOSED FRAMING MODIFICATION/REPAIRS ARE SUBJECT TO CHANGE ONCE DEMOLITION IS UNDERWAY



PLATTE
Architecture + design

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#	REVISION/SUBMISSION	Date
2	BID SET	06/30/2024
1	Addendum 1	07/07/2023
	PERMIT / BID	04/28/2023

Design Team: KCJ / SJ
Date: 04/28/2023

PROPOSED PROJECT: PREPARED FOR: PLATTE ARCHITECTURE + DESIGN
RENOVATION FOR 1732 VINE ST / 1734 VINE ST
CINCINNATI, OH 45202
FINDLAY FLATS

Proj. No.: 22146.23

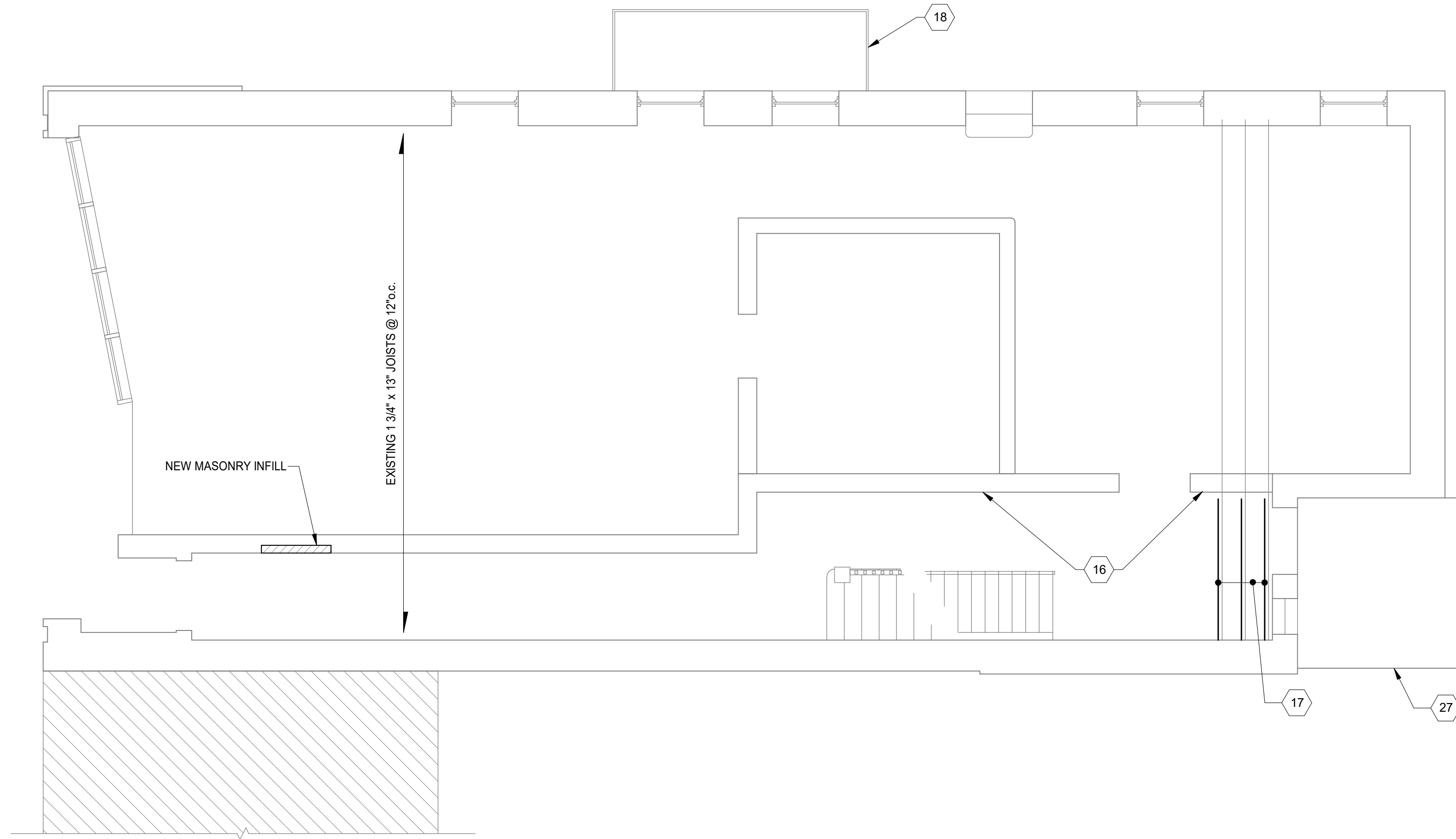
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DRAWING TITLE: PLANS

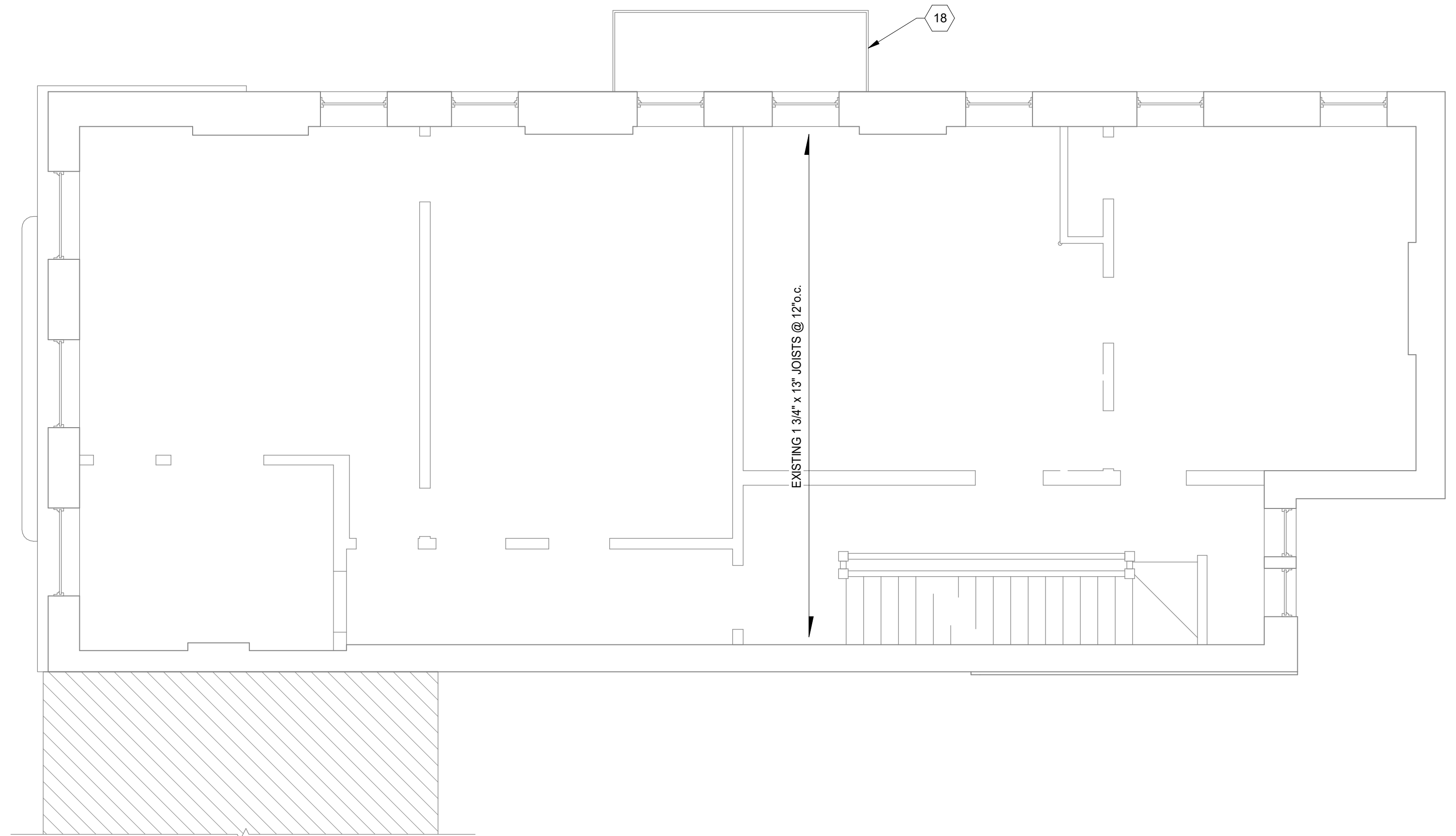
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1732 VINE ST
CINCINNATI, OH 45202

1732 VINE ST



2ND FLOOR FRAMING PLAN
SCALE 1/4" = 1'-0"



3RD FLOOR FRAMING PLAN
SCALE 1/4" = 1'-0"

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- 13 PROVIDE 2x12 SISTER ON HEADER. CONNECT HEADER AND EX JOISTS w/ LU9 ANGLES.
- 14 PREP EXISTING STRUCTURAL SLAB AND APPLY A PENETRATING SILANE/SILOXANE SEALER TO TOP OF SLAB.
- 15 NEW 1-3/4"x9-1/4" LVL SISTER BEAR ON WOOD BEAM EACH END. NOTCH BOTTOM OF BEAR AS NEEDED FOR BEAM BEARING, 2" MINIMUM BEARING LENGTH AT EXISTING TIMBER BEAM. FASTEN SISTER PER SECTION 3A/S310.
- 16 FULL LENGTH OF WALL. REPLACE MISSING HORIZONTAL COURSE OF MASONRY WITH NEW BRICK. WHERE WOOD REMAINS IN WALL, REMOVE WOOD AND REPLACE WITH MASONRY.
- 17 NEW 2x12 SISTERS, BEAR ON MASONRY WALL EACH END.
- 18 EXISTING FIRE ESCAPE. EVALUATION IS NOT PART OF SCOPE. INSPECTION AND REPAIR DOCUMENTS SHALL BE PREPARED BY A DESIGN PROFESSIONAL HIRED BY OWNER, SUBMITTED UNDER THE CITY OF CINCINNATI FIRE ESCAPE INSPECTION PROGRAM, IF NOT PREVIOUSLY DONE.
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- 20 NEW 2x12 SISTER. HANG SISTER AND JOIST TO HEADER w/ HU48 HANGERS. EXTEND SISTER TO WITHIN 4" OF SOUTH MASONRY WALL, w/ (3) 1/2"x3" SWS AT SOUTH END.
- 21 NEW 2x12x8' 10" SISTER AT NOTCHED JOISTS. HANG SISTER AND EXISTING JOIST TO EXISTING HEADER w/ HU48 HANGERS. CONNECT SISTER w/ (3) 1/2"x3" SWS EACH END AND EACH SIDE OF NOTCH.
- 22 NEW (2) 2x12 BEAM FOR HATCH, HANG TO EX HIP BEAM w/ SIMPSON SUR/L210-2 SKEWED HANGERS. BEAR ON NEW 2x8 WALL.
- 23 NEW (2) 2x12 HEADER w/ LUS210-2 HANGERS EACH END. CUT EX JOISTS AND HANG w/ LUS28R-18 HANGERS.
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1. COORDINATE ALL DIMENSIONS, DOOR AND WINDOW LOCATIONS WITH ARCHITECTURAL DRAWINGS.
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5. SEE STRUCTURAL ELEVATION DRAWINGS FOR EXTERIOR BRICK REPAIR AND TUCKPOINTING.
6. REPAIR AND TUCKPOINT INTERIOR MASONRY PER THE GENERAL NOTES.
7. FIELD VERIFY ALL EXISTING CONDITIONS, NOTIFY ADVANTAGE GROUP ENGINEERS OF ANY DISCREPANCIES.
8. SWS = STRUCTURAL WOOD SCREW. ALLOWABLE SCREWS ARE 1/4" SIMPSON SDS, 1/4" SPAX POWERLAGS OR 1/4" FASTEN MASTER LEDGER LOK.
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	PERMIT / BID	04/28/2023

Design Team: KC / SJ
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RENOVATION FOR 1732 VINE ST / 1734 VINE ST
CINCINNATI, OH 45202
FINDLAY FLATS

Proj. No.: 22146.23

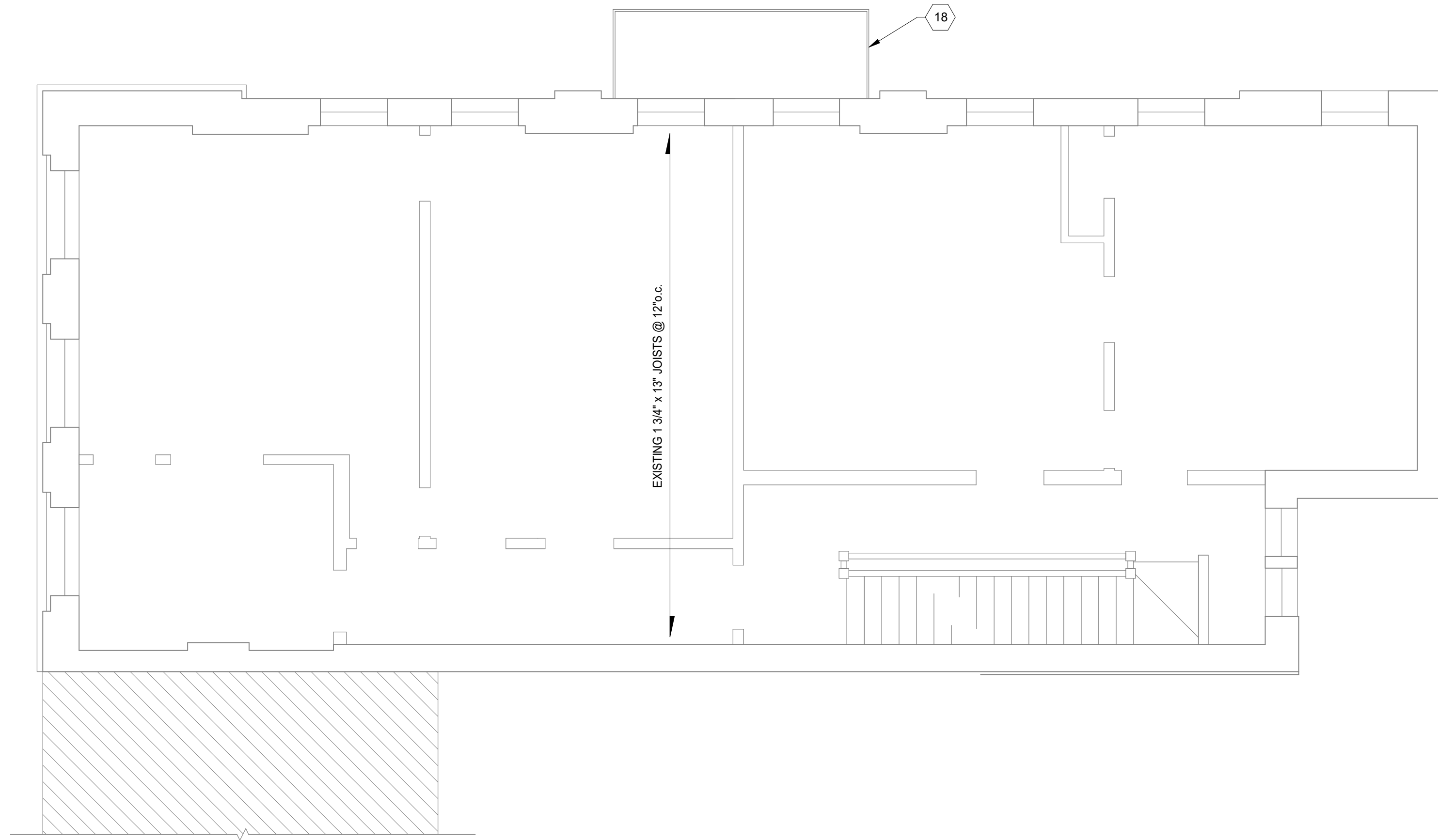
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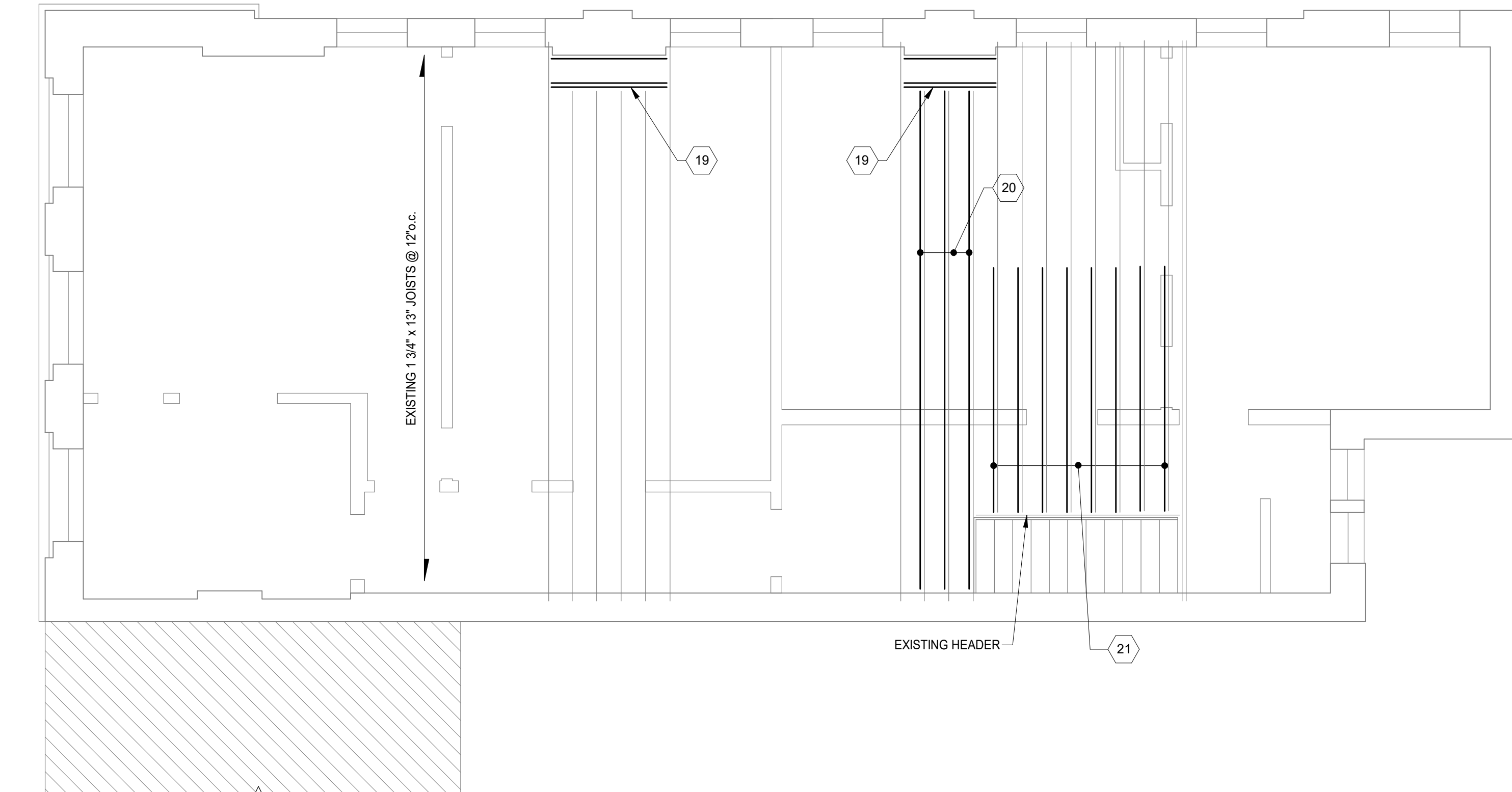
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1732 VINE ST
CINCINNATI, OH 45202

1732 VINE ST



4TH FLOOR FRAMING PLAN
SCALE 1/4" = 1'-0"



ATTIC FLOOR FRAMING PLAN
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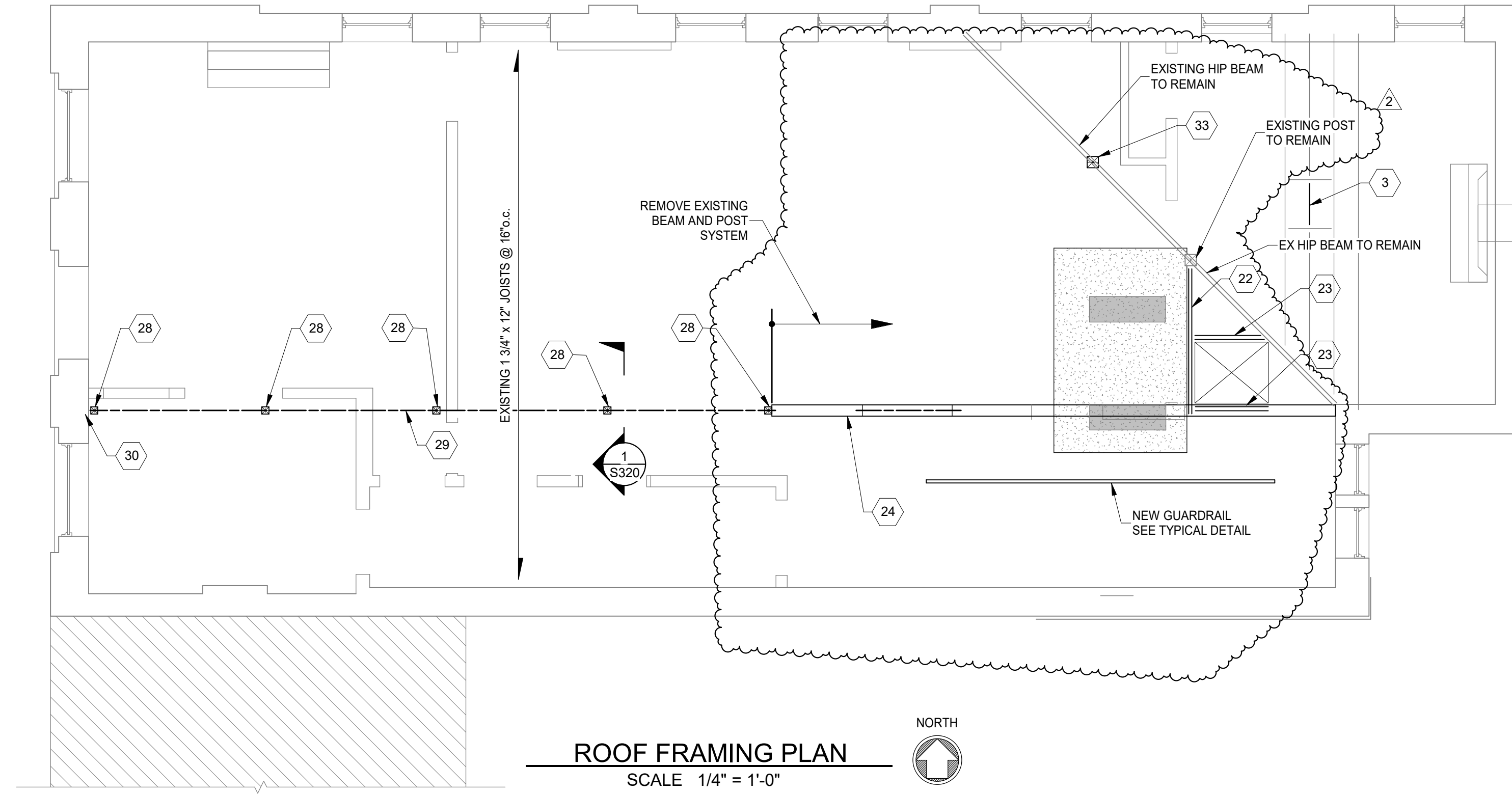
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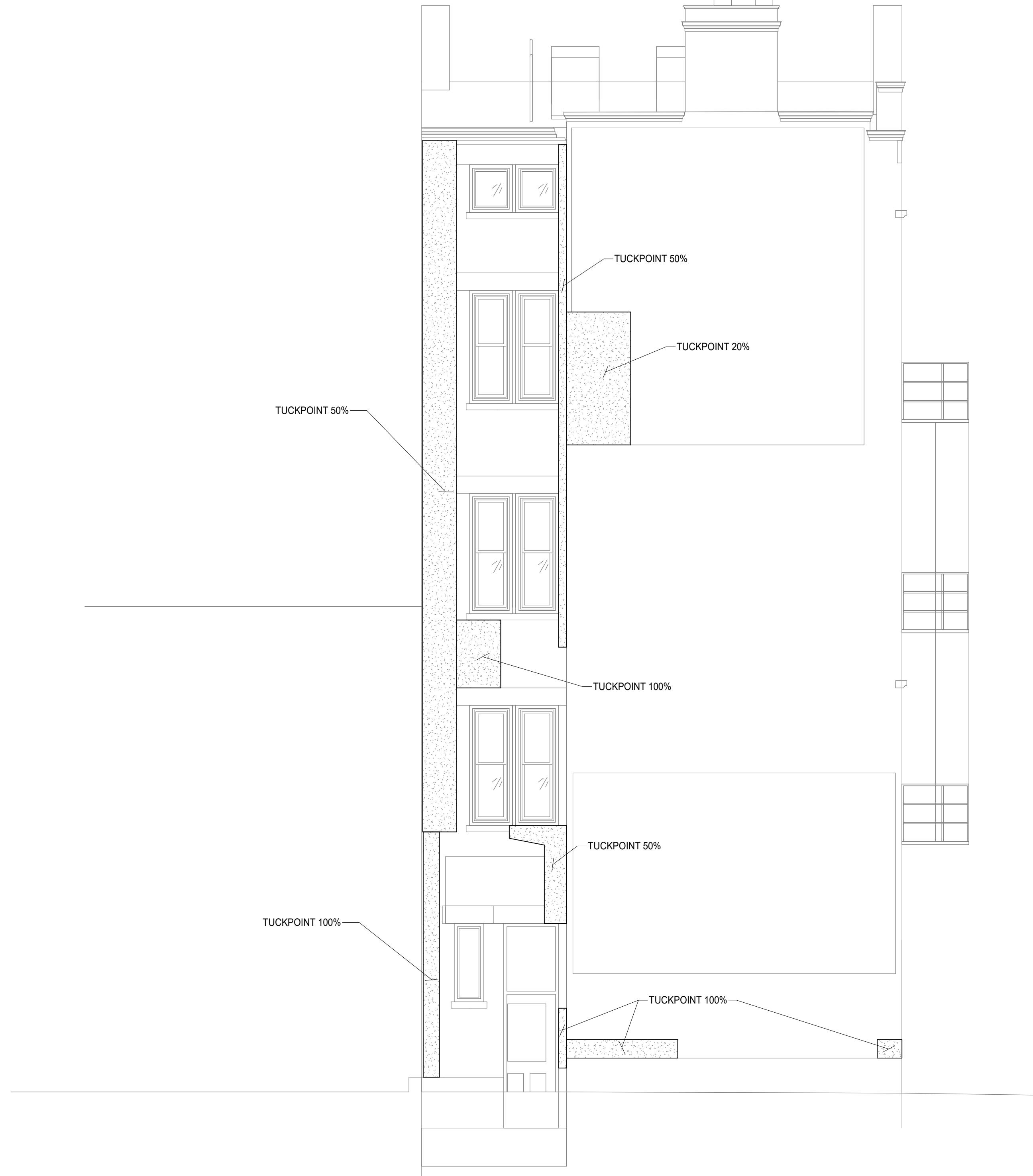
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




WEST ELEVATION
SCALE 1/4" = 1'-0"



EAST ELEVATION
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BRICK REPAIR LEGEND:

-  TUCKPOINT
-  TIE BRICK WYTHES WITH HELIFIX OR SPIRALOK TIES @ 16"o.c. EACH WAY. TUCKPOINT AS NEEDED.
-  REPAIR BRICK
-  BRICK INFILL

ELEVATION NOTES:

1. TUCKPOINT JOINTS IN MASONRY WHERE MORTAR IS SOFT, DAMAGED OR MISSING.
2. REMOVE AND REPLACE SPALLING OR SOFT BRICK THAT IS COMPROMISED MORE THAN 3/4" OF DEPTH.
3. REMOVE CRACKED, DAMAGED OR SEVERLY SPALLED LINTELS AND REPLACE WITH RECLAIMED STONE OR CAST STONE LINTEL TO MATCH EXISTING.
4. ALL OBSERVATIONS WHERE MADE FROM THE GROUND LEVEL AND REPAIRS ARE SUBJECT TO CHANGE BASED ON CONTRACTOR HANDS ON INSPECTIONS.
5. AT CRACKS OR DAMAGED AREAS OF PARGE COAT, CONTRACTOR SHALL REMOVE ALL PARGE COAT THAT IS NOT SOUNDLY CONNECTED TO THE BRICK, AND REPLACE WITH NEW PARGE COAT. TUCKPOINT ANY DETERIORATED MORTAR JOINTS PRIOR TO APPLYING NEW PARGE COAT.

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Design Team: KCJ / SJ
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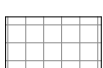
PROJECT KEYNOTES:

25 REMOVE EX EXTERIOR WYTHE STONE LINTEL.
REPLACE WITH PRECAST CAST STONE LINTEL w/ #4 TOP AND BOTTOM.

NORTH ELEVATION

SCALE 1/4" = 1'-0"

BRICK REPAIR LEGEND:

-  TUCKPOINT
-  TIE BRICK WYTHES WITH HELIFIX OR SPIRALOK TIES @ 16"o.c. EACH WAY. TUCKPOINT AS NEEDED.
-  REPAIR BRICK
-  BRICK INFILL

ELEVATION NOTES:

1. TUCKPOINT JOINTS IN MASONRY WHERE MORTAR IS SOFT, DAMAGED OR MISSING.
2. REMOVE AND REPLACE SPALLING OR SOFT BRICK THAT IS COMPROMISED MORE THAN 3/4" OF DEPTH.
3. REMOVE CRACKED, DAMAGED OR SEVERLY SPALLED LINTELS AND REPLACE WITH RECLAIMED STONE OR CAST STONE LINTEL TO MATCH EXISTING.
4. ALL OBSERVATIONS WHERE MADE FROM THE GROUND LEVEL AND REPAIRS ARE SUBJECT TO CHANGE BASED ON CONTRACTOR HANDS ON INSPECTIONS.
5. AT CRACKS OR DAMAGED AREAS OF PARGE COAT, CONTRACTOR SHALL REMOVE ALL PARGE COAT THAT IS NOT SOUNDLY CONNECTED TO THE BRICK, AND REPLACE WITH NEW PARGE COAT. TUCKPOINT ANY DETERIORATED MORTAR JOINTS PRIOR TO APPLYING NEW PARGE COAT.

STRUCTURAL INFORMATION NOTED IS BASED ON ASSUMPTIONS OF CONDITION OF EXISTING FRAMING & FRAMING HIDDEN FROM VISUAL OBSERVATION. DETAILS OF PROPOSED FRAMING MODIFICATION/REPAIRS ARE SUBJECT TO CHANGE ONCE DEMOLITION IS UNDERWAY

DRAWING TITLE: NORTH ELEVATION

PROPOSED PROJECT: PREPARED FOR: PLATTE ARCHITECTURE + DESIGN

**RENOVATION FOR
1732 VINE ST / 1734 VINE ST**
CINCINNATI, OH 45202
FINDLAY FLATS

Proj. No.: 22146.23

S201

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1732 VINE ST
CINCINNATI, OH 45202

1732 VINE ST







#	REVISION/SUBMISSION	Date
2	BID SET	08/30/2024
1	Addendum 1	07/07/2023

Design Team: KCJ / SJ
Date: 04/28/2023



SOUTH ELEVATION
SCALE 1/4" = 1'-0"

BRICK REPAIR LEGEND:

-  TUCKPOINT
-  TIE BRICK WYTHES WITH HELIFIX OR SPIRALOK TIES @ 16"o.c. EACH WAY. TUCKPOINT AS NEEDED.
-  REPAIR BRICK
-  BRICK INFILL

ELEVATION NOTES:

1. TUCKPOINT JOINTS IN MASONRY WHERE MORTAR IS SOFT, DAMAGED OR MISSING.
2. REMOVE AND REPLACE SPALLING OR SOFT BRICK THAT IS COMPROMISED MORE THAN 3/4" OF DEPTH.
3. REMOVE CRACKED, DAMAGED OR SEVERLY SPALLED LINTELS AND REPLACE WITH RECLAIMED STONE OR CAST STONE LINTEL TO MATCH EXISTING.
4. ALL OBSERVATIONS WHERE MADE FROM THE GROUND LEVEL AND REPAIRS ARE SUBJECT TO CHANGE BASED ON CONTRACTOR HANDS ON INSPECTIONS.
5. AT CRACKS OR DAMAGED AREAS OF PARGE COAT, CONTRACTOR SHALL REMOVE ALL PARGE COAT THAT IS NOT SOUNDLY CONNECTED TO THE BRICK, AND REPLACE WITH NEW PARGE COAT. TUCKPOINT ANY DETERIORATED MORTAR JOINTS PRIOR TO APPLYING NEW PARGE COAT.

STRUCTURAL INFORMATION NOTED IS BASED ON ASSUMPTIONS OF CONDITION OF EXISTING FRAMING & FRAMING HIDDEN FROM VISUAL OBSERVATION. DETAILS OF PROPOSED FRAMING MODIFICATION/REPAIRS ARE SUBJECT TO CHANGE ONCE DEMOLITION IS UNDERWAY

DRAWING TITLE: SOUTH ELEVATION

PROPOSED PROJECT: PREPARED FOR: PLATTE ARCHITECTURE + DESIGN

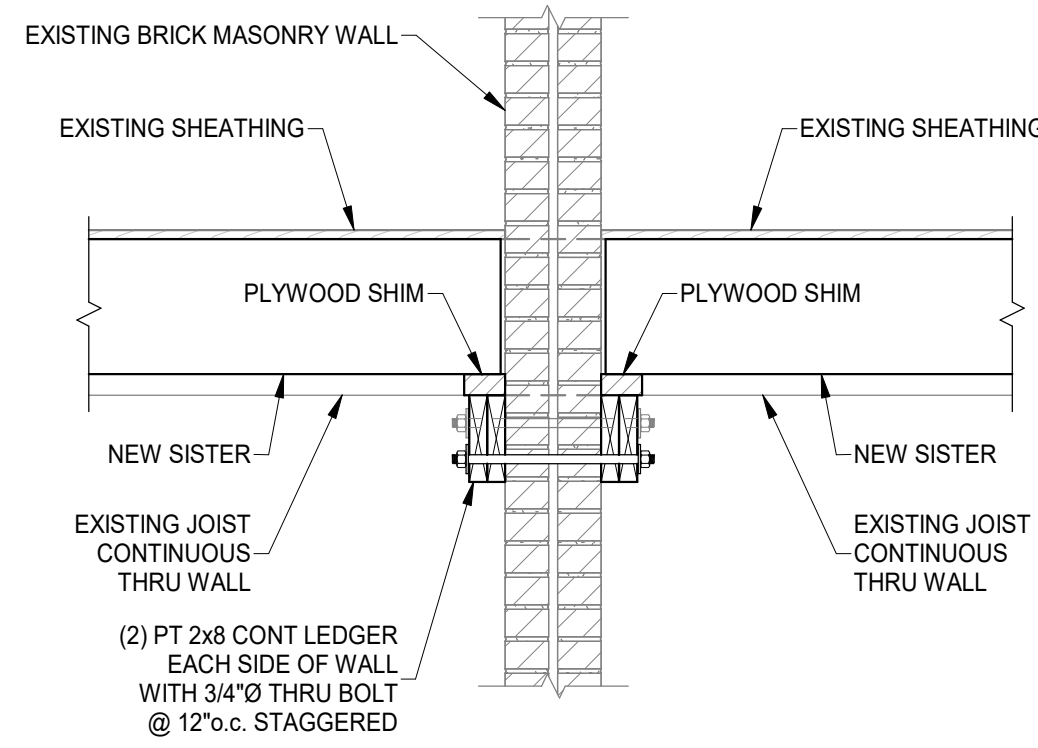
**RENOVATION FOR
1732 VINE ST / 1734 VINE ST**
CINCINNATI, OH 45202
FINDLAY FLATS

Proj. No.: 22146.23

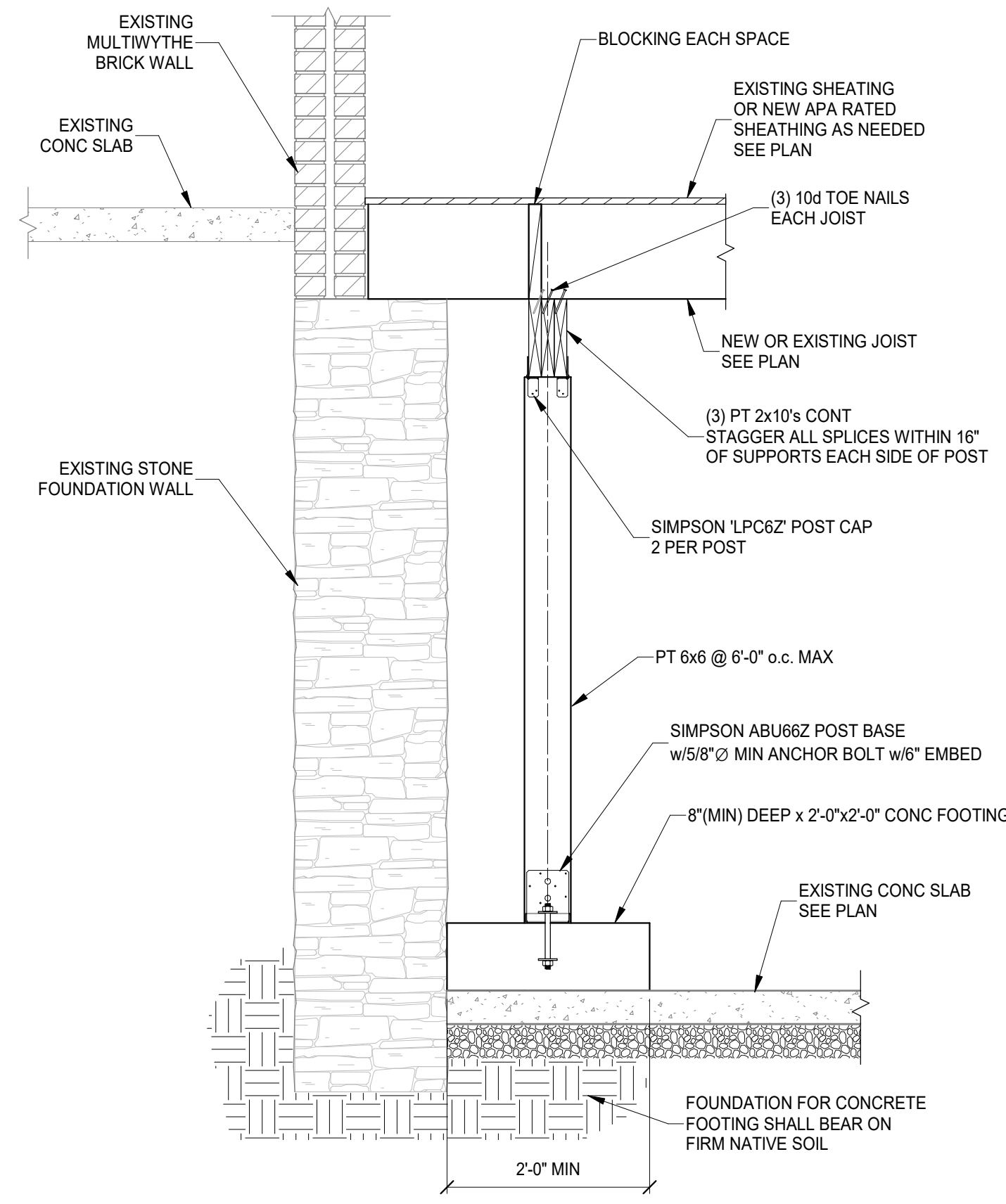
S202

1732 VINE ST
CINCINNATI, OH 45202

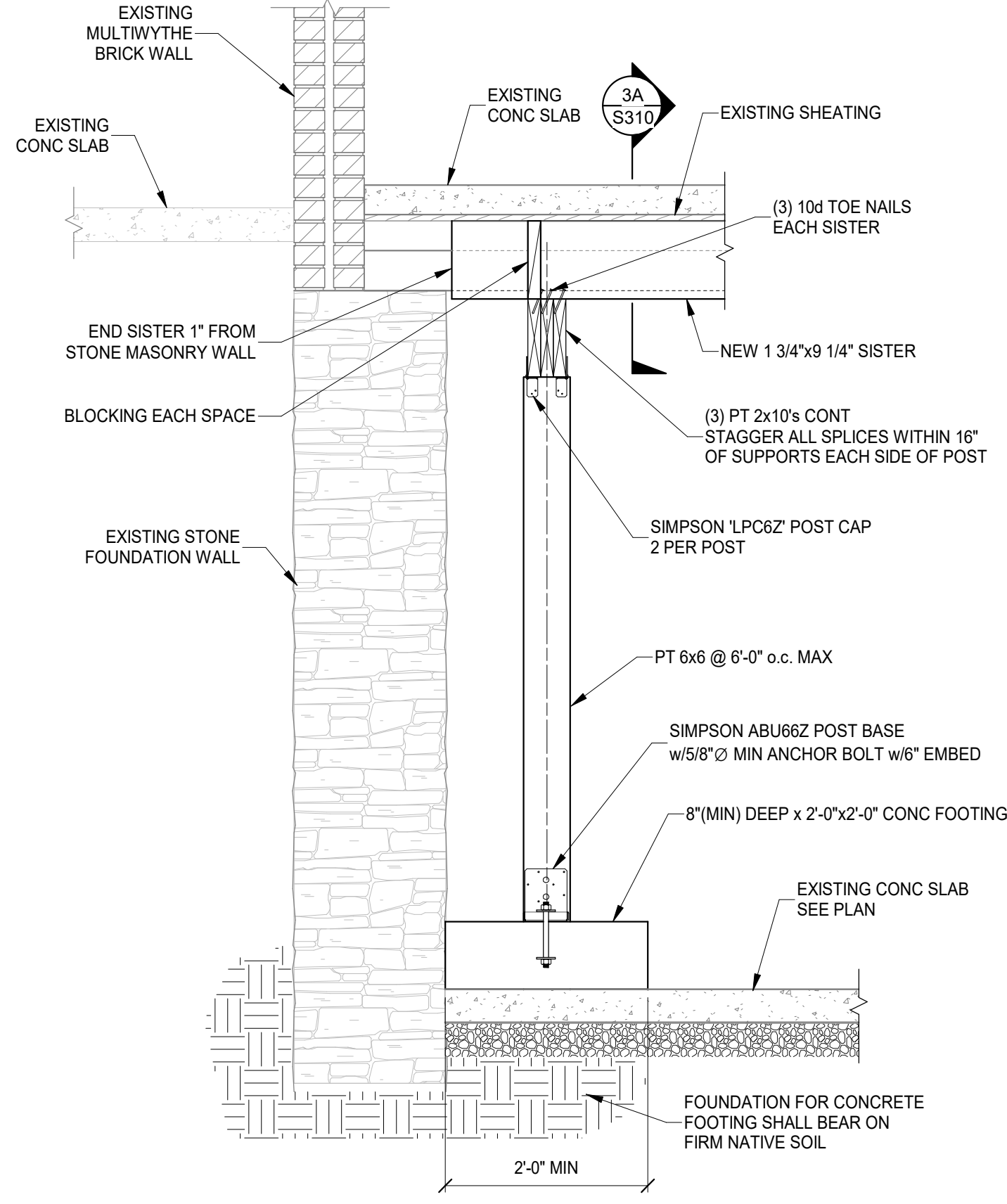
1732 VINE ST



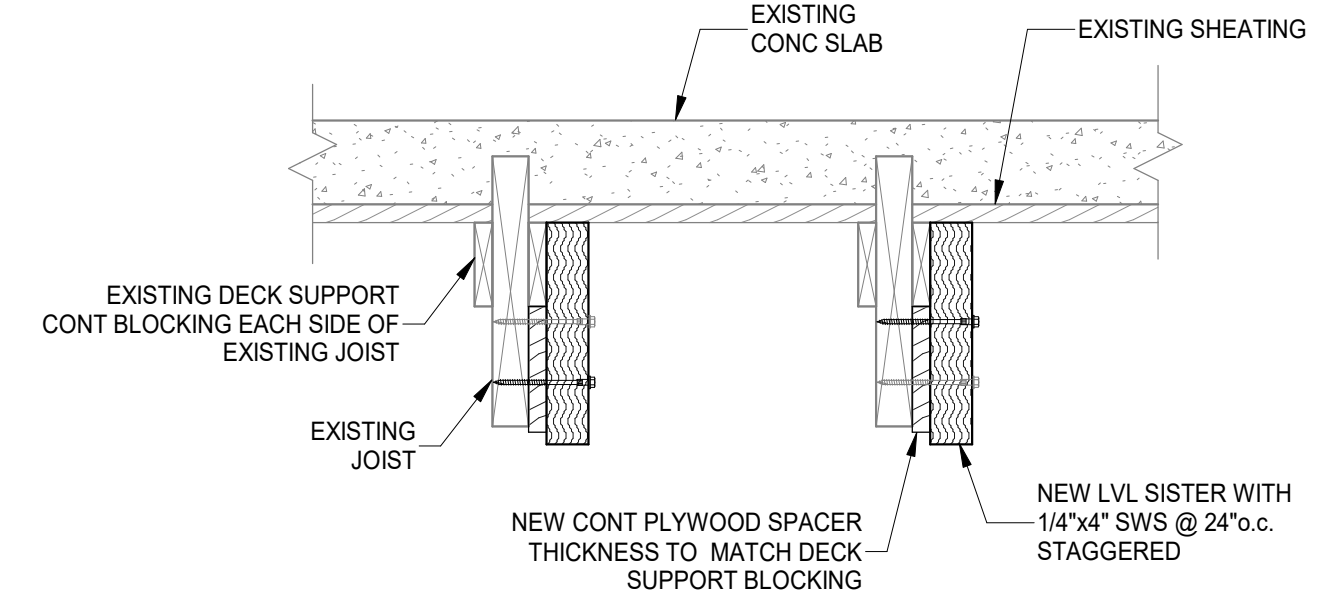
SECTION 1
SCALE 3/4" = 1'-0"
S310



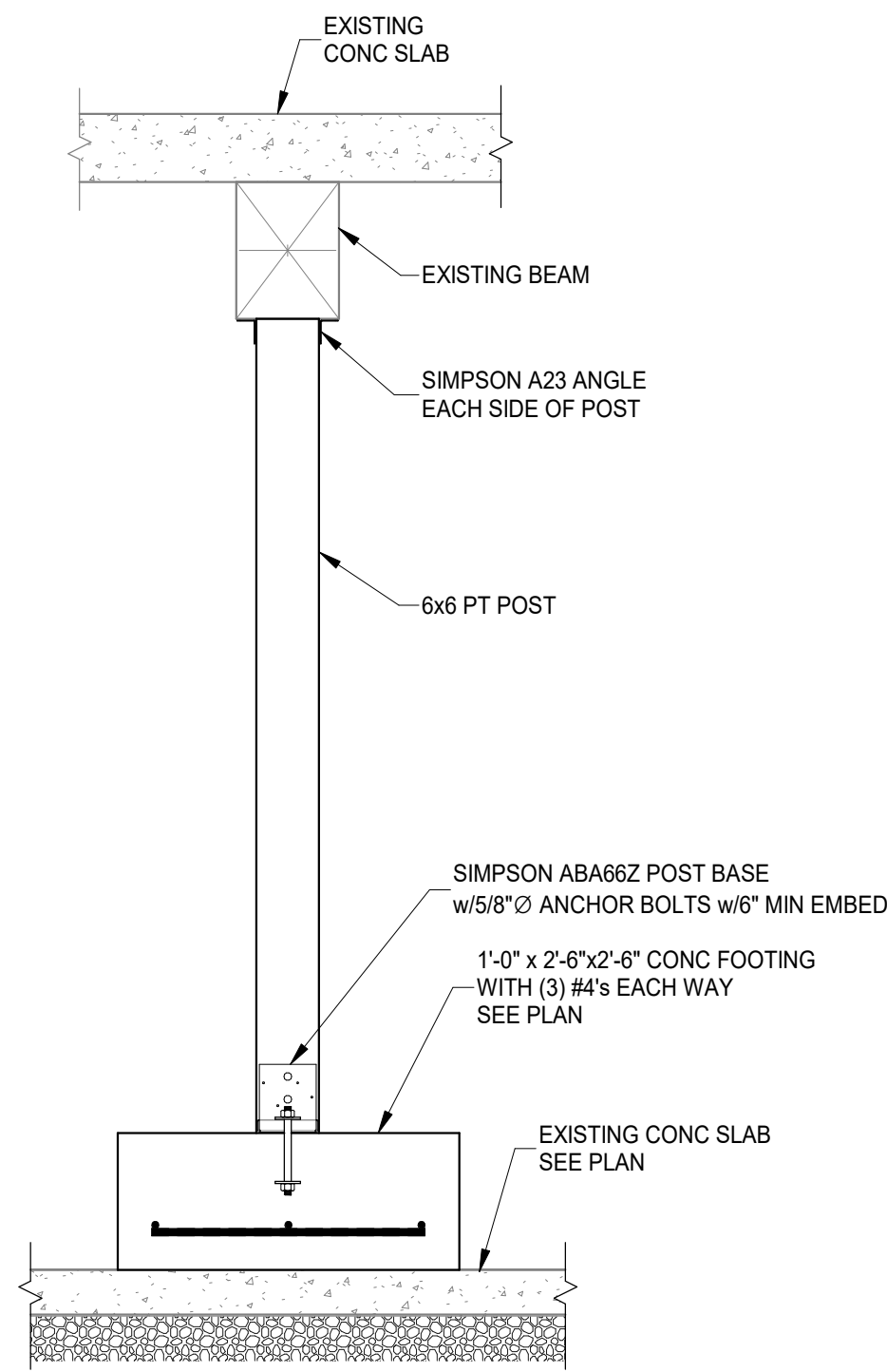
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S310



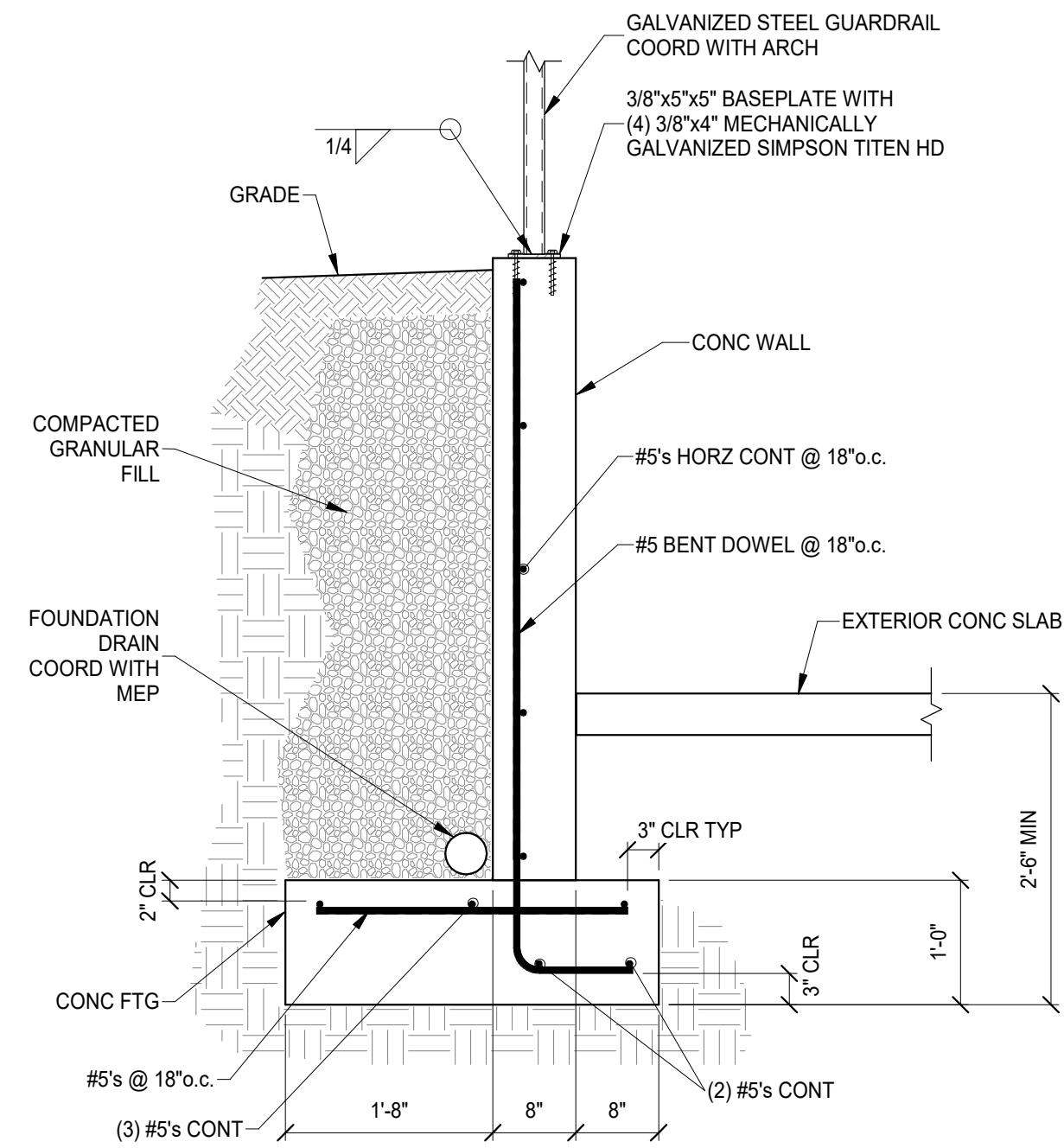
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S310



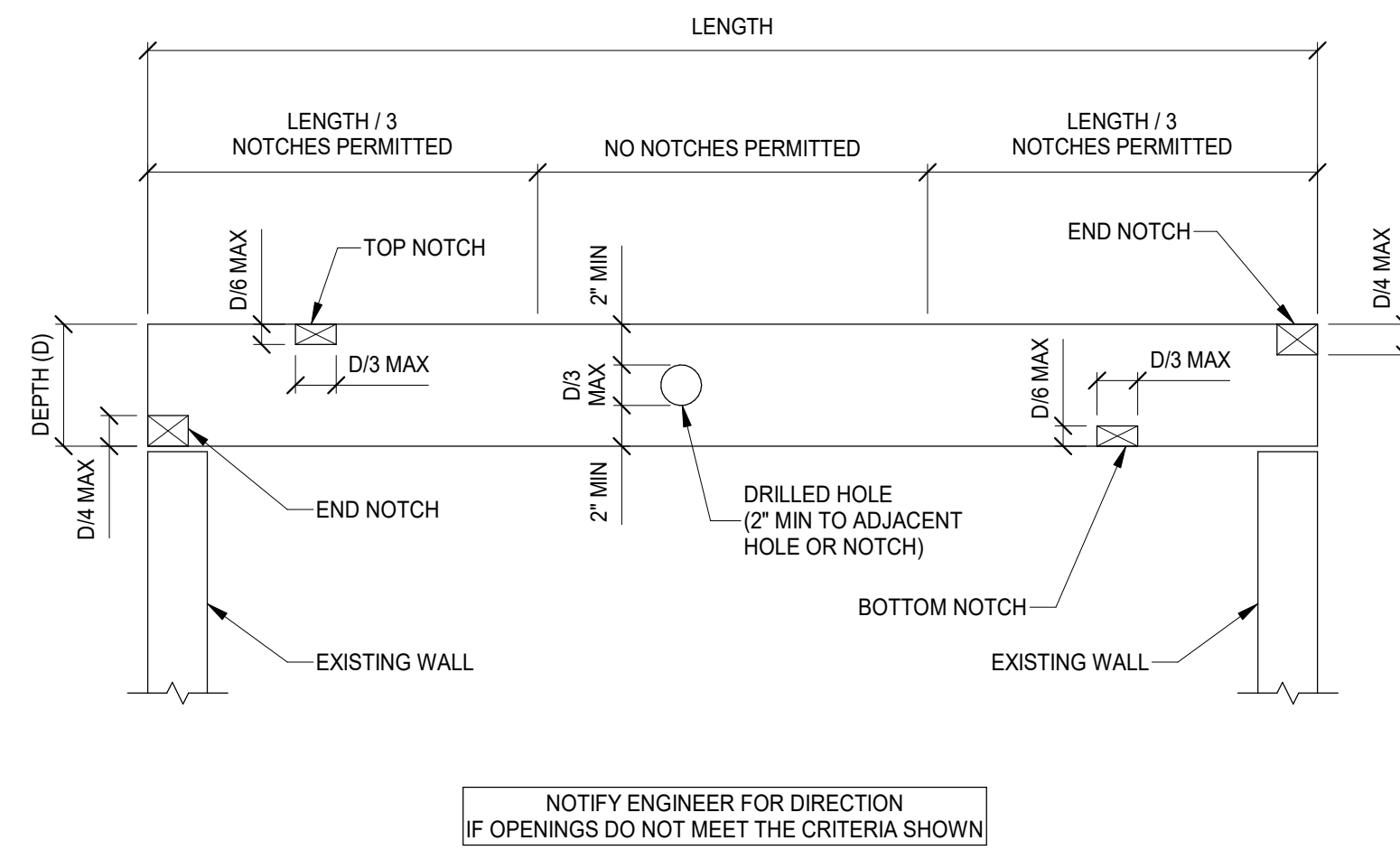
SECTION 3A
SCALE 1 1/2" = 1'-0"
S310



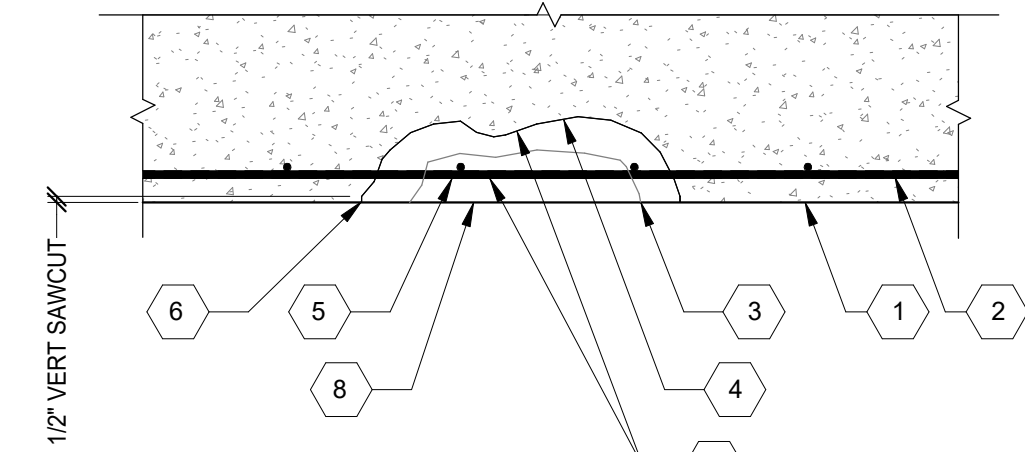
SECTION 4
SCALE 3/4" = 1'-0"
S310



SECTION 5
SCALE 3/4" = 1'-0"
S310



ALLOWABLE WOOD JOIST OPENINGS
SCALE 3/4" = 1'-0"



- EXISTING CONCRETE BEAM OR SLAB
- EXISTING REINFORCING STEEL
- DELMINATION PLANE
- REMOVE ALL UNSOUND CONCRETE AND SOUND CONCRETE AS REQUIRED TO PROVIDE 3/4" CLEAR BEHIND REINFORCING. MINIMUM PATCH DEPTH IS 3/4" WITH A 1/4" MAXIMUM SUBSTRATE PROFILE. LIMIT SIZE OF CHIPPING HAMMER TO 16 lbs.
- WIRE BRUSH AND HIGH PRESSURE WASH OR DESCALE TO REMOVE LOOSE RUST. APPLY CORRVERTER RUST PRIMER (CORTEC CORP) TO ALL EXPOSED REINFORCING STEEL. ANCHOR LOOSE REINFORCING TO SOUND CONCRETE WITH J-BOLTS OR TIE TO ADJACENT REINFORCING. NOTIFY STRUCTURAL ENGINEER IF CROSS SECTIONAL AREA OF REMAINING STEEL IS LESS THAN 80% OF ORIGINAL AREA.
- 1/2" DEEP SAWCUT AROUND PERIMETER OF REPAIR AREA. DO NOT FEATHER AREA. DO NOT DAMAGE EXISTING REINFORCING. DO NOT DAMAGE NEW EDGE.
- COAT PATCH AND REINFORCING AREA WITH A SCRUB COAT OF PATCH MATERIAL. PREPARE CONCRETE SURFACE PER MANUFACTURER'S RECOMMENDATION.
- APPLY PATCH MATERIAL IN 2" MAXIMUM THICKNESS LIFTS. SCORE INTERFACE BETWEEN LIFTS. STEEL TROWEL FINISH. PATCH MATERIAL TO BE MCI-2702 (CORTEC CORP).

TYPICAL CONCRETE BEAM/SLAB REPAIR
SCALE 3/4" = 1'-0"

STRUCTURAL INFORMATION NOTED IS BASED ON ASSUMPTIONS OF CONDITION OF EXISTING FRAMING & FRAMING HIDDEN FROM VISUAL OBSERVATION. DETAILS OF PROPOSED FRAMING MODIFICATION/REPAIRS ARE SUBJECT TO CHANGE ONCE DEMOLITION IS UNDERWAY



#	REVISION/SUBMISSION	Date
2	BID SET	06/30/2024
1	Addendum 1	07/07/2023
	PERMIT / BID	04/28/2023

Design Team: KCJ / SJ
Date: 04/28/2023

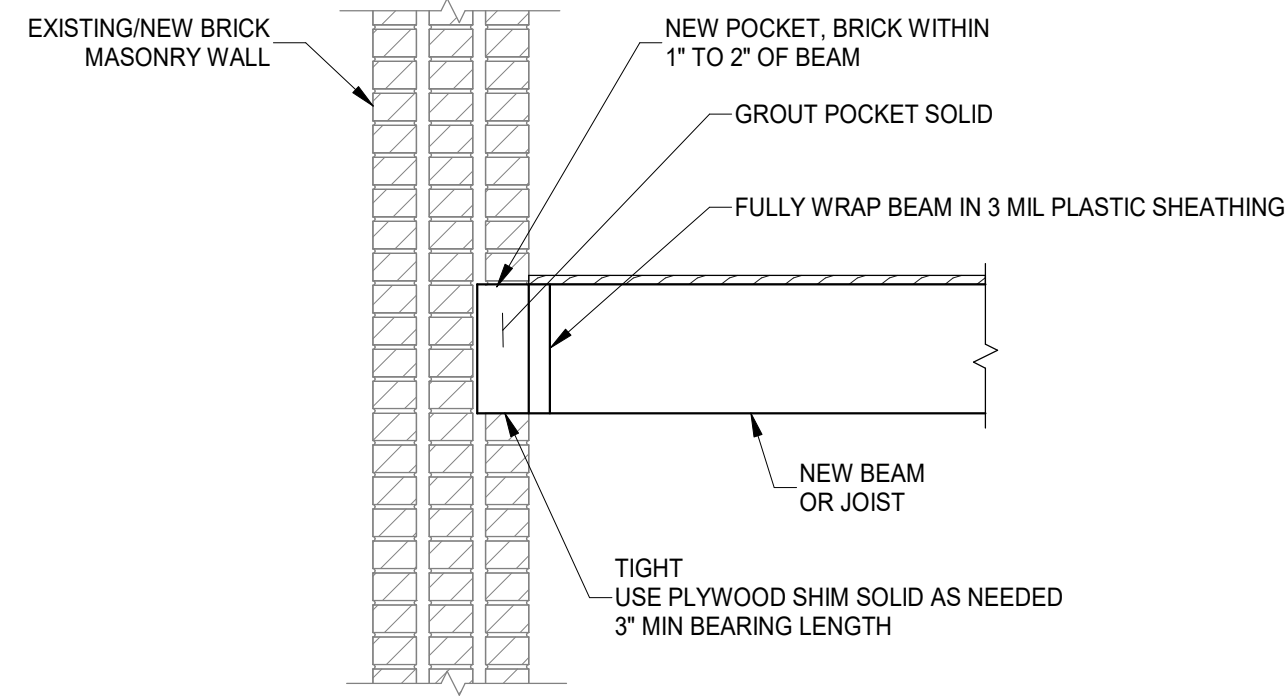
PROPOSED PROJECT: PREPARED FOR: PLATTE ARCHITECTURE + DESIGN
RENOVATION FOR 1732 VINE ST / 1734 VINE ST
CINCINNATI, OH 45202
FINDLAY FLATS

Proj. No.: 22146.23

S310

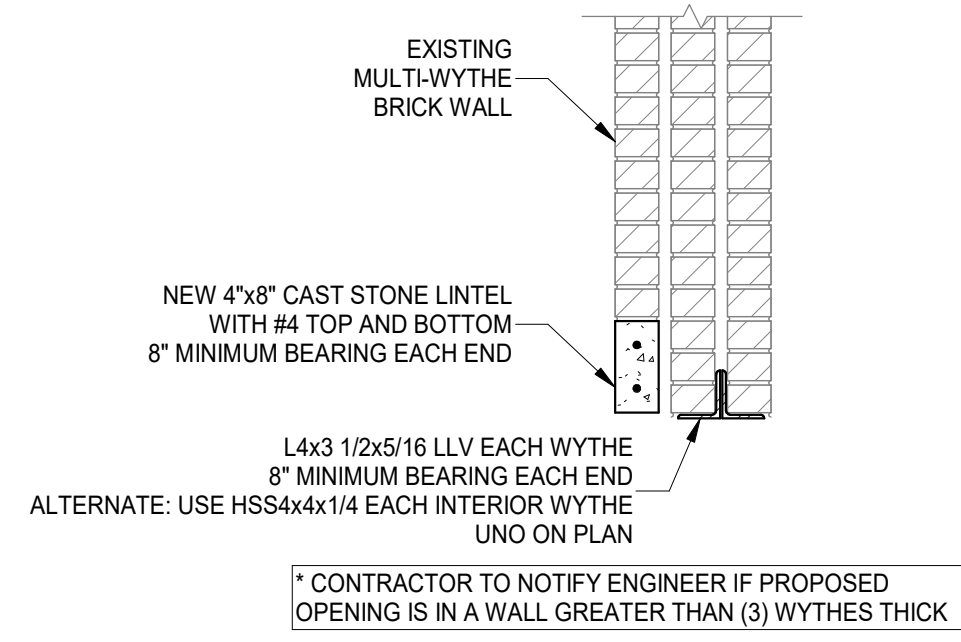
1732 VINE ST
CINCINNATI, OH 45202

1732 VINE ST



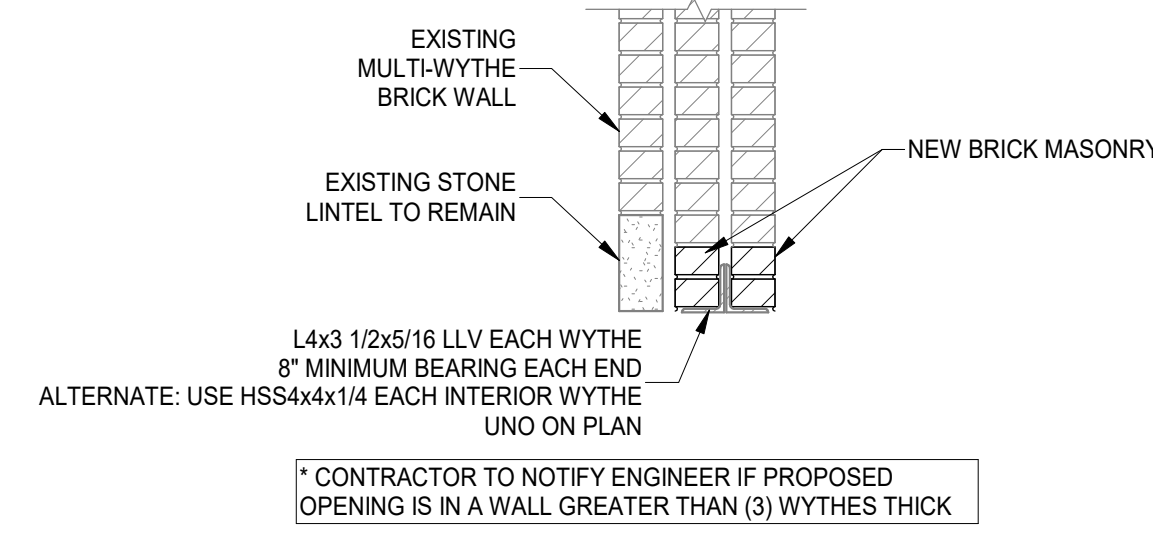
TYPICAL BEAM OR JOIST POCKET DETAIL

SCALE 3/4" = 1'-0"



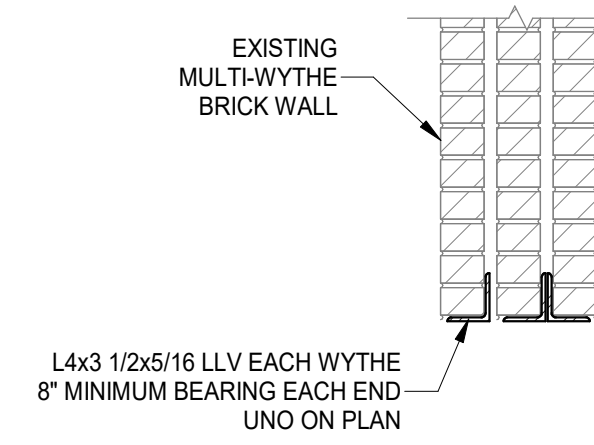
TYPICAL EXTERIOR LINTEL DETAIL

SCALE 3/4" = 1'-0"



TYPICAL EXTERIOR WALL, INTERIOR LINTEL REPLACEMENT DETAIL

SCALE 3/4" = 1'-0"

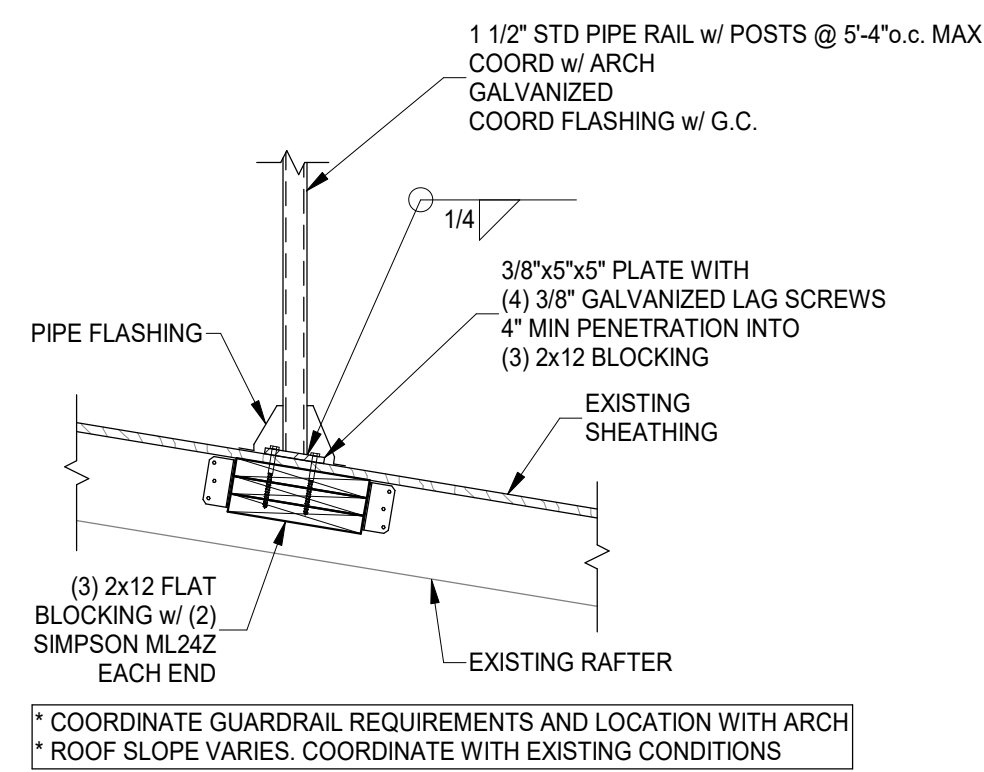


* CONTRACTOR TO NOTIFY ENGINEER IF PROPOSED OPENING IS IN A WALL GREATER THAN (3) WYTHES THICK

FOR NEW OR REPLACEMENT INTERIOR LINTELS

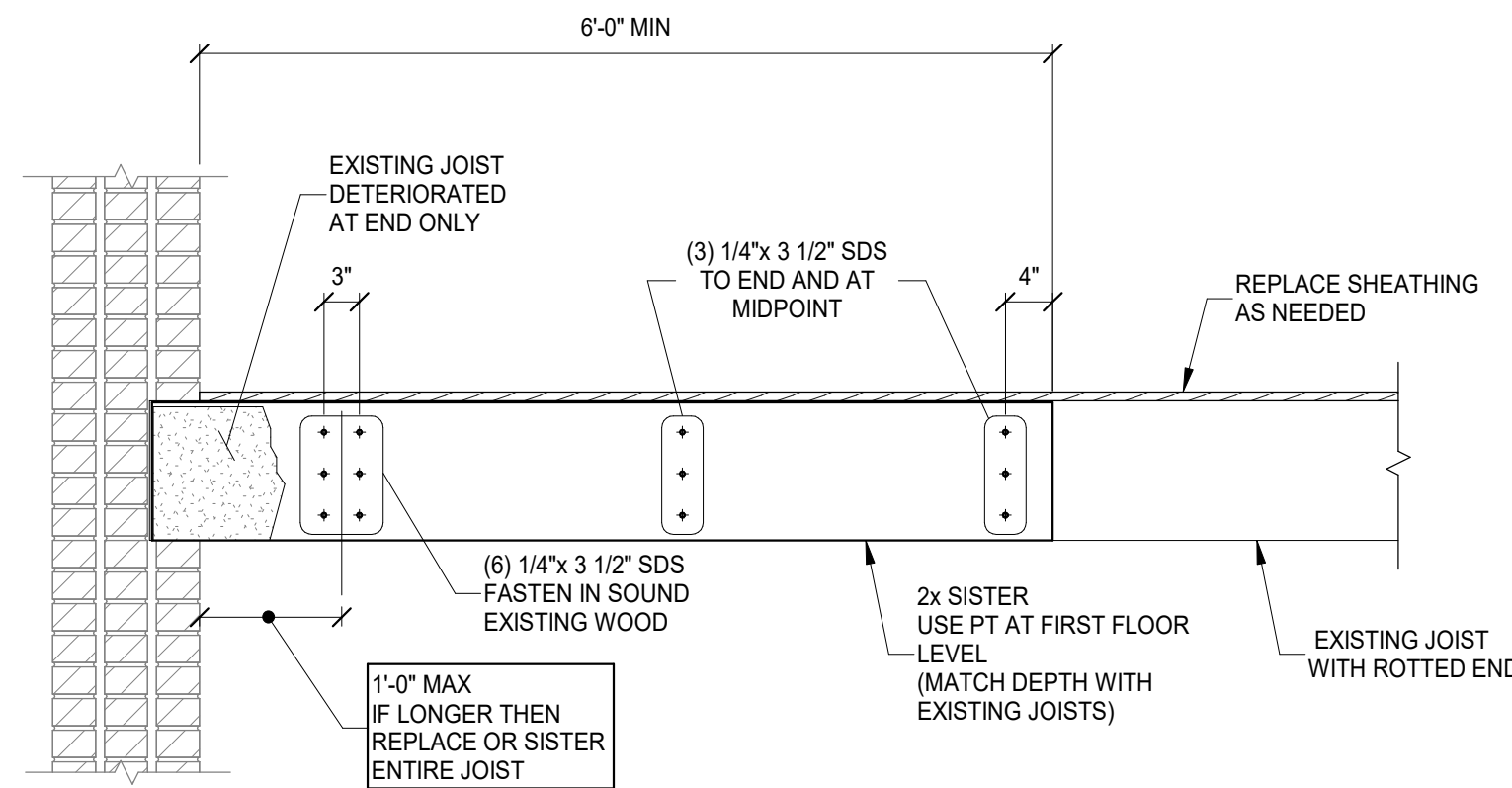
TYPICAL INTERIOR LINTEL DETAIL

SCALE 3/4" = 1'-0"



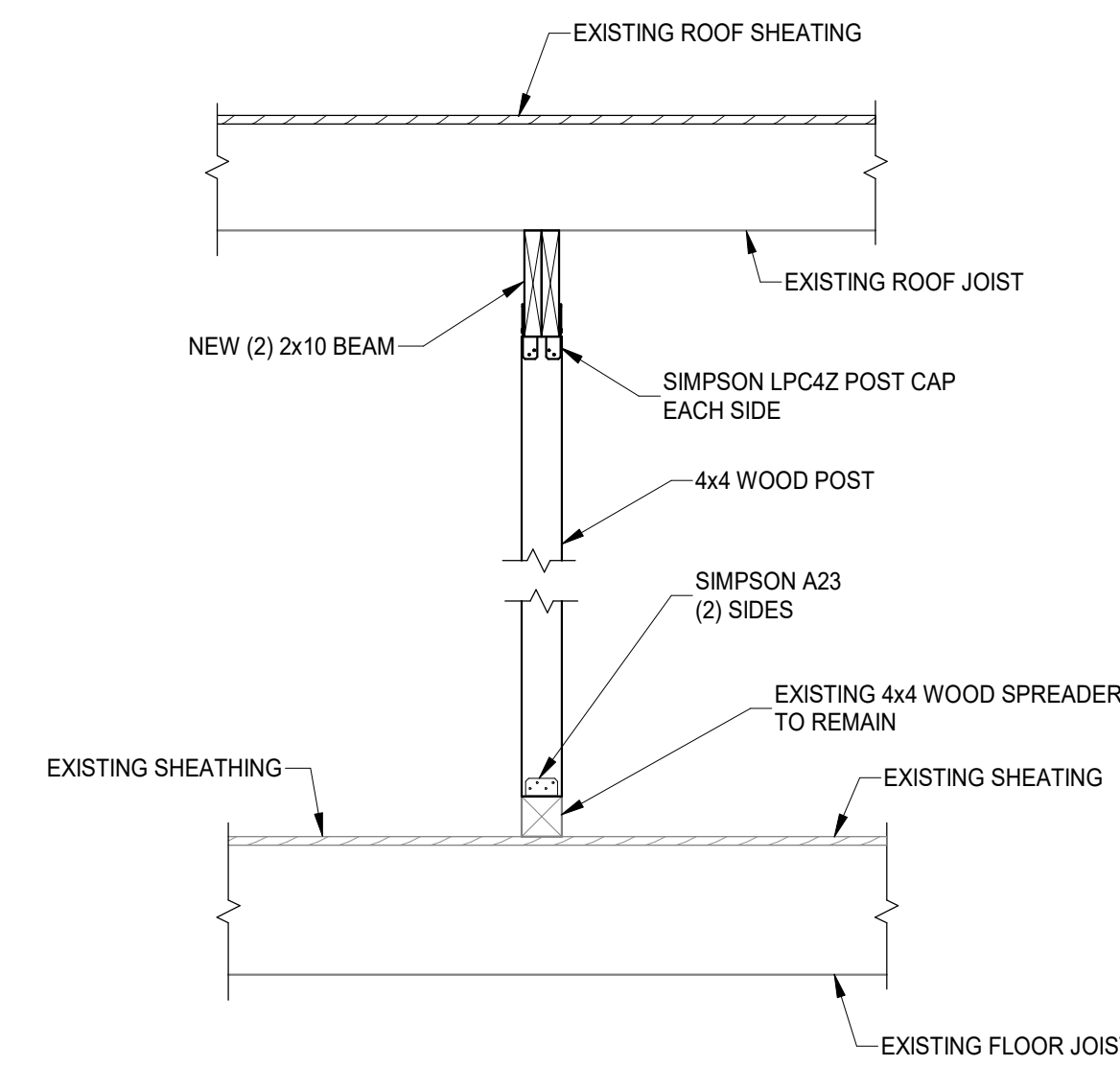
TYPICAL RAILING CONNECTION TO ROOF

SCALE 3/4" = 1'-0"



TYPICAL JOIST END SISTER DETAIL 1

SCALE 3/4" = 1'-0"



SECTION 1

SCALE 3/4" = 1'-0"

S320



#	REVISION/SUBMISSION	Date
2	BID SET	06/30/2024
1	Addendum 1	07/07/2023
	PERMIT / BID	04/28/2023

Design Team: KC / SJ
Date: 04/28/2023

PREPARED FOR: PLATTE ARCHITECTURE + DESIGN
**RENOVATION FOR
1732 VINE ST / 1734 VINE ST**
CINCINNATI, OH 45202
FINDLAY FLATS

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S320

STRUCTURAL INFORMATION NOTED IS BASED ON ASSUMPTIONS OF CONDITION OF EXISTING FRAMING & FRAMING HIDDEN FROM VISUAL OBSERVATION. DETAILS OF PROPOSED FRAMING MODIFICATION/REPAIRS ARE SUBJECT TO CHANGE ONCE DEMOLITION IS UNDERWAY

DRAWING TITLE: FRAMING SECTIONS

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Z:\Project_Directories\9700-9799\9757 - Findlay Flats - Friday Parkside (Williamson) 2 Phase (1) - Construction Documents - Phase 1 (8 Buildings)\1732 - VINE ST - MI - 00 - MECHANICAL - BASEMENT - PLAN.dwg - EBS - Rev. Date/Time: Aug. 30, 2024 - 1:37pm - (K+)

THESE DRAWINGS AND SPECIFICATIONS ARE NOT AUTHORIZED TO BE USED AS CONTRACT DOCUMENTS. THESE DRAWINGS HAVE BEEN PREPARED TO DEMONSTRATE COMPLIANCE WITH APPLICABLE CODES, AND ARE INTENDED TO PROVIDE THE AUTHORITIES HAVING JURISDICTION WITH INFORMATION TO DETERMINE CODE COMPLIANCE. THE INSTALLING CONTRACTOR IS RESPONSIBLE TO ENSURE THAT MEANS, METHODS, AND MATERIALS USED IN CONSTRUCTION ARE INSTALLED IN ACCORDANCE WITH ANY CONTRACTUAL AGREEMENT THAT MAY EXIST WITH AN OWNER, CONSTRUCTION MANAGER, GENERAL CONTRACTOR, ETC.

DIFFUSER, GRILLE, AND REGISTER SCHEDULE					
CALLOUT	DESCRIPTION	FACE SIZE (IN)	INLET SIZE (IN)	MODEL	NOTES
DTG-1	RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINN AT 20 DEGREES	18x12	16x10	HART AND COOLEY/ 650	BRIGHT WHITE FINISH
DTG-1C	RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINN AT 20 DEGREES	18x12	16x10	HART AND COOLEY/ 650	BRIGHT WHITE FINISH
DVH-4	28 GAUGE GALVANIZED STEEL, PRE-PAINTED DRYER VENT.	6x7	4Ø	FAMCO DWVP	BACKDRAFT DAMPER/ANGLED HOOD.
EVH-4	28 GAUGE GALVANIZED STEEL, PRE-PAINTED EXHAUST VENT.	6x7	4Ø	FAMCO SDWVP	BACKDRAFT DAMPER/ANGLED HOOD, 1/4 INCH INSECT SCREEN.
EVH-6	28 GAUGE GALVANIZED STEEL, PRE-PAINTED EXHAUST VENT.	8x9	6Ø	FAMCO SDWVP	BACKDRAFT DAMPER/ANGLED HOOD, 1/4 INCH INSECT SCREEN.
FR-2	FLOOR REGISTER, ALL-STEEL CONSTRUCTION, 75% FREE AREA, TOE-OPERATED VALVE CONTROL	14x6	12x4	HART AND COOLEY/ 210	GOLDEN SAND ENAMEL FINISH
FR-3	FLOOR REGISTER, ALL-STEEL CONSTRUCTION, 75% FREE AREA, TOE-OPERATED VALVE CONTROL	10x8	8x6	HART AND COOLEY/ 210	GOLDEN SAND ENAMEL FINISH
FRG-1	RETURN AIR FILTER GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINN AT 20 DEGREES	26x10	24x8	HART AND COOLEY/ 265	GOLDEN SAND ENAMEL FINISH
IVH-6	28 GAUGE GALVANIZED STEEL, PRE-PAINTED INTAKE VENT.	8x9	6Ø	FAMCO SWVP	ANGLED HOOD, 1/4 INCH INSECT SCREEN.
IVH-12	28 GAUGE GALVANIZED STEEL, PRE-PAINTED INTAKE VENT.	15x15	12Ø	FAMCO SWVP	ANGLED HOOD, 1/4 INCH INSECT SCREEN.
RG-1C	RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINN AT 20 DEGREES	8x8	6x6	HART AND COOLEY/ 650	BRIGHT WHITE FINISH
RG-8	RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINN AT 20 DEGREES	22x16	20x14	HART AND COOLEY/ 650	BRIGHT WHITE FINISH
RG-8C	RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINN AT 20 DEGREES	18x18	16x16	HART AND COOLEY/ 650	BRIGHT WHITE FINISH
RR-1	RETURN REGISTER, ALL-STEEL CONSTRUCTION, OPPOSED-BLADE DAMPER	10x6	8x4	HART AND COOLEY/ 92VHV	BRIGHT WHITE FINISH
SDG1W-1	ALUMINUM SINGLE DEFLECTION SPIRAL DIFFUSER	12x5	10x3	HART AND COOLEY/ SV	ADJUSTABLE DAMPER, BRIGHT WHITE FINISH
SR1W-1	STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING	10x6	8x4	HART AND COOLEY/ 651	ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH
SR1W-1C	STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING	10x6	8x4	HART AND COOLEY/ 651	ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH
SR1W-3	STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING	10x8	8x6	HART AND COOLEY/ 651	ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH
SR1W-4	STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING	12x8	10x6	HART AND COOLEY/ 651	ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH
SR1W-6	STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING	16x8	14x6	HART AND COOLEY/ 651	ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH
SR2W-3C	STEEL 2-WAY REGISTER, MS DAMPER, 1/3" FIN SPACING	16x6	14x4	HART AND COOLEY/ 661	ADJUSTABLE DAMPER IN FACE, BRIGHT WHITE FINISH
SR2W-6	STEEL 2-WAY REGISTER, MS DAMPER, 1/3" FIN SPACING	16x10	14x8	HART AND COOLEY/ 661	ADJUSTABLE DAMPER IN FACE, BRIGHT WHITE FINISH

KEYED SHEET NOTES

- ROUTE 3/4" CONDENSATE DRAIN LINE TO FLOOR DRAIN IN MECHANICAL CLOSET. SLOPE PIPE A MINIMUM OF 1/8" PER FOOT AWAY FROM UNIT.
- ROUTE LINE SET FROM OUTDOOR UNIT TO INDOOR AIR HANDLER. ALL PIPING SHALL BE CONCEALED IN FINISHED AREA. SIZE PER MANUFACTURER'S RECOMMENDATIONS.
- RETURN DUCT UP TO FIRST FLOOR.
- SUPPLY DUCT UP TO FIRST FLOOR.
- ALL BASEMENTS SHALL BE VENTILATED AS STORAGE/WAREHOUSE SPACE IN ACCORDANCE WITH TABLE 403.3 OF THE 2017 OHIO MECHANICAL CODE AT A RATE OF 0.06 CFM PER SQUARE FOOT. PROVIDE NEW FAN IN BASEMENT FOR CODE MINIMUM OSA LISTED ABOVE.
- FRESH AIR INTAKE THRU WALL TO WALL CAP.
- DUCT EXHAUST UP THROUGH ROOF WITH RAIN-PROOF CAP.
- 4" EXHAUST DUCT TO BE ROUTED DIRECTLY TO ROOF, AS ALLOWED PER 717.6.1 EXCEPTION. DUCT MUST BE MINIMUM 26 GA. AND BE CONTAINED WITHIN WALL CAVITY FOR FULL LENGTH. FIRE CAULK AROUND ALL PENETRATIONS. REFER TO DETAIL.
- 6" EXHAUST TO BE ROUTED DIRECTLY TO ROOF, AS ALLOWED PER OBC 714.4.1 EXCEPTION 1.
- UNDERCUT DOOR 1" ABOVE FINISHED FLOOR FOR RETURN/MAKE UP AIR. DUCTED RETURN BETWEEN TRANSFER GRILLES TO AVOID EXPOSED WALL CAVITY.
- ROUTE EXHAUST TO EXTERIOR WALL. INSTALL A LOUVERED VENT. SEE ARCHITECT BEFORE PENETRATION FOR EXACT LOCATION AND COLOR COORDINATION. ALL EXHAUST SHALL MEET THE FOLLOWING REQUIREMENTS.
 - 3' FROM PROPERTY LINE.
 - 3' FROM OPERABLE OPENINGS INTO BUILDING.
 - 3' FROM MECHANICAL AIR INTAKE.
- ROUTE 3/4" CONDENSATE DRAIN LINE TO FLOOR DRAIN IN BASEMENT. SLOPE PIPE A MINIMUM OF 1/8" PER FOOT AWAY FROM UNIT. PROVIDE CONDENSATE PUMP AS REQUIRED.
- DUCTED RETURN SLEEVE TO AVOID EXPOSED WALL CAVITY.
- PROVIDE AND INSTALL CONDUIT FOR THERMOSTAT WIRE AND INSULATED BACKING FOR THERMOSTAT WHEN INSTALLED ON EXPOSED BRICK.
- ROUTE EXHAUST DUCT UP IN JOIST POCKET. RATING SHALL BE MAINTAINED AROUND JOIST TO PREVENT FIRE DAMPER. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- ROUTE OUTSIDE AIR DUCT UP IN JOIST POCKET. RATING SHALL BE MAINTAINED AROUND JOIST TO PREVENT FIRE DAMPER. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- MECHANICAL CONTRACTOR TO COORDINATE DUCT ROUTING AND LOCATION WITH PLUMBING CONTRACTOR.

MECHANICAL SCOPE OF WORK (PLAN REVIEW ONLY)

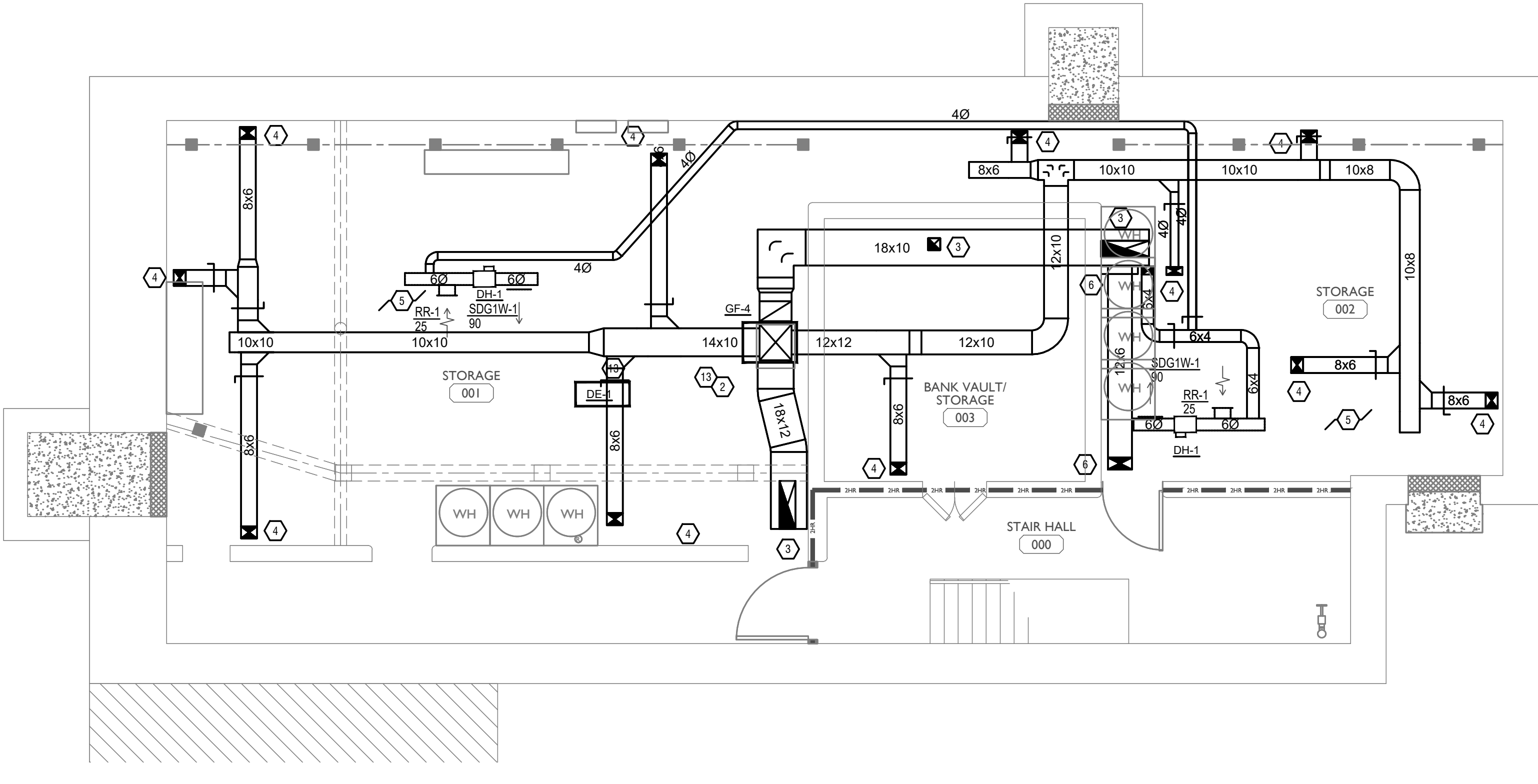
MECHANICAL SCOPE OF WORK IS TO PROVIDE NEW HVAC EQUIPMENT TO RESIDENTIAL AND COMMERCIAL SPACES. MECHANICAL CONTRACTOR SHALL REFERENCE ALL DISCIPLINE DRAWING, ETC. TO REVEAL FULL SCOPE OF WORK. REFER TO MECHANICAL SPECIFICATIONS FOR ADDITIONAL DETAILS.

HVAC DESIGN CONDITIONS

COMMERCIAL		RESIDENTIAL	
COOLING OUTDOOR: 93 DB / 75 WB	HEATING OUTDOOR: 0 DB	COOLING OUTDOOR: 93 DB / 75 WB	HEATING OUTDOOR: 0 DB
INDOOR: 72	INDOOR: 70	INDOOR: 75	INDOOR: 70

GENERAL NOTES

- FOR FULL SCHEDULES, SPECIFICATIONS, AND COMPLETE LISTING SEE DETAIL SHEETS.
- COORDINATE ROUTING OF ALL WORK WITH OTHER TRADES.
- COORDINATE WITH ELECTRICAL CONTRACTOR FOR POWER CONNECTIONS TO ALL MECHANICAL EQUIPMENT.
- INSTALL ALL EQUIPMENT PER MANUFACTURER'S REQUIREMENTS. MAINTAIN ALL CODE RECOMMENDED CLEARANCES FOR ACCESS AND MAINTENANCE.
- REFER TO ARCHITECTURAL PLANS FOR DIMENSIONS, AND FINAL CEILING DIFFUSER LOCATIONS.
- PROVIDE BACKDRAFT DAMPERS FOR ALL EXHAUST SYSTEMS AND EITHER LOUVER, BRICK VENT, OR CAPS AT ALL EXTERIOR BUILDING PENETRATIONS.
- IN DWELLING UNITS, ROUTE ALL SUPPLY, RETURN, AND EXHAUST DUCTWORK ABOVE DROP CEILING OR IN BULKHEADS. COORDINATE ROUTING WITH ARCHITECTURAL DRAWINGS. DUCTS SHALL BE RUN BELOW THE RATED FLOOR/CEILING.
- ROUTE ALL AIR CONDITIONER CONDENSATE TO NEARBY FLOOR DRAIN. PROVIDE MINIMUM SLOPE OF 1/8" PER FOOT. SIZE CONDENSATE PER SECTION 307.2.2 OF THE OHIO MECHANICAL CODE.
- MOUNT THERMOSTATS 60" ABOVE FINISHED FLOOR. MOUNT THERMOSTATS IN ADA UNITS 40" ABOVE FINISHED FLOOR.
- ANY EQUIPMENT THAT IS SUBSTITUTED SHALL FIT IN THE SPACE PROVIDED WITH ADEQUATE ROOM FOR SERVICING, INCLUDING SUBSTITUTE EQUIPMENT NAMED IN THE SPECIFICATIONS. SUBMIT A 1/4" SCALE DRAWING OF ALL EQUIPMENT SUBSTITUTED FOR APPROVAL PRIOR TO INSTALLATION, INCLUDING, BUT NOT LIMITED TO, STRUCTURAL AND ARCHITECTURAL IMPACT, CLEARANCE REQUIREMENTS AND UTILITY REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR TO COORDINATE ALL NEW ELECTRICAL AND PLUMBING REQUIREMENTS WITH THE ELECTRICAL AND PLUMBING CONTRACTORS.
- MATERIALS WITHIN PLENUMS SHALL BE NONCOMBUSTIBLE OR SHALL BE LISTED AND LABELED AS HAVING A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND SMOKE-DEVELOPED INDEX OF NOT MORE THAN 50 WHEN TESTED IN ACCORDANCE WITH ASTM E 84 OR UL 723.
 - THE FOLLOWING GUIDELINES MUST BE FOLLOWED FOR THE DOMESTIC DRYER EXHAUST SYSTEMS:
 - EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH AND BE CONSTRUCTED OF METAL A MINIMUM OF 28 GAUGE.
 - DUCT SIZE SHALL BE 4 INCHES NOMINAL DIAMETER.
 - DUCTS SHALL BE SUPPORTED AT 4-FOOT INTERVALS AND SECURED IN PLACE. THE INSERT END OF THE DUCT SHALL EXTEND INTO THE ADJOINING DUCT OR FITTING IN THE DIRECTION OF AIRFLOW.
 - DUCTS SHALL NOT BE JOINED WITH SCREWS OF SIMILAR FASTENERS THAT PROTRUDE MORE THAN 1/8" INTO THE INSIDE OF THE DUCT.
 - PROTECTIVE SHIELD PLATES SHALL BE PLACED WHERE NAILS OR SCREWS FROM FINISH OR OTHER WORK ARE LIKELY TO PENETRATE THE CLOTHES DRYER EXHAUST DUCT SHIELD PLATES SHALL BE PLACED ON THE FINISHED FACE OF ALL FRAMING MEMBERS WHERE THERE IS LESS THAN 1-1/4 INCHES BETWEEN THE DUCT AND THE FINISHED FACE OF THE FRAMING MEMBER. SHIELD PLATES SHALL BE CONSTRUCTED OF STEEL, HAVE A THICKNESS OF 0.062 INCHES, AND EXTEND NOT LESS THAN 2 INCHES ABOVE SHIELD PLATES AND BELOW TOP PLATES.
 - TRANSITION DUCTS USED TO CONNECT THE DRYER TO THE EXHAUST DUCT SYSTEM SHALL BE A SINGLE LENGTH THAT IS LISTED AND LABELED IN ACCORDANCE WITH UL 2158A. TRANSITION DUCTS SHALL BE NOT GREATER THAN 8 FEET IN LENGTH AND SHALL NOT BE CONCEALED WITHIN CONSTRUCTION.
 - PROVIDE DRYER WALL BOX EQUAL TO DUNDAS JAFINE MODEL DRB4XZV NEAR DRYER.
 - PROVIDE A PERMANENT LABEL OR TAG (EQUAL TO DRYER/LACARD) INDICATING ACTUAL EQUIVALENT LENGTH OF EXHAUST DUCT. LENGTH SHALL INCLUDE 5' FOR 90. LABEL/TAG MUST BE WITHIN 6' OF DRYER EXHAUST CONNECTION. DRYER EXHAUST DUCT FITTING EQUIVALENT LENGTH SHALL BE 2'-0" FOR A RADIUS MITERED 45-DEGREE ELBOW AND 5 FEET FOR A RADIUS MITERED 90-DEGREE ELBOW.



SYMBOLS LEGEND - HVAC

	THERMOSTAT
	CEILING DIFFUSER
	SIDE WALL GRILL
	RETURN WALL GRILL
	AIR FLOW DIRECTION
	DUCTWORK
	TYPICAL SUPPLY DUCT DN
	TYPICAL RETURN DUCT DN
	TYPICAL EXHAUST DUCT
	TURNING VANES
	FLEXIBLE DUCT, 8'-0" LONG MAX.
	TYPICAL ROUND DUCT DN
	ROUND DUCT UP
	MVO MANUAL VOLUME DAMPER
	DROPPED CEILING/SOFFIT

SCALE: 1/4" = 1'-0"

MECHANICAL PLAN - BASEMENT | 1

PLATTE
architecture + design

202 W. ELDER STREET, 4TH FLOOR | CINCINNATI, OH 45202
WWW.PLATTEDESIGN.COM | T: 513.871.1850 | F: 513.871.1829



Progress Dates
05/05/2023 BID P/E/P
08/30/2024 BID SET 2

Revisions

Checked By: SSS
Drawn by: RFG

PR-09757
ENGINEERED BUILDING SYSTEMS INC.
TEAMWORK • COLLABORATION
SHARED SUCCESS
515 Monmouth Street, Suite 204
Newport, KY 41071 (859) 261-0585
MEP Consulting Services, Inc. in OH
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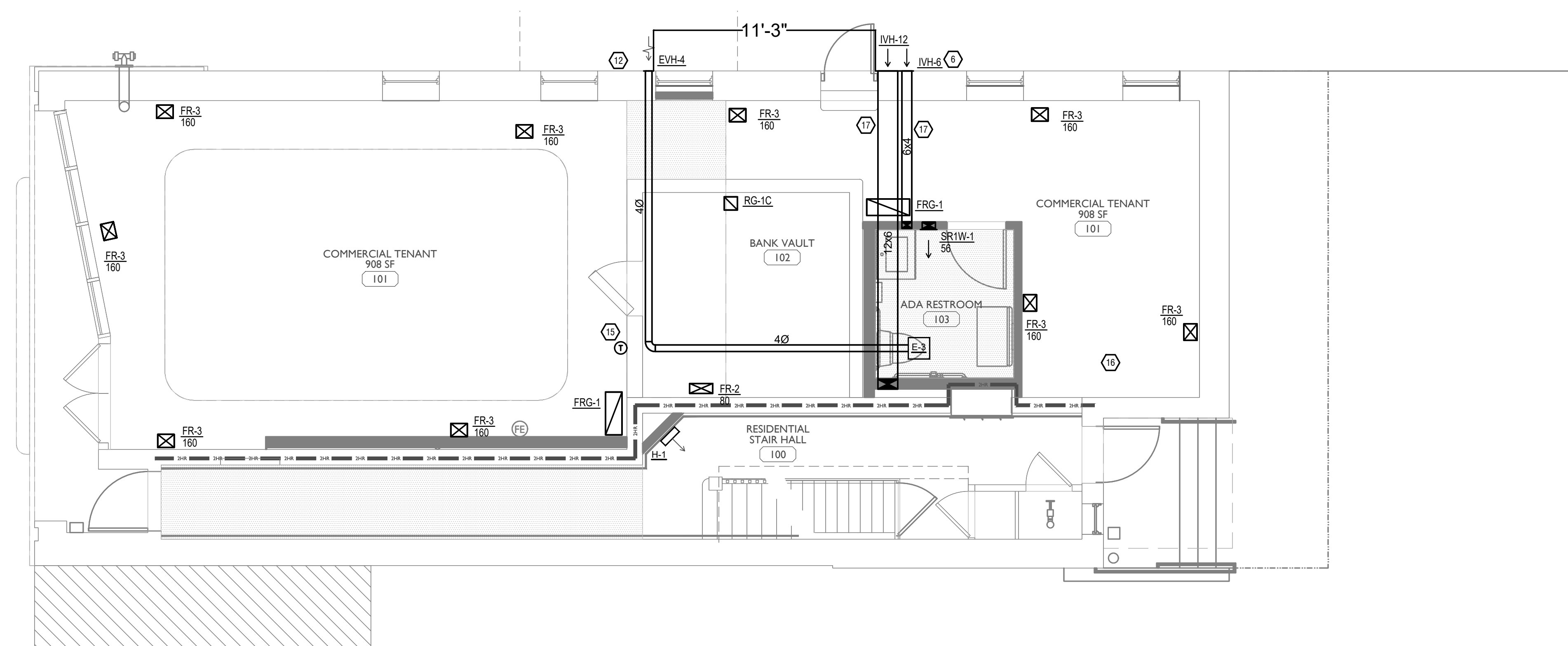
PROPOSED PROJECT:
RENOVATION FOR
1732 VINE ST / 1734 VINE ST
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/10/2022

MI.00

Z:\Project_Directories\9700-9799\9757 - Findlay Flats - Friday Parkside (Williamson) 2 Phase II) - Construction Documents - Phase 1 (8 Buildings) \1732 - MECH - REF - AFR - Mech - Model - Plot - Date Time: Aug 29, 2024 - 10:49am - Bc - derek.grundy
 THESE DRAWINGS AND SPECIFICATIONS ARE NOT AUTHORIZED TO BE USED AS CONTRACT DOCUMENTS. THESE DRAWINGS HAVE BEEN PREPARED TO DEMONSTRATE COMPLIANCE WITH APPLICABLE CODES, AND ARE INTENDED TO PROVIDE THE AUTHORITIES HAVING JURISDICTION WITH INFORMATION TO DETERMINE CODE COMPLIANCE. THE INSTALLING CONTRACTOR IS RESPONSIBLE TO ENSURE THAT MEANS, METHODS, AND MATERIALS USED IN CONSTRUCTION ARE INSTALLED IN ACCORDANCE WITH ANY CONTRACTUAL AGREEMENT THAT MAY EXIST WITH AN OWNER, CONSTRUCTION MANAGER, GENERAL CONTRACTOR, ETC.

DIFFUSER, GRILLE, AND REGISTER SCHEDULE					
CALLOUT	DESCRIPTION	FACE SIZE (IN)	INLET SIZE (IN)	MODEL	NOTES
DTG-1	RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES	18x12	16x10	HART AND COOLEY/ 650	BRIGHT WHITE FINISH
DTG-1C	RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES	18x12	16x10	HART AND COOLEY/ 650	BRIGHT WHITE FINISH
DVH-4	28 GAUGE GALVANIZED STEEL, PRE-PAINTED DRYER VENT.	6x7	4Ø	FAMCO DWVP	BACKDRAFT DAMPER/ANGLED HOOD.
EVH-4	28 GAUGE GALVANIZED STEEL, PRE-PAINTED EXHAUST VENT.	6x7	4Ø	FAMCO SDWVP	BACKDRAFT DAMPER/ANGLED HOOD, 1/4 INCH INSECT SCREEN.
EVH-6	28 GAUGE GALVANIZED STEEL, PRE-PAINTED EXHAUST VENT.	8x9	6Ø	FAMCO SDWVP	BACKDRAFT DAMPER/ANGLED HOOD, 1/4 INCH INSECT SCREEN.
FR-2	FLOOR REGISTER, ALL-STEEL CONSTRUCTION, 75% FREE AREA, TOE-OPERATED VALVE CONTROL	14x6	12x4	HART AND COOLEY/ 210	GOLDEN SAND ENAMEL FINISH
FR-3	FLOOR REGISTER, ALL-STEEL CONSTRUCTION, 75% FREE AREA, TOE-OPERATED VALVE CONTROL	10x8	8x6	HART AND COOLEY/ 210	GOLDEN SAND ENAMEL FINISH
FRG-1	RETURN AIR FILTER GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES	26x10	24x8	HART AND COOLEY/ 265	GOLDEN SAND ENAMEL FINISH
IVH-6	28 GAUGE GALVANIZED STEEL, PRE-PAINTED INTAKE VENT.	8x9	6Ø	FAMCO SWVP	ANGLED HOOD, 1/4 INCH INSECT SCREEN.
IVH-12	28 GAUGE GALVANIZED STEEL, PRE-PAINTED INTAKE VENT.	15x15	12Ø	FAMCO SWVP	ANGLED HOOD, 1/4 INCH INSECT SCREEN.
RG-1C	RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES	8x8	6x6	HART AND COOLEY/ 650	BRIGHT WHITE FINISH
RG-8	RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES	22x16	20x14	HART AND COOLEY/ 650	BRIGHT WHITE FINISH
RG-8C	RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES	18x18	16x16	HART AND COOLEY/ 650	BRIGHT WHITE FINISH
RR-1	RETURN REGISTER, ALL-STEEL CONSTRUCTION, OPPOSED-BLADE DAMPER	10x6	8x4	HART AND COOLEY/ 92VHV	BRIGHT WHITE FINISH
SDG1W-1	ALUMINUM SINGLE DEFLECTION SPIRAL DIFFUSER	12x5	10x3	HART AND COOLEY/ SV	ADJUSTABLE DAMPER, BRIGHT WHITE FINISH
SR1W-1	STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING	10x6	8x4	HART AND COOLEY/ 651	ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH
SR1W-1C	STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING	10x6	8x4	HART AND COOLEY/ 651	ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH
SR1W-3	STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING	10x8	8x6	HART AND COOLEY/ 651	ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH
SR1W-4	STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING	12x8	10x6	HART AND COOLEY/ 651	ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH
SR1W-6	STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING	16x8	14x6	HART AND COOLEY/ 651	ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH
SR2W-3C	STEEL 2-WAY REGISTER, MS DAMPER, 1/3" FIN SPACING	16x6	14x4	HART AND COOLEY/ 661	ADJUSTABLE DAMPER IN FACE, BRIGHT WHITE FINISH
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KEYED SHEET NOTES

- ROUTE 3/4" CONDENSATE DRAIN LINE TO FLOOR DRAIN IN MECHANICAL CLOSET. SLOPE PIPE A MINIMUM OF 1/8" PER FOOT AWAY FROM UNIT.
- ROUTE LINE SET FROM OUTDOOR UNIT TO INDOOR AIR HANDLER. ALL PIPING SHALL BE CONCEALED IN FINISHED AREA. SIZE PER MANUFACTURER'S RECOMMENDATIONS.
- RETURN DUCT UP TO FIRST FLOOR.
- SUPPLY DUCT UP TO FIRST FLOOR.
- ALL BASEMENTS SHALL BE VENTILATED AS STORAGE/WAREHOUSE SPACE IN ACCORDANCE WITH TABLE 403.3 OF THE 2017 OHIO MECHANICAL CODE AT A RATE OF 0.06 CFM PER SQUARE FOOT. PROVIDE NEW FAN IN BASEMENT FOR CODE MINIMUM OSA LISTED ABOVE.
- FRESH AIR INTAKE THRU WALL TO WALL CAP.
- DUCT EXHAUST UP THROUGH ROOF WITH RAIN-PROOF CAP.
- 4" EXHAUST DUCT TO BE ROUTED DIRECTLY TO ROOF, AS ALLOWED PER 717.6.1 EXCEPTION. DUCT MUST BE MINIMUM 26 GA. AND BE CONTAINED WITHIN WALL CAVITY FOR FULL LENGTH. FIRE CAULK AROUND ALL PENETRATIONS. REFER TO DETAIL.
- 6" EXHAUST TO BE ROUTED DIRECTLY TO ROOF, AS ALLOWED PER OBC 714.4.1 EXCEPTION 1.
- UNDERCUT DOOR 1" ABOVE FINISHED FLOOR FOR RETURN/MAKE UP AIR. DUCTED RETURN BETWEEN TRANSFER GRILLES TO AVOID EXPOSED WALL CAVITY.
- ROUTE EXHAUST TO EXTERIOR WALL. INSTALL A LOUVERED VENT. SEE ARCHITECT BEFORE PENETRATION FOR EXACT LOCATION AND COLOR COORDINATION. ALL EXHAUST SHALL MEET THE FOLLOWING REQUIREMENTS.
 - 12.1. 3' FROM PROPERTY LINE.
 - 12.2. 3' FROM OPERABLE OPENINGS INTO BUILDING.
 - 12.3. 10' FROM MECHANICAL AIR INTAKE.
- ROUTE 3/4" CONDENSATE DRAIN LINE TO FLOOR DRAIN IN BASEMENT. SLOPE PIPE A MINIMUM OF 1/8" PER FOOT AWAY FROM UNIT. PROVIDE CONDENSATE PUMP AS REQUIRED.
- DUCTED RETURN SLEEVE TO AVOID EXPOSED WALL CAVITY.
- PROVIDE AND INSTALL CONDUIT FOR THERMOSTAT WIRE AND INSULATED BACKING FOR THERMOSTAT WHEN INSTALLED ON EXPOSED BRICK.
- ROUTE EXHAUST DUCT UP IN JOIST POCKET. RATING SHALL BE MAINTAINED AROUND JOIST TO PREVENT FIRE DAMPER. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- ROUTE OUTSIDE AIR DUCT UP IN JOIST POCKET. RATING SHALL BE MAINTAINED AROUND JOIST TO PREVENT FIRE DAMPER. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- MECHANICAL CONTRACTOR TO COORDINATE DUCT ROUTING AND LOCATION WITH PLUMBING CONTRACTOR.

MECHANICAL SCOPE OF WORK (PLAN REVIEW ONLY)

MECHANICAL SCOPE OF WORK IS TO PROVIDE NEW HVAC EQUIPMENT TO RESIDENTIAL AND COMMERCIAL SPACES. MECHANICAL CONTRACTOR SHALL REFERENCE ALL DISCIPLINE DRAWING, ETC. TO REVEAL FULL SCOPE OF WORK. REFER TO MECHANICAL SPECIFICATIONS FOR ADDITIONAL DETAILS.

HVAC DESIGN CONDITIONS

COMMERCIAL		RESIDENTIAL	
COOLING OUTDOOR: 93 DB / 75 WB	HEATING OUTDOOR: 0 DB	COOLING OUTDOOR: 93 DB / 75 WB	HEATING OUTDOOR: 0 DB
INDOOR: 72	INDOOR: 70	INDOOR: 75	INDOOR: 70

GENERAL NOTES

- A. FOR FULL SCHEDULES, SPECIFICATIONS, AND COMPLETE LISTING SEE DETAIL SHEETS.
- B. COORDINATE ROUTING OF ALL WORK WITH OTHER TRADES.
- C. COORDINATE WITH ELECTRICAL CONTRACTOR FOR POWER CONNECTIONS TO ALL MECHANICAL EQUIPMENT.
- D. INSTALL ALL EQUIPMENT PER MANUFACTURER'S REQUIREMENTS. MAINTAIN ALL CODE RECOMMENDED CLEARANCES FOR ACCESS AND MAINTENANCE.
- E. REFER TO ARCHITECTURAL PLANS FOR DIMENSIONS, AND FINAL CEILING DIFFUSER LOCATIONS.
- F. PROVIDE BACKDRAFT DAMPERS FOR ALL EXHAUST SYSTEMS AND EITHER LOUVER, BRICK VENT, OR CAPS AT ALL EXTERIOR BUILDING PENETRATIONS.
- G. IN DWELLING UNITS, ROUTE ALL SUPPLY, RETURN, AND EXHAUST DUCTWORK ABOVE DROP CEILING OR IN BULKHEADS. COORDINATE ROUTING WITH ARCHITECTURAL DRAWINGS. DUCTS SHALL BE RUN BELOW THE RATED FLOOR/CEILING.
- H. ROUTE ALL AIR CONDITIONER CONDENSATE TO NEARBY FLOOR DRAIN. PROVIDE MINIMUM SLOPE OF 1/8" PER FOOT. SIZE CONDENSATE PER SECTION 307.2.2 OF THE OHIO MECHANICAL CODE.
- I. MOUNT THERMOSTATS 60" ABOVE FINISHED FLOOR. MOUNT THERMOSTATS IN ADA UNITS 40" ABOVE FINISHED FLOOR.
- J. ANY EQUIPMENT THAT IS SUBSTITUTED SHALL FIT IN THE SPACE PROVIDED WITH ADEQUATE ROOM FOR SERVICING, INCLUDING SUBSTITUTE EQUIPMENT NAMED IN THE SPECIFICATIONS. SUBMIT A 1/4" SCALE DRAWING OF ALL EQUIPMENT SUBSTITUTED FOR APPROVAL PRIOR TO INSTALLATION, INCLUDING, BUT NOT LIMITED TO, STRUCTURAL AND ARCHITECTURAL IMPACT, CLEARANCE REQUIREMENTS AND UTILITY REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR TO COORDINATE ALL NEW ELECTRICAL AND PLUMBING REQUIREMENTS WITH THE ELECTRICAL AND PLUMBING CONTRACTORS.
- K. MATERIALS WITHIN PLENUMS SHALL BE NONCOMBUSTIBLE OR SHALL BE LISTED AND LABELED AS HAVING A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND SMOKE-DEVELOPED INDEX OF NOT MORE THAN 50 WHEN TESTED IN ACCORDANCE WITH ASTM E 84 OR UL 723.
- L. THE FOLLOWING GUIDELINES MUST BE FOLLOWED FOR THE DOMESTIC DRYER EXHAUST SYSTEMS:
 - J.A. EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH AND BE CONSTRUCTED OF METAL A MINIMUM OF 28 GAGE.
 - J.B. DUCT SIZE SHALL BE 4 INCHES NOMINAL DIAMETER.
 - J.C. DUCTS SHALL BE SUPPORTED AT 4-FOOT INTERVALS AND SECURED IN PLACE. THE INSERT END OF THE DUCT SHALL EXTEND INTO THE ADJOINING DUCT OR FITTING IN THE DIRECTION OF AIR FLOW.
 - J.D. DUCTS SHALL NOT BE JOINED WITH SCREWS OF SIMILAR FASTENERS THAT PROTRUDE MORE THAN 1/8" INTO THE INSIDE OF THE DUCT.
 - J.E. PROTECTIVE SHIELD PLATES SHALL BE PLACED WHERE NAILS OR SCREWS FROM FINISH OR OTHER WORK ARE LIKELY TO PENETRATE THE CLOTHES DRYER EXHAUST DUCT SHIELD PLATES SHALL BE PLACED ON THE FINISHED FACE OF ALL FRAMING MEMBERS WHERE THERE IS LESS THAN 1-1/4 INCHES BETWEEN THE DUCT AND THE FINISHED FACE OF THE FRAMING MEMBER. SHIELD PLATES SHALL BE CONSTRUCTED OF STEEL, HAVE A THICKNESS OF 0.062 INCHES, AND EXTEND NOT LESS THAN 2 INCHES ABOVE SOLE PLATES AND BELOW TOP PLATES.
 - J.F. TRANSITION DUCTS USED TO CONNECT THE DRYER TO THE EXHAUST DUCT SYSTEM SHALL BE A SINGLE LENGTH THAT IS LISTED AND LABELED IN ACCORDANCE WITH UL 2158A. TRANSITION DUCTS SHALL BE NOT GREATER THAN 8 FEET IN LENGTH AND SHALL NOT BE CONCEALED WITHIN CONSTRUCTION.
 - J.G. PROVIDE DRYER WALL BOX EQUAL TO DUNDAS JAFINE MODEL DRB4XZV NEAR DRYER.
 - J.H. PROVIDE A PERMANENT LABEL OR TAG (EQUAL TO DRYER/LACARD) INDICATING ACTUAL EQUIVALENT LENGTH OF EXHAUST DUCT. LENGTH SHALL INCLUDE 5' FOR 90. LABEL/TAG MUST BE WITHIN 6' OF DRYER EXHAUST CONNECTION. DRYER EXHAUST DUCT FITTING EQUIVALENT LENGTH SHALL BE 2'-0" FOR A RADIUS MITERED 45-DEGREE ELBOW AND 5 FEET FOR A RADIUS MITERED 90-DEGREE ELBOW.

SYMBOLS LEGEND - HVAC

	THERMOSTAT
	CEILING DIFFUSER
	SIDE WALL GRILL
	RETURN WALL GRILL
	AIR FLOW DIRECTION
	DUCTWORK
	TYPICAL SUPPLY DUCT DN
	TYPICAL RETURN DUCT DN
	TYPICAL EXHAUST DUCT
	TURNING VANES
	FLEXIBLE DUCT, 8'-0" LONG MAX.
	TYPICAL ROUND DUCT DN
	ROUND DUCT UP
	MVO MANUAL VOLUME DAMPER
	DROPPED CEILING/SOFFIT

SCALE: 1/4" = 1'-0"

MECHANICAL PLAN - FIRST FLOOR

PLATTE

architecture + design

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Revisions

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ENGINEERED BUILDING SYSTEMS INC.

TEAMWORK • COLLABORATION
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1732 VINE ST / 1734 VINE ST

PROPOSED PROJECT: RENOVATION FOR FINDLAY FLATS

CINCINNATI, OH, 45202

Job No: 22042 8/10/2022

MI.OI

DIFFUSER, GRILLE, AND REGISTER SCHEDULE

CALLOUT	DESCRIPTION	FACE SIZE (IN)	INLET SIZE (IN)	MODEL	NOTES
DTG-1	RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FIN AT 20 DEGREES	18x12	16x10	HART AND COOLEY/ 650	BRIGHT WHITE FINISH
DTG-1C	RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FIN AT 20 DEGREES	18x12	16x10	HART AND COOLEY/ 650	BRIGHT WHITE FINISH
DVH-4	28 GAUGE GALVANIZED STEEL, PRE-PAINTED DRYER VENT.	6x7	40	FAMCO DWVP	BACKDRAFT DAMPER/ANGLED HOOD.
EVH-4	28 GAUGE GALVANIZED STEEL, PRE-PAINTED EXHAUST VENT.	6x7	40	FAMCO SDWVP	BACKDRAFT DAMPER/ANGLED HOOD, 1/4 INCH INSECT SCREEN.
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FR-2	FLOOR REGISTER, ALL-STEEL CONSTRUCTION, 75% FREE AREA, TOE-OPERATED VALVE CONTROL	14x6	12x4	HART AND COOLEY/ 210	GOLDEN SAND ENAMEL FINISH
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FRG-1	RETURN AIR FILTER GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FIN AT 20 DEGREES	26x10	24x8	HART AND COOLEY/ 265	GOLDEN SAND ENAMEL FINISH
IVH-6	28 GAUGE GALVANIZED STEEL, PRE-PAINTED INTAKE VENT.	8x9	60	FAMCO SWVP	ANGLED HOOD, 1/4 INCH INSECT SCREEN.
IVH-12	28 GAUGE GALVANIZED STEEL, PRE-PAINTED INTAKE VENT.	15x15	120	FAMCO SWVP	ANGLED HOOD, 1/4 INCH INSECT SCREEN.
RG-1C	RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FIN AT 20 DEGREES	8x8	6x6	HART AND COOLEY/ 650	BRIGHT WHITE FINISH
RG-8	RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FIN AT 20 DEGREES	22x16	20x14	HART AND COOLEY/ 650	BRIGHT WHITE FINISH
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SR1W-1	STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING	10x6	8x4	HART AND COOLEY/ 651	ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH
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SR2W-3C	STEEL 2-WAY REGISTER, MS DAMPER, 1/3" FIN SPACING	16x6	14x4	HART AND COOLEY/ 661	ADJUSTABLE DAMPER IN FACE, BRIGHT WHITE FINISH
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KEYED SHEET NOTES

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- 4" EXHAUST DUCT TO BE ROUTED DIRECTLY TO ROOF, AS ALLOWED PER 717.6.1 EXCEPTION. DUCT MUST BE MINIMUM 26 GA. AND BE CONTAINED WITHIN WALL CAVITY FOR FULL LENGTH. FIRE CAULK AROUND ALL PENETRATIONS. REFER TO DETAIL.
- 6" EXHAUST TO BE ROUTED DIRECTLY TO ROOF, AS ALLOWED PER OBC 714.4.1 EXCEPTION 1.
- UNDERCUT DOOR 1" ABOVE FINISHED FLOOR FOR RETURN/MAKE UP AIR.
- DUCTED RETURN BETWEEN TRANSFER GRILLES TO AVOID EXPOSED WALL CAVITY.
- ROUTE EXHAUST TO EXTERIOR WALL. INSTALL A LOUVERED VENT. SEE ARCHITECT BEFORE PENETRATION FOR EXACT LOCATION AND COLOR COORDINATION. ALL EXHAUST SHALL MEET THE FOLLOWING REQUIREMENTS.
 - 3' FROM PROPERTY LINE.
 - 3' FROM OPERABLE OPENINGS INTO BUILDING.
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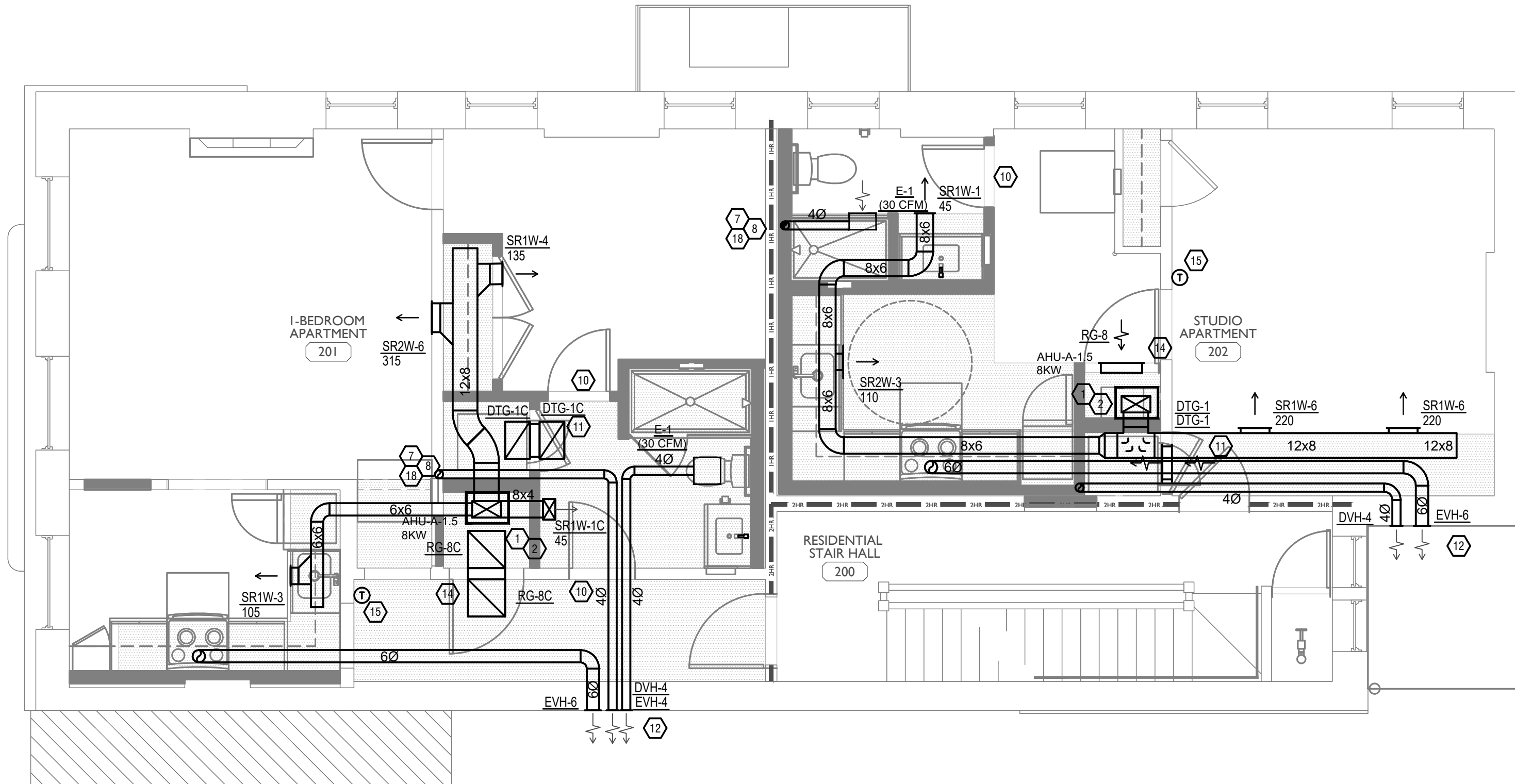
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INDOOR: 72	INDOOR: 70	INDOOR: 75	INDOOR: 70

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- MOUNT THERMOSTATS 60" ABOVE FINISHED FLOOR. MOUNT THERMOSTATS IN ADA UNITS 40" ABOVE FINISHED FLOOR.
- ANY EQUIPMENT THAT IS SUBSTITUTED SHALL FIT IN THE SPACE PROVIDED WITH ADEQUATE ROOM FOR SERVICING, INCLUDING SUBSTITUTE EQUIPMENT NAMED IN THE SPECIFICATIONS. SUBMIT A 1/4" SCALE DRAWING OF ALL EQUIPMENT SUBSTITUTED FOR APPROVAL PRIOR TO INSTALLATION, INCLUDING, BUT NOT LIMITED TO, STRUCTURAL AND ARCHITECTURAL IMPACT, CLEARANCE REQUIREMENTS AND UTILITY REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR TO COORDINATE ALL NEW ELECTRICAL AND PLUMBING REQUIREMENTS WITH THE ELECTRICAL AND PLUMBING CONTRACTORS.
- MATERIALS WITHIN PLENUMS SHALL BE NONCOMBUSTIBLE OR SHALL BE LISTED AND LABELED AS HAVING A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND SMOKE-DEVELOPED INDEX OF NOT MORE THAN 50 WHEN TESTED IN ACCORDANCE WITH ASTM E 84 OR UL 723.
 - THE FOLLOWING GUIDELINES MUST BE FOLLOWED FOR THE DOMESTIC DRYER EXHAUST SYSTEMS.
 - EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH AND BE CONSTRUCTED OF METAL A MINIMUM OF 28 GAGE.
 - DUCT SIZE SHALL BE 4 INCHES NOMINAL DIAMETER.
 - DUCTS SHALL BE SUPPORTED AT 4-FOOT INTERVALS AND SECURED IN PLACE. THE INSERT END OF THE DUCT SHALL EXTEND INTO THE ADJOINING DUCT OR FITTING IN THE DIRECTION OF AIRFLOW.
 - DUCTS SHALL NOT BE JOINED WITH SCREWS OF SIMILAR FASTENERS THAT PROTRUDE MORE THAN 1/8 INCH INTO THE INSIDE OF THE DUCT.
 - PROTECTIVE SHIELD PLATES SHALL BE PLACED WHERE NAILS OR SCREWS FROM FINISH OR OTHER WORK ARE LIKELY TO PENETRATE THE CLOTHES DRYER EXHAUST DUCT SHIELD PLATES SHALL BE PLACED ON THE FINISHED FACE OF ALL FRAMING MEMBERS WHERE THERE IS LESS THAN 1-1/4 INCHES BETWEEN THE DUCT AND THE FINISHED FACE OF THE FRAMING MEMBER. SHIELD PLATES SHALL BE CONSTRUCTED OF STEEL, HAVE A THICKNESS OF 0.062 INCHES, AND EXTEND NOT LESS THAN 2 INCHES ABOVE SOLE PLATES AND BELOW TOP PLATES.
 - TRANSITION DUCTS USED TO CONNECT THE DRYER TO THE EXHAUST DUCT SYSTEM SHALL BE A SINGLE LENGTH THAT IS LISTED AND LABELED IN ACCORDANCE WITH UL 2158A. TRANSITION DUCTS SHALL BE NOT GREATER THAN 8 FEET IN LENGTH AND SHALL NOT BE CONCEALED WITHIN CONSTRUCTION.
 - PROVIDE DRYER WALL BOX EQUAL TO DUNDAS JAFINE MODEL DRB4XZ/W NEAR DRYER.
 - PROVIDE A PERMANENT LABEL OR TAG (EQUAL TO DRYER/LACARD) INDICATING ACTUAL EQUIVALENT LENGTH OF EXHAUST DUCT. LENGTH SHALL INCLUDE 5' FOR 90. LABEL/TAG MUST BE WITHIN 6' OF DRYER EXHAUST CONNECTION. DRYER EXHAUST DUCT FITTING EQUIVALENT LENGTH SHALL BE 2'-6" FOR A RADIUS MITERED 45-DEGREE ELBOW AND 5 FEET FOR A RADIUS MITERED 90-DEGREE ELBOW.

Z:\Project_Directories\9700-9799\9757 - Findlay Flats - Friday Parkside (Williamson ? Phase II) - Construction Documents - Phase 1 (8 Buildings) \1732 - VINEL VENT - A/E/Architect - Model - Pict - Date Time: Aug 29, 2024 - 10:49am - Bc - derek.grundy
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SYMBOLS LEGEND -- HVAC

⊖	THERMOSTAT
☒	CEILING DIFFUSER
→	SIDE WALL GRILL
←	RETURN WALL GRILL
→	AIR FLOW DIRECTION
14x10	DUCTWORK
☒	TYPICAL SUPPLY DUCT DN
☒	TYPICAL RETURN DUCT DN
☒	TYPICAL EXHAUST DUCT
↺	TURNING VANES
⊗	FLEXIBLE DUCT, 8'-0" LONG MAX.
○	TYPICAL ROUND DUCT DN
○	ROUND DUCT UP
⊞	M/O MANUAL VOLUME DAMPER
⊞	DROPPED CEILING/SOFFIT

SCALE: 1/4" = 1'-0"

MECHANICAL PLAN - SECOND FLOOR

PLATTE
 architecture + design
 202 W. ELDER STREET 4TH FLOOR | CINCINNATI, OH 45202
 WWW.PLATTEDESIGN.COM | T: 513.871.1850 | F: 513.871.1829

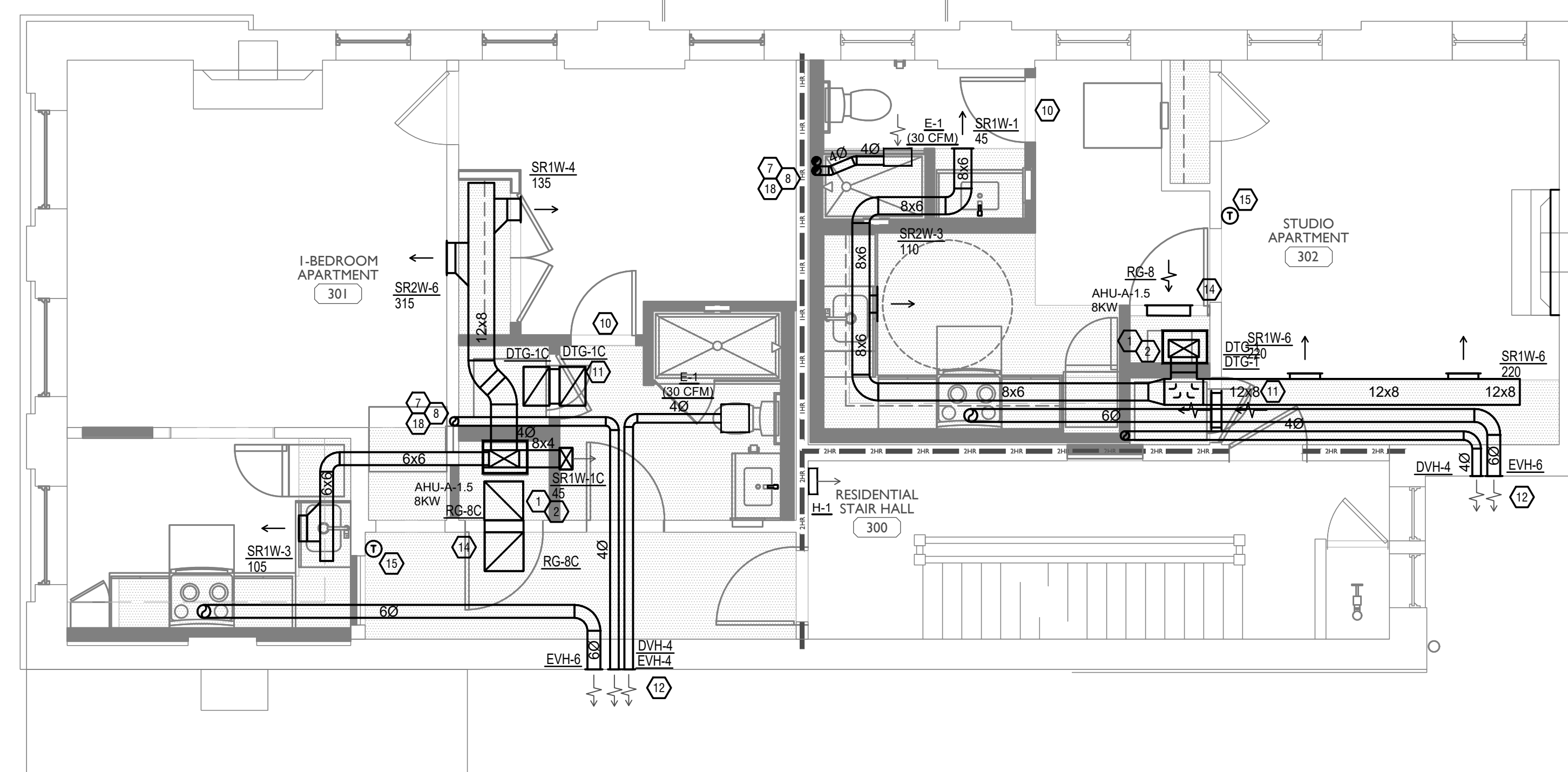
SCOTT REVERT
 STATE OF OHIO
 LICENSE E-77795
 REGISTERED PROFESSIONAL ENGINEER

Progress Dates: 05/05/2023 BID P/E/FP, 08/30/2024 BID SET 2
 Revisions:
 Checked By: SSS
 Drawn by: RFG
 FR-09757
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 TEAMWORK • COLLABORATION SHARED SUCCESS
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PROPOSED PROJECT: RENOVATION FOR 1732 VINE ST / 1734 VINE ST CINCINNATI, OH, 45202 FINDLAY FLATS
 Job No: 22042 8/10/2022
MI.02

Z:\Project_Directories\9700-9793\9757 - Findlay Flats - Friday Parcside (Williamson 2 Phase II) - Construction Documents - Phase 1 (8 Buildings)\1732_VINE_VEST-ART_Apex-Model_Plot_Date/Time: Aug 29, 2024 - 10:49am - Bc_derek_grundy
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DIFFUSER, GRILLE, AND REGISTER SCHEDULE					
CALLOUT	DESCRIPTION	FACE SIZE (IN)	INLET SIZE (IN)	MODEL	NOTES
DTG-1	RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINN AT 20 DEGREES	18x12	16x10	HART AND COOLEY/ 650	BRIGHT WHITE FINISH
DTG-1C	RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINN AT 20 DEGREES	18x12	16x10	HART AND COOLEY/ 650	BRIGHT WHITE FINISH
DVH-4	28 GAUGE GALVANIZED STEEL, PRE-PAINTED DRYER VENT.	6x7	4Ø	FAMCO DWVP	BACKDRAFT DAMPER/ANGLED HOOD.
EVH-4	28 GAUGE GALVANIZED STEEL, PRE-PAINTED EXHAUST VENT.	6x7	4Ø	FAMCO SDWVP	BACKDRAFT DAMPER/ANGLED HOOD, 1/4 INCH INSECT SCREEN.
EVH-6	28 GAUGE GALVANIZED STEEL, PRE-PAINTED EXHAUST VENT.	8x9	6Ø	FAMCO SDWVP	BACKDRAFT DAMPER/ANGLED HOOD, 1/4 INCH INSECT SCREEN.
FR-2	FLOOR REGISTER, ALL-STEEL CONSTRUCTION, 75% FREE AREA, TOE-OPERATED VALVE CONTROL	14x6	12x4	HART AND COOLEY/ 210	GOLDEN SAND ENAMEL FINISH
FR-3	FLOOR REGISTER, ALL-STEEL CONSTRUCTION, 75% FREE AREA, TOE-OPERATED VALVE CONTROL	10x8	8x6	HART AND COOLEY/ 210	GOLDEN SAND ENAMEL FINISH
FRG-1	RETURN AIR FILTER GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINN AT 20 DEGREES	26x10	24x8	HART AND COOLEY/ 265	GOLDEN SAND ENAMEL FINISH
IVH-6	28 GAUGE GALVANIZED STEEL, PRE-PAINTED INTAKE VENT.	8x9	6Ø	FAMCO SWVP	ANGLED HOOD, 1/4 INCH INSECT SCREEN.
IVH-12	28 GAUGE GALVANIZED STEEL, PRE-PAINTED INTAKE VENT.	15x15	12Ø	FAMCO SWVP	ANGLED HOOD, 1/4 INCH INSECT SCREEN.
RG-1C	RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINN AT 20 DEGREES	8x8	6x6	HART AND COOLEY/ 650	BRIGHT WHITE FINISH
RG-8	RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINN AT 20 DEGREES	22x16	20x14	HART AND COOLEY/ 650	BRIGHT WHITE FINISH
RG-8C	RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINN AT 20 DEGREES	18x18	16x16	HART AND COOLEY/ 650	BRIGHT WHITE FINISH
RR-1	RETURN REGISTER, ALL-STEEL CONSTRUCTION, OPPOSED-BLADE DAMPER	10x6	8x4	HART AND COOLEY/ 92VHV	BRIGHT WHITE FINISH
SDG1W-1	ALUMINUM SINGLE DEFLECTION SPIRAL DIFFUSER	12x5	10x3	HART AND COOLEY/ SV	ADJUSTABLE DAMPER, BRIGHT WHITE FINISH
SR1W-1	STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING	10x6	8x4	HART AND COOLEY/ 651	ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH
SR1W-1C	STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING	10x6	8x4	HART AND COOLEY/ 651	ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH
SR1W-3	STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING	10x8	8x6	HART AND COOLEY/ 651	ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH
SR1W-4	STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING	12x8	10x6	HART AND COOLEY/ 651	ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH
SR1W-6	STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING	16x8	14x6	HART AND COOLEY/ 651	ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH
SR2W-3C	STEEL 2-WAY REGISTER, MS DAMPER, 1/3" FIN SPACING	16x6	14x4	HART AND COOLEY/ 661	ADJUSTABLE DAMPER IN FACE, BRIGHT WHITE FINISH
SR2W-6	STEEL 2-WAY REGISTER, MS DAMPER, 1/3" FIN SPACING	16x10	14x8	HART AND COOLEY/ 661	ADJUSTABLE DAMPER IN FACE, BRIGHT WHITE FINISH



- ### KEYED SHEET NOTES
- ROUTE 3/4" CONDENSATE DRAIN LINE TO FLOOR DRAIN IN MECHANICAL CLOSET. SLOPE PIPE A MINIMUM OF 1/8" PER FOOT AWAY FROM UNIT.
 - ROUTE LINE SET FROM OUTDOOR UNIT TO INDOOR AIR HANDLER. ALL PIPING SHALL BE CONCEALED IN FINISHED AREA. SIZE PER MANUFACTURER'S RECOMMENDATIONS.
 - RETURN DUCT UP TO FIRST FLOOR.
 - SUPPLY DUCT UP TO FIRST FLOOR.
 - ALL BASEMENTS SHALL BE VENTILATED AS STORAGE/WAREHOUSE SPACE IN ACCORDANCE WITH TABLE 403.3 OF THE 2017 OHIO MECHANICAL CODE AT A RATE OF 0.06 CFM PER SQUARE FOOT. PROVIDE NEW FAN IN BASEMENT FOR CODE MINIMUM OSA LISTED ABOVE.
 - FRESH AIR INTAKE THRU WALL TO WALL CAP.
 - DUCT EXHAUST UP THROUGH ROOF WITH RAIN-PROOF CAP.
 - 4" EXHAUST DUCT TO BE ROUTED DIRECTLY TO ROOF, AS ALLOWED PER 717.6.1 EXCEPTION. DUCT MUST BE MINIMUM 26 GA. AND BE CONTAINED WITHIN WALL CAVITY FOR FULL LENGTH. FIRE CAULK AROUND ALL PENETRATIONS. REFER TO DETAIL.
 - 6" EXHAUST TO BE ROUTED DIRECTLY TO ROOF, AS ALLOWED PER CBC 714.4.1 EXCEPTION 1.
 - UNDERCUT DOOR 1" ABOVE FINISHED FLOOR FOR RETURN/MAKE UP AIR. DUCTED RETURN BETWEEN TRANSFER GRILLES TO AVOID EXPOSED WALL CAVITY.
 - ROUTE EXHAUST TO EXTERIOR WALL. INSTALL A LOUVERED VENT. SEE ARCHITECT BEFORE PENETRATION FOR EXACT LOCATION AND COLOR COORDINATION. ALL EXHAUST SHALL MEET THE FOLLOWING REQUIREMENTS.
 - 12.1. 3' FROM PROPERTY LINE.
 - 12.2. 3' FROM OPERABLE OPENINGS INTO BUILDING.
 - 12.3. 10' FROM MECHANICAL AIR INTAKE.
 - ROUTE 3/4" CONDENSATE DRAIN LINE TO FLOOR DRAIN IN BASEMENT. SLOPE PIPE A MINIMUM OF 1/8" PER FOOT AWAY FROM UNIT. PROVIDE CONDENSATE PUMP AS REQUIRED.
 - DUCTED RETURN SLEEVE TO AVOID EXPOSED WALL CAVITY.
 - PROVIDE AND INSTALL CONDUIT FOR THERMOSTAT WIRE AND INSULATED BACKING FOR THERMOSTAT WHEN INSTALLED ON EXPOSED BRICK.
 - ROUTE EXHAUST DUCT UP IN JOIST POCKET. RATING SHALL BE MAINTAINED AROUND JOIST TO PREVENT FIRE DAMPER. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
 - ROUTE OUTSIDE AIR DUCT UP IN JOIST POCKET. RATING SHALL BE MAINTAINED AROUND JOIST TO PREVENT FIRE DAMPER. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
 - MECHANICAL CONTRACTOR TO COORDINATE DUCT ROUTING AND LOCATION WITH PLUMBING CONTRACTOR.

MECHANICAL SCOPE OF WORK (PLAN REVIEW ONLY)

MECHANICAL SCOPE OF WORK IS TO PROVIDE NEW HVAC EQUIPMENT TO RESIDENTIAL AND COMMERCIAL SPACES. MECHANICAL CONTRACTOR SHALL REFERENCE ALL DISCIPLINE DRAWING, ETC. TO REVEAL FULL SCOPE OF WORK. REFER TO MECHANICAL SPECIFICATIONS FOR ADDITIONAL DETAILS.

HVAC DESIGN CONDITIONS			
COMMERCIAL		RESIDENTIAL	
COOLING OUTDOOR: 93 DB / 75 WB	HEATING OUTDOOR: 0 DB	COOLING OUTDOOR: 93 DB / 75 WB	HEATING OUTDOOR: 0 DB
INDOOR: 72	INDOOR: 70	INDOOR: 75	INDOOR: 70

- ### GENERAL NOTES
- FOR FULL SCHEDULES, SPECIFICATIONS, AND COMPLETE LISTING SEE DETAIL SHEETS.
 - COORDINATE ROUTING OF ALL WORK WITH OTHER TRADES.
 - COORDINATE WITH ELECTRICAL CONTRACTOR FOR POWER CONNECTIONS TO ALL MECHANICAL EQUIPMENT.
 - INSTALL ALL EQUIPMENT PER MANUFACTURER'S REQUIREMENTS. MAINTAIN ALL CODE RECOMMENDED CLEARANCES FOR ACCESS AND MAINTENANCE.
 - REFER TO ARCHITECTURAL PLANS FOR DIMENSIONS, AND FINAL CEILING DIFFUSER LOCATIONS.
 - PROVIDE BACKDRAFT DAMPERS FOR ALL EXHAUST SYSTEMS AND EITHER LOUVER, BRICK VENT, OR CAPS AT ALL EXTERIOR BUILDING PENETRATIONS.
 - IN DWELLING UNITS, ROUTE ALL SUPPLY, RETURN, AND EXHAUST DUCTWORK ABOVE DROP CEILING OR IN BULKHEADS. COORDINATE ROUTING WITH ARCHITECTURAL DRAWINGS. DUCTS SHALL BE RUN BELOW THE RATED FLOOR/CEILING.
 - ROUTE ALL AIR CONDITIONER CONDENSATE TO NEARBY FLOOR DRAIN. PROVIDE MINIMUM SLOPE OF 1/8" PER FOOT. SIZE CONDENSATE PER SECTION 307.2.2 OF THE OHIO MECHANICAL CODE.
 - MOUNT THERMOSTATS 60" ABOVE FINISHED FLOOR. MOUNT THERMOSTATS IN ADA UNITS 40" ABOVE FINISHED FLOOR.
 - ANY EQUIPMENT THAT IS SUBSTITUTED SHALL FIT IN THE SPACE PROVIDED WITH ADEQUATE ROOM FOR SERVICING, INCLUDING SUBSTITUTE EQUIPMENT NAMED IN THE SPECIFICATIONS. SUBMIT A 1/4" SCALE DRAWING OF ALL EQUIPMENT SUBSTITUTED FOR APPROVAL PRIOR TO INSTALLATION, INCLUDING, BUT NOT LIMITED TO, STRUCTURAL AND ARCHITECTURAL IMPACT, CLEARANCE REQUIREMENTS AND UTILITY REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR TO COORDINATE ALL NEW ELECTRICAL AND PLUMBING REQUIREMENTS WITH THE ELECTRICAL AND PLUMBING CONTRACTORS.
 - MATERIALS WITHIN PLENUMS SHALL BE NONCOMBUSTIBLE OR SHALL BE LISTED AND LABELED AS HAVING A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND SMOKE-DEVELOPED INDEX OF NOT MORE THAN 50 WHEN TESTED IN ACCORDANCE WITH ASTM E 84 OR UL 723.
 - J.A. EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH AND BE CONSTRUCTED OF METAL A MINIMUM OF 28 GAGE.
 - J.B. DUCT SIZE SHALL BE 4 INCHES NOMINAL DIAMETER.
 - J.C. DUCTS SHALL BE SUPPORTED AT 4-FOOT INTERVALS AND SECURED IN PLACE. THE INSERT END OF THE DUCT SHALL EXTEND INTO THE ADJOINING DUCT OR FITTING IN THE DIRECTION OF AIRFLOW.
 - J.D. DUCTS SHALL NOT BE JOINED WITH SCREWS OF SIMILAR FASTENERS THAT PROTRUDE MORE THAN 1/8" INTO THE INSIDE OF THE DUCT.
 - J.E. PROTECTIVE SHIELD PLATES SHALL BE PLACED WHERE NAILS OR SCREWS FROM FINISH OR OTHER WORK ARE LIKELY TO PENETRATE THE CLOTHES DRYER EXHAUST DUCT SHIELD PLATES SHALL BE PLACED ON THE FINISHED FACE OF ALL FRAMING MEMBERS WHERE THERE IS LESS THAN 1-1/4 INCHES BETWEEN THE DUCT AND THE FINISHED FACE OF THE FRAMING MEMBER. SHIELD PLATES SHALL BE CONSTRUCTED OF STEEL, HAVE A THICKNESS OF 0.062 INCHES, AND EXTEND NOT LESS THAN 2 INCHES ABOVE SOLE PLATES AND BELOW TOP PLATES.
 - J.F. TRANSITION DUCTS USED TO CONNECT THE DRYER TO THE EXHAUST DUCT SYSTEM SHALL BE A SINGLE LENGTH THAT IS LISTED AND LABELED IN ACCORDANCE WITH UL 2158A. TRANSITION DUCTS SHALL BE NOT GREATER THAN 6 FEET IN LENGTH AND SHALL NOT BE CONCEALED WITHIN CONSTRUCTION.
 - J.G. PROVIDE DRYER WALL BOX EQUAL TO DUNDAS JAFINE MODEL DRB4XZV NEAR DRYER.
 - J.H. PROVIDE A PERMANENT LABEL OR TAG (EQUAL TO DRYER/LACARD) INDICATING ACTUAL EQUIVALENT LENGTH OF EXHAUST DUCT. LENGTH SHALL INCLUDE 5' FOR 90. LABEL/TAG MUST BE WITHIN 6' OF DRYER EXHAUST CONNECTION. DRYER EXHAUST DUCT FITTING EQUIVALENT LENGTH SHALL BE 2'-0" FOR A RADIUS MITERED 45-DEGREE ELBOW AND 5 FEET FOR A RADIUS MITERED 90-DEGREE ELBOW.

SYMBOLS LEGEND - HVAC

	THERMOSTAT
	CEILING DIFFUSER
	SIDE WALL GRILL
	RETURN WALL GRILL
	AIR FLOW DIRECTION
	DUCTWORK
	TYPICAL SUPPLY DUCT DN
	TYPICAL RETURN DUCT DN
	TYPICAL EXHAUST DUCT
	TURNING VANES
	FLEXIBLE DUCT, 8'-0" LONG MAX.
	TYPICAL ROUND DUCT DN
	ROUND DUCT UP
	MVO MANUAL VOLUME DAMPER
	DROPPED CEILING/SOFFIT

SCALE: 1/4" = 1'-0"

MECHANICAL PLAN - THIRD FLOOR

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 architecture + design
 202 W. ELDER STREET, 4TH FLOOR | CINCINNATI, OH 45202
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Progress Dates
 05/05/2023 BID P/E/FP
 08/30/2024 BID SET 2

Revisions

Checked By: SSS
 Drawn by: RFG

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PROPOSED PROJECT:
 RENOVATION FOR
1732 VINE ST / 1734 VINE ST
 CINCINNATI, OH, 45202
 FINDLAY FLATS

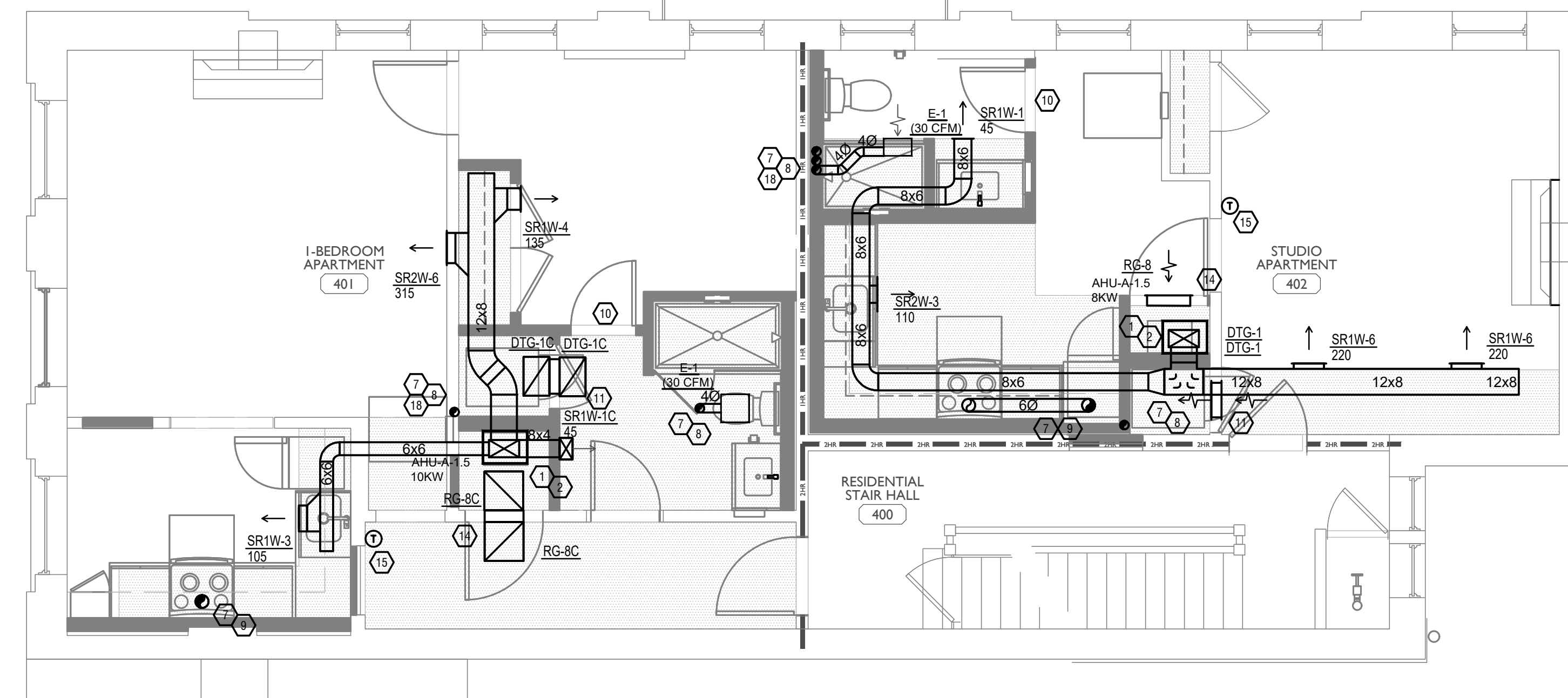
Job No: 22042 8/10/2022

MI.03



Z:\Project Directors\9700-9799\9757 - Findlay Flats - Friday Outside (Williamson 2 Phase II) - Construction Documents - Phase 1 (8 Buildings)\1732_VINE_VEST_AFT_Acqs-Model_Plot_Date/Time: Aug 29, 2024 - 10:49am - Br. Derek Grundy
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CALLOUT	DESCRIPTION	FACE SIZE (IN)	INLET SIZE (IN)	MODEL	NOTES
DTG-1	RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FIN AT 20 DEGREES	18x12	16x10	HART AND COOLEY/ 650	BRIGHT WHITE FINISH
DTG-1C	RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FIN AT 20 DEGREES	18x12	16x10	HART AND COOLEY/ 650	BRIGHT WHITE FINISH
DVH-4	28 GAUGE GALVANIZED STEEL, PRE-PAINTED DRYER VENT.	6x7	40	FAMCO DWVP	BACKDRAFT DAMPER/ANGLED HOOD.
EVH-4	28 GAUGE GALVANIZED STEEL, PRE-PAINTED EXHAUST VENT.	6x7	40	FAMCO SDWVP	BACKDRAFT DAMPER/ANGLED HOOD, 1/4 INCH INSECT SCREEN.
EVH-6	28 GAUGE GALVANIZED STEEL, PRE-PAINTED EXHAUST VENT.	8x9	60	FAMCO SDWVP	BACKDRAFT DAMPER/ANGLED HOOD, 1/4 INCH INSECT SCREEN.
FR-2	FLOOR REGISTER, ALL-STEEL CONSTRUCTION, 75% FREE AREA, TOE-OPERATED VALVE CONTROL	14x6	12x4	HART AND COOLEY/ 210	GOLDEN SAND ENAMEL FINISH
FR-3	FLOOR REGISTER, ALL-STEEL CONSTRUCTION, 75% FREE AREA, TOE-OPERATED VALVE CONTROL	10x8	8x6	HART AND COOLEY/ 210	GOLDEN SAND ENAMEL FINISH
FRG-1	RETURN AIR FILTER GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FIN AT 20 DEGREES	26x10	24x8	HART AND COOLEY/ 265	GOLDEN SAND ENAMEL FINISH
IVH-6	28 GAUGE GALVANIZED STEEL, PRE-PAINTED INTAKE VENT.	8x9	60	FAMCO SWVP	ANGLED HOOD, 1/4 INCH INSECT SCREEN.
IVH-12	28 GAUGE GALVANIZED STEEL, PRE-PAINTED INTAKE VENT.	15x15	120	FAMCO SWVP	ANGLED HOOD, 1/4 INCH INSECT SCREEN.
RG-1C	RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FIN AT 20 DEGREES	8x8	6x6	HART AND COOLEY/ 650	BRIGHT WHITE FINISH
RG-8	RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FIN AT 20 DEGREES	22x16	20x14	HART AND COOLEY/ 650	BRIGHT WHITE FINISH
RG-8C	RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FIN AT 20 DEGREES	18x18	16x16	HART AND COOLEY/ 650	BRIGHT WHITE FINISH
RR-1	RETURN REGISTER, ALL-STEEL CONSTRUCTION, OPPOSED-BLADE DAMPER	10x6	8x4	HART AND COOLEY/ 92VHV	BRIGHT WHITE FINISH
SDG1W-1	ALUMINUM SINGLE DEFLECTION SPIRAL DIFFUSER	12x5	10x3	HART AND COOLEY/ SV	ADJUSTABLE DAMPER, BRIGHT WHITE FINISH
SR1W-1	STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING	10x6	8x4	HART AND COOLEY/ 651	ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH
SR1W-1C	STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING	10x6	8x4	HART AND COOLEY/ 651	ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH
SR1W-3	STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING	10x8	8x6	HART AND COOLEY/ 651	ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH
SR1W-4	STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING	12x8	10x6	HART AND COOLEY/ 651	ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH
SR1W-6	STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING	16x8	14x6	HART AND COOLEY/ 651	ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH
SR2W-3C	STEEL 2-WAY REGISTER, MS DAMPER, 1/3" FIN SPACING	16x6	14x4	HART AND COOLEY/ 661	ADJUSTABLE DAMPER IN FACE, BRIGHT WHITE FINISH
SR2W-6	STEEL 2-WAY REGISTER, MS DAMPER, 1/3" FIN SPACING	16x10	14x8	HART AND COOLEY/ 661	ADJUSTABLE DAMPER IN FACE, BRIGHT WHITE FINISH



- ### KEYED SHEET NOTES
- ROUTE 3/4" CONDENSATE DRAIN LINE TO FLOOR DRAIN IN MECHANICAL CLOSET. SLOPE PIPE A MINIMUM OF 1/8" PER FOOT AWAY FROM UNIT.
 - ROUTE LINE SET FROM OUTDOOR UNIT TO INDOOR AIR HANDLER. ALL PIPING SHALL BE CONCEALED IN FINISHED AREA. SIZE PER MANUFACTURER'S RECOMMENDATIONS.
 - RETURN DUCT UP TO FIRST FLOOR.
 - SUPPLY DUCT UP TO FIRST FLOOR.
 - ALL BASEMENTS SHALL BE VENTILATED AS STORAGE/WAREHOUSE SPACE IN ACCORDANCE WITH TABLE 403.3 OF THE 2017 OHIO MECHANICAL CODE AT A RATE OF 0.06 CFM PER SQUARE FOOT. PROVIDE NEW FAN IN BASEMENT FOR CODE MINIMUM OSA LISTED ABOVE.
 - FRESH AIR INTAKE THRU WALL TO WALL CAP.
 - DUCT EXHAUST UP THROUGH ROOF WITH RAIN-PROOF CAP.
 - 4" EXHAUST DUCT TO BE ROUTED DIRECTLY TO ROOF, AS ALLOWED PER 717.6.1 EXCEPTION. DUCT MUST BE MINIMUM 26 GA. AND BE CONTAINED WITHIN WALL CAVITY FOR FULL LENGTH. FIRE CAULK AROUND ALL PENETRATIONS. REFER TO DETAIL.
 - 6" EXHAUST TO BE ROUTED DIRECTLY TO ROOF, AS ALLOWED PER CBC 714.4.1 EXCEPTION 1.
 - UNDERCUT DOOR 1" ABOVE FINISHED FLOOR FOR RETURN/MAKE UP AIR. DUCTED RETURN BETWEEN TRANSFER GRILLES TO AVOID EXPOSED WALL CAVITY.
 - ROUTE EXHAUST TO EXTERIOR WALL. INSTALL A LOUVERED VENT. SEE ARCHITECT BEFORE PENETRATION FOR EXACT LOCATION AND COLOR COORDINATION. ALL EXHAUST SHALL MEET THE FOLLOWING REQUIREMENTS.
 - 3' FROM PROPERTY LINE.
 - 3' FROM OPERABLE OPENINGS INTO BUILDING.
 - 3' FROM MECHANICAL AIR INTAKE.
 - ROUTE 3/4" CONDENSATE DRAIN LINE TO FLOOR DRAIN IN BASEMENT. SLOPE PIPE A MINIMUM OF 1/8" PER FOOT AWAY FROM UNIT. PROVIDE CONDENSATE PUMP AS REQUIRED.
 - DUCTED RETURN SLEEVE TO AVOID EXPOSED WALL CAVITY.
 - PROVIDE AND INSTALL CONDUIT FOR THERMOSTAT WIRE AND INSULATED BACKING FOR THERMOSTAT WHEN INSTALLED ON EXPOSED BRICK.
 - ROUTE EXHAUST DUCT UP IN JOIST POCKET. RATING SHALL BE MAINTAINED AROUND JOIST TO PREVENT FIRE DAMPER. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
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 - MECHANICAL CONTRACTOR TO COORDINATE DUCT ROUTING AND LOCATION WITH PLUMBING CONTRACTOR.

MECHANICAL SCOPE OF WORK (PLAN REVIEW ONLY)

MECHANICAL SCOPE OF WORK IS TO PROVIDE NEW HVAC EQUIPMENT TO RESIDENTIAL AND COMMERCIAL SPACES. MECHANICAL CONTRACTOR SHALL REFERENCE ALL DISCIPLINE DRAWING, ETC. TO REVEAL FULL SCOPE OF WORK. REFER TO MECHANICAL SPECIFICATIONS FOR ADDITIONAL DETAILS.

HVAC DESIGN CONDITIONS

COMMERCIAL		RESIDENTIAL	
COOLING OUTDOOR: 93 DB / 75 WB	HEATING OUTDOOR: 0 DB	COOLING OUTDOOR: 93 DB / 75 WB	HEATING OUTDOOR: 0 DB
INDOOR: 72	INDOOR: 70	INDOOR: 75	INDOOR: 70

- ### GENERAL NOTES
- FOR FULL SCHEDULES, SPECIFICATIONS, AND COMPLETE LISTING SEE DETAIL SHEETS.
 - COORDINATE ROUTING OF ALL WORK WITH OTHER TRADES.
 - COORDINATE WITH ELECTRICAL CONTRACTOR FOR POWER CONNECTIONS TO ALL MECHANICAL EQUIPMENT.
 - INSTALL ALL EQUIPMENT PER MANUFACTURER'S REQUIREMENTS. MAINTAIN ALL CODE RECOMMENDED CLEARANCES FOR ACCESS AND MAINTENANCE.
 - REFER TO ARCHITECTURAL PLANS FOR DIMENSIONS, AND FINAL CEILING DIFFUSER LOCATIONS.
 - PROVIDE BACKDRAFT DAMPERS FOR ALL EXHAUST SYSTEMS AND EITHER LOUVER, BRICK VENT, OR CAPS AT ALL EXTERIOR BUILDING PENETRATIONS.
 - IN DWELLING UNITS, ROUTE ALL SUPPLY, RETURN, AND EXHAUST DUCTWORK ABOVE DROP CEILING OR IN BULKHEADS. COORDINATE ROUTING WITH ARCHITECTURAL DRAWINGS. DUCTS SHALL BE RUN BELOW THE RATED FLOOR/CEILING.
 - ROUTE ALL AIR CONDITIONER CONDENSATE TO NEARBY FLOOR DRAIN. PROVIDE MINIMUM SLOPE OF 1/8" PER FOOT. SIZE CONDENSATE PER SECTION 307.2.2 OF THE OHIO MECHANICAL CODE.
 - MOUNT THERMOSTATS 60" ABOVE FINISHED FLOOR. MOUNT THERMOSTATS IN ADA UNITS 40" ABOVE FINISHED FLOOR.
 - ANY EQUIPMENT THAT IS SUBSTITUTED SHALL FIT IN THE SPACE PROVIDED WITH ADEQUATE ROOM FOR SERVICING, INCLUDING SUBSTITUTE EQUIPMENT NAMED IN THE SPECIFICATIONS. SUBMIT A 1/4" SCALE DRAWING OF ALL EQUIPMENT SUBSTITUTED FOR APPROVAL PRIOR TO INSTALLATION, INCLUDING, BUT NOT LIMITED TO, STRUCTURAL AND ARCHITECTURAL IMPACT, CLEARANCE REQUIREMENTS AND UTILITY REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR TO COORDINATE ALL NEW ELECTRICAL AND PLUMBING REQUIREMENTS WITH THE ELECTRICAL AND PLUMBING CONTRACTORS.
 - MATERIALS WITHIN PLENUMS SHALL BE NONCOMBUSTIBLE OR SHALL BE LISTED AND LABELED AS HAVING A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND SMOKE-DEVELOPED INDEX OF NOT MORE THAN 50 WHEN TESTED IN ACCORDANCE WITH ASTM E 84 OR UL 723.
 - THE FOLLOWING GUIDELINES MUST BE FOLLOWED FOR THE DOMESTIC DRYER EXHAUST SYSTEMS:
 - EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH AND BE CONSTRUCTED OF METAL A MINIMUM OF 28 GAGE.
 - DUCT SIZE SHALL BE 4 INCHES NOMINAL DIAMETER.
 - DUCTS SHALL BE SUPPORTED AT 4-FOOT INTERVALS AND SECURED IN PLACE. THE INSERT END OF THE DUCT SHALL EXTEND INTO THE ADJOINING DUCT OR FITTING IN THE DIRECTION OF AIRFLOW.
 - DUCTS SHALL NOT BE JOINED WITH SCREWS OF SIMILAR FASTENERS THAT PROTRUDE MORE THAN 1/8 INCH INTO THE INSIDE OF THE DUCT.
 - PROTECTIVE SHIELD PLATES SHALL BE PLACED WHERE NAILS OR SCREWS FROM FINISH OR OTHER WORK ARE LIKELY TO PENETRATE THE CLOTHES DRYER EXHAUST DUCT SHIELD PLATES SHALL BE PLACED ON THE FINISHED FACE OF ALL FRAMING MEMBERS WHERE THERE IS LESS THAN 1-1/4 INCHES BETWEEN THE DUCT AND THE FINISHED FACE OF THE FRAMING MEMBER. SHIELD PLATES SHALL BE CONSTRUCTED OF STEEL, HAVE A THICKNESS OF 0.062 INCHES, AND EXTEND NOT LESS THAN 2 INCHES ABOVE SOLE PLATES AND BELOW TOP PLATES.
 - TRANSITION DUCTS USED TO CONNECT THE DRYER TO THE EXHAUST DUCT SYSTEM SHALL BE A SINGLE LENGTH THAT IS LISTED AND LABELED IN ACCORDANCE WITH UL 2158A. TRANSITION DUCTS SHALL BE NOT GREATER THAN 8 FEET IN LENGTH AND SHALL NOT BE CONCEALED WITHIN CONSTRUCTION.
 - PROVIDE DRYER WALL BOX EQUAL TO DUNDAS JAFINE MODEL DRB4XZW NEAR DRYER.
 - PROVIDE A PERMANENT LABEL OR TAG (EQUAL TO DRYER/PLACARD) INDICATING ACTUAL EQUIVALENT LENGTH OF EXHAUST DUCT. LENGTH SHALL INCLUDE 5' FOR 90. LABEL/TAG MUST BE WITHIN 6' OF DRYER EXHAUST CONNECTION. DRYER EXHAUST DUCT FITTING EQUIVALENT LENGTH SHALL BE 2'-0" FOR A RADIUS MITERED 45-DEGREE ELBOW AND 5 FEET FOR A RADIUS MITERED 90-DEGREE ELBOW.

SYMBOLS LEGEND - HVAC

	THERMOSTAT
	CEILING DIFFUSER
	SIDE WALL GRILL
	RETURN WALL GRILL
	AIR FLOW DIRECTION
	DUCTWORK
	TYPICAL SUPPLY DUCT DN
	TYPICAL RETURN DUCT DN
	TYPICAL EXHAUST DUCT
	TURNING VANES
	FLEXIBLE DUCT, 8'-0" LONG MAX.
	TYPICAL ROUND DUCT DN
	ROUND DUCT UP
	MVO MANUAL VOLUME DAMPER
	DROPPED CEILING/SOFFIT

SCALE: 1/4" = 1'-0"

MECHANICAL PLAN - FOURTH FLOOR



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Progress Dates
 05/05/2023 BID P/E/P
 08/30/2024 BID SET 2

Revisions

Checked By: SSS
 Drawn by: RPG

PR-09757
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PROPOSED PROJECT:
 RENOVATION FOR
1732 VINE ST / 1734 VINE ST
 CINCINNATI, OH, 45202
 FINDLAY FLATS

Job No: 22042 8/10/2022

MI.04

Z:\Project_Directories\9700-9799\9757 - Findlay Flats - Findlay Periside (Williamson ? Phase II) - Construction Documents - Phase 1 (8 Buildings)\1732 - VINE ST - 05-MECHANICAL-ATTIC-PLAN.dwg - FBS - Plot Date/Time: Aug 30, 2024 - 14:30m - Bx: 8(4+)

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DIFFUSER, GRILLE, AND REGISTER SCHEDULE					
CALLOUT	DESCRIPTION	FACE SIZE (IN)	INLET SIZE (IN)	MODEL	NOTES
DTG-1	RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES	18x12	16x10	HART AND COOLEY/ 650	BRIGHT WHITE FINISH
DTG-1C	RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES	18x12	16x10	HART AND COOLEY/ 650	BRIGHT WHITE FINISH
DVH-4	28 GAUGE GALVANIZED STEEL, PRE-PAINTED DRYER VENT.	6x7	4Ø	FAMCO DWVP	BACKDRAFT DAMPER/ANGLED HOOD.
EVH-4	28 GAUGE GALVANIZED STEEL, PRE-PAINTED EXHAUST VENT.	6x7	4Ø	FAMCO SDWVP	BACKDRAFT DAMPER/ANGLED HOOD, 1/4 INCH INSECT SCREEN.
EVH-6	28 GAUGE GALVANIZED STEEL, PRE-PAINTED EXHAUST VENT.	8x9	6Ø	FAMCO SDWVP	BACKDRAFT DAMPER/ANGLED HOOD, 1/4 INCH INSECT SCREEN.
FR-2	FLOOR REGISTER, ALL-STEEL CONSTRUCTION, 75% FREE AREA, TOE-OPERATED VALVE CONTROL	14x6	12x4	HART AND COOLEY/ 210	GOLDEN SAND ENAMEL FINISH
FR-3	FLOOR REGISTER, ALL-STEEL CONSTRUCTION, 75% FREE AREA, TOE-OPERATED VALVE CONTROL	10x8	8x6	HART AND COOLEY/ 210	GOLDEN SAND ENAMEL FINISH
FRG-1	RETURN AIR FILTER GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES	26x10	24x8	HART AND COOLEY/ 265	GOLDEN SAND ENAMEL FINISH
IVH-6	28 GAUGE GALVANIZED STEEL, PRE-PAINTED INTAKE VENT.	8x9	6Ø	FAMCO SWVP	ANGLED HOOD, 1/4 INCH INSECT SCREEN.
IVH-12	28 GAUGE GALVANIZED STEEL, PRE-PAINTED INTAKE VENT.	15x15	12Ø	FAMCO SWVP	ANGLED HOOD, 1/4 INCH INSECT SCREEN.
RG-1C	RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES	8x8	6x6	HART AND COOLEY/ 650	BRIGHT WHITE FINISH
RG-8	RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES	22x16	20x14	HART AND COOLEY/ 650	BRIGHT WHITE FINISH
RG-8C	RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES	18x18	16x16	HART AND COOLEY/ 650	BRIGHT WHITE FINISH
RR-1	RETURN REGISTER, ALL-STEEL CONSTRUCTION, OPPOSED-BLADE DAMPER	10x6	8x4	HART AND COOLEY/ 92VHV	BRIGHT WHITE FINISH
SDG1W-1	ALUMINUM SINGLE DEFLECTION SPIRAL DIFFUSER	12x5	10x3	HART AND COOLEY/ SV	ADJUSTABLE DAMPER, BRIGHT WHITE FINISH
SR1W-1	STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING	10x6	8x4	HART AND COOLEY/ 651	ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH
SR1W-1C	STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING	10x6	8x4	HART AND COOLEY/ 651	ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH
SR1W-3	STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING	10x8	8x6	HART AND COOLEY/ 651	ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH
SR1W-4	STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING	12x8	10x6	HART AND COOLEY/ 651	ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH
SR1W-6	STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING	16x8	14x6	HART AND COOLEY/ 651	ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH
SR2W-3C	STEEL 2-WAY REGISTER, MS DAMPER, 1/3" FIN SPACING	16x6	14x4	HART AND COOLEY/ 661	ADJUSTABLE DAMPER IN FACE, BRIGHT WHITE FINISH
SR2W-6	STEEL 2-WAY REGISTER, MS DAMPER, 1/3" FIN SPACING	16x10	14x8	HART AND COOLEY/ 661	ADJUSTABLE DAMPER IN FACE, BRIGHT WHITE FINISH

KEYED SHEET NOTES

- ROUTE 3/4" CONDENSATE DRAIN LINE TO FLOOR DRAIN IN MECHANICAL CLOSET. SLOPE PIPE A MINIMUM OF 1/8" PER FOOT AWAY FROM UNIT.
- ROUTE LINE SET FROM OUTDOOR UNIT TO INDOOR AIR HANDLER. ALL PIPING SHALL BE CONCEALED IN FINISHED AREA. SIZE PER MANUFACTURER'S RECOMMENDATIONS.
- RETURN DUCT UP TO FIRST FLOOR.
- SUPPLY DUCT UP TO FIRST FLOOR.
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MECHANICAL SCOPE OF WORK (PLAN REVIEW ONLY)

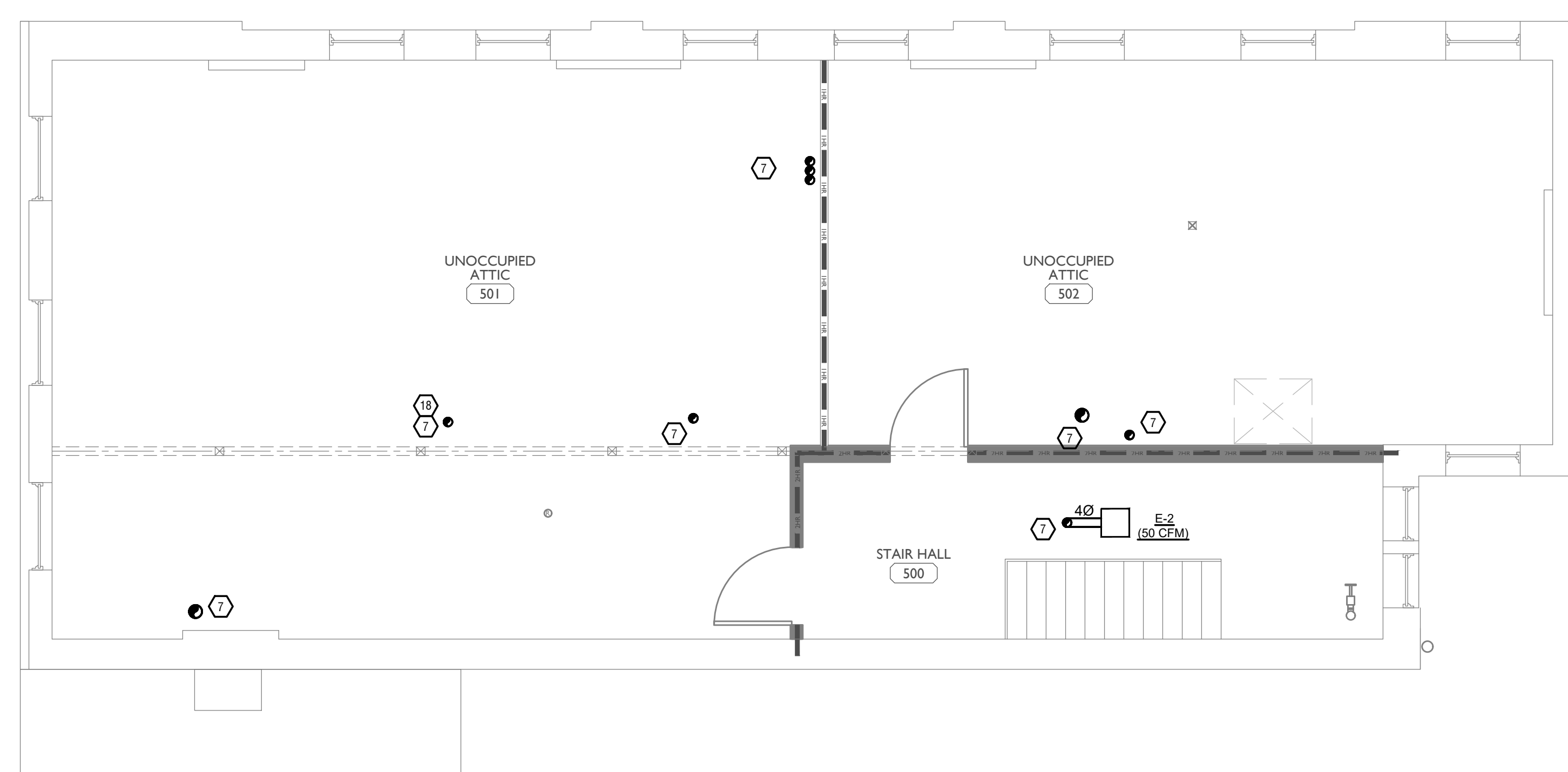
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 - PROVIDE A PERMANENT LABEL OR TAG (EQUAL TO DRYER/LACARD) INDICATING ACTUAL EQUIVALENT LENGTH OF EXHAUST DUCT. LENGTH SHALL INCLUDE 5' FOR 90. LABEL/TAG MUST BE WITHIN 6" OF DRYER EXHAUST CONNECTION. DRYER EXHAUST DUCT FITTING EQUIVALENT LENGTH SHALL BE 2'-0" FOR A RADIUS MITERED 45-DEGREE ELBOW AND 5 FEET FOR A RADIUS MITERED 90-DEGREE ELBOW.

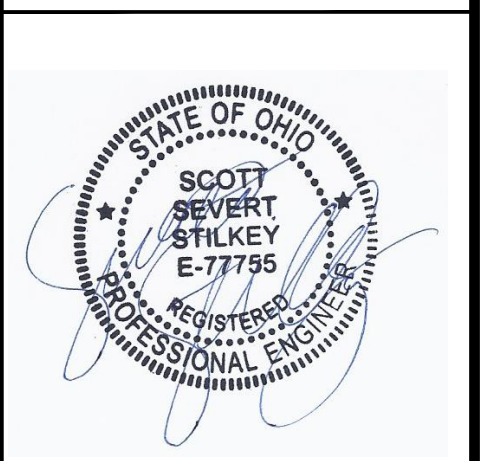


SYMBOLS LEGEND - HVAC

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	CEILING DIFFUSER
	SIDE WALL GRILL
	RETURN WALL GRILL
	AIR FLOW DIRECTION
	DUCTWORK
	TYPICAL SUPPLY DUCT DN
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Progress Dates
05/05/2023 BID P/E/P
08/30/2024 BID SET 2

Revisions

Checked By: SSS
Drawn by: RFG

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PROPOSED PROJECT:
RENOVATION FOR 1732 VINE ST / 1734 VINE ST
CINCINNATI, OH, 45202
FINDLAY FLATS

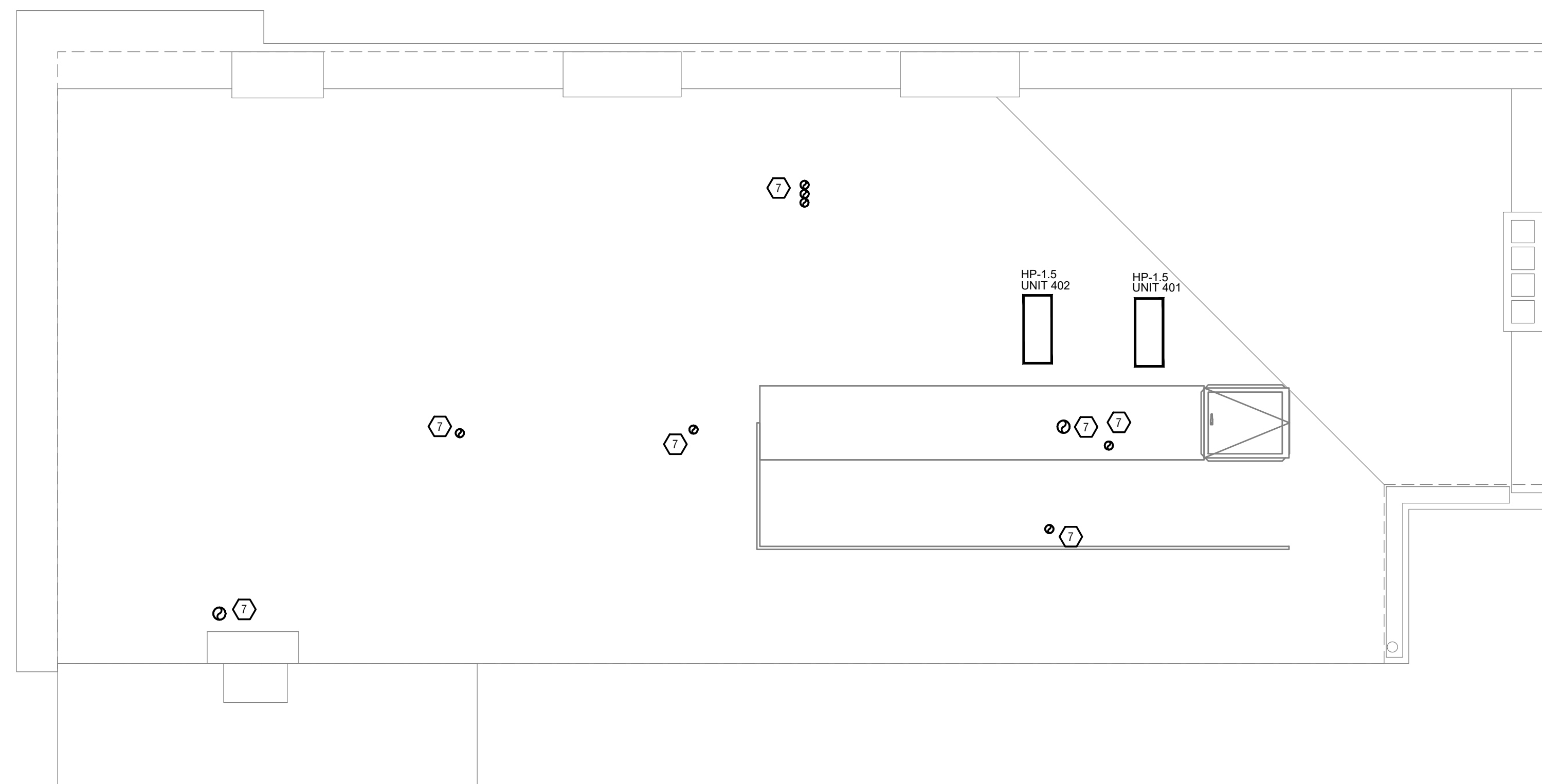
Job No: 22042 8/10/2022

MI.05

Z:\Project_Directories\9700-9799\9757 - Findlay Flats - Findlay Flats (Williamson) 2 Phase (1) - Construction Documents - Phase 1 (8 Buildings)\1732 - MECHANICAL - ROOF-PLAN.dwg - PLOT Date/Time: Aug 30, 2024 - 14:59m - Br. \$4(+)

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DIFFUSER, GRILLE, AND REGISTER SCHEDULE					
CALLOUT	DESCRIPTION	FACE SIZE (IN)	INLET SIZE (IN)	MODEL	NOTES
DTG-1	RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES	18x12	16x10	HART AND COOLEY/ 650	BRIGHT WHITE FINISH
DTG-1C	RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES	18x12	16x10	HART AND COOLEY/ 650	BRIGHT WHITE FINISH
DVH-4	28 GAUGE GALVANIZED STEEL, PRE-PAINTED DRYER VENT.	6x7	4Ø	FAMCO DWVP	BACKDRAFT DAMPER/ANGLED HOOD.
EVH-4	28 GAUGE GALVANIZED STEEL, PRE-PAINTED EXHAUST VENT.	6x7	4Ø	FAMCO SDWVP	BACKDRAFT DAMPER/ANGLED HOOD, 1/4 INCH INSECT SCREEN.
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FR-2	FLOOR REGISTER, ALL-STEEL CONSTRUCTION, 75% FREE AREA, TOE-OPERATED VALVE CONTROL	14x6	12x4	HART AND COOLEY/ 210	GOLDEN SAND ENAMEL FINISH
FR-3	FLOOR REGISTER, ALL-STEEL CONSTRUCTION, 75% FREE AREA, TOE-OPERATED VALVE CONTROL	10x8	8x6	HART AND COOLEY/ 210	GOLDEN SAND ENAMEL FINISH
FRG-1	RETURN AIR FILTER GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES	26x10	24x8	HART AND COOLEY/ 265	GOLDEN SAND ENAMEL FINISH
IVH-6	28 GAUGE GALVANIZED STEEL, PRE-PAINTED INTAKE VENT.	8x9	6Ø	FAMCO SWVP	ANGLED HOOD, 1/4 INCH INSECT SCREEN.
IVH-12	28 GAUGE GALVANIZED STEEL, PRE-PAINTED INTAKE VENT.	15x15	12Ø	FAMCO SWVP	ANGLED HOOD, 1/4 INCH INSECT SCREEN.
RG-1C	RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES	8x8	6x6	HART AND COOLEY/ 650	BRIGHT WHITE FINISH
RG-8	RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES	22x16	20x14	HART AND COOLEY/ 650	BRIGHT WHITE FINISH
RG-8C	RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES	18x18	16x16	HART AND COOLEY/ 650	BRIGHT WHITE FINISH
RR-1	RETURN REGISTER, ALL-STEEL CONSTRUCTION, OPPOSED-BLADE DAMPER	10x6	8x4	HART AND COOLEY/ 92VHV	BRIGHT WHITE FINISH
SDG1W-1	ALUMINUM SINGLE DEFLECTION SPIRAL DIFFUSER	12x5	10x3	HART AND COOLEY/ SV	ADJUSTABLE DAMPER, BRIGHT WHITE FINISH
SR1W-1	STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING	10x6	8x4	HART AND COOLEY/ 651	ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH
SR1W-1C	STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING	10x6	8x4	HART AND COOLEY/ 651	ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH
SR1W-3	STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING	10x8	8x6	HART AND COOLEY/ 651	ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH
SR1W-4	STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING	12x8	10x6	HART AND COOLEY/ 651	ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH
SR1W-6	STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING	16x8	14x6	HART AND COOLEY/ 651	ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH
SR2W-3C	STEEL 2-WAY REGISTER, MS DAMPER, 1/3" FIN SPACING	16x6	14x4	HART AND COOLEY/ 661	ADJUSTABLE DAMPER IN FACE, BRIGHT WHITE FINISH
SR2W-6	STEEL 2-WAY REGISTER, MS DAMPER, 1/3" FIN SPACING	16x10	14x8	HART AND COOLEY/ 661	ADJUSTABLE DAMPER IN FACE, BRIGHT WHITE FINISH



KEYED SHEET NOTES

- ROUTE 3/4" CONDENSATE DRAIN LINE TO FLOOR DRAIN IN MECHANICAL CLOSET. SLOPE PIPE A MINIMUM OF 1/8" PER FOOT AWAY FROM UNIT.
- ROUTE LINE SET FROM OUTDOOR UNIT TO INDOOR AIR HANDLER. ALL PIPING SHALL BE CONCEALED IN FINISHED AREA. SIZE PER MANUFACTURER'S RECOMMENDATIONS.
- RETURN DUCT UP TO FIRST FLOOR.
- SUPPLY DUCT UP TO FIRST FLOOR.
- ALL BASEMENTS SHALL BE VENTILATED AS STORAGE/WAREHOUSE SPACE IN ACCORDANCE WITH TABLE 403.3 OF THE 2017 OHIO MECHANICAL CODE AT A RATE OF 0.06 CFM PER SQUARE FOOT. PROVIDE NEW FAN IN BASEMENT FOR CODE MINIMUM OSA LISTED ABOVE.
- FRESH AIR INTAKE THRU WALL TO WALL CAP.
- DUCT EXHAUST UP THROUGH ROOF WITH RAIN-PROOF CAP.
- 4" EXHAUST DUCT TO BE ROUTED DIRECTLY TO ROOF, AS ALLOWED PER 717.6.1 EXCEPTION. DUCT MUST BE MINIMUM 26 GA. AND BE CONTAINED WITHIN WALL CAVITY FOR FULL LENGTH. FIRE CAULK AROUND ALL PENETRATIONS. REFER TO DETAIL.
- 6" EXHAUST TO BE ROUTED DIRECTLY TO ROOF, AS ALLOWED PER CBC 714.4.1 EXCEPTION 1.
- UNDERCUT DOOR 1" ABOVE FINISHED FLOOR FOR RETURN/MAKE UP AIR. DUCTED RETURN BETWEEN TRANSFER GRILLES TO AVOID EXPOSED WALL CAVITY.
- ROUTE EXHAUST TO EXTERIOR WALL. INSTALL A LOUVERED VENT. SEE ARCHITECT BEFORE PENETRATION FOR EXACT LOCATION AND COLOR COORDINATION. ALL EXHAUST SHALL MEET THE FOLLOWING REQUIREMENTS.
 - 3' FROM PROPERTY LINE.
 - 3' FROM OPERABLE OPENINGS INTO BUILDING.
 - 3' FROM MECHANICAL AIR INTAKE.
- ROUTE 3/4" CONDENSATE DRAIN LINE TO FLOOR DRAIN IN BASEMENT. SLOPE PIPE A MINIMUM OF 1/8" PER FOOT AWAY FROM UNIT. PROVIDE CONDENSATE PUMP AS REQUIRED.
- DUCTED RETURN SLEEVE TO AVOID EXPOSED WALL CAVITY.
- PROVIDE AND INSTALL CONDUIT FOR THERMOSTAT WIRE AND INSULATED BACKING FOR THERMOSTAT WHEN INSTALLED ON EXPOSED BRICK.
- ROUTE EXHAUST DUCT UP IN JOIST POCKET. RATING SHALL BE MAINTAINED AROUND JOIST TO PREVENT FIRE DAMPER. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- ROUTE OUTSIDE AIR DUCT UP IN JOIST POCKET. RATING SHALL BE MAINTAINED AROUND JOIST TO PREVENT FIRE DAMPER. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- MECHANICAL CONTRACTOR TO COORDINATE DUCT ROUTING AND LOCATION WITH PLUMBING CONTRACTOR.

MECHANICAL SCOPE OF WORK (PLAN REVIEW ONLY)

MECHANICAL SCOPE OF WORK IS TO PROVIDE NEW HVAC EQUIPMENT TO RESIDENTIAL AND COMMERCIAL SPACES. MECHANICAL CONTRACTOR SHALL REFERENCE ALL DISCIPLINE DRAWING, ETC. TO REVEAL FULL SCOPE OF WORK. REFER TO MECHANICAL SPECIFICATIONS FOR ADDITIONAL DETAILS.

HVAC DESIGN CONDITIONS

COMMERCIAL		RESIDENTIAL	
COOLING OUTDOOR: 93 DB / 75 WB	HEATING OUTDOOR: 0 DB	COOLING OUTDOOR: 93 DB / 75 WB	HEATING OUTDOOR: 0 DB
INDOOR: 72	INDOOR: 70	INDOOR: 75	INDOOR: 70

GENERAL NOTES

- FOR FULL SCHEDULES, SPECIFICATIONS, AND COMPLETE LISTING SEE DETAIL SHEETS.
- COORDINATE ROUTING OF ALL WORK WITH OTHER TRADES.
- COORDINATE WITH ELECTRICAL CONTRACTOR FOR POWER CONNECTIONS TO ALL MECHANICAL EQUIPMENT.
- INSTALL ALL EQUIPMENT PER MANUFACTURER'S REQUIREMENTS. MAINTAIN ALL CODE RECOMMENDED CLEARANCES FOR ACCESS AND MAINTENANCE.
- REFER TO ARCHITECTURAL PLANS FOR DIMENSIONS, AND FINAL CEILING DIFFUSER LOCATIONS.
- PROVIDE BACKDRAFT DAMPERS FOR ALL EXHAUST SYSTEMS AND EITHER LOUVER, BRICK VENT, OR CAPS AT ALL EXTERIOR BUILDING PENETRATIONS.
- IN DWELLING UNITS, ROUTE ALL SUPPLY, RETURN, AND EXHAUST DUCTWORK ABOVE DROP CEILING OR IN BULKHEADS. COORDINATE ROUTING WITH ARCHITECTURAL DRAWINGS. DUCTS SHALL BE RUN BELOW THE RATED FLOOR/CEILING.
- ROUTE ALL AIR CONDITIONER CONDENSATE TO NEARBY FLOOR DRAIN. PROVIDE MINIMUM SLOPE OF 1/8" PER FOOT. SIZE CONDENSATE PER SECTION 307.2.2 OF THE OHIO MECHANICAL CODE.
- MOUNT THERMOSTATS 60" ABOVE FINISHED FLOOR. MOUNT THERMOSTATS IN ADA UNITS 40" ABOVE FINISHED FLOOR.
- ANY EQUIPMENT THAT IS SUBSTITUTED SHALL FIT IN THE SPACE PROVIDED WITH ADEQUATE ROOM FOR SERVICING, INCLUDING SUBSTITUTE EQUIPMENT NAMED IN THE SPECIFICATIONS. SUBMIT A 1/4" SCALE DRAWING OF ALL EQUIPMENT SUBSTITUTED FOR APPROVAL PRIOR TO INSTALLATION, INCLUDING, BUT NOT LIMITED TO, STRUCTURAL AND ARCHITECTURAL IMPACT, CLEARANCE REQUIREMENTS AND UTILITY REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR TO COORDINATE ALL NEW ELECTRICAL AND PLUMBING REQUIREMENTS WITH THE ELECTRICAL AND PLUMBING CONTRACTORS.
- MATERIALS WITHIN PLENUMS SHALL BE NONCOMBUSTIBLE OR SHALL BE LISTED AND LABELED AS HAVING A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND SMOKE DEVELOPED INDEX OF NOT MORE THAN 50 WHEN TESTED IN ACCORDANCE WITH ASTM E 84 OR UL 723.
 - THE FOLLOWING GUIDELINES MUST BE FOLLOWED FOR THE DOMESTIC DRYER EXHAUST SYSTEMS.
 - EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH AND BE CONSTRUCTED OF METAL A MINIMUM OF 28 GAGE.
 - DUCT SIZE SHALL BE 4 INCHES NOMINAL DIAMETER.
 - DUCTS SHALL BE SUPPORTED AT 4-FOOT INTERVALS AND SECURED IN PLACE. THE INSERT END OF THE DUCT SHALL EXTEND INTO THE ADJOINING DUCT OR FITTING IN THE DIRECTION OF AIRFLOW.
 - DUCTS SHALL NOT BE JOINED WITH SCREWS OF SIMILAR FASTENERS THAT PROTRUDE MORE THAN 1/8" INTO THE INSIDE OF THE DUCT.
 - PROTECTIVE SHIELD PLATES SHALL BE PLACED WHERE NAILS OR SCREWS FROM FINISH OR OTHER WORK ARE LIKELY TO PENETRATE THE CLOTHES DRYER EXHAUST DUCT SHIELD PLATES SHALL BE PLACED ON THE FINISHED FACE OF ALL FRAMING MEMBERS WHERE THERE IS LESS THAN 1-1/4 INCHES BETWEEN THE DUCT AND THE FINISHED FACE OF THE FRAMING MEMBER. SHIELD PLATES SHALL BE CONSTRUCTED OF STEEL, HAVE A THICKNESS OF 0.062 INCHES, AND EXTEND NOT LESS THAN 2 INCHES ABOVE SOLE PLATES AND BELOW TOP PLATES.
 - TRANSITION DUCTS USED TO CONNECT THE DRYER TO THE EXHAUST DUCT SYSTEM SHALL BE A SINGLE LENGTH THAT IS LISTED AND LABELED IN ACCORDANCE WITH UL 2158A. TRANSITION DUCTS SHALL BE NOT GREATER THAN 6 FEET IN LENGTH AND SHALL NOT BE CONCEALED WITHIN CONSTRUCTION.
 - PROVIDE DRYER WALL BOX EQUAL TO DUNDAS JAFINE MODEL DRB4XZV NEAR DRYER.
 - PROVIDE A PERMANENT LABEL OR TAG (EQUAL TO DRYER/LACARD) INDICATING ACTUAL EQUIVALENT LENGTH OF EXHAUST DUCT. LENGTH SHALL INCLUDE 5' FOR 90. LABEL/TAG MUST BE WITHIN 6' OF DRYER EXHAUST CONNECTION. DRYER EXHAUST DUCT FITTING EQUIVALENT LENGTH SHALL BE 2'-0" FOR A RADIUS MITERED 45-DEGREE ELBOW AND 5 FEET FOR A RADIUS MITERED 90-DEGREE ELBOW.

SYMBOLS LEGEND - HVAC

	THERMOSTAT
	CEILING DIFFUSER
	SIDE WALL GRILL
	RETURN WALL GRILL
	AIR FLOW DIRECTION
	DUCTWORK
	TYPICAL SUPPLY DUCT DN
	TYPICAL RETURN DUCT DN
	TYPICAL EXHAUST DUCT
	TURNING VANES
	FLEXIBLE DUCT, 8'-0" LONG MAX.
	TYPICAL ROUND DUCT DN
	ROUND DUCT UP
	MVO MANUAL VOLUME DAMPER
	DROPPED CEILING/SOFFIT

SCALE: 1/4" = 1'-0" MECHANICAL PLAN - ROOF 1

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Progress Dates
05/05/2023 BID P/E/P
08/30/2024 BID SET 2

Revisions

Checked By: SSS

Drawn by: RFG

FR-09757
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SHARED SUCCESS
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PROPOSED PROJECT:
RENOVATION FOR
1732 VINE ST / 1734 VINE ST
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/10/2022

MI.06

Zone 101- COMMERCIAL Ventilation									
System Primary Airflow: V_{ps}		1,600 CFM		Zone Air Distribution Effectiveness: E_z				0.8	
Average Outdoor Air Fraction: X_o		0.141		Primary Air Fraction to Zone: E_p				1	
Occupant Diversity: D		1		Secondary Air Fraction to Zone: E_s				1	
Uncorrected Air Intake: V_{un}		225 CFM		Fraction of Supply Air to Zone from Outside Zone: F_o				1	
System Ventilation Efficiency: E_v		0.936		Fraction of Supply Air to Zone from Fully Mixed Primary Air: F_b				1	
Outdoor Air Intake: V_{out}		240 CFM		Fraction of Outdoor Air to Zone from Outside Zone: F_c				1	
0.15									

*VENTILATION CALCULATIONS PER OMC 2017 TABLE 403.3.1.1

Room	Room Type	People Outdoor Air			Area Outdoor Air			Breathing Zone Outside Airflow (CFM)	Zone Outdoor Airflow (CFM)	Zone Discharge Airflow (CFM)	Discharge Outdoor Air Fraction	Zone Ventilation Efficiency	
		Rate (CFM/person)	People	Total (CFM)	Rate (CFM/ft ²)	Area (ft ²)	Total (CFM)						
101-COMMERCIAL	Retail-Sales		7.5	11	83	0.12	705	85	168	210	1,470	0.143	1.01
102-BANK VAULT	Workrooms-Bank Valuts/Safe Deposit		5	1	5	0.06	106	7	12	15	79	0.19	0.936
103-ADA RESTROOM	Public Spaces-Toilet rooms - public		0	0	0	0	52.7	0	0	0	50	0	1.15

MECHANICAL SPECIFICATIONS

- General
 - Refer to architectural drawings, general notes, instructions to bidders, general conditions, supplementary general conditions, base building specifications and drawings, shop drawing manuals and as-built plans, except as noted herein, which apply in all respects to this section. The contractor shall visit the site and familiarize himself with all existing conditions prior to bidding the work.
- Use of Drawings And Specifications
 - EBS drawings and specifications are intended to convey design intent only. All means and methods sequences, techniques, and procedures of construction as well as any associated safety precautions and programs, and all incidental and temporary devices required to construct the project, and to provide a complete and fully operational mechanical system are the responsibility of the mechanical contractor.
- Standards
 - Equipment and materials shall conform with appropriate provisions of AGA, ARI, ASME, ASTM, CISPI, UL, NEMA, ANSI, SMACNA, ASHRAE, NFPA, NEC, as applicable to each individual unit or assembly. All equipment must bear UL label.
- License / Experience
 - Contractor must be licensed by the state to install HVAC systems/equipment. Contractor must also have a minimum of 5 years of experience and have installed at least (5) successful project installations of similar size and scope. References must be provided upon request.
- Codes
 - All work shall be performed in strict accordance with all applicable state and local codes and ordinances. The mechanical contractor shall satisfy code requirements at a minimum without any extra cost to the owner. In case of conflict between the drawings/specifications and the codes and ordinances, the highest standard shall apply.
- Permits and Fees
 - The mechanical contractor shall procure and pay for all permits, fees, taxes, and inspections necessary to complete the mechanical work. Furnish certificate of approval for work from inspection authority to owner before final acceptance for work. Certificate of final inspection and approval shall be submitted with the contractor's request for payment. No final payment will be approved without this certificate.
- Site Examination
 - The mechanical contractor shall thoroughly examine all areas of work where equipment, ductwork, and piping will be installed and shall report any condition that, in his opinion, prevents the proper installation of the mechanical work prior to bid. Contractor shall also examine the drawings and specifications of other branches of work, making reference to them for details of new or existing building conditions. No extras will be allowed for failure to include all required work in bid.
 - All work shall be done at times convenient to the owner and only during normal working hours, unless specified otherwise.
 - Mechanical contractor shall take their own measurements and be responsible for them.
 - Access panels are not shown on drawings. During site examination, contractor shall identify all areas where access panels are required, and report to general contractor. Designation of who furnishes and who installs access panels must be coordinated with general contractor prior to starting work.
- Contractor Coordination
 - Coordination drawings showing system and component installation layout, routing, details, etc. Shall be produced by the mechanical contractor and under the supervision of the general contractor/construction manager, or appropriate party as applicable.
 - All systems installed by each sub-contractor shall be coordinated with one another and approved by general contractor/construction manager, etc. prior to installation and/or fabrication.
 - If questions concerning design intent arise during coordination, EBS can assist where appropriate.
 - The architectural drawings shall take precedence over all other drawings. Do not scale distances off the mechanical drawings; use actual building dimensions.
- Shop Drawings / Submittals
 - Submit to the architect electronic copies of complete and certified shop drawings, descriptive data, performance data and ratings, diagrams and specifications on all specified equipment, including accessories, and materials for review. The make, model number, type, finish and accessories of all equipment and materials shall be reviewed and approved by the mechanical contractor and general contractor prior to submitting to the architect for their review and approval. Approval of shop drawings does not relieve the mechanical contractor/vendor from compliance with the requirements of the contract drawings, specifications and applicable codes.
 - Shop drawings shall be required for the following:
 - HVAC equipment
 - Fans
 - Diffusers, registers, grilles, dampers, louvers, and all sheet metal accessories
 - Temperature controls
 - Sheet metal coordination drawings
 - Duct Sealants
 - Products installed by the mechanical contractor and provided by others must be submitted for review prior to purchasing. Products shall not be selected based on permit drawings without express permission - products shall be selected based on construction drawings.
- Record Drawing
 - The mechanical contractor shall be responsible for creating record drawings where required. Drawings shall be produced in Autocad 2004 format or later.
 - The mechanical contractor shall be responsible for creating record drawings in a format agreed upon by 3CDC, ZHx, and the contracting parties.
- Testing
 - All mechanical systems shall be tested for proper operation.
- Fire Stopping
 - Provide fire stopping at all penetrations through rated separations per local codes & regulations & per UL recommendations for assemblies encountered in project.
 - The fire stopping material shall meet the integrity of the fire rated wall, floor, ceiling & roof being penetrated. Refer to architect's drawings for wall, floor, ceiling & roof fire ratings prior to bidding work.
 - Refer to architect's drawings for wall, floor, ceiling, and roof fire ratings prior to bidding work.
- Access Panels
 - Provide ceiling and wall access panel quantities & locations to the general contractor prior to bidding. Access panels are required for all concealed appliances, controls devices, heat exchangers and HVAC system components that utilize energy. Where access panels are used, the access panel should be sized to allow accessibility for inspection, service, repair and replacement without disabling the function of a fire-resistance-rated assembly or removing permanent construction, other appliances, venting systems or any other piping or ducts not connected to the appliance being inspected, serviced, repaired or replaced. There shall be no extras for having to add access panels after bids are awarded.
- Cutting and Patching
 - Neatly do all cutting as required and patch all cut surfaces to match building construction. The contractor shall employ and pay a trade trained and qualified to perform the required patching work. All surfaces disturbed shall be restored with like materials to the satisfaction of the owner. All penetrations through roof shall be made by bonded roofer. Mechanical contractor shall pay all fees required.
- Flashing & Counterflashing
 - Roof flashing shall be furnished and installed by the roofing contractor. Roof counterflashing shall be furnished and installed by the mechanical contractor. Coordinate work with roofing contractor and pay all fees.
 - Obtain approval from general contractor, construction manager, owner and/or roofing contractor prior to making any penetrations so that warranties are not compromised or voided.
- Warranty
 - The mechanical contractor shall unconditionally warrant all work to be free of defects in equipment, material and workmanship for a period of one (1) year from the date of final acceptance by owner. The mechanical contractor will repair or replace any defective work promptly and without charge to the owner.
 - Restore any other existing work damaged in the course of repairing defective equipment, materials and workmanship.
- Mechanical Work
 - The mechanical contractor shall provide new hvac equipment, fans, ductwork, piping, air devices, controls as indicated on drawings and as specified. Startup and 1st year parts and labor warranty shall be included and manufacturer's extended warranties. Equipment and appliances shall be installed as required by the terms of their approval, in accordance with the conditions of the listing, the manufacturer's installation instructions, and the applicable code.
- Owner's Instructions
 - Provide two sets of complete operating and maintenance instructions with drawings, typewritten instructions and operating sequences and descriptive data sheets. Assemble each set in a hard-bound cover. Provide pdf files of all documentation.
- Finale
 - Put all equipment in service and demonstrate that all conditions of the contract have been fulfilled. Remove all tools, debris, etc. occasioned by work under this contract. Mechanical Contractor to provide a new set of filters in all HVAC units prior to turnover. Submit all warranties, test reports, operating and maintenance manuals for HVAC systems, log sheets and charts, and guarantees as previously specified. Provide all reports, forms, etc. required by inspectors to the satisfaction of the owner. Provide as-built record drawings (in Autocad 2007 or later) showing an accurate account of the final installed systems. Systems including but not limited to all equipment and associated controls, ductwork/piping, air devices, etc.
- Sheetmetal Ductwork
 - All sizes of ducts shown on the drawings are interior duct dimensions. All ductwork shall be rigid sheetmetal constructed from galvanized sheet steel in accordance with SMACNA low velocity duct construction standards. All exposed ductwork shall be round, spiral, or rectangular lock-seam type, as shown on HVAC drawings. Assemble and install ductwork in accordance with recognized industry practice for achieving air tight (5% leakage) and noiseless (no objectionable noise) systems, capable of performing each indicated service. Furnish all required dampers, transitions, offsets, connections to air devices, and other accessories necessary for a complete operating system. Flexible ductwork shall not exceed 8'-0" long.
 - All 90-degree duct turns must be 1.5 radius elbows. If a 1.5 radius elbow will not fit, square elbows with turning vanes can be provided in lieu of radius but should be limited to only areas where there are space constraints.
 - All takeoff/branch ductwork must utilize boot or conical tee fittings.
- Adhesives and Sealants
 - Seal all longitudinal and transverse duct joints with a UL 181A or 181B non-hardening, non-migrating mastic or liquid elastic sealant of a type recommended by the manufacturer for sealing joints and seams in sheet metal ductwork. Cover all field joints, joints around spin-in fittings and fastening screws with mastic. All sealants and gaskets shall have surface-burning characteristics with a maximum flame-spread index of 25 and a maximum smoke-developed index of 50 when tested according to UL 723.
- Exposed Ductwork: trim duct sealants flush with metal. Create a smooth and uniform exposed bead. Do not use two-part tape sealing system.
- For indoor applications, all adhesives, sealants, and sealant primers must meet the requirements of CA Section 01350.
- All duct boots sealed to drywall/finished floor (any interface with another material).

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Progress Dates
05/05/2023 BID P/E/PF
08/30/2024 BID SET 2

Revisions

Checked By: SSS

Drawn by: RPG



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1732 VINE ST / 1734 VINE ST
CINCINNATI, OH, 45202
FINDLAY FLATS

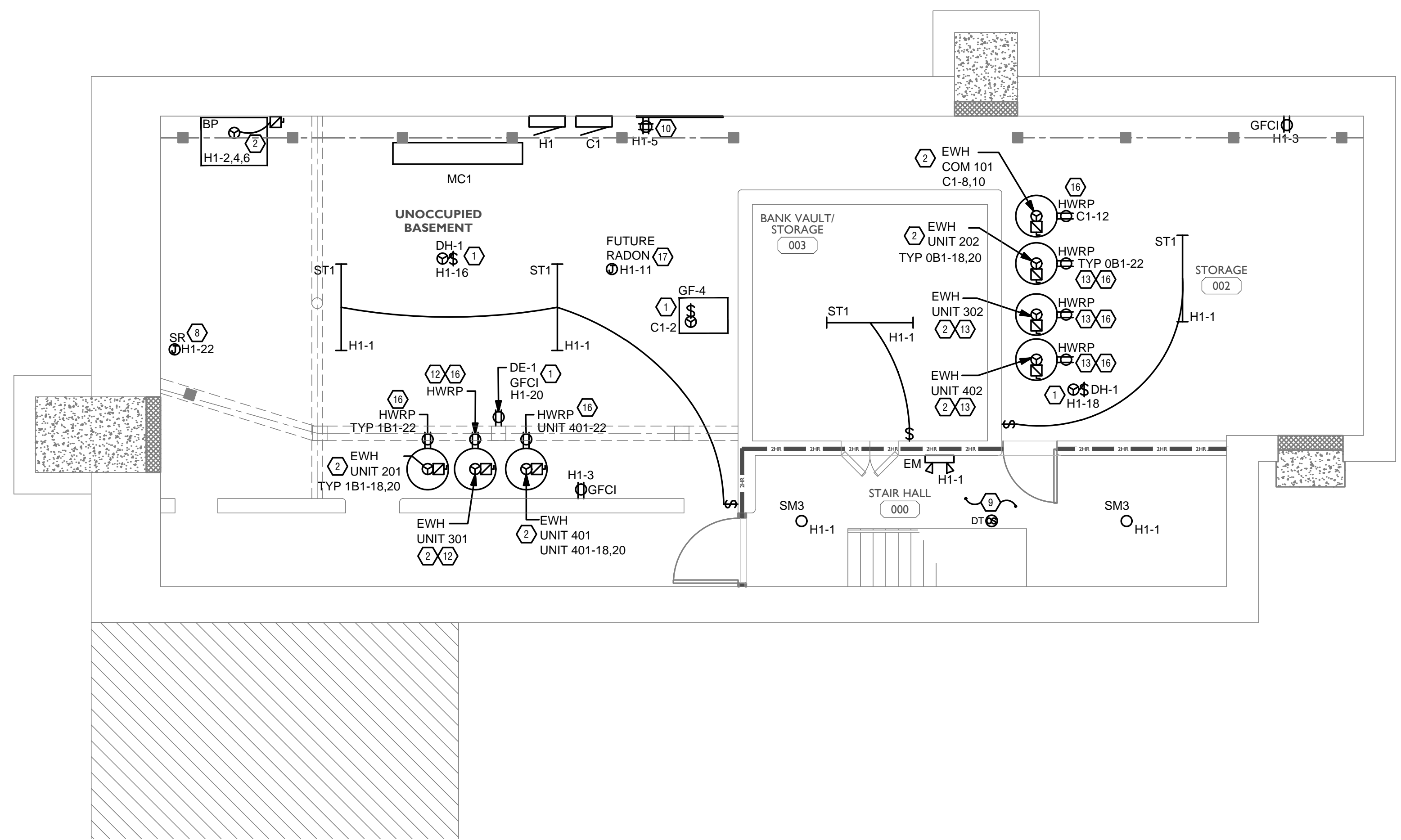
PROPOSED PROJECT:
RENOVATION FOR
1732 VINE ST / 1734 VINE ST
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/10/2022

M2.01

Z:\Project_Directories\9700-9789\9757 - Findlay Flats - Friday Periside (Williamson - Phase 1) - Construction Documents - Phase 1 (8 Buildings)\1732 VINE VRF-ART-Acc-Mold-Plat Date/Time: Aug 29, 2024 - 10:49am - Bc derek.gundy
THESE DRAWINGS AND SPECIFICATIONS ARE NOT AUTHORIZED TO BE USED AS CONTRACT DOCUMENTS. THESE DRAWINGS HAVE BEEN PREPARED TO DEMONSTRATE COMPLIANCE WITH APPLICABLE CODES, AND ARE INTENDED TO PROVIDE THE AUTHORITIES HAVING JURISDICTION WITH INFORMATION TO DETERMINE CODE COMPLIANCE. THE INSTALLING CONTRACTOR IS RESPONSIBLE TO ENSURE THAT MEANS, METHODS, AND MATERIALS USED IN CONSTRUCTION ARE INSTALLED IN ACCORDANCE WITH ANY CONTRACTUAL AGREEMENT THAT MAY EXIST WITH AN OWNER, CONSTRUCTION MANAGER, GENERAL CONTRACTOR, ETC.

Z:\Project_Directories\9700-9789\9757 - Findlay Flats - Findlay Periside (Williamson 2 Phase II) - Construction Documents - Phase 1 (8 Buildings)\1732_VINE ST - RT - Rm - Model - Plot - Date/Time: Aug 29, 2024 - 10:09am - Bc: derek.grundy
 THESE DRAWINGS AND SPECIFICATIONS ARE NOT AUTHORIZED TO BE USED AS CONTRACT DOCUMENTS. THESE DRAWINGS HAVE BEEN PREPARED TO DEMONSTRATE COMPLIANCE WITH APPLICABLE CODES, AND ARE INTENDED TO PROVIDE THE AUTHORITIES HAVING JURISDICTION WITH INFORMATION TO DETERMINE CODE COMPLIANCE. THE INSTALLING CONTRACTOR IS RESPONSIBLE TO ENSURE THAT MEANS, METHODS, AND MATERIALS USED IN CONSTRUCTION ARE INSTALLED IN ACCORDANCE WITH ANY CONTRACTUAL AGREEMENT THAT MAY EXIST WITH AN OWNER, CONSTRUCTION MANAGER, GENERAL CONTRACTOR, ETC.



GENERAL NOTES-DWELLING UNITS

- A. PROVIDE AFCI PROTECTION IN ACCORDANCE WITH NEC 210.12. AFCI PROTECTION MUST BE PROVIDED WHERE EXISTING BRANCH CIRCUIT WIRING IS MODIFIED, OR RECEPTACLES ARE REPLACED, IN ACCORDANCE WITH NEC AND LOCAL ELECTRICAL INSPECTION REQUIREMENTS. REFER TO NEC 406.4 (D) AND NEC 210.12 (D).
- B. FURNISH AND INSTALL SMOKE DETECTORS AS REQUIRED BY CODE. SMOKE DETECTORS SHOWN ON EBS DRAWINGS ARE INTENDED TO CONVEY GENERAL COMPLIANCE FOR BUILDING DEPARTMENT SUBMITTALS. PROVIDE INTERWIRING BETWEEN SMOKE DETECTORS LOCATED IN THE SAME UNIT. SMOKE DETECTORS SHALL BE HARD WIRED WITH BATTERY BACK-UP. FIRE ALARM AND/OR SMOKE DETECTOR SYSTEMS ARE FURNISHED ON A DESIGN-BUILD BASIS BY THE ELECTRICIAN.
- C. WHERE CIRCUITING IS SHOWN TYPICAL FOR MULTIPLE UNITS, COORDINATE BREAKER/WIRE SIZES FOR EQUIPMENT FURNISHED BY OTHERS WITH SHOP DRAWINGS PROVIDED BY THE CONTRACTOR SUPPLYING THE EQUIPMENT. VERIFY BREAKER/WIRE SIZES FOR EQUIPMENT OR APPLIANCE FOR EACH UNIT PRIOR TO ROUGH-IN.
- D. SEE ARCHITECTURAL REFLECTED CEILING PLANS FOR DIMENSIONED LOCATIONS OF ALL LIGHT FIXTURES.
- E. PROVIDE CONDUIT AND PULL STRING TO APPROVED LOCATION FOR VOICE, DATA, AND CATV CABLES.
- F. CIRCUITING ON DRAWINGS AND PANEL SCHEDULE IS SHOWN TYPICAL FOR SIMILAR UNITS. REFER TO DWELLING UNIT LOAD SUMMARIES FOR INDIVIDUAL DWELLING UNIT LOAD CALCULATIONS.
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SCOPE OF WORK

RENOVATION OF EXISTING BUILDING MULTIFAMILY BUILDING WITH COMMERCIAL FIRST FLOOR. PROVIDE NEW ELECTRICAL DISTRIBUTION, POWER AND LIGHTING. SEE SINGLE LINE DIAGRAM FOR MORE DETAILS.

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- A. EBS DRAWINGS INDICATE DESIGN INTENT AND REQUIRED OUTCOMES. IF CONDITIONS ARISE IN THE FIELD THAT REQUIRE DEVIATIONS FROM THE DRAWINGS IT IS ASSUMED THAT THE CONTRACTOR WILL DETERMINE THE APPROPRIATE DEVIATION WITH APPROVAL FROM THE OWNER. EBS IS AVAILABLE TO ASSIST WHEN REQUIRED IF ISSUES ARISE.

GENERAL NOTES-LIGHTING

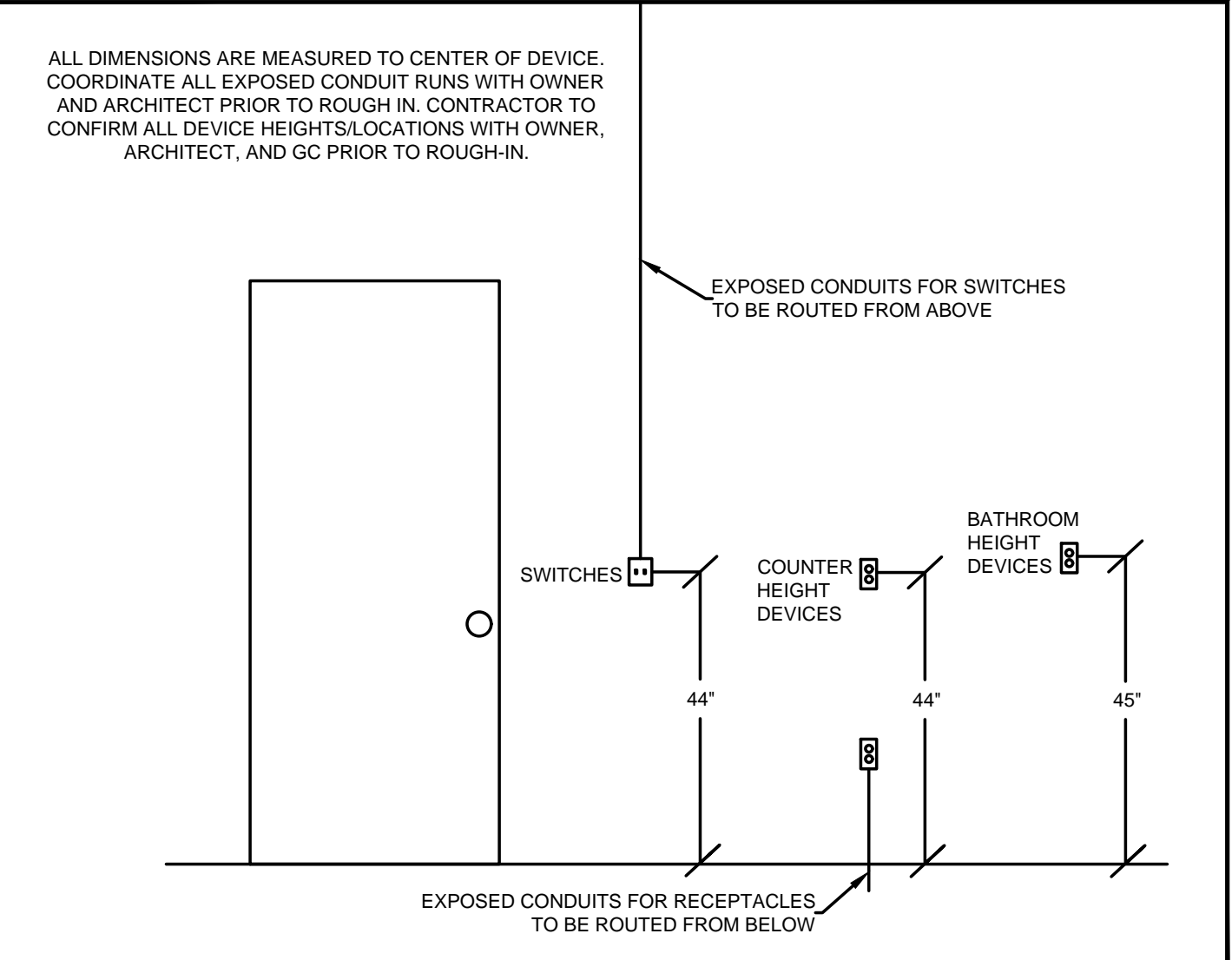
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- D. WHERE DIMMERS AND/OR DIMMING SYSTEMS ARE REQUIRED, CONTRACTOR TO FURNISH DIMMERS THAT ARE COMPATIBLE WITH FIXTURE SOURCE AND RATED FOR THE WATTAGE OF THE DIMMING ZONE. PROVIDE ADDITIONAL DIMMERS AS REQUIRED TO MEET ZONE LOAD REQUIREMENTS.
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- 1. MECHANICAL EQUIPMENT PROVIDED BY MECHANICAL CONTRACTOR, WIRED BY ELECTRICAL CONTRACTOR. VERIFY ELECTRICAL REQUIREMENTS WITH MECHANICAL REQUIREMENTS PRIOR TO ROUGH-IN.
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- 7. MICROWAVE RECEPTACLE LOCATED IN CABINET ABOVE. COORDINATE LOCATION WITH GENERAL CONTRACTOR PRIOR TO ROUGH-IN.
- 8. PROVIDE 120 VOLT DEDICATED CIRCUIT FOR SPRINKLER RISER FIRE MONITORING SYSTEM. COORDINATE LOCATION WITH FIRE PROTECTION CONTRACTOR.
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- 10. LOCATION OF BUILDING UTILITY DATA DEMARC. PROVIDE A 4'x4'x2" PLYWOOD BACKBOARD FOR DATA/PHONE UTILITIES. COORDINATE ALL REQUIREMENTS WITH OWNER, ARCHITECT, AND ALTA FIBER PRIOR TO ROUGH-IN. PROVIDE DEDICATED QUAD RECEPTACLE AS SHOWN.
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- B. SEE SINGLE LINE DIAGRAM FOR FEEDER WIRE AND CONDUIT SIZE. ALL CIRCUITS NOT SIZED ON DRAWING SHALL BE INSTALLED TO MEET MINIMUM SIZE REQUIRED BY NEC.
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- D. ALL PANELS AND DISCONNECTS LOCATED OUTDOORS SHALL BE LABELED NEMA 3R.
- E. ROOF MOUNTED AND OUTDOOR EQUIPMENT SHALL HAVE 120V RECEPTACLE MOUNTED WITHIN 25' OF EACH PIECE. RECEPTACLES SHALL BE IN WEATHER PROOF BOX AND HAVE GFCI PROTECTION.
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- H. CONTRACTOR TO PROVIDE GROUNDING AND BONDING AS REQUIRED FOR ELECTRICAL SYSTEMS. GROUNDING AND BONDING IS CONSIDERED MEANS AND METHODS OF CONSTRUCTION, AND SHOULD BE COMPLETED BY THE ELECTRICAL CONTRACTOR IN ACCORDANCE WITH NEC 250. GAS PIPING SYSTEMS MUST BE BONDED PER UTILITY PROVIDER'S INSTALLATION GUIDELINES WHERE REQUIRED.
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STANDARD MOUNTING HEIGHTS

SCALE: 1/4" = 1'-0"

ELECTRICAL POWER PLAN - BASEMENT



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Progress Dates
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 08/30/2024 BID SET 2

Revisions

Checked By: PRS
 Drawn by: AJW

PR-09757
ENGINEERED BUILDING SYSTEMS INC.
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 SHARED SUCCESS
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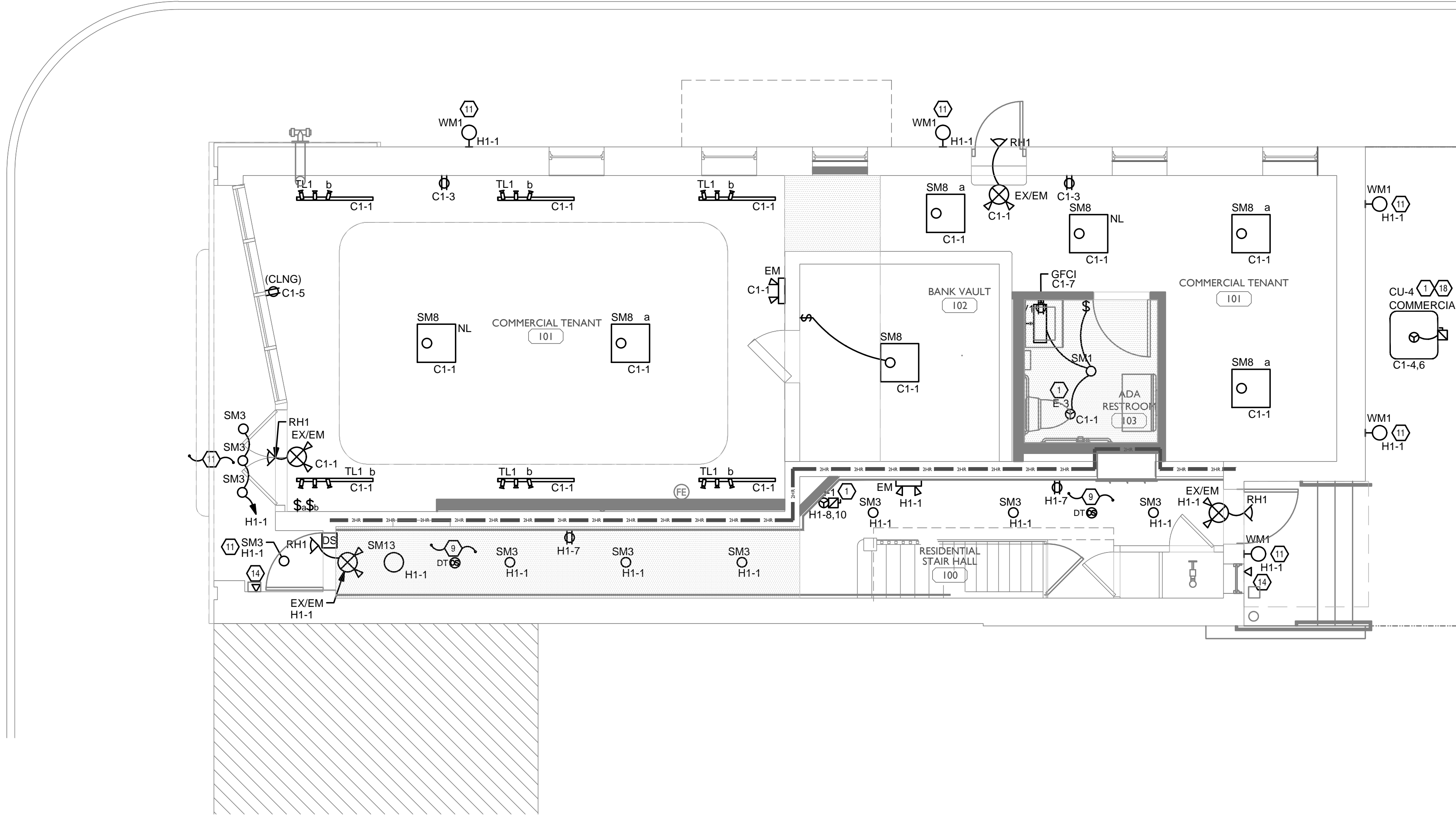
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PROPOSED PROJECT:
 RENOVATION FOR
1732 VINE ST / 1734 VINE ST
 CINCINNATI, OH, 45202
 FINDLAY FLATS

Job No: 22042 8/10/2022

E1.00

Z:\Project_Directories\9700-9799\9757 - Findlay Flats - Findlay Flats (Williamson) 2 Phase (1) - Construction Documents - Phase 1 (8 Buildings) 1732 VINE ST - Ref. - Model. Plot Date/Time: Aug 29, 2024 - 10:49am - Bc derek.grundy
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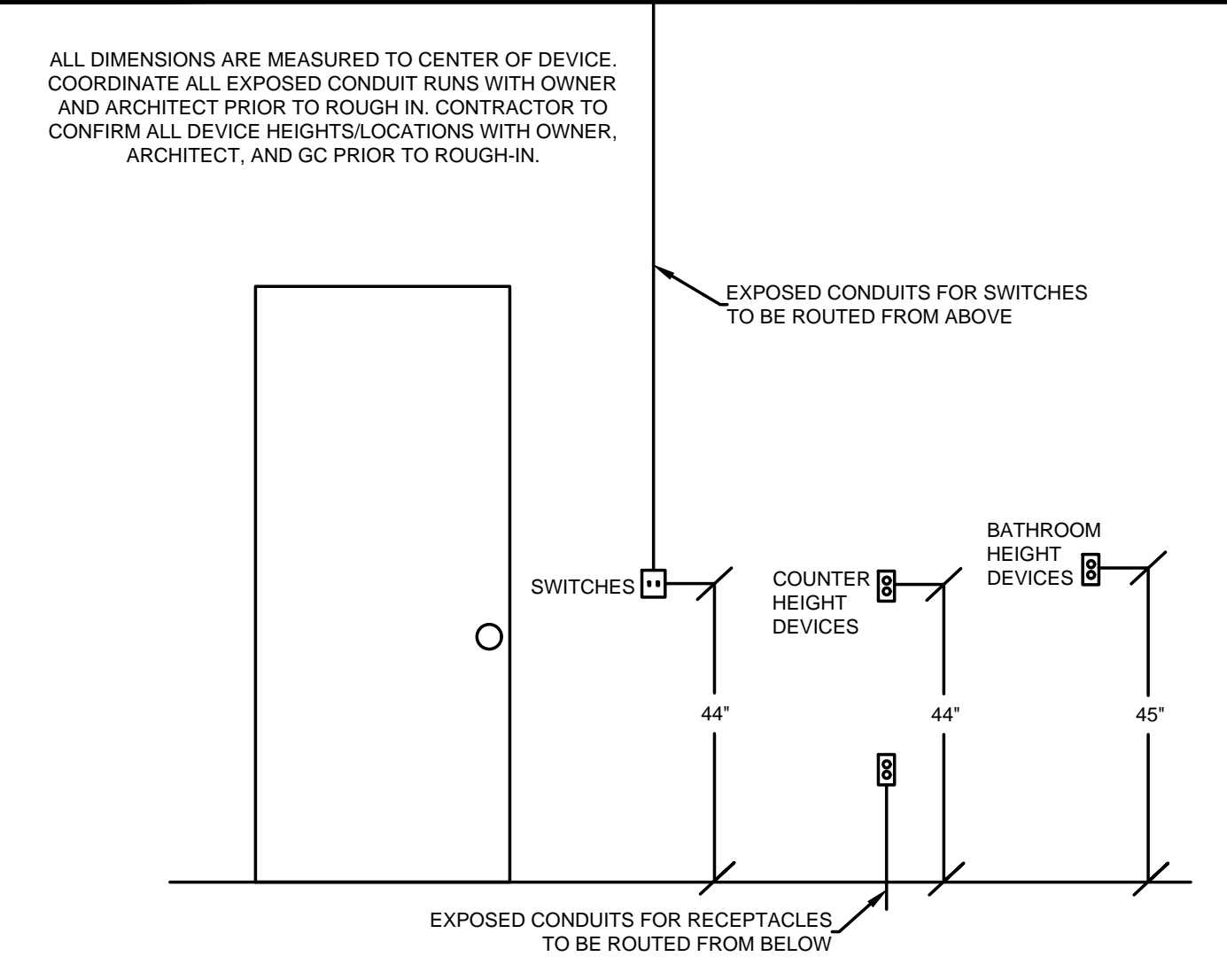
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ELECTRICAL POWER PLAN - FIRST FLOOR



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Revisions

Checked By: PRS
 Drawn by: AJW

PR-09757

ENGINEERED BUILDING SYSTEMS INC.

TEAMWORK COLLABORATION
 SHARED SUCCESS
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 Newport, KY 41071 (859) 261-0585
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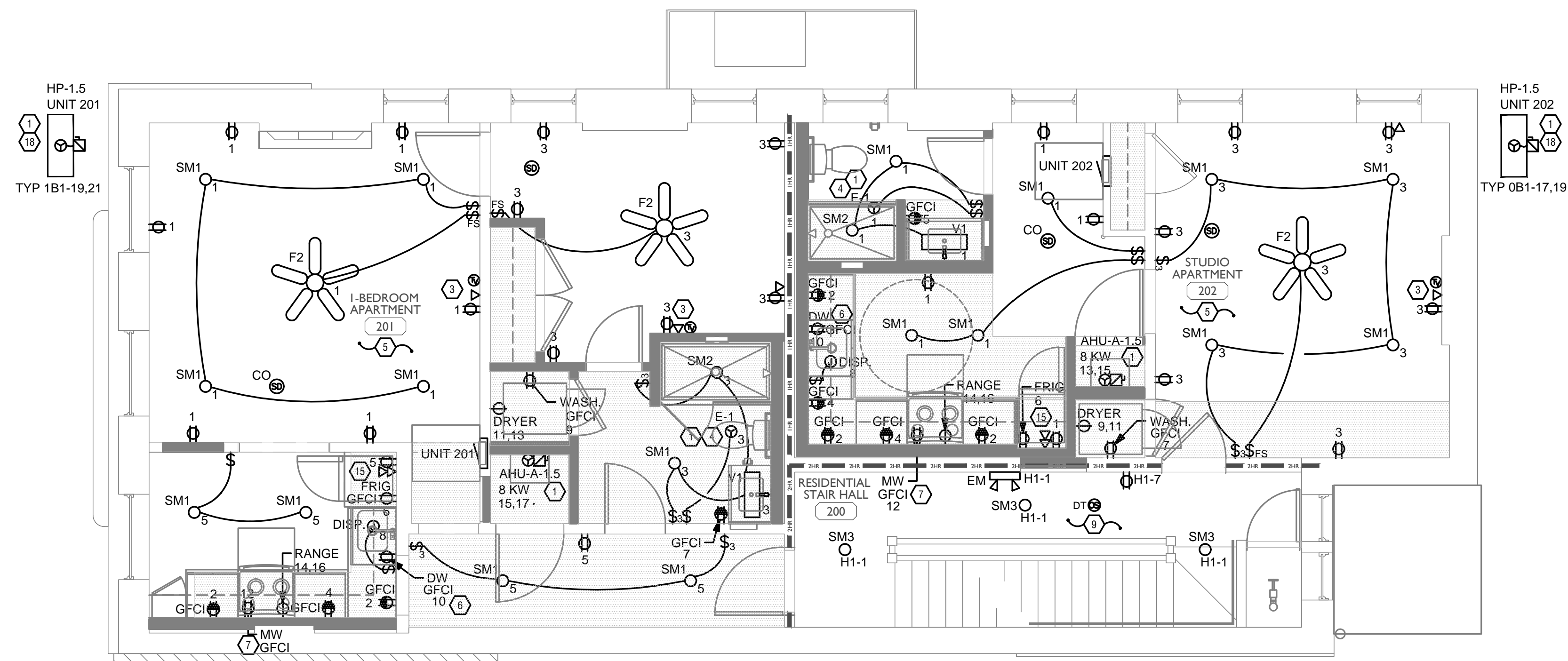
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PROPOSED PROJECT:
 RENOVATION FOR
1732 VINE ST / 1734 VINE ST
 CINCINNATI, OH, 45202
 FINDLAY FLATS

Job No: 22042 8/10/2022

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Z:\Projects\Directors\9700-9793\9757 - Findlay Flats - Findlay Periside (Williamson) 2 Phase II\Construction Documents\Phase 1 (8 Buildings)\1732 - WINE VINE - ART Area-Model - Plot Date: Aug 29, 2024 - 10:49am - Bc_derek_grandy
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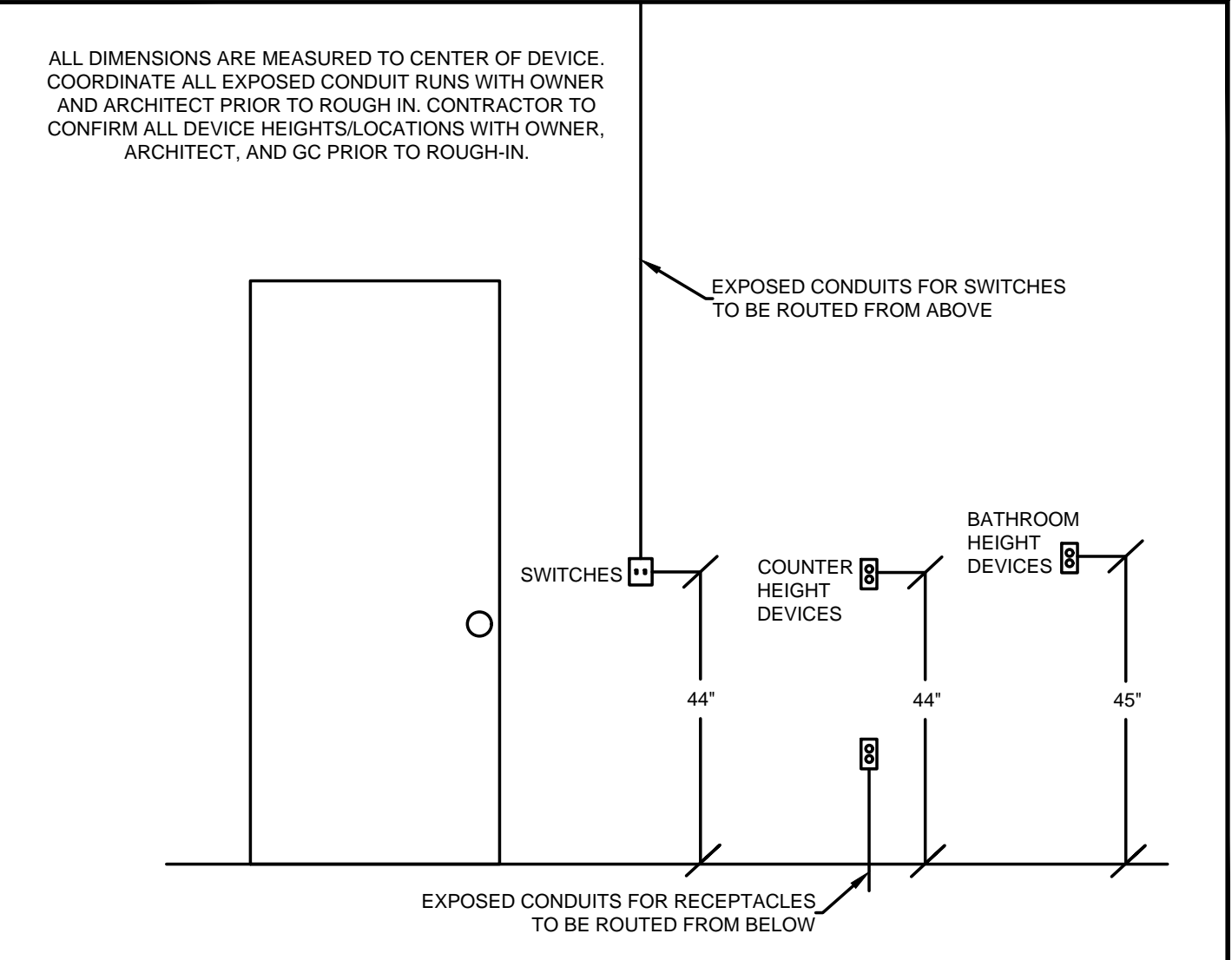
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- 6. DISHWASHER MUST BE GFCI PROTECTED PER NEC 210.8(D) RECEPTACLE SHALL BE LOCATED IN AN ACCESSIBLE LOCATION.
- 7. MICROWAVE RECEPTACLE LOCATED IN CABINET ABOVE. COORDINATE LOCATION WITH GENERAL CONTRACTOR PRIOR TO ROUGH-IN.
- 8. PROVIDE 120 VOLT DEDICATED CIRCUIT FOR SPRINKLER RISER FIRE MONITORING SYSTEM. COORDINATE LOCATION WITH FIRE PROTECTION CONTRACTOR.
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- 18. MECHANICAL UNIT SHOWN FOR CIRCUITRY REFERENCE ONLY. REFER TO 1724 VINE STREET ELECTRICAL PERMIT DRAWINGS FOR FINAL LOCATIONS OF MECHANICAL EQUIPMENT.

GENERAL NOTES-POWER

- A. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ALL CONDUIT/CABLE ROUTING. COORDINATE ROUTING WITH ALL OTHER TRADES AND BUILDING CONDITIONS.
- B. SEE SINGLE LINE DIAGRAM FOR FEEDER WIRE AND CONDUIT SIZE. ALL CIRCUITS NOT SIZED ON DRAWING SHALL BE INSTALLED TO MEET MINIMUM SIZE REQUIRED BY NEC.
- C. PROVIDE MOTOR STARTERS FOR EQUIPMENT AS INDICATED ON DRAWINGS. COORDINATE ANY INTERLOCKING WIRING WITH HVAC CONTRACTOR AND PROVIDE WIRING, COILS, AND AUXILIARY CONTACTS AS NECESSARY. SIZE ALL CIRCUITS FOR ACTUAL EQUIPMENT TO BE CONNECTED.
- D. ALL PANELS AND DISCONNECTS LOCATED OUTDOORS SHALL BE LABELED NEMA 3R.
- E. ROOF MOUNTED AND OUTDOOR EQUIPMENT SHALL HAVE 120V RECEPTACLE MOUNTED WITHIN 25' OF EACH PIECE. RECEPTACLES SHALL BE IN WEATHER PROOF BOX AND HAVE GFCI PROTECTION.
- F. FOR ITEMS FURNISHED BY OTHER TRADES, ELECTRICAL CONTRACTOR TO FULLY COORDINATE BREAKER AND WIRE SIZES WITH ACTUAL EQUIPMENT BEING CONNECTED PRIOR TO ROUGH-IN, OR INSTALLATION. THE SIZES ON PANEL SCHEDULES REFER TO BASIS OF DESIGN SELECTIONS, AND ACTUAL ITEMS MAY DEVIATE FROM BASIS OF DESIGN. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO CONFIRM REQUIRED WIRE AND BREAKER SIZES WITH THE CONTRACTOR FURNISHING THE EQUIPMENT.
- G. REFER TO ARCHITECT'S PLANS AND ELEVATIONS FOR ALL DEVICE MOUNTING HEIGHTS.
- H. CONTRACTOR TO PROVIDE GROUNDING AND BONDING AS REQUIRED FOR ELECTRICAL SYSTEMS. GROUNDING AND BONDING IS CONSIDERED MEANS AND METHODS OF CONSTRUCTION, AND SHOULD BE COMPLETED BY THE ELECTRICAL CONTRACTOR IN ACCORDANCE WITH NEC 250. GAS PIPING SYSTEMS MUST BE BONDED PER UTILITY PROVIDER'S INSTALLATION GUIDELINES WHERE REQUIRED.
- I. ELECTRICAL RECEPTACLES ON OPPOSITE SIDES OF A WALL ARE TO BE SPACED SO THAT THEIR ELECTRICAL BOX ARE A MINIMUM OF ONE STUD BETWEEN BOXES.



STANDARD MOUNTING HEIGHTS

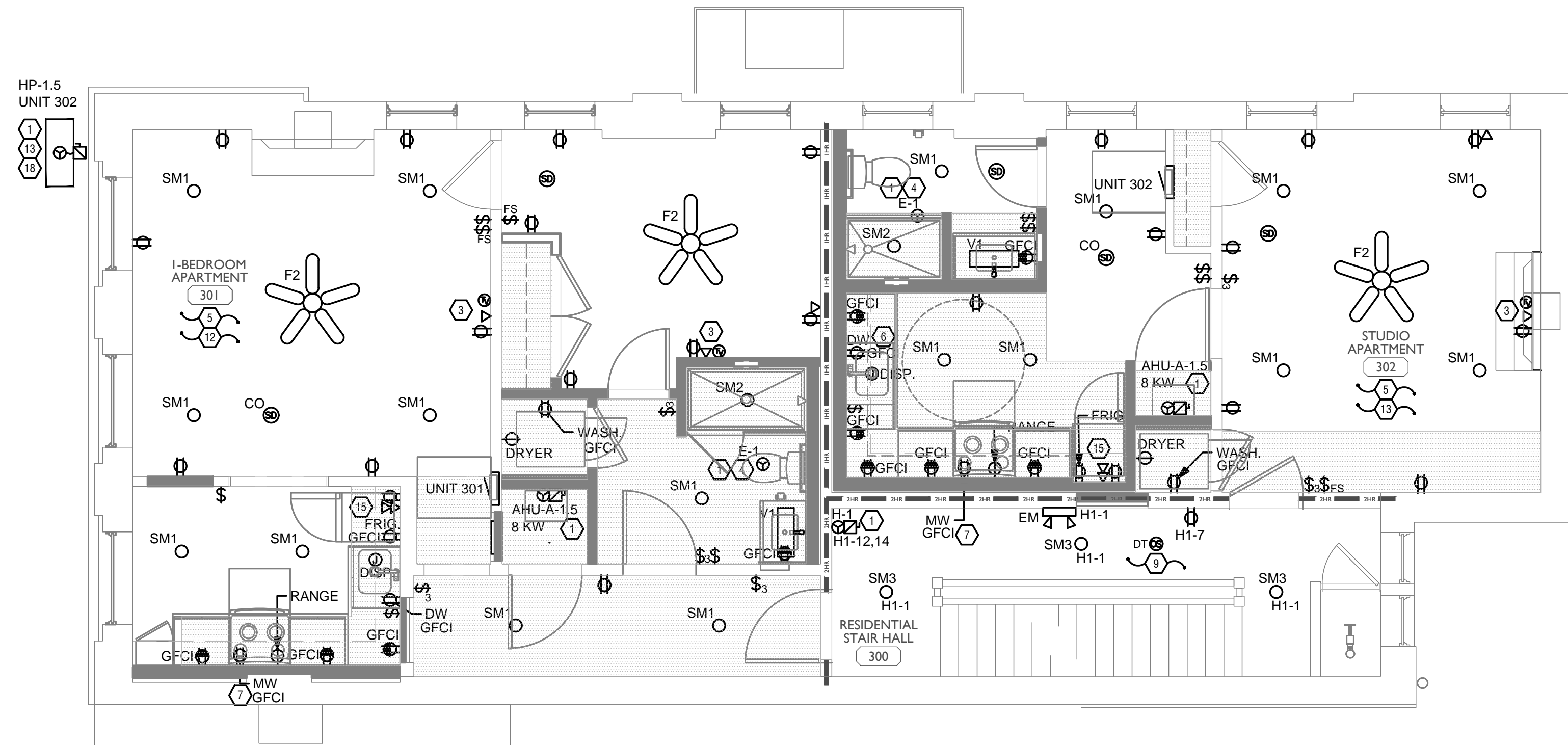
Progress Dates
 05/05/2023 BID P/E/P
 08/30/2024 BID SET 2

Revisions
 Checked By: PRS
 Drawn by: AJW

PR-09757
ENGINEERED BUILDING SYSTEMS INC.
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PROPOSED PROJECT:
RENOVATION FOR 1732 VINE ST / 1734 VINE ST
 CINCINNATI, OH, 45202
 FINDLAY FLATS
 Job No: 22042 8/10/2022

Z:\Project_Directories\9700-9799\9757 - Findlay Flats - Findlay Paradise (Williamson 2 Phase II) - Construction Documents - Phase 1 (8 Buildings)\1732 VINE ST - RT - New Model - Plot - Date/Time: Aug 29, 2024 - 10:49am - Bx: derek.grundy
 THESE DRAWINGS AND SPECIFICATIONS ARE NOT AUTHORIZED TO BE USED AS CONSTRUCTION DOCUMENTS. THESE DRAWINGS HAVE BEEN PREPARED TO DEMONSTRATE COMPLIANCE WITH APPLICABLE CODES, AND ARE INTENDED TO PROVIDE THE AUTHORITIES HAVING JURISDICTION WITH INFORMATION TO DETERMINE CODE COMPLIANCE. THE INSTALLING CONTRACTOR IS RESPONSIBLE TO ENSURE THAT MEANS, METHODS, AND MATERIALS USED IN CONSTRUCTION ARE INSTALLED IN ACCORDANCE WITH ANY CONTRACTUAL AGREEMENT THAT MAY EXIST WITH AN OWNER, CONSTRUCTION MANAGER, GENERAL CONTRACTOR, ETC.



GENERAL NOTES-DWELLING UNITS

- A. PROVIDE AFCI PROTECTION IN ACCORDANCE WITH NEC 210.12. AFCI PROTECTION MUST BE PROVIDED WHERE EXISTING BRANCH CIRCUIT WIRING IS MODIFIED, OR RECEPTACLES ARE REPLACED, IN ACCORDANCE WITH NEC AND LOCAL ELECTRICAL INSPECTION REQUIREMENTS. REFER TO NEC 406.4 (D) AND NEC 210.12 (D).
- B. FURNISH AND INSTALL SMOKE DETECTORS AS REQUIRED BY CODE. SMOKE DETECTORS SHOWN ON EBS DRAWINGS ARE INTENDED TO CONVEY GENERAL COMPLIANCE FOR BUILDING DEPARTMENT SUBMITTALS. PROVIDE INTERWIRING BETWEEN SMOKE DETECTORS LOCATED IN THE SAME UNIT. SMOKE DETECTORS SHALL BE HARD WIRED WITH BATTERY BACK-UP. FIRE ALARM AND/OR SMOKE DETECTOR SYSTEMS ARE FURNISHED ON A DESIGN-BUILD BASIS BY THE ELECTRICIAN.
- C. WHERE CIRCUITING IS SHOWN TYPICAL FOR MULTIPLE UNITS, COORDINATE BREAKER/WIRE SIZES FOR EQUIPMENT FURNISHED BY OTHERS WITH SHOP DRAWINGS PROVIDED BY THE CONTRACTOR SUPPLYING THE EQUIPMENT. VERIFY BREAKER/WIRE SIZES FOR EQUIPMENT OR APPLIANCE FOR EACH UNIT PRIOR TO ROUGH-IN.
- D. SEE ARCHITECTURAL REFLECTED CEILING PLANS FOR DIMENSIONED LOCATIONS OF ALL LIGHT FIXTURES.
- E. PROVIDE CONDUIT AND PULL STRING TO APPROVED LOCATION FOR VOICE, DATA, AND CATV CABLES.
- F. CIRCUITING ON DRAWINGS AND PANEL SCHEDULE IS SHOWN TYPICAL FOR SIMILAR UNITS. REFER TO DWELLING UNIT LOAD SUMMARIES FOR INDIVIDUAL DWELLING UNIT LOAD CALCULATIONS.
- G. COORDINATE RECEPTACLE, PHONE, AND TV DEVICE PLACEMENT WITH FURNITURE LOCATIONS. VERIFY WITH ARCHITECT PRIOR TO ROUGH-IN. LOCATIONS SHOWN ON DRAWINGS ARE INTENDED TO CONVEY DESIGN INTENT, AND DEMONSTRATE GENERAL COMPLIANCE WITH CODE. WHERE ACTUAL STUD LOCATIONS REQUIRE DEVICE LOCATIONS TO BE ADJUSTED, ADDED OR MINOR VARIATIONS AMONG UNITS THAT ARE SHOWN AS "TYPICAL", ETC. OCCUR, CONTRACTOR, UNDER HIS BASE BID, TO MAKE NECESSARY ADJUSTMENTS / ADDITIONS IN THE FIELD TO MAINTAIN NEC DWELLING UNIT RECEPTACLE SPACING REQUIREMENTS. WHERE ACTUAL WINDOW CONSTRUCTION PROHIBITS THE INSTALLATION OF A WALL RECEPTACLE, PROVIDE FLOOR RECEPTACLE WITHIN 18 INCHES OF THE BASE OF THE WALL. PROVIDE TAMPER PROOF RECEPTACLES AS REQUIRED BY NEC ART. 406.12

SCOPE OF WORK

RENOVATION OF EXISTING BUILDING MULTIFAMILY BUILDING WITH COMMERCIAL FIRST FLOOR. PROVIDE NEW ELECTRICAL DISTRIBUTION, POWER AND LIGHTING. SEE SINGLE LINE DIAGRAM FOR MORE DETAILS.

GENERAL NOTES-OVERALL PROJECT

- A. EBS DRAWINGS INDICATE DESIGN INTENT AND REQUIRED OUTCOMES. IF CONDITIONS ARISE IN THE FIELD THAT REQUIRE DEVIATIONS FROM THE DRAWINGS IT IS ASSUMED THAT THE CONTRACTOR WILL DETERMINE THE APPROPRIATE DEVIATION WITH APPROVAL FROM THE OWNER. EBS IS AVAILABLE TO ASSIST WHEN REQUIRED IF ISSUES ARISE.

GENERAL NOTES-LIGHTING

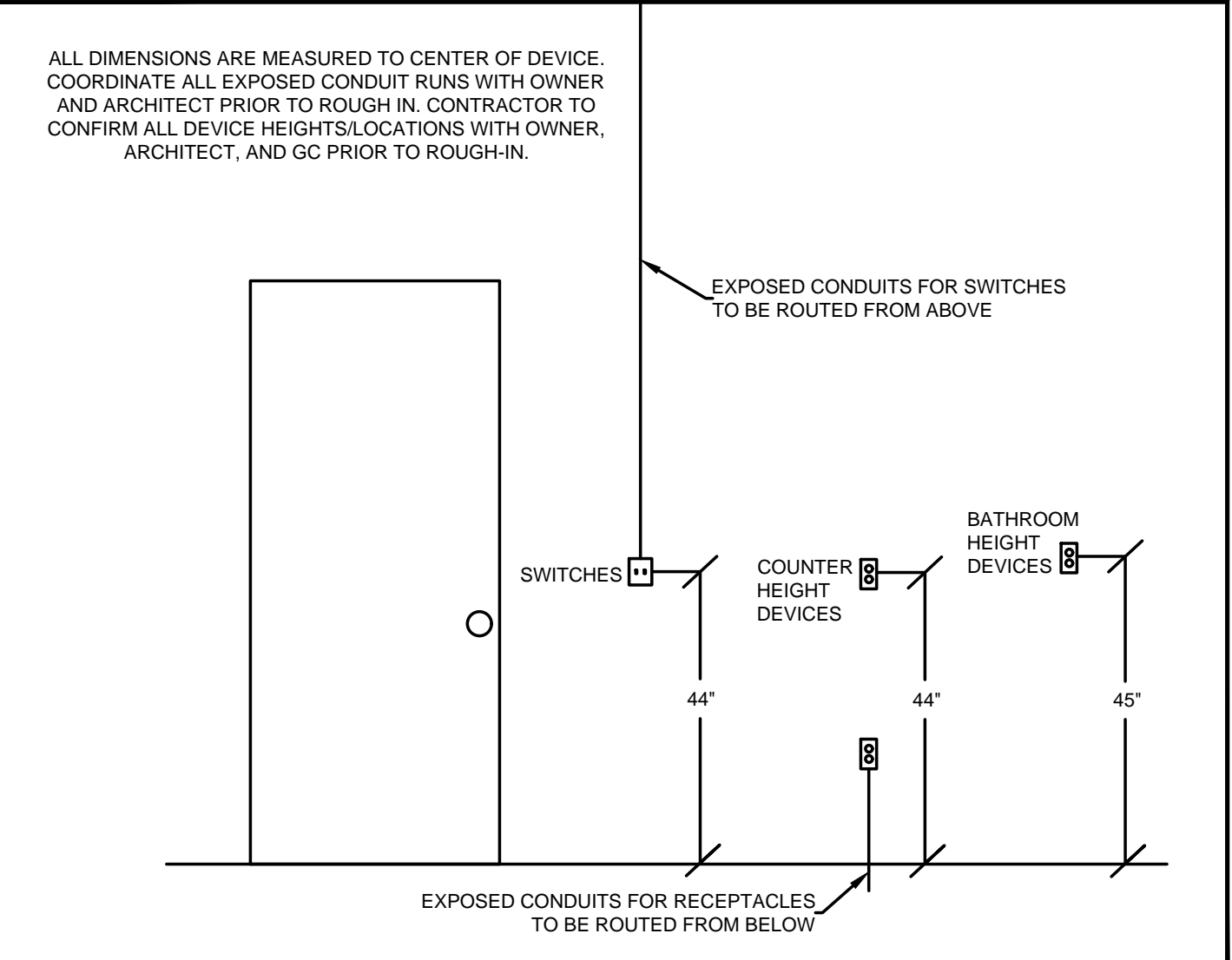
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- B. PROVIDE HOLD-ON-TYPE BREAKERS FOR EGRESS/EMERGENCY LIGHTING CIRCUITS. WIRE ALL EGRESS/EMERGENCY FIXTURES AHEAD OF ANY LOCAL SWITCHING.
- C. LIGHT FIXTURES CONTROLLED BY SWITCH IN SAME ROOM UNLESS OTHERWISE NOTED.
- D. WHERE DIMMERS AND/OR DIMMING SYSTEMS ARE REQUIRED, CONTRACTOR TO FURNISH DIMMERS THAT ARE COMPATIBLE WITH FIXTURE SOURCE AND RATED FOR THE WATTAGE OF THE DIMMING ZONE. PROVIDE ADDITIONAL DIMMERS AS REQUIRED TO MEET ZONE LOAD REQUIREMENTS.
- E. ELECTRICAL SWITCHES ON OPPOSITE SIDES OF A WALL ARE TO BE SPACED SO THAT THEIR ELECTRICAL BOX ARE A MINIMUM OF ONE STUD BETWEEN BOXES.
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- 1. MECHANICAL EQUIPMENT PROVIDED BY MECHANICAL CONTRACTOR, WIRED BY ELECTRICAL CONTRACTOR. VERIFY ELECTRICAL REQUIREMENTS WITH MECHANICAL REQUIREMENTS PRIOR TO ROUGH-IN.
- 2. PLUMBING EQUIPMENT PROVIDED BY PLUMBING CONTRACTOR, WIRED BY ELECTRICAL CONTRACTOR. VERIFY ELECTRICAL REQUIREMENTS WITH PLUMBING REQUIREMENTS PRIOR TO ROUGH-IN.
- 3. COORDINATE TV RECEPTACLE AND DATA LOCATIONS WITH OWNER AND ARCHITECT PRIOR TO ROUGH-IN.
- 4. PROVIDE SWITCH AND CONNECTION FOR CONTINUOUSLY RUNNING 2-SPEED BATHROOM FAN. VERIFY REQUIREMENTS WITH MECHANICAL CONTRACTOR PRIOR TO ROUGH-IN.
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STANDARD MOUNTING HEIGHTS

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Progress Dates

05/05/2023 BID P/E/PF
08/30/2024 BID SET 2

Revisions

Checked By: PRS
Drawn by: AJW

PR-09757
ENGINEERED BUILDING SYSTEMS INC.
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TEAMWORK COLLABORATION
SHARED SUCCESS

PROPOSED PROJECT:

RENOVATION FOR
1732 VINE ST / 1734 VINE ST

CINCINNATI, OH, 45202

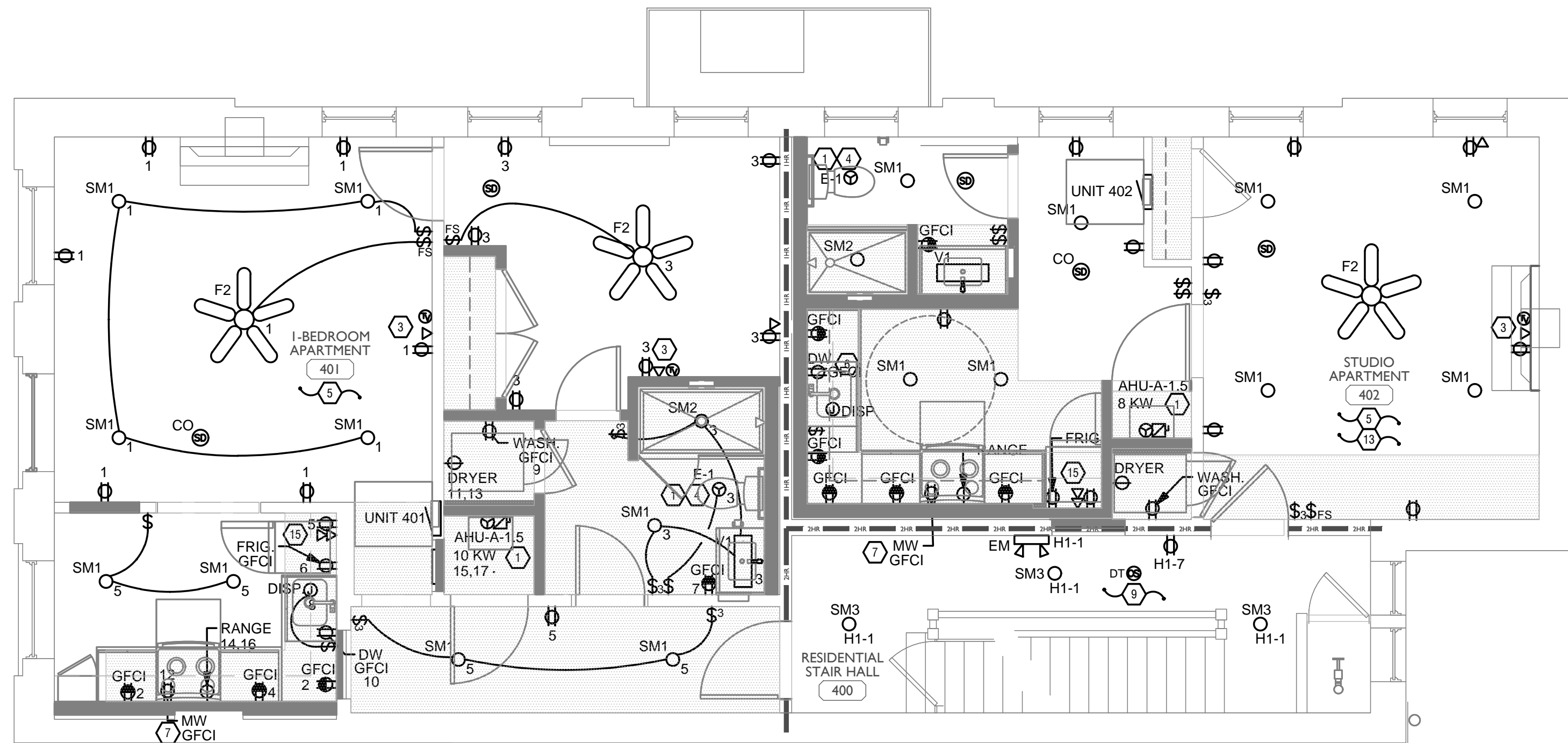
FINDLAY FLATS

Job No: 22042

8/10/2022

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Z:\Project_Directories\9700-9799\9757 - Findlay Flats - Findlay Periside (Williamson 2 Phase II) Construction Documents-Phase 1 (8 Buildings)\1732 VINE ST - RT - New Model - Plot Date/Time: Aug 29, 2024 - 10:49am - Bc derek.grundy
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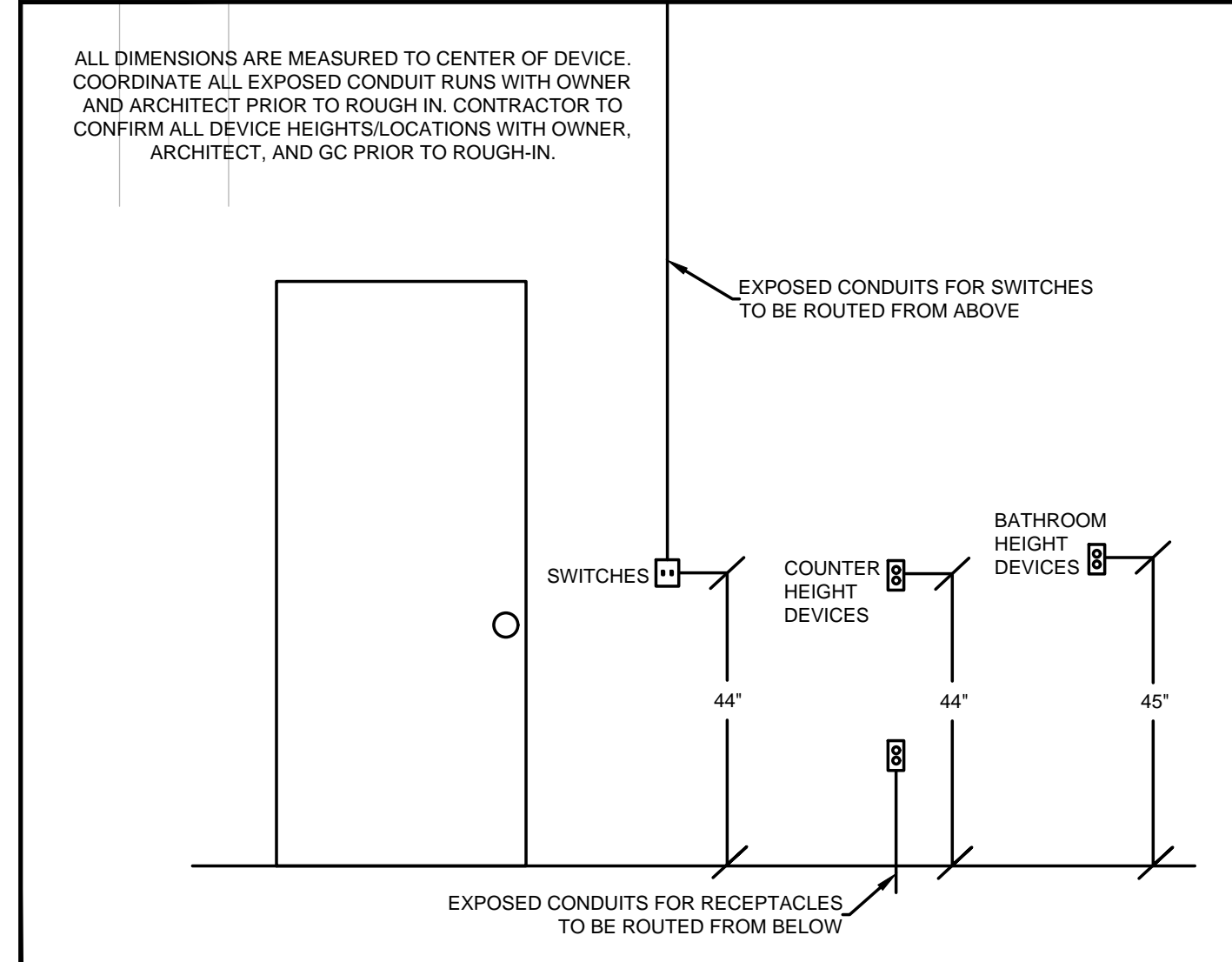
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STANDARD MOUNTING HEIGHTS

architecture + design

PROPOSED PROJECT: RENOVATION FOR 1732 VINE ST / 1734 VINE ST FINDLAY FLATS

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JOB No: 22042 8/10/2022

TEAMWORK COLLABORATION SHARED SUCCESS

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Progress Dates
 05/05/2023 BID P/E/P
 08/30/2024 BID SET 2

Revisions

Checked By: PRS

Drawn by: AJW

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PR-09757

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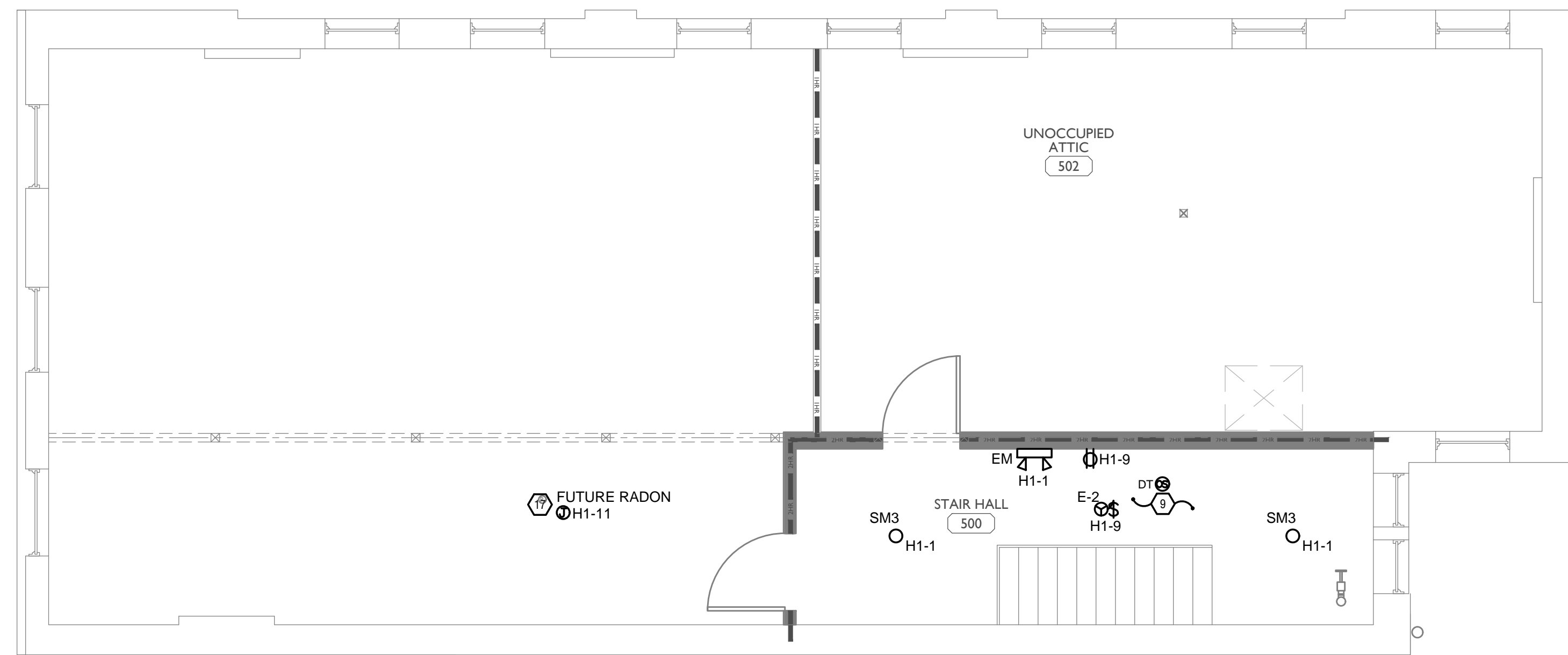
1732 VINE ST / 1734 VINE ST

CINCINNATI, OH, 45202

FINDLAY FLATS

EI.04

Z:\Projects\Directors\9700-9799\9757 - Findlay Flats - Findlay Periside (Williamson 2 Phase II)-Construction Documents-Phase 1 (8 Buildings)\1732 VINE VEE-ATR-Agn-Model-Plat-Date/Time: Aug 29, 2024-10:49am - Bc derek.grundy
 THESE DRAWINGS AND SPECIFICATIONS ARE NOT AUTHORIZED TO BE USED AS CONTRACT DOCUMENTS. THESE DRAWINGS HAVE BEEN PREPARED TO DEMONSTRATE COMPLIANCE WITH APPLICABLE CODES, AND ARE INTENDED TO PROVIDE THE AUTHORITIES HAVING JURISDICTION WITH INFORMATION TO DETERMINE CODE COMPLIANCE. THE INSTALLING CONTRACTOR IS RESPONSIBLE TO ENSURE THAT MEANS, METHODS, AND MATERIALS USED IN CONSTRUCTION ARE INSTALLED IN ACCORDANCE WITH ANY CONTRACTUAL AGREEMENT THAT MAY EXIST WITH AN OWNER, CONSTRUCTION MANAGER, GENERAL CONTRACTOR, ETC.



GENERAL NOTES-DWELLING UNITS

- A. PROVIDE AFCI PROTECTION IN ACCORDANCE WITH NEC 210.12. AFCI PROTECTION MUST BE PROVIDED WHERE EXISTING BRANCH CIRCUIT WIRING IS MODIFIED, OR RECEPTACLES ARE REPLACED, IN ACCORDANCE WITH NEC AND LOCAL ELECTRICAL INSPECTION REQUIREMENTS. REFER TO NEC 406.4 (D) AND NEC 210.12 (D).
- B. FURNISH AND INSTALL SMOKE DETECTORS AS REQUIRED BY CODE. SMOKE DETECTORS SHOWN ON EBS DRAWINGS ARE INTENDED TO CONVEY GENERAL COMPLIANCE FOR BUILDING DEPARTMENT SUBMITTALS. PROVIDE INTERWIRING BETWEEN SMOKE DETECTORS LOCATED IN THE SAME UNIT. SMOKE DETECTORS SHALL BE HARD WIRED WITH BATTERY BACK-UP. FIRE ALARM AND/OR SMOKE DETECTOR SYSTEMS ARE FURNISHED ON A DESIGN-BUILD BASIS BY THE ELECTRICIAN.
- C. WHERE CIRCUITING IS SHOWN TYPICAL FOR MULTIPLE UNITS, COORDINATE BREAKER/WIRE SIZES FOR EQUIPMENT FURNISHED BY OTHERS WITH SHOP DRAWINGS PROVIDED BY THE CONTRACTOR SUPPLYING THE EQUIPMENT. VERIFY BREAKER/WIRE SIZES FOR EQUIPMENT OR APPLIANCE FOR EACH UNIT PRIOR TO ROUGH-IN.
- D. SEE ARCHITECTURAL REFLECTED CEILING PLANS FOR DIMENSIONED LOCATIONS OF ALL LIGHT FIXTURES.
- E. PROVIDE CONDUIT AND PULL STRING TO APPROVED LOCATION FOR VOICE, DATA, AND CATV CABLES.
- F. CIRCUITING ON DRAWINGS AND PANEL SCHEDULE IS SHOWN TYPICAL FOR SIMILAR UNITS. REFER TO DWELLING UNIT LOAD SUMMARIES FOR INDIVIDUAL DWELLING UNIT LOAD CALCULATIONS.
- G. COORDINATE RECEPTACLE, PHONE, AND TV DEVICE PLACEMENT WITH FURNITURE LOCATIONS. VERIFY WITH ARCHITECT PRIOR TO ROUGH IN. LOCATIONS SHOWN ON DRAWINGS ARE INTENDED TO CONVEY DESIGN INTENT, AND DEMONSTRATE GENERAL COMPLIANCE WITH CODE. WHERE ACTUAL STUD LOCATIONS REQUIRE DEVICE LOCATIONS TO BE ADJUSTED, ADDED OR MINOR VARIATIONS AMONG UNITS THAT ARE SHOWN AS "TYPICAL", ETC. OCCUR, CONTRACTOR, UNDER HIS BASE BID, TO MAKE NECESSARY ADJUSTMENTS / ADDITIONS IN THE FIELD TO MAINTAIN NEC DWELLING UNIT RECEPTACLE SPACING REQUIREMENTS. WHERE ACTUAL WINDOW CONSTRUCTION PROHIBITS THE INSTALLATION OF A WALL RECEPTACLE, PROVIDE FLOOR RECEPTACLE WITHIN 18 INCHES OF THE BASE OF THE WALL. PROVIDE TAMPER PROOF RECEPTACLES AS REQUIRED BY NEC ART. 406.12

SCOPE OF WORK

RENOVATION OF EXISTING BUILDING MULTIFAMILY BUILDING WITH COMMERCIAL FIRST FLOOR. PROVIDE NEW ELECTRICAL DISTRIBUTION, POWER AND LIGHTING. SEE SINGLE LINE DIAGRAM FOR MORE DETAILS.

GENERAL NOTES-OVERALL PROJECT

- A. EBS DRAWINGS INDICATE DESIGN INTENT AND REQUIRED OUTCOMES. IF CONDITIONS ARISE IN THE FIELD THAT REQUIRE DEVIATIONS FROM THE DRAWINGS IT IS ASSUMED THAT THE CONTRACTOR WILL DETERMINE THE APPROPRIATE DEVIATION WITH APPROVAL FROM THE OWNER. EBS IS AVAILABLE TO ASSIST WHEN REQUIRED IF ISSUES ARISE.

GENERAL NOTES-LIGHTING

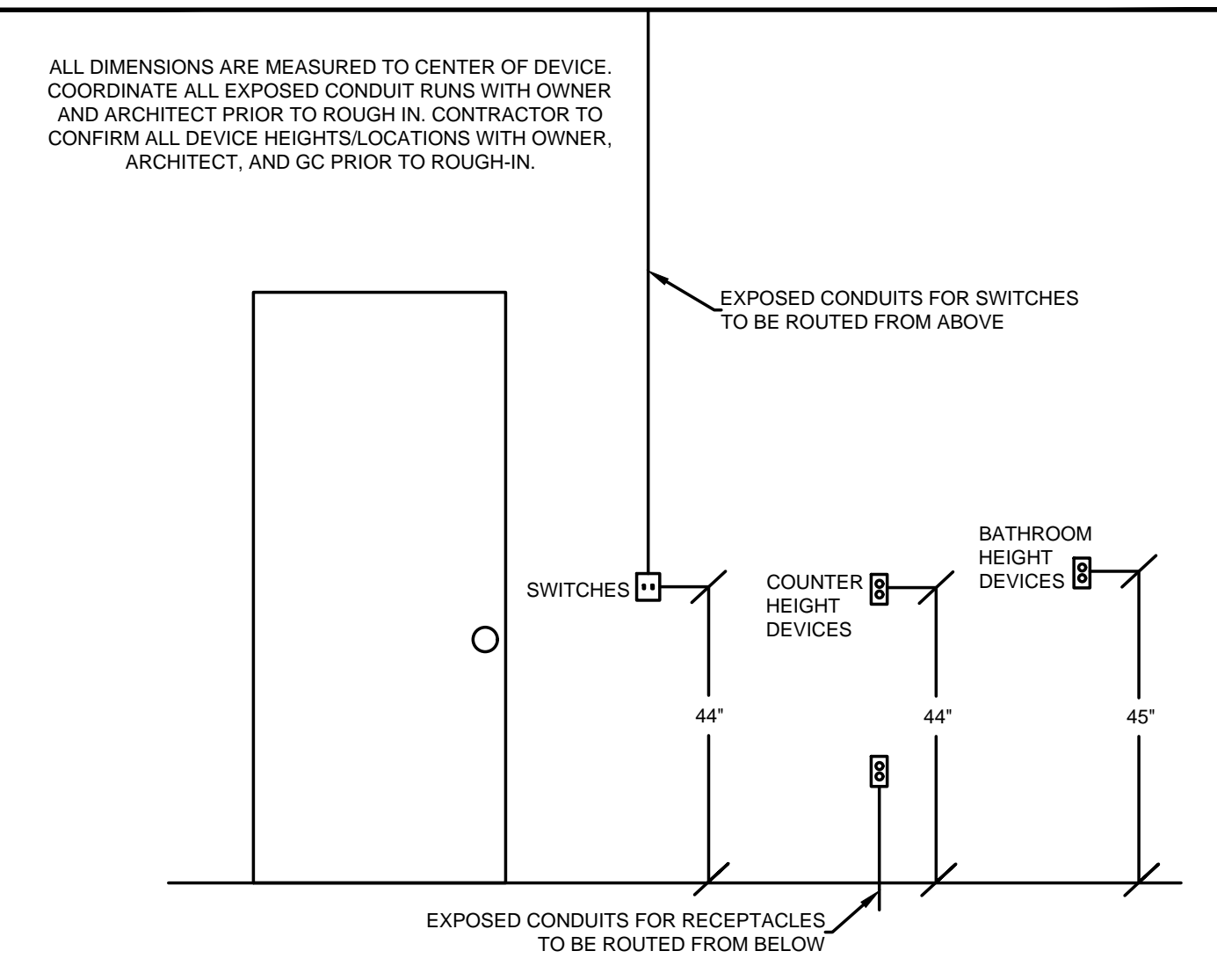
- A. REFER TO ARCHITECT'S PLANS AND ELEVATIONS FOR DIMENSIONED LOCATIONS OF LIGHT FIXTURES.
- B. PROVIDE HOLD-ON-TYPE BREAKERS FOR EGRESS/EMERGENCY LIGHTING CIRCUITS. WIRE ALL EGRESS/EMERGENCY FIXTURES AHEAD OF ANY LOCAL SWITCHING.
- C. LIGHT FIXTURES CONTROLLED BY SWITCH IN SAME ROOM UNLESS OTHERWISE NOTED.
- D. WHERE DIMMERS AND/OR DIMMING SYSTEMS ARE REQUIRED, CONTRACTOR TO FURNISH DIMMERS THAT ARE COMPATIBLE WITH FIXTURE SOURCE AND RATED FOR THE WATTAGE OF THE DIMMING ZONE. PROVIDE ADDITIONAL DIMMERS AS REQUIRED TO MEET ZONE LOAD REQUIREMENTS.
- E. ELECTRICAL SWITCHES ON OPPOSITE SIDES OF A WALL ARE TO BE SPACED SO THAT THEIR ELECTRICAL BOX ARE A MINIMUM OF ONE STUD BETWEEN BOXES.
- F. WHERE APPLICABLE, PROVIDE TOGGLE STYLE LIGHT SWITCHES.

GENERAL NOTES-POWER

- A. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ALL CONDUIT/CABLE ROUTING. COORDINATE ROUTING WITH ALL OTHER TRADES AND BUILDING CONDITIONS.
- B. SEE SINGLE LINE DIAGRAM FOR FEEDER WIRE AND CONDUIT SIZE. ALL CIRCUITS NOT SIZED ON DRAWING SHALL BE INSTALLED TO MEET MINIMUM SIZE REQUIRED BY NEC.
- C. PROVIDE MOTOR STARTERS FOR EQUIPMENT AS INDICATED ON DRAWINGS. COORDINATE ANY INTERLOCKING WIRING WITH HVAC CONTRACTOR AND PROVIDE WIRING, COILS, AND AUXILIARY CONTACTS AS NECESSARY. SIZE ALL CIRCUITS FOR ACTUAL EQUIPMENT TO BE CONNECTED.
- D. ALL PANELS AND DISCONNECTS LOCATED OUTDOORS SHALL BE LABELED NEMA 3R.
- E. ROOF MOUNTED AND OUTDOOR EQUIPMENT SHALL HAVE 120V RECEPTACLE MOUNTED WITHIN 25' OF EACH PIECE. RECEPTACLES SHALL BE IN WEATHER PROOF BOX AND HAVE GFCI PROTECTION.
- F. FOR ITEMS FURNISHED BY OTHER TRADES, ELECTRICAL CONTRACTOR TO FULLY COORDINATE BREAKER AND WIRE SIZES WITH ACTUAL EQUIPMENT BEING CONNECTED PRIOR TO ROUGH-IN, OR INSTALLATION. THE SIZES ON PANEL SCHEDULES REFER TO BASIS OF DESIGN SELECTIONS, AND ACTUAL ITEMS MAY DEVIATE FROM BASIS OF DESIGN. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO CONFIRM REQUIRED WIRE AND BREAKER SIZES WITH THE CONTRACTOR FURNISHING THE EQUIPMENT.
- G. REFER TO ARCHITECT'S PLANS AND ELEVATIONS FOR ALL DEVICE MOUNTING HEIGHTS.
- H. CONTRACTOR TO PROVIDE GROUNDING AND BONDING AS REQUIRED FOR ELECTRICAL SYSTEMS. GROUNDING AND BONDING IS CONSIDERED MEANS AND METHODS OF CONSTRUCTION, AND SHOULD BE COMPLETED BY THE ELECTRICAL CONTRACTOR IN ACCORDANCE WITH NEC 250. GAS PIPING SYSTEMS MUST BE BONDED PER UTILITY PROVIDER'S INSTALLATION GUIDELINES WHERE REQUIRED.
- I. ELECTRICAL RECEPTACLES ON OPPOSITE SIDES OF A WALL ARE TO BE SPACED SO THAT THEIR ELECTRICAL BOX ARE A MINIMUM OF ONE STUD BETWEEN BOXES.

KEYED SHEET NOTES

- 1. MECHANICAL EQUIPMENT PROVIDED BY MECHANICAL CONTRACTOR, WIRED BY ELECTRICAL CONTRACTOR. VERIFY ELECTRICAL REQUIREMENTS WITH MECHANICAL REQUIREMENTS PRIOR TO ROUGH-IN.
- 2. PLUMBING EQUIPMENT PROVIDED BY PLUMBING CONTRACTOR, WIRED BY ELECTRICAL CONTRACTOR. VERIFY ELECTRICAL REQUIREMENTS WITH PLUMBING REQUIREMENTS PRIOR TO ROUGH-IN.
- 3. COORDINATE TV RECEPTACLE AND DATA LOCATIONS WITH OWNER AND ARCHITECT PRIOR TO ROUGH-IN.
- 4. PROVIDE SWITCH AND CONNECTION FOR CONTINUOUSLY RUNNING 2-SPEED BATHROOM FAN. VERIFY REQUIREMENTS WITH MECHANICAL CONTRACTOR PRIOR TO ROUGH-IN.
- 5. PROVIDE HARD-WIRED SMOKE DETECTORS WITH BATTERY BACK-UP AS REQUIRED. ONE SMOKE DETECTOR IN EACH UNIT MUST BE A SMOKE/CO DETECTOR COMBO.
- 6. DISHWASHER MUST BE GFCI PROTECTED PER NEC 210.8(D) RECEPTACLE SHALL BE LOCATED IN AN ACCESSIBLE LOCATION.
- 7. MICROWAVE RECEPTACLE LOCATED IN CABINET ABOVE. COORDINATE LOCATION WITH GENERAL CONTRACTOR PRIOR TO ROUGH-IN.
- 8. PROVIDE 120 VOLT DEDICATED CIRCUIT FOR SPRINKLER RISER FIRE MONITORING SYSTEM. COORDINATE LOCATION WITH FIRE PROTECTION CONTRACTOR.
- 9. CORRIDOR LIGHTS TO BE CONTROLLED BY OCCUPANCY SENSOR UNLESS OTHERWISE NOTED.
- 10. LOCATION OF BUILDING UTILITY DATA DEMARC. PROVIDE A 4'x4'x8" PLYWOOD BACKBOARD FOR DATA/PHONE UTILITIES. COORDINATE ALL REQUIREMENTS WITH OWNER, ARCHITECT, AND ALTA FIBER PRIOR TO ROUGH-IN. PROVIDE DEDICATED QUAD RECEPTACLE AS SHOWN.
- 11. EXTERIOR LIGHTING ON PHOTOCCELL. CONFIRM LOCATION OF PHOTOCCELL DEVICE WITH OWNER AND ARCHITECT PRIOR TO ROUGH-IN.
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- 17. LOCATION OF FUTURE RADON, PROVIDE JUNCTION BOX FOR FUTURE RADON FAN. FAN NOT TO BE INSTALLED AT THIS TIME.
- 18. MECHANICAL UNIT SHOWN FOR CIRCUITRY REFERENCE ONLY. REFER TO 1734 VINE STREET ELECTRICAL PERMIT DRAWINGS FOR FINAL LOCATIONS OF MECHANICAL EQUIPMENT.



STANDARD MOUNTING HEIGHTS

SCALE: 1/4" = 1'-0"

ELECTRICAL POWER PLAN - ATTIC



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PR-09757
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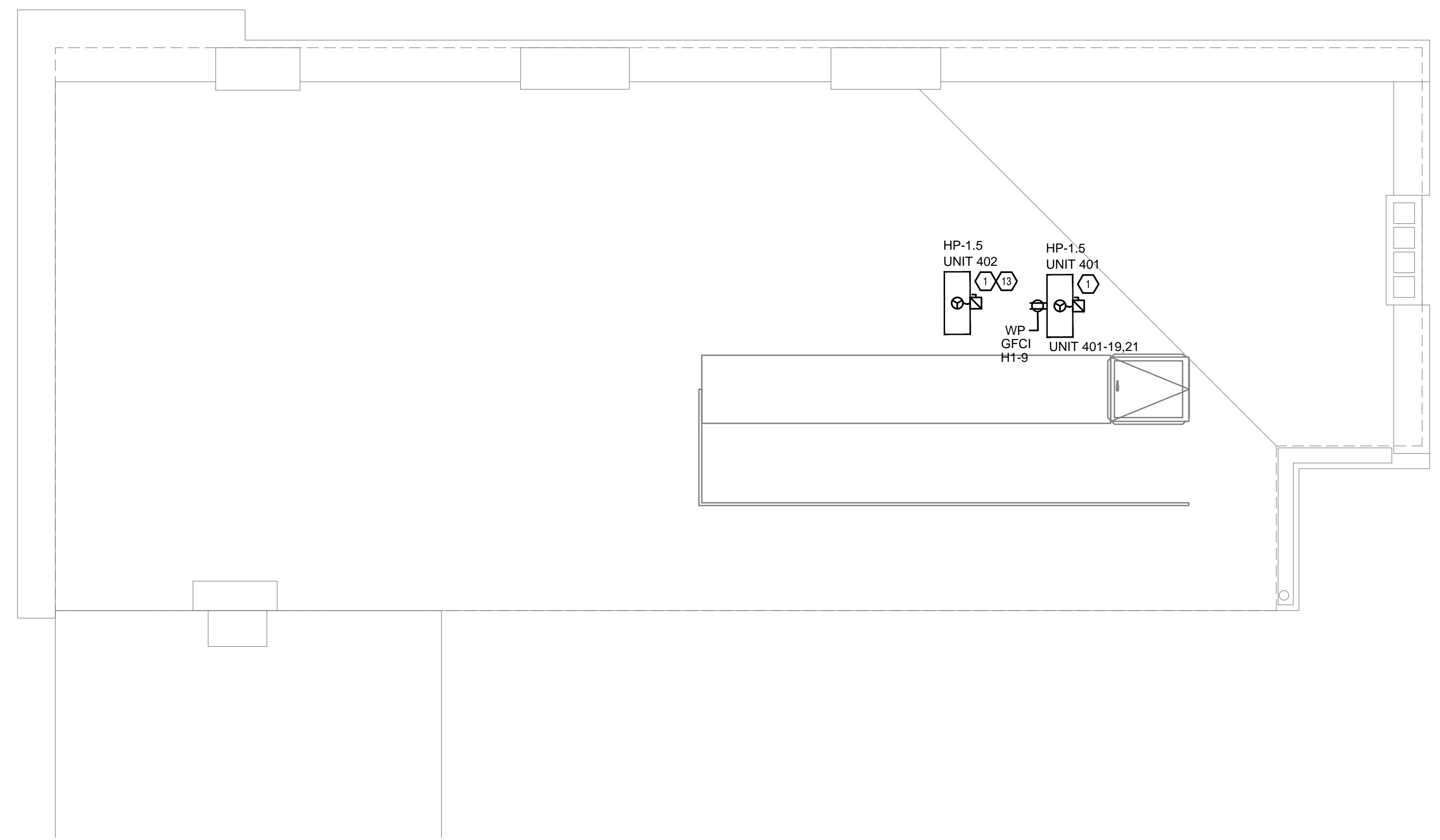
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 CINCINNATI, OH, 45202
 FINDLAY FLATS

Job No: 22042 8/10/2022

EI.05

Z:\Projects\Directors\9700-9799\9757 - Findlay Flats - Findlay Periside (Williamson 2 Phase II)-Construction Documents-Phase 1 (8 Buildings)\1732 VINE ST - E1-06-ELECTRICAL-POWER-ROOF-PLAN.dwg-EBS Plot Date/Time: Sep 03, 2024-5:39pm \$4(++)
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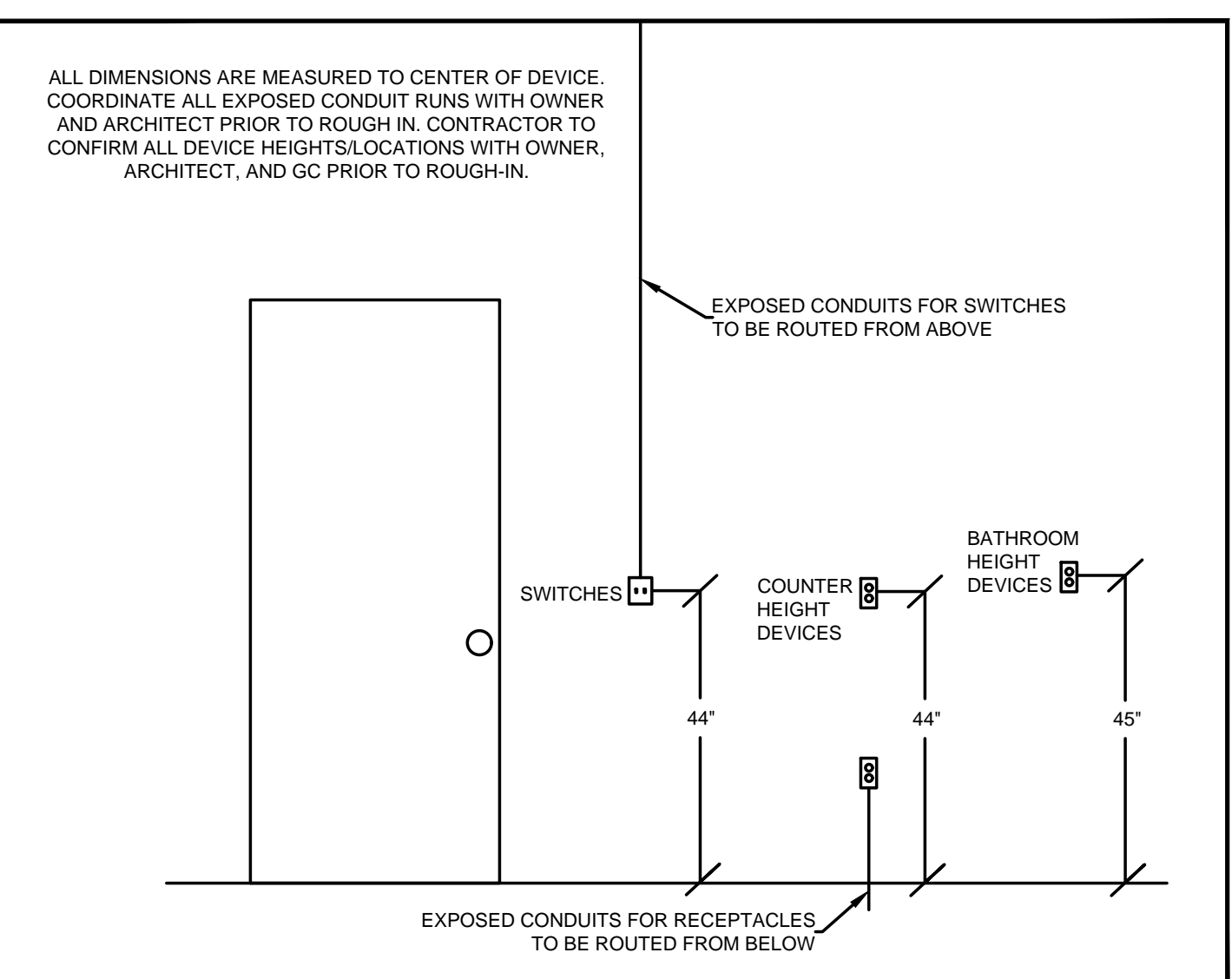
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- D. ALL PANELS AND DISCONNECTS LOCATED OUTDOORS SHALL BE LABELED NEMA 3R.
- E. ROOF MOUNTED AND OUTDOOR EQUIPMENT SHALL HAVE 120V RECEPTACLE MOUNTED WITHIN 25' OF EACH PIECE. RECEPTACLES SHALL BE IN WEATHER PROOF BOX AND HAVE GFCI PROTECTION.
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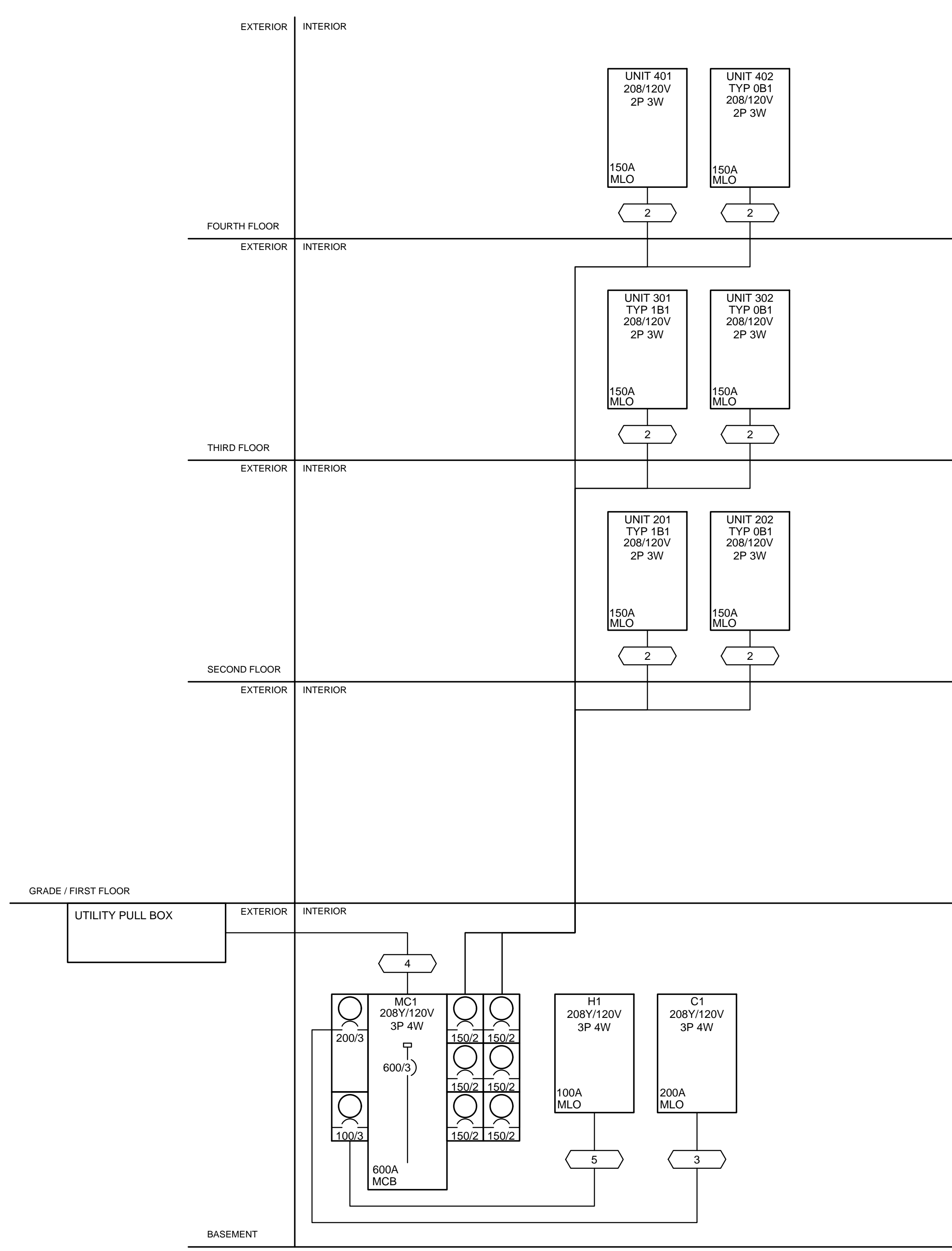
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E1.06

Z:\Project_Directories\9700-9799\9757 - Findlay Flats - Findlay Flats - Findlay Flats - Phase 1 (8 Buildings)\1732 - WNE\REF - AFR - AFR - Model - Plot - Date\Time: Aug 29, 2024 - 10:49am - Bc - derek.gandy
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GENERAL NOTES-OVERALL PROJECT

- EBS DRAWINGS INDICATE DESIGN INTENT AND REQUIRED OUTCOMES. IF CONDITIONS ARISE IN THE FIELD THAT REQUIRE DEVIATIONS FROM THE DRAWINGS IT IS ASSUMED THAT THE CONTRACTOR WILL DETERMINE THE APPROPRIATE DEVIATION WITH APPROVAL FROM THE OWNER. EBS IS AVAILABLE TO ASSIST WHEN REQUIRED IF ISSUES ARISE.
- ALL BREAKERS SHALL BE RATED TO WITHSTAND THE AVAILABLE FAULT CURRENT AT THEIR LOCATION. WHERE SERIES-RATED COMBINATIONS ARE USED IN ACCORDANCE WITH NEC 240.86 (B) AND (C) THE CONTRACTOR AND/OR HIS EQUIPMENT SUPPLIER MUST PROVIDE APPROPRIATE DOCUMENTATION AND LABELING.
- WHERE BREAKERS WITH ADJUSTABLE SETTINGS ARE FURNISHED TO THE PROJECT, THE MANUFACTURER'S INSTRUCTIONS SHALL IDENTIFY AND PROVIDE THE APPROPRIATE SETTINGS TO THE ELECTRICAL CONTRACTOR FOR HIS USE IN INSTALLATION.
- PANEL SCHEDULES INDICATE BREAKER SIZE ONLY. PROVIDE AFCI/GFCI PROTECTION AS REQUIRED BY NEC. COORDINATE FINAL BREAKER SIZES/TYPES FOR ITEMS FURNISHED BY OTHERS WITH SHOP DRAWINGS OR PRODUCT INFORMATION FOR ACTUAL EQUIPMENT BEING CONNECTED.
- ELECTRICAL CONTRACTOR SHALL NOT ORDER OR PURCHASE ANY MATERIALS OR EQUIPMENT UNTIL PERMIT DRAWINGS HAVE BEEN APPROVED BY AHJ.
- PROVIDE SELECTIVE COORDINATION FOR EMERGENCY SYSTEM OVERCURRENT PROTECTION DEVICES IN ACCORDANCE WITH NEC 700.27.
- PROVIDE GROUND-FAULT PROTECTION FOR EQUIPMENT IN ACCORDANCE WITH NEC 240.13 AND NEC 230.95.
- OVERCURRENT PROTECTION DEVICES SUPPLYING TRANSFORMERS WHICH ARE NOT LOCATED WITHIN SIGHT OF THEIR OVERCURRENT PROTECTION SHALL BE LOCKABLE AND THE TRANSFORMER SHALL BE FIELD MARKED WITH THE LOCATION OF THE OVERCURRENT PROTECTION DEVICE.
- CONTRACTOR TO PROVIDE GROUNDING AND BONDING AS REQUIRED FOR ELECTRICAL SYSTEMS. GROUNDING AND BONDING IS CONSIDERED MEANS AND METHODS OF CONSTRUCTION, AND SHOULD BE COMPLETED BY THE ELECTRICAL CONTRACTOR IN ACCORDANCE WITH NEC 250, GAS PIPING SYSTEMS MUST BE BONDED PER UTILITY PROVIDER'S INSTALLATION GUIDELINES WHERE REQUIRED.

FEEDER SCHEDULE

ID	CONDUIT AND FEEDER
2	2#2/0 AL, #2/0 AL N, #4 AL G
3	2-1/2" C, 3#250kcmil AL, #250kcmil AL N, #4 AL G
4	(2)3" C, 3#500kcmil AL, #500kcmil AL N
5	1-1/4" C, 3#1 AL, #1 AL N, #6 AL G

SIZING METHOD: COMPACT AL 75°C 100A AND ABOVE, CU 75°C BELOW 100A

ELECTRICAL LEGEND

*SEE LIGHT FIXTURE SCHEDULE FOR FIXTURE TYPES.

\$	SINGLE POLE LIGHT SWITCH	L5-20R	LOCKING 125V/20 AMP - RECEPTACLE
\$3	THREE WAY LIGHT SWITCH	L6-20R	LOCKING 125V/20 AMP (1-PHASE) - RECEPTACLE
\$4	FOUR WAY LIGHT SWITCH	L5-30R	LOCKING 125V/30 AMP - RECEPTACLE
\$D	DIMMER SWITCH	L6-30R	LOCKING 250V/20 AMP (1-PHASE) - RECEPTACLE
\$FS	FAN SPEED CONTROL	PP	FURNITURE POWER POLE - RECEPTACLE
⊗DT	OCC SENSOR - CEILING - DUAL TECHNOLOGY	RFF	FURNITURE RECESSED FLOOR FEED
⊗PIR	OCC SENSOR - CEILING - PASSIVE INFRARED	WFF	FURNITURE WALL FEED
⊗DT	OCC SENSOR - WALL - DUAL TECHNOLOGY	FB	RECESSED FLOOR BOX - MULTI-SERVICE (POWER/DATA)
⊗PIR	OCC SENSOR - WALL - PASSIVE INFRARED	AV	RECESSED FLOOR BOX - MULTI-SERVICE W/AV
⊗	OCC SENSOR POWER PACK	PT	RECESSED MULTI-SERVICE POKE THRU
⊗	OCC SENSOR POWER PACK - 2 CKT	⊗	SPECIAL CONNECTION
⊗	DUPLEX RECEPTACLE	⊗	SIMPLEX RECEPTACLE
⊗	DUPLEX RECEPTACLE W/USB JACKS	⊗	EQUIPMENT CONNECTION
⊗	COUNTER HEIGHT DUPLEX RECEPTACLE	⊗M	MANUAL MOTOR STARTER
⊗	QUAD RECEPTACLE	⊗	NON-FUSED DISCONNECT
⊗	COUNTER HEIGHT QUAD RECEPTACLE	⊗	FUSED DISCONNECT
(CLNG)	CEILING (SHOW WINDOW) RECEPTACLE	⊗	FUSED DISCONNECT W/MAGNETIC MOTOR STARTER
GFCI	DUPLEX - GFCI RECEPTACLE	⊗	JUNCTION BOX
GFCI	COUNTER HEIGHT DUPLEX - GFCI RECEPTACLE	HNE	HOME NETWORK ENCLOSURE
WP	SPLIT-WIRED (SWITCHED) RECEPTACLE	⊗	SECURITY CAMERA
DW	WEATHER PROOF - GFCI RECEPTACLE	⊗	DATA LOCATION (RING & STRING, U.N.O)
GFCI	DISHWASHER - GFCI RECEPTACLE	⊗	VOICE DROP - LOCATION
DISP	GARBAGE DISPOSAL	⊗	VOICEDATA DROP - LOCATION
MMV	MICROWAVE RECEPTACLE	⊗	CABLE TV (COAX) - LOCATION
FRIG	REFRIGERATOR RECEPTACLE	⊗	CARD READER
RANGE	RANGE - 208/240V 1-PHASE 50 AMP RECEPTACLE	⊗	DOOR RELEASE - ACCESS CONTROL
WASH	WASHER - GFCI RECEPTACLE	⊗	DOOR STRIKE - ACCESS CONTROL
DRYER	DRYER - 208-240V 1-PHASE 30 AMP RECEPTACLE	⊗	DOOR STRIKE - ACCESS CONTROL
W/D	STACKED WASHER/DRYER - 208-240V 1-PHASE 30 AMP RECEPTACLE	⊗	POSITION SWITCH
⊗	DUPLEX - MONUMENT FLOOR BOX	⊗	PROXY READER
⊗	DUPLEX - RECESSED FLOOR BOX	⊗	REQUEST TO EXIT SWITCH
⊗	PANELBOARD	⊗	WIRELESS INTERNET ACCESS POINT
⊗	PANELBOARD W/ BUS (MCB OR MLO) - SINGLE LINE DIAGRAM	⊗	DOOR HOLD - FIRE ALARM
⊗	TRANSFORMER - SINGLE LINE DIAGRAM	⊗	DUCT SMOKE DETECTOR
⊗	TRANSFORMER W/ GROUND - SINGLE LINE DIAGRAM	⊗	FIRE ALARM BOOSTER PANEL
⊗	PADMOUNT TRANSFORMER - SINGLE LINE DIAGRAM	⊗	FIRE ALARM CONTROL PANEL
⊗	AUTOMATIC TRANSFER SWITCH (ATS) - SINGLE LINE DIAGRAM	⊗	FIRE ALARM REMOTE ANNUNCIATOR
⊗	STANDBY/EMERGENCY GENERATOR - SINGLE LINE DIAGRAM	⊗	SPRINKLER FLOW SWITCH
⊗	* METER BASE - SINGLE LINE DIAGRAM	⊗	HEAT DETECTOR - FIRE ALARM
⊗	FUSED DISCONNECT - SINGLE LINE DIAGRAM	⊗	HORN - FIRE ALARM
⊗	* CT CABINET - SINGLE LINE DIAGRAM	⊗	HORN/STROBE - FIRE ALARM
		⊗	POST INDICATOR VALVE - (PIV)
		⊗	PRE-ACTION PANEL
		⊗	PRESSURE SWITCH
		⊗	PULL STATION - FIRE ALARM
		⊗	SMOKE DAMPER
		⊗	SMOKE DETECTOR
		⊗	COMBINATION SMOKE/CO2 DETECTOR
		⊗	SPEAKER - FIRE ALARM
		⊗	SPEAKER/STROBE - FIRE ALARM
		⊗	STROBE - FIRE ALARM

* FINAL METER CONFIGURATION TBD/ APPROVED BY LOCAL UTILITY COMPANY PRIOR TO CONSTRUCTION.

ABBREVIATIONS:	HP Heat Pump	EXAMPLES:
# Number	HZ Hertz	SWITCH GROUP
Ohm	IG Isolated Ground	FUNCTION
Phase	IMC Intermediate Metal Conduit	FIXTURE TYPE (SEE SCHEDULE)
A Amperes	KCMIL Thousand Circular Mils	SWITCH
AC Alternating Current	KVA Kilovolt-Amperes	PANEL-CIRCUIT
A/C Air Conditioning	LFMC Liquid Tight Metal Conduit	
AFCI Arc Fault Current Interrupter	LTG Lighting	
AHU Air Handling Unit	LRA Locked Rotor Amperes	
AIC Ampere Interrupting Capacity	MC Metal Clad Cable	
AL Aluminum	MCB Main Circuit Breaker	
ATS Automatic Transfer Switch	MCC Motor Control Center	
ATC Automatic Temperature Control	MLO Main Lug Only	
AWG American Wire Gauge	NC Normally Closed	
C Conduit	NEC National Electrical Code	
CT Current Transformer	NEMA National Electrical Manufacturers Association	
CU Condensing Unit	NFPA National Fire Protection Association	
DC Direct Current	PNL Panel	
DIA Diameter	PWR Power	
EC Electrical Contractor	QTY Quantity	
EF Exhaust Fan	REQ Required	
ELEV Elevator	RMC Rigid Metal Conduit	
EM Emergency	RNC Rigid Non-Metallic Conduit	
EMT Electrical Metallic Tubing	RTU Roof Top Unit	
EPO Emergency Power Off	ST Shunt Trip	
EWC Electric Water Cooler	SW Switch	
EWH Electric Water Heater	TSTAT Thermostat	
FA Fire Alarm	TYP Typical	
FAA Fire Alarm Annunciator	UG Underground	
FLA Full Load Amperes	UL Underwriters Laboratory	
FMC Flexible Metal Conduit	UNO Unless Noted Otherwise	
GF Gas Furnace	V Volt	
GFCI Ground Fault Current Interrupter	VA Volt-Amperes	
GND Ground	W Watt or Wire	
GWH Gas Water Heater	WP Weather Proof	
HOA Hand-Off-Automatic Switch	XFMR Transformer	
HVAC Heating, Ventilation, Air Conditioning		

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PROPOSED PROJECT:
 RENOVATION FOR
1732 VINE ST / 1734 VINE ST
 CINCINNATI, OH, 45202
 FINDLAY FLATS

Progress Dates
 05/05/2023 BID P/E/P
 08/30/2024 BID SET 2

Revisions

Checked By: PRS
 Drawn by: AJW

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Job No: 22042 8/10/2022

E2.01

Z:\Projects\Director\9700-9789\9757 - Findlay Flats - Findlay Flats (Williamson 2 Phase II) - Construction Documents - Phase 1 (8 Buildings)\1732 VINE VRF - ARI_Acc-Model_Plot_Date/Time: Aug 29, 2024 - 10:49am - Bx: derak.gandy
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C1							
ROOM MOUNTING		VOLTS 208Y/120V 3P 4W		AIC T.B.D.			
FLUSH		BUS AMPS 200		MAIN BKR MLO			
FED FROM MC1		NEUTRAL 100%		LUGS STANDARD			
NOTE							
CKT #	CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION	CKT #	CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION
1	20/1	0.635	E-3, LIGHTING	d 2	20/1	2.08	GF-4
3	20/1	0.36	RECEPTACLE	b 4	50/2	6.82	CU-4
5	20/1	0.18	RECEPTACLE	c 6			
7	20/1	0.18	RECEPTACLE	d 8	30/2	4.5	EWB
9	20/1	0	SPACE	b 10			
11	20/1	0	SPACE	c 12	20/1	0.25	HWRP
13	20/1	0	SPACE	d 14	20/1	0	SPACE
15	20/1	0	SPACE	b 16	20/1	0	SPACE
17	20/1	0	SPACE	c 18	20/1	0	SPACE
19	20/1	0	SPACE	d 20	20/1	0	SPACE
21	20/1	0	SPACE	b 22	20/1	0	SPACE
23	20/1	0	SPACE	c 24	20/1	0	SPACE
25	20/1	0	SPACE	d 26	20/1	0	SPACE
27	20/1	0	SPACE	b 28	20/1	0	SPACE
29	20/1	0	SPACE	c 30	20/1	0	SPACE
31	20/1	0	SPACE	d 32	20/1	0	SPACE
33	20/1	0	SPACE	b 34	20/1	0	SPACE
35	20/1	0	SPACE	c 36	20/1	0	SPACE
37	20/1	0	SPACE	d 38	20/1	0	SPACE
39	20/1	0	SPACE	b 40	20/1	0	SPACE
41	20/1	0	SPACE	c 42	20/1	0	SPACE

	CONN KVA	CALC KVA		CONN KVA	CALC KVA	
LIGHTING	0.51	0.638	(125%)	MOTORS	2.45	2.45 (100%)
LARGEST MOTOR	6.82	1.71	(25%)	RECEPTACLES	0.72	0.72 (50%>10)
				CONTINUOUS	4.5	5.63 (125%)
				COOLING	6.82	6.82 (100%)
				TOTAL LOAD		18
				BALANCED 3-PHASE LOAD		49.9 A
				PHASE A		101%
				PHASE B		118%
				PHASE C		82.6%

H1							
ROOM MOUNTING		VOLTS 208Y/120V 3P 4W		AIC T.B.D.			
FLUSH		BUS AMPS 100		MAIN BKR MLO			
FED FROM MC1		NEUTRAL 100%		LUGS STANDARD			
NOTE							
CKT #	CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION	CKT #	CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION
1	20/1	0.388	LIGHTING	d 2	40/3	9.33	(BP) BOOSTER PUMP
3	20/1	0.36	RECEPTACLE	b 4			
5	20/1	0.36	RECEPTACLE	c 6			
7	20/1	0.9	RECEPTACLE	d 8	20/2	2	H-1
9	20/1	0.46	E-2, RECEPTACLE	b 10			
11	20/1	0.25	FUTURE RADON	c 12	20/2	2	H-1
13	20/1	0	SPACE	d 14			
15	20/1	0	SPACE	b 16	20/1	1	DH-1
17	20/1	0	SPACE	c 18	20/1	1	DH-1
19	20/1	0	SPACE	d 20	20/1	0.96	(DE-1) DEHUMIDIFIER
21	20/1	0	SPACE	b 22	20/1	0.5	(SR) SPRINKLER RISER MONITORING SYSTEM
23	20/1	0	SPACE	c 24	20/1	0	SPACE
25	20/1	0	SPACE	d 26	20/1	0	SPACE
27	20/1	0	SPACE	b 28	20/1	0	SPACE
29	20/1	0	SPACE	c 30	20/1	0	SPACE

	CONN KVA	CALC KVA		CONN KVA	CALC KVA	
LIGHTING	0.388	0.485	(125%)	MOTORS	9.68	9.68 (100%)
LARGEST MOTOR	9.33	2.33	(25%)	RECEPTACLES	1.98	1.98 (50%>10)
				NONCONTINUOUS	1.46	1.46 (100%)
				HEATING	6	6 (100%)
				TOTAL LOAD		21.9
				BALANCED 3-PHASE LOAD		60.9 A
				PHASE A		113%
				PHASE B		99%
				PHASE C		88.2%

MC1							
ROOM MOUNTING		VOLTS 208Y/120V 3P 4W		AIC T.B.D.			
FLUSH		BUS AMPS 600		MAIN BKR 600			
FED FROM UTILITY PULL BOX		NEUTRAL 100%		LUGS STANDARD			
NOTE							
CKT #	BREAKER TRIP/POLES	CIRCUIT DESCRIPTION	LOAD KVA			FEEDER RACEWAY AND CONDUCTORS	
			A	B	C		
1	200/3	C1	5.14	6.02	3.84	2-1/2"C,3#250kcmil AL,#250kcmil AL N,#4 AL G	
2	100/3	H1	5.72	7.36	6.43	1-1/4"C,3#1 AL,#1 AL N,#6 AL G	
3	150/2	UNIT 201 - TYP 1B1	20		21	2#2/0 AL,#2/0 AL N,#4 AL G	
4	150/2	UNIT 202 - TYP 0B1	19	21.2		2#2/0 AL,#2/0 AL N,#4 AL G	
5	150/2	UNIT 301 - TYP 1B1			20	2#2/0 AL,#2/0 AL N,#4 AL G	
6	150/2	UNIT 302 - TYP 0B1	21.2		19	2#2/0 AL,#2/0 AL N,#4 AL G	
7	150/2	UNIT 401	22.1	21.1		2#2/0 AL,#2/0 AL N,#4 AL G	
8	150/2	UNIT 402 - TYP 0B1		19	21.2	2#2/0 AL,#2/0 AL N,#4 AL G	
TOTAL CONNECTED KVA BY PHASE			93.1	95.6	91.4		
OPTIONAL MULTIFAMILY DWELLING CALCULATION (NEC 220.84)							
DWELLING UNIT LOADS							
KVA				KVA			
LIGHTING AND RECEPTACLES	9.54	3,180 SF (3 VA/SF)	CONNECTED LOAD	239			
SMALL-APPLIANCE	18		DWELLING UNITS	6			
LAUNDRY	9		DEMAND FACTOR	(44%)			
APPLIANCES	82.5		CALCULATED LOAD	105			
ELECTRIC COOKING	51						
MOTORS	1.5						
HEATING	67.6	(100%)					
COOLING	20	(0%)					
HOUSE LOADS							
CONN KVA		CALC KVA		CONN KVA		CALC KVA	
LIGHTING	0.898	1.12	(125%)	CONTINUOUS	4.5	5.63	(125%)
LARGEST MOTOR	9.33	2.33	(25%)	NONCONTINUOUS	1.46	1.46	(100%)
MOTORS	2.8	2.8	(100%)	HEATING	6	0	(0%)
RECEPTACLES	2.7	2.7	(50%>10)	COOLING	6.82	6.82	(100%)
				TOTAL HOUSE LOAD	22.9		
TOTAL LOAD							
KVA				KVA			
TOTAL DWELLING UNIT LOAD	105			TOTAL LOAD	128		
TOTAL HOUSE LOAD	22.9			BALANCED 3-PHASE LOAD	356 A		

Meter Center Breakdown (MC)			
220.84 Multi-Family Calculation	KVA	Qty	Total KVA
TYP 0B1	39.16	3	117.49
TYP 1B1	39.75	2	79.50
UNIT 401	42.13	1	42.13
Total Quantity and Connected Load =		6	239.12

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Progress Dates
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Revisions

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 Drawn by: AJW

PR-09757

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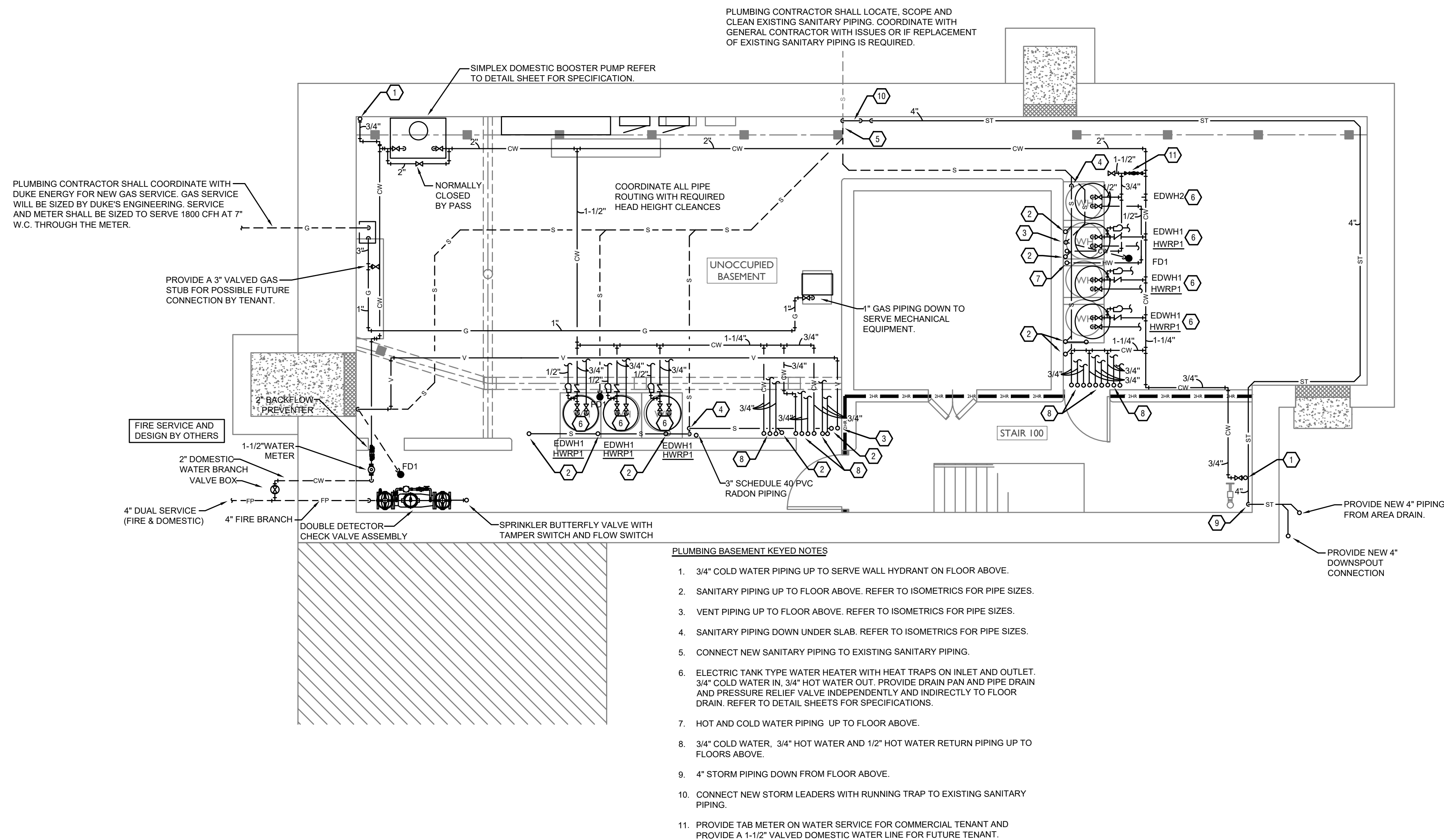
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PROPOSED PROJECT:
 RENOVATION FOR
1732 VINE ST / 1734 VINE ST
 CINCINNATI, OH, 45202
 FINDLAY FLATS

Job No: 22042 8/10/2022

E2.02

Z:\Projects\Director\9700-9789\9757 - Findlay Flats - Friday Periside (Williamen 2 Phase II) - Construction Documents\Phase 1 (8 Buildings)\1732 VINA\9757-P1-00-PLUMBING-BASEMENT-PLAN.dwg-EBS Plot Date/Time: Aug 29, 2024-2:17pm - By: [User] THESE DRAWINGS AND SPECIFICATIONS ARE NOT AUTHORIZED TO BE USED AS CONTRACT DOCUMENTS. THESE DRAWINGS HAVE BEEN PREPARED TO DEMONSTRATE COMPLIANCE WITH APPLICABLE CODES, AND ARE INTENDED TO PROVIDE THE AUTHORITIES HAVING JURISDICTION WITH INFORMATION TO DETERMINE CODE COMPLIANCE. THE INSTALLING CONTRACTOR IS RESPONSIBLE TO ENSURE THAT MEANS, METHODS, AND MATERIALS USED IN CONSTRUCTION ARE INSTALLED IN ACCORDANCE WITH ANY CONTRACTUAL AGREEMENT THAT MAY EXIST WITH AN OWNER, CONSTRUCTION MANAGER, GENERAL CONTRACTOR, ETC.



PLUMBING BASEMENT KEYED NOTES

1. 3/4" COLD WATER PIPING UP TO SERVE WALL HYDRANT ON FLOOR ABOVE.
2. SANITARY PIPING UP TO FLOOR ABOVE. REFER TO ISOMETRICS FOR PIPE SIZES.
3. VENT PIPING UP TO FLOOR ABOVE. REFER TO ISOMETRICS FOR PIPE SIZES.
4. SANITARY PIPING DOWN UNDER SLAB. REFER TO ISOMETRICS FOR PIPE SIZES.
5. CONNECT NEW SANITARY PIPING TO EXISTING SANITARY PIPING.
6. ELECTRIC TANK TYPE WATER HEATER WITH HEAT TRAPS ON INLET AND OUTLET. 3/4" COLD WATER IN, 3/4" HOT WATER OUT. PROVIDE DRAIN PAN AND PIPE DRAIN AND PRESSURE RELIEF VALVE INDEPENDENTLY AND INDIRECTLY TO FLOOR DRAIN. REFER TO DETAIL SHEETS FOR SPECIFICATIONS.
7. HOT AND COLD WATER PIPING UP TO FLOOR ABOVE.
8. 3/4" COLD WATER, 3/4" HOT WATER AND 1/2" HOT WATER RETURN PIPING UP TO FLOORS ABOVE.
9. 4" STORM PIPING DOWN FROM FLOOR ABOVE.
10. CONNECT NEW STORM LEADERS WITH RUNNING TRAP TO EXISTING SANITARY PIPING.
11. PROVIDE TAB METER ON WATER SERVICE FOR COMMERCIAL TENANT AND PROVIDE A 1-1/2" VALVED DOMESTIC WATER LINE FOR FUTURE TENANT.

PLUMBING LEGEND	
SYMBOL	DESCRIPTION
---S---	SANITARY/WASTE PIPING BELOW FLOOR
—S—	SANITARY/WASTE PIPING ABOVE CEILING
—V—	VENT PIPING
—CW—	COLD WATER PIPING
—HW—	HOT WATER PIPING
—HWR—	HOT WATER RETURN PIPING
—G—	NATURAL GAS PIPING
—ST—	STORM PIPING
FD●	FLOOR DRAIN
RD⊙	ROOF DRAIN
OD⊙	OVERFLOW DRAIN
⊘	BALL VALVE
⊘	CHECK VALVE
⊘	BALANCING VALVE
CO●	CLEANOUT
WH H	FROST PROOF WALL HYDRANT
⊕	VENT THROUGH ROOF RISER INDICATOR
⊕	HOT WATER RETURN PUMP

SCALE: 1/4" = 1'-0"

PLUMBING PLAN - BASEMENT |



Progress Dates
05/05/2023 BID P/E/P
08/30/2024 BID SET 2

Revisions

Checked By: sss

Drawn by: DAG

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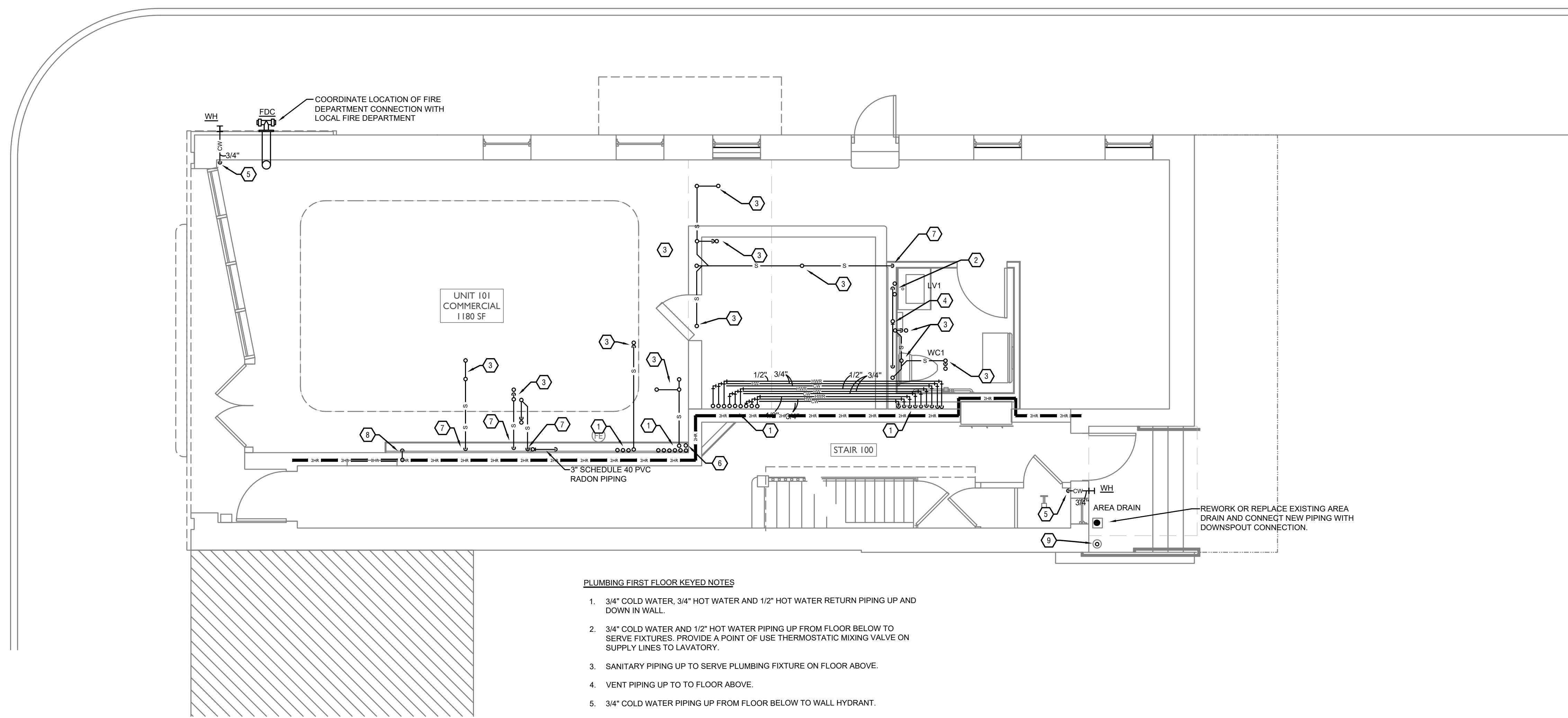
PROPOSED PROJECT:
**RENOVATION FOR
1732 VINE ST / 1734 VINE ST**
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/10/2022

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- PLUMBING FIRST FLOOR KEYED NOTES**
- 3/4" COLD WATER, 3/4" HOT WATER AND 1/2" HOT WATER RETURN PIPING UP AND DOWN IN WALL.
 - 3/4" COLD WATER AND 1/2" HOT WATER PIPING UP FROM FLOOR BELOW TO SERVE FIXTURES. PROVIDE A POINT OF USE THERMOSTATIC MIXING VALVE ON SUPPLY LINES TO LAVATORY.
 - SANITARY PIPING UP TO SERVE PLUMBING FIXTURE ON FLOOR ABOVE.
 - VENT PIPING UP TO TO FLOOR ABOVE.
 - 3/4" COLD WATER PIPING UP FROM FLOOR BELOW TO WALL HYDRANT.
 - VENT PIPING UP AND DOWN.
 - SANITARY PIPING DOWN TO FLOOR BELOW.
 - SANITARY PIPING UP AND DOWN.
 - PROVIDE A 4" DOWNSPOUT CONNECTION AND ROUTE INTO BUILDING AND DOWN TO BASEMENT.

PLUMBING LEGEND	
SYMBOL	DESCRIPTION
---S---	SANITARY/WASTE PIPING BELOW FLOOR
---S---	SANITARY/WASTE PIPING ABOVE CEILING
---V---	VENT PIPING
---CW---	COLD WATER PIPING
---HW---	HOT WATER PIPING
---HWR---	HOT WATER RETURN PIPING
---G---	NATURAL GAS PIPING
---ST---	STORM PIPING
FD ●	FLOOR DRAIN
RD ⊙	ROOF DRAIN
OD ⊙	OVERFLOW DRAIN
⊕	BALL VALVE
⊖	CHECK VALVE
⊗	BALANCING VALVE
CO ○	CLEANOUT
WH H	FROST PROOF WALL HYDRANT
⊕	VENT THROUGH ROOF RISER INDICATOR
⊖	HOT WATER RETURN PUMP

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Revisions

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PROPOSED PROJECT:
**RENOVATION FOR
 1732 VINE ST / 1734 VINE ST**
 CINCINNATI, OH, 45202
 FINDLAY FLATS

Job No: 22042 8/10/2022

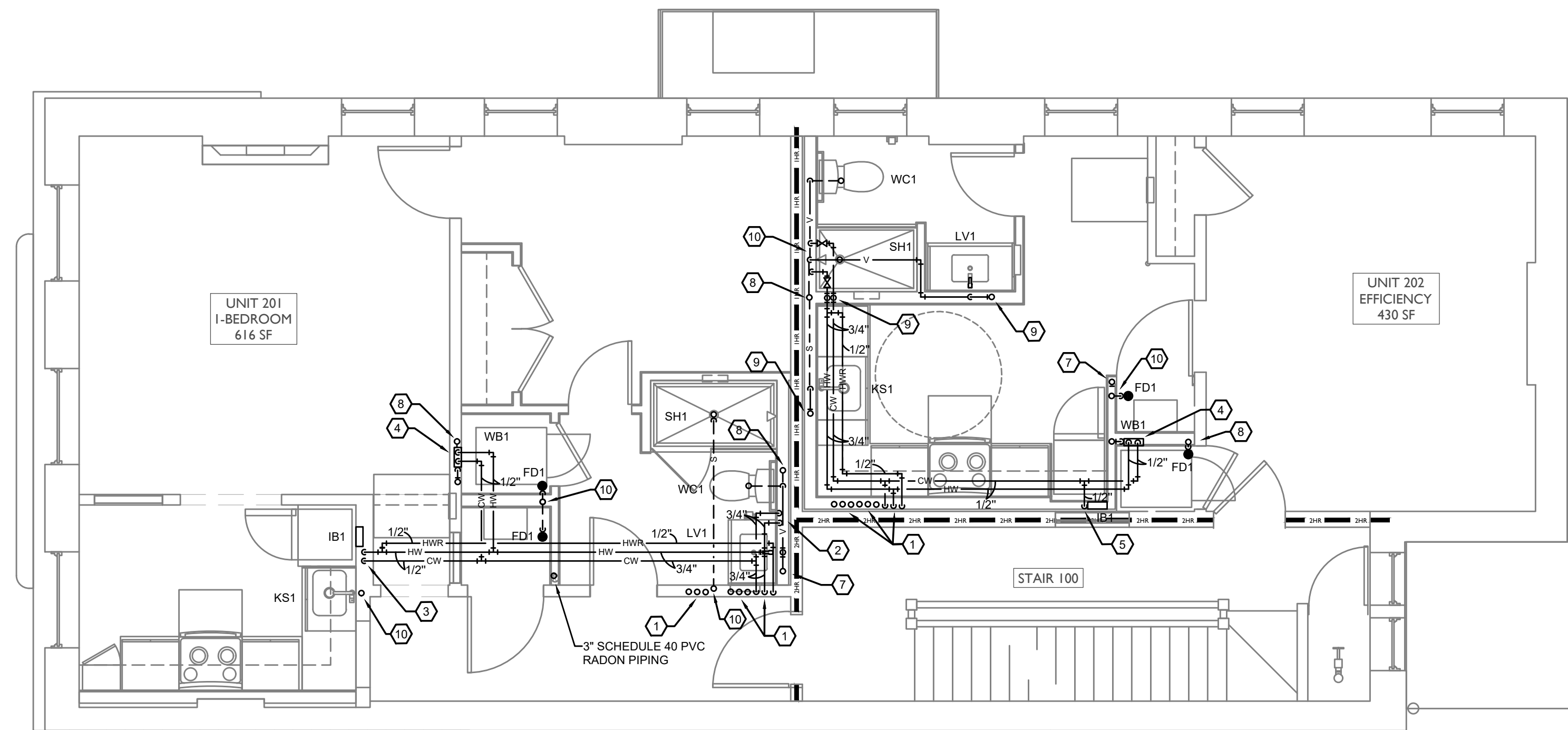


SCALE: 1/4" = 1'-0"

PLUMBING PLAN - FIRST FLOOR | 1

PI.01

Z:\Projects\Director\9700-9799\9757 - Findlay Flats - Findlay Periside (Williamson 2 Phase II) - Construction Documents - Phase 1 (B Buildings)\1732 WVA\9757-P1-02-PLUMBING-SECOND-FLOOR-PI.dwg-EBS. Pkg. Date/Time: Aug. 29, 2024-2:14pm. \$144
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- PLUMBING SECOND FLOOR KEYED NOTES**
- 3/4" COLD WATER, 3/4" HOT WATER AND 1/2" HOT WATER RETURN PIPING UP AND DOWN IN WALL.
 - 3/4" HOT AND COLD WATER DOWN IN WALL. 1/2" HOT AND COLD WATER TO LAVATORY AND SHOWER. 1/2" COLD WATER PIPING TO SERVE WATER CLOSET.
 - 1/2" HOT AND COLD WATER PIPING DOWN IN WALL. 1/2" COLD WATER TO VALVE BOX FRO REFRIGERATOR. 1/2" HOT AND COLD WATER PIPING TO SERVE KITCHEN SINK AND EXTEND A 1/2" HOT WATER LINE TO SERVE DISHWASHER.
 - 1/2" HOT AND COLD WATER TO SERVE PLUMBING FIXTURE.
 - 1/2" COLD WATER PIPING DOWN TO SERVE VALVE BOX FOR REFRIGERATOR.
 - 1/2" HOT AND COLD WATER PIPING DOWN. 1/2" HOT AND COLD WATER TO SERVE COUNTERTOP SINK. 1/2" HOT WATER TO SERVE DISHWASHER AND 1/2" COLD WATER TO SERVE VALVE BOX.
 - VENT PIPING UP AND DOWN.
 - SANITARY PIPING UP AND DOWN.
 - VENT PIPING UP TO FLOOR ABOVE.
 - 1/2" HOT AND 3/4" COLD WATER DOWN IN WALL. 1/2" HOT AND COLD WATER TO SERVE SHOWER AND 1/2" COLD WATER TO SERVE WATER CLOSET.

PLUMBING LEGEND	
SYMBOL	DESCRIPTION
---S---	SANITARY/WASTE PIPING BELOW FLOOR
---S---	SANITARY/WASTE PIPING ABOVE CEILING
---V---	VENT PIPING
---CW---	COLD WATER PIPING
---HW---	HOT WATER PIPING
---HWR---	HOT WATER RETURN PIPING
---G---	NATURAL GAS PIPING
---ST---	STORM PIPING
FD ●	FLOOR DRAIN
RD ⊙	ROOF DRAIN
OD ⊙	OVERFLOW DRAIN
⊘	BALL VALVE
⊘	CHECK VALVE
⊘	BALANCING VALVE
CO ●	CLEANOUT
WH H	FROST PROOF WALL HYDRANT
⊕	VENT THROUGH ROOF RISER INDICATOR
⊕	HOT WATER RETURN PUMP

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PROPOSED PROJECT:
**RENOVATION FOR
 1732 VINE ST / 1734 VINE ST**
 CINCINNATI, OH, 45202
 FINDLAY FLATS

Job No: 22042 8/10/2022

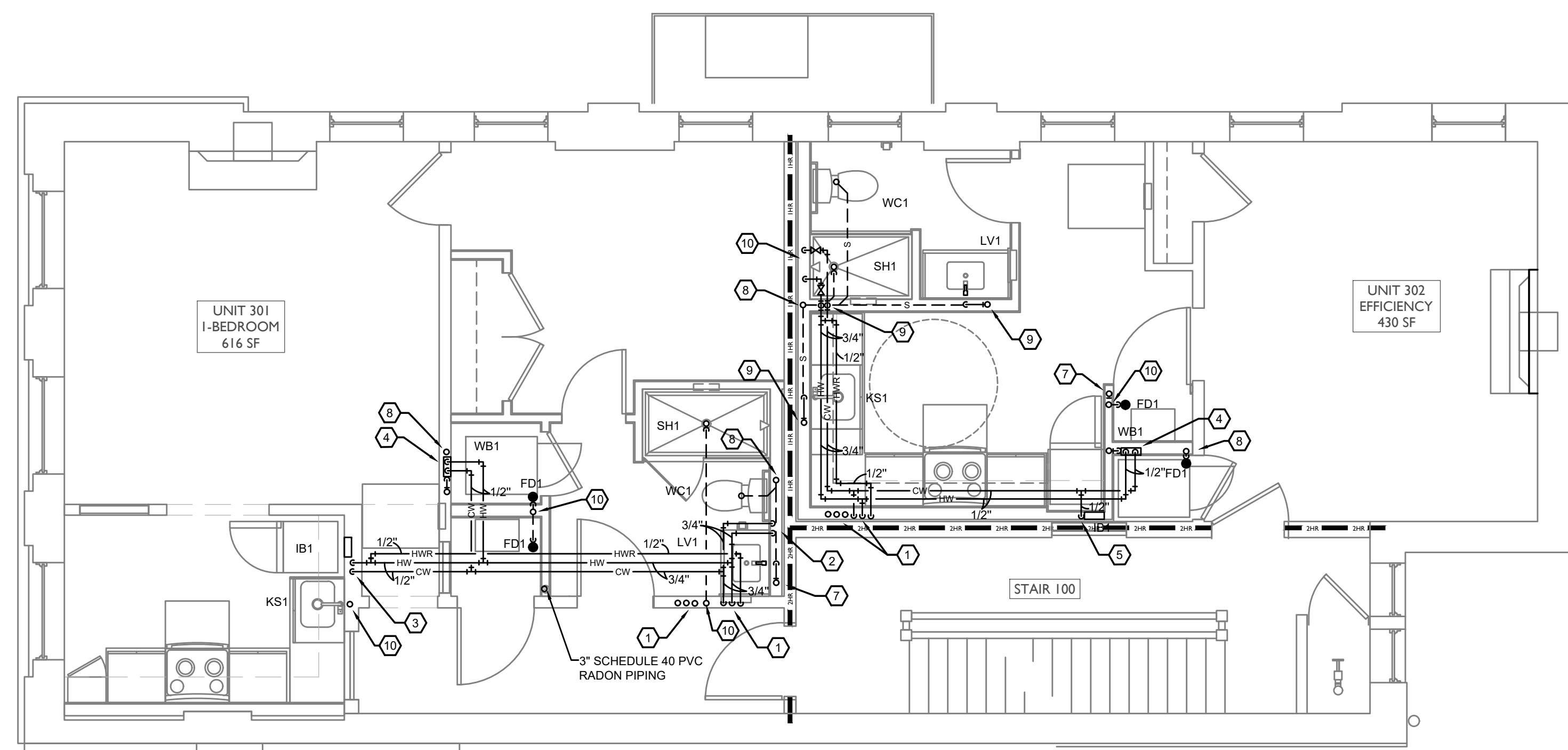


SCALE: 1/4" = 1'-0"

PLUMBING PLAN - SECOND FLOOR | 1

PI.02

Z:\Projects\Director\9700-9789\9757 - Findlay Flats - Findlay Periside (Williamson 2 Phase II) - Construction Documents\Phase 1 (8 Buildings)\1732 WVA\9757-P1-03-PLUMBING-THIRD-FLOOR-PLAN.dwg-EBS Plot Date/Time: Aug 29, 2024-2:14pm - 1/1/24
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- PLUMBING THIRD FLOOR KEYED NOTES**
- 3/4" COLD WATER, 3/4" HOT WATER AND 1/2" HOT WATER RETURN PIPING UP AND DOWN IN WALL.
 - 3/4" HOT AND COLD WATER DOWN IN WALL. 1/2" HOT AND COLD WATER TO LAVATORY AND SHOWER. 1/2" COLD WATER PIPING TO SERVE WATER CLOSET.
 - 1/2" HOT AND COLD WATER PIPING DOWN IN WALL. 1/2" COLD WATER TO VALVE BOX FRO REFRIGERATOR, 1/2" HOT AND COLD WATER PIPING TO SERVE KITCHEN SINK AND EXTEND A 1/2" HOT WATER LINE TO SERVE DISHWASHER.
 - 1/2" HOT AND COLD WATER TO SERVE PLUMBING FIXTURE.
 - 1/2" COLD WATER PIPING DOWN TO SERVE VALVE BOX FOR REFRIGERATOR.
 - 1/2" HOT AND COLD WATER PIPING DOWN. 1/2" HOT AND COLD WATER TO SERVE COUNTERTOP SINK. 1/2" HOT WATER TO SERVE DISHWASHER AND 1/2" COLD WATER TO SERVE VALVE BOX.
 - VENT PIPING UP AND DOWN.
 - SANITARY PIPING UP AND DOWN.
 - VENT PIPING UP TO FLOOR ABOVE.
 - 1/2" HOT AND 3/4" COLD WATER DOWN IN WALL. 1/2" HOT AND COLD WATER TO SERVE SHOWER AND 1/2" COLD WATER TO SERVE WATER CLOSET.

PLUMBING LEGEND	
SYMBOL	DESCRIPTION
---S---	SANITARY/WASTE PIPING BELOW FLOOR
---S---	SANITARY/WASTE PIPING ABOVE CEILING
---V---	VENT PIPING
---CW---	COLD WATER PIPING
---HW---	HOT WATER PIPING
---HWR---	HOT WATER RETURN PIPING
---G---	NATURAL GAS PIPING
---ST---	STORM PIPING
FD●	FLOOR DRAIN
RD⊙	ROOF DRAIN
OD⊙	OVERFLOW DRAIN
⊘	BALL VALVE
⊘	CHECK VALVE
⊘	BALANCING VALVE
CO●	CLEANOUT
WH H	FROST PROOF WALL HYDRANT
⊕	VENT THROUGH ROOF RISER INDICATOR
⊕	HOT WATER RETURN PUMP

SCALE: 1/4" = 1'-0"

PLUMBING PLAN - THIRD FLOOR |



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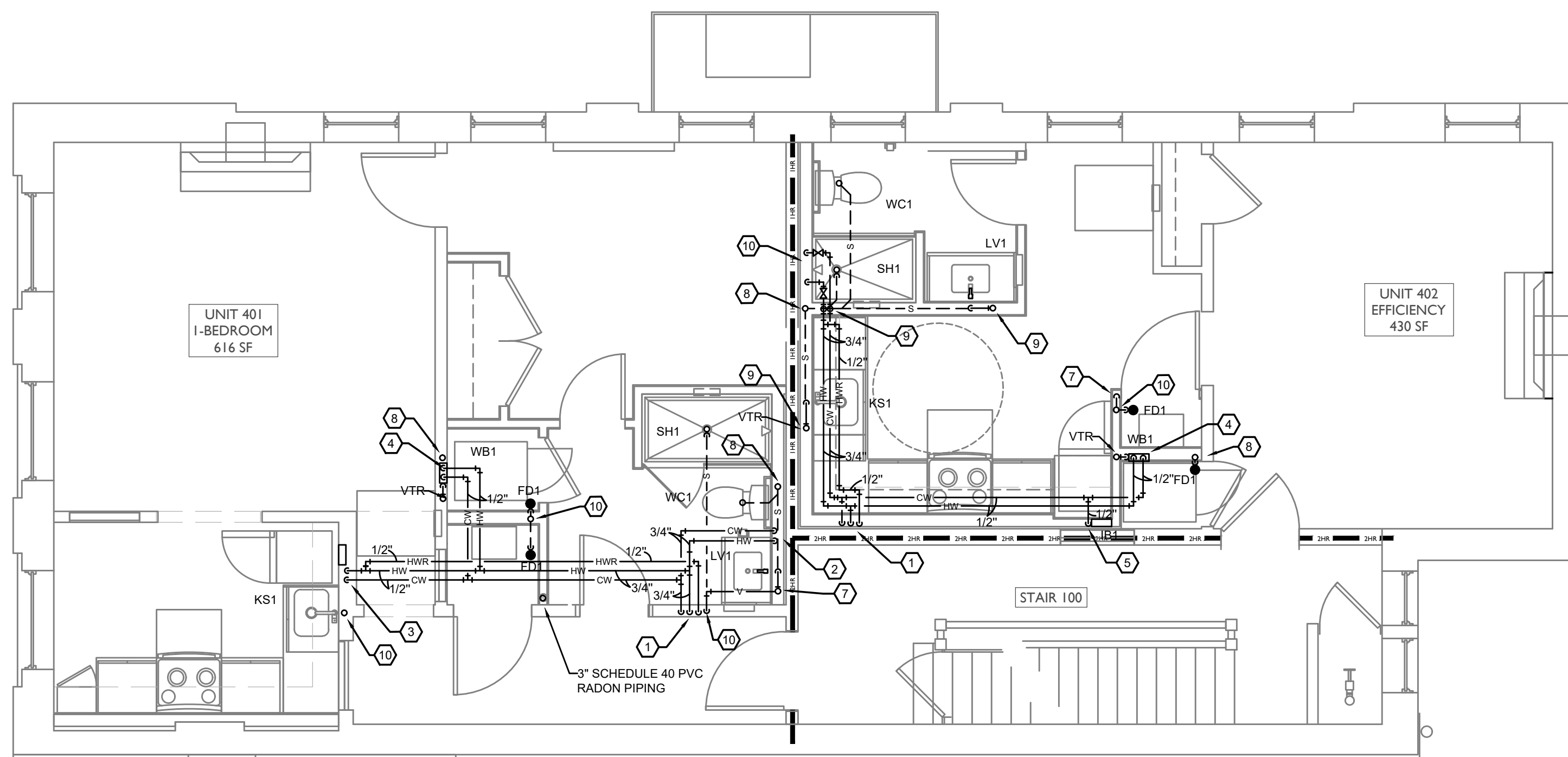
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PROPOSED PROJECT:
**RENOVATION FOR
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 CINCINNATI, OH, 45202
 FINDLAY FLATS

Job No: 22042 8/10/2022

PI.03

Z:\Projects\Director\9700-9789\9757 - Findlay Flats - Findlay Periside (Williamson 2 Phase II) - Construction Documents\Phase 1 (B Buildings)\1732 WVA\9757-P1-04-PLUMBING-FOURTH-FLOOR-PLAN.dwg-ERS. Pk1 Date/Time: Aug 29, 2024-2:15pm 3(++)
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PLUMBING FOURTH FLOOR KEYED NOTES

1. 3/4" COLD WATER, 3/4" HOT WATER AND 1/2" HOT WATER RETURN PIPING UP AND DOWN IN WALL.
2. 3/4" HOT AND COLD WATER DOWN IN WALL. 1/2" HOT AND COLD WATER TO LAVATORY AND SHOWER. 1/2" COLD WATER PIPING TO SERVE WATER CLOSET.
3. 1/2" HOT AND COLD WATER PIPING DOWN IN WALL. 1/2" COLD WATER TO VALVE BOX FRO REFRIGERATOR. 1/2" HOT AND COLD WATER PIPING TO SERVE KITCHEN SINK AND EXTEND A 1/2" HOT WATER LINE TO SERVE DISHWASHER.
4. 1/2" HOT AND COLD WATER TO SERVE PLUMBING FIXTURE.
5. 1/2" COLD WATER PIPING DOWN TO SERVE VALVE BOX FOR REFRIGERATOR.
6. 1/2" HOT AND COLD WATER PIPING DOWN. 1/2" HOT AND COLD WATER TO SERVE COUNTERTOP SINK. 1/2" HOT WATER TO SERVE DISHWASHER AND 1/2" COLD WATER TO SERVE VALVE BOX.
7. VENT PIPING UP AND DOWN.
8. SANITARY PIPING UP AND DOWN.
9. VENT PIPING UP TO FLOOR ABOVE.
10. 1/2" HOT AND 3/4" COLD WATER DOWN IN WALL. 1/2" HOT AND COLD WATER TO SERVE SHOWER AND 1/2" COLD WATER TO SERVE WATER CLOSET.

PLUMBING LEGEND	
SYMBOL	DESCRIPTION
--- S ---	SANITARY WASTE PIPING BELOW FLOOR
--- S ---	SANITARY WASTE PIPING ABOVE CEILING
--- V ---	VENT PIPING
--- CW ---	COLD WATER PIPING
--- HW ---	HOT WATER PIPING
--- HWR ---	HOT WATER RETURN PIPING
--- G ---	NATURAL GAS PIPING
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OD ⊙	OVERFLOW DRAIN
⊘	BALL VALVE
⊘	CHECK VALVE
⊘	BALANCING VALVE
CO ○	CLEANOUT
WH H	FROST PROOF WALL HYDRANT
⊕	VENT THROUGH ROOF RISER INDICATOR
⊕	HOT WATER RETURN PUMP

SCALE: 1/4" = 1'-0"

PLUMBING PLAN - FOURTH FLOOR |



Progress Dates
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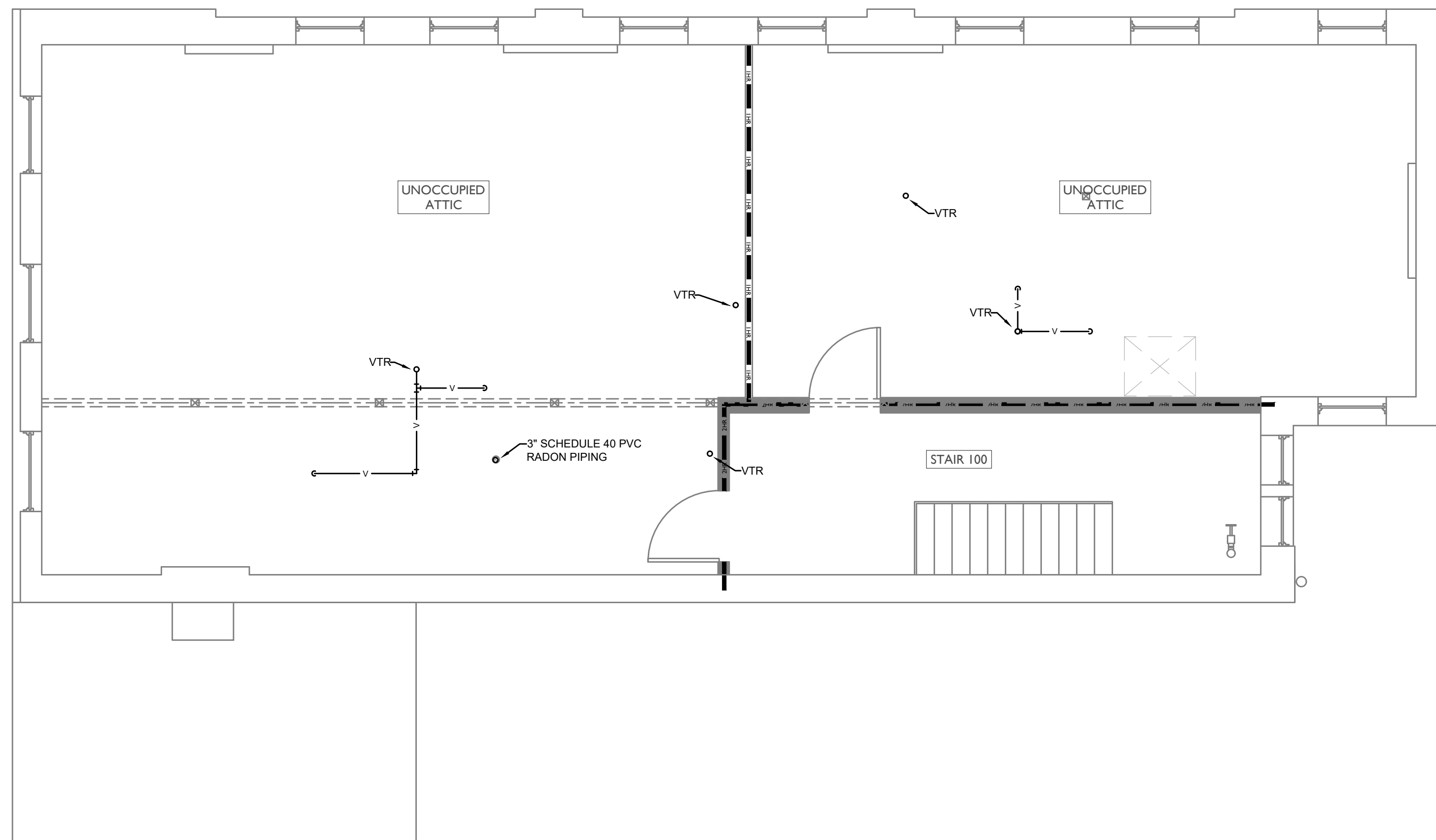
PROPOSED PROJECT:
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 CINCINNATI, OH, 45202
 FINDLAY FLATS

Job No: 22042 8/10/2022

PI.04

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SCALE: 1/4" = 1'-0"

PLUMBING PLAN - ATTIC



PROPOSED PROJECT:

RENOVATION FOR

1732 VINE ST / 1734 VINE ST

CINCINNATI, OH, 45202

FINDLAY FLATS

Job No: 22042

8/10/2022

PI.05

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2) Project Director's 9700-9789/9757 - Findlay Flats - Friday Porchside (Williamson) 2 Phase 1) Construction Documents - Phase 1 (8 Buildings) 1732 VINE VEST - ART (Agri-Model) Plot Date: Aug 29, 2024 - 10:49am - Bc: Derek Grundy
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DOMESTIC WATER BOOSTER PUMP - VC SYSTEMS - PACEMAKER SERIES

A - General
 Furnish and install Pacemaker Series/PMC model manufactured by VC Systems & Controls in Tampa, Florida. Refer to schedule for capacities and voltage. The system shall be UL, G.C.J. listed, UL508A listed, and NSF certified lead free. System fabrication, programming, and design shall all be done by the manufacturer in the USA.

B - Pumps
 Pumps shall be VC ES Series, close coupled and suction with ductile iron, 304 SS fitted, 304 stainless steel impeller and stainless steel trim & sleeve. Motor shall be a Baldor Premium Efficiency suitable for Inverter Duty. Motors shall be supplied with a 1.15 service factor. The impeller shall be warranted for 5 years from system manufacture date.

C - Pipes, Valves, Fittings, and Accessories
 All pipes, valves, and fittings 2" and over shall be flanged, full lug, or grooved design. The pump and discharge components shall be rated for the maximum working pressure of the system, shut off pressure plus maximum suction pressure.

1. Headers:
 i. Manifold piping shall be 304L stainless steel. Headers shall be double ended for flow in either direction. Connections shall be flanged.
 ii. Headers shall be sized not to exceed 10 FPS velocity.
 iii. Full lug butterfly valves with 316 stainless steel disc. Suitable for 250 PSI.

2. Suction Isolation Valves:
 i. Class 150 - Full lug butterfly valves with 316 stainless steel disc. Suitable for 250 PSI.

3. Discharge Isolation Valves:
 i. Class 150 - Flanged CLA-VAL 81-12 non-stem epoxy coated ductile iron suitable for 240 PSI.

4. Check Valves:
 i. Class 150 - Flanged CLA-VAL 81-12 non-stem epoxy coated ductile iron suitable for 240 PSI.

5. Fittings & Accessories:
 i. Thermal Relief Valve - Each pump shall have an individual stainless steel mechanical temperature relief valve. valve shall modulate open at 155 degrees and close at 95 degrees.
 ii. Pressure Transducers - The system shall come with three pressure transducers, all 316 stainless steel and all IP67.
 iii. The discharge will be equipped with two transducers to monitor discharge pressure and will be completely redundant in operation and alarms. The controller shall display both discharge pressure readings and reject a skew out of range. The discharge sensors can be configured to be locally mounted on the header, remote mounted in the building, or a combination of one local and one remote.

4-20ma:
 i. Vibration & Isolation - Systems will be supplied with manufacturer's choice of rubber in shear vibration isolators and single sphere rubber feet connectors if under 200 PSI working pressure. If over 200 PSI working pressure, an elastomeric isolator shall be supplied by the contractor.

D - Control Panel
 The control panel shall be UL508A listed for industrial control panels and of the same manufacturer of the pump system. All programming shall be written and supported by the pump system manufacturer. The panel enclosure shall be powder coated steel, UL, Type 4, and carry a NEMA 4 rating in an assembly.
 1. Power Structure - Single Point Connection (A) - The control panel will have main disconnect with individual branch breakers for angle point connection. The entire panel shall have a 5K AC rating if fed from circuit breaker or 100K AC rating from fused disconnect.
 2. Human Machine Interface & Features: The HMI will be a full color 4.3" touch screen with USB input and allow for backing up parameters and downloading the event log and trend data. The HMI & software shall have the following features:
 i. Meter Bar - Display of suction pressure, system pressure, PID speed, estimated flow, and alternation on ALL screens.
 ii. Status Bar - Displayed on the Home screen to show what the system is currently doing and display any active changes in operation.
 iii. Pump Status - Display for all pumps with run times, run lights, and status indicator.
 iv. Alarm Bar - Display on ALL screens if any alarms are present.
 v. X-Y Trend - Display an X-Y trend of suction pressure, discharge pressure, and PID speed for no less than 60 days and retained if power is lost.
 vi. Event Log - Display and date alarms, user log ins, and parameter changes for no less than 180 days and retained if power is lost.
 vii. Alternation - Automatic and manual alternation. Alternation available for all control types from 1 to 3 pumps in any combination of variable speed, constant speed, jockey, or VFD with bypass and sequence them in groups the most efficient pumps first always.
 viii. Dynamic Speed Control - Automatic configuration of all operational settings based on the incoming suction pressure to eliminate hunting, over shoot, and improper operation based on in coming suction pressure fluctuations.
 ix. PLC & Transducer Failure Circuit - In the event of a PLC failure, or transducer failure, the system shall remain operational and automatically run at a default safe speed until repairs can be made.
 x. Password Protection - All parameters and settings are password protected and has default levels of users with ability to add more by the owner.
 xi. Sleep Mode - The system shall detect and shut the system down once no flow is confirmed.
 xii. AHJ/AC 90.1 Compliant - The system is configured for either local or remote sensor. When using the local sensor, the system will automatically adjust for friction loss by increasing the set point pressure in relationship to the flow demand.
 xiii. Pressure Recovery Mode - In the event of a power outage where system pressure drops substantially, the will soft start and slowly fill the building and bring up to pressure before activating the PID.
 xiv. BAS Interfaces - The controller shall come with BACnet MS/TP, BACnet IP, and Modbus TCP interfaces and offer 28 individual data points.
 xv. Remote Disable/Generator Interlock - The panel will come with two contacts. Remote disable will allow the to disable the system from running. The generator interlock can be used to limit the number of pumps that can run when the on emergency power.
 xvi. Alarms
 1. High System Pressure
 2. Low System Pressure
 3. Low Suction Pressure
 4. Pump Failed to Start
 5. Sensor Failure
 6. Form C Dry Contact for Common Alarm

E - Variable Speed Drives
 The drives shall be a microprocessor controlled PWM output drive for variable torque duty and supplied for the maximum full load amp produced by the motor. The drive shall be Series AC380 or HV800, UL Listed, and in a NEMA 1 self-contained enclosure. Each drive shall be furnished with a removable, digital keypad, to allow the operator flexibility and control. The keypad shall have a full graphical display with multiple display options and graphing. The keypad shall allow the operator to individually control each motor manually from digital keypad, without entering the control panel. Drive must be equipped with DC chokes with 5% max line impedance. The drive must include a variable speed cooling fan based on temperature. The drive must also accommodate its switching frequency to minimize audible noise. The drives shall be mounted external from the control panel to keep heat outside the panel cabinet and extend life cycle of electrical equipment. Drives shall be rated for a 100% duty cycle at 100% AC.
 The base and frame shall be constructed of structural steel and coated with enamel primer and enamel paint. The panel stand shall be bolt-on and removable. The base shall extend to support the suction and discharge header rigidly from the base.

G - Bladder Tank
 Provide a bladder tank with the pumping system and mount it remotely at the highest fixture nearest to a floor drain. See schedule for tank size.

H - Factory Test & Start Up
 The system shall be tested with the package and control panel as a complete system together, and run to the designed voltage and jockey parameters. The start-up shall be done by a factory authorized representative. The package shall be UL listed as a system for its intended use as required by OSHA and National Electric Code (NEC) Article 90.7.

I - Warranty
 The entire skid shall be warranted for two years from manufacturing date against defects in materials and workmanship.

NOTES:
 Provide 18" clearance around the system for service, and NEC clearance in front of control panel.

REMOVAL TANK MOUNTING PIPING SCHEMATIC

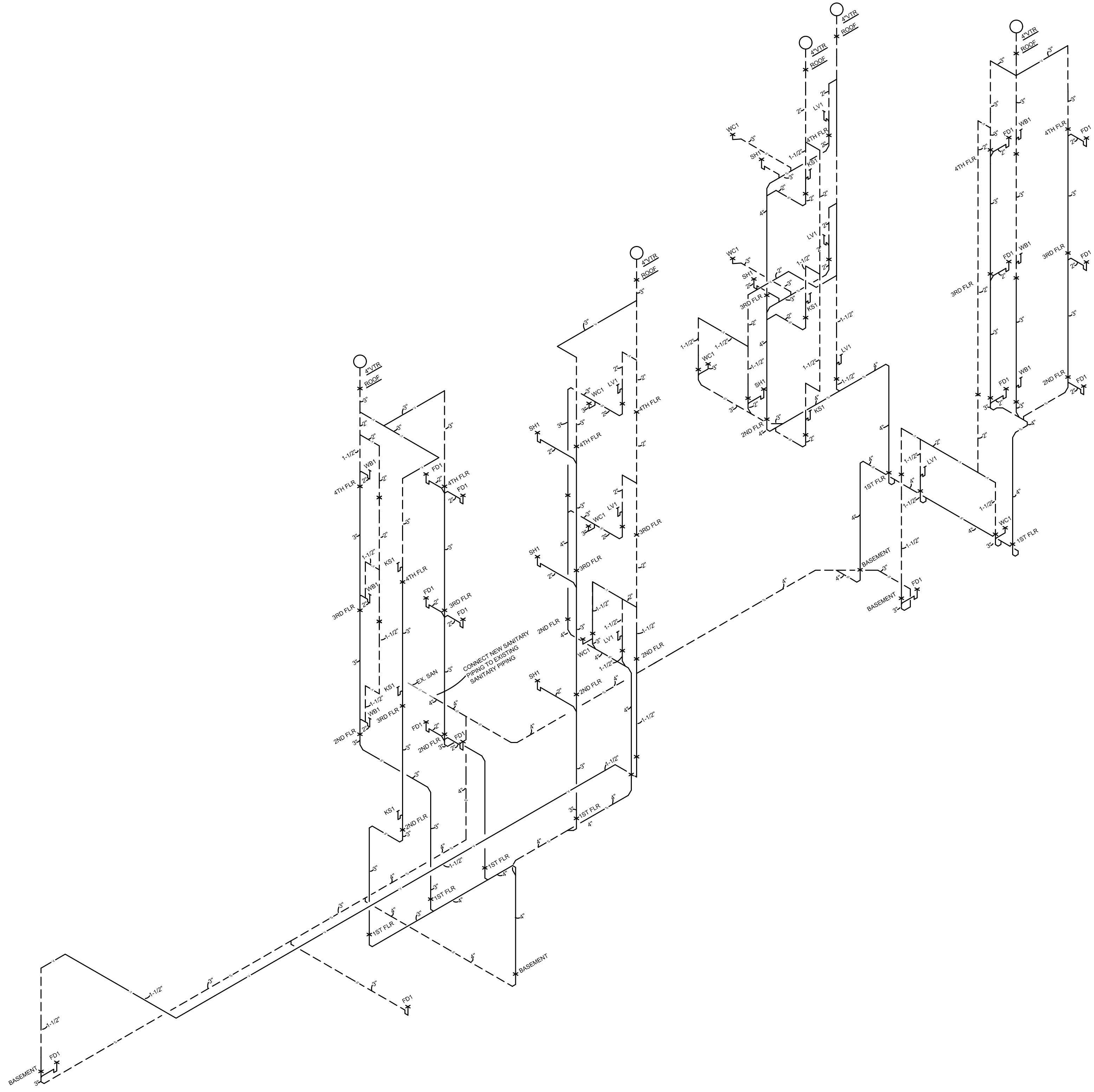
1732 FINDLAY FLATS

SYSTEM CAPACITY:	85 GPM	SYSTEM PRESSURE:	70 PSI	PUMP SCHEDULE - 4004			
PUMP	MANUFACTURER	PUMP NO.	GPM	HEAD	HP	SPEED	POWER
P-1	VC SYSTEMS	8AA2030-3	85	107'	3	3500VRS	298-80-3
P-2	VC SYSTEMS	8AA2030-3	85	107'	3	3500VRS	298-80-3

MIN SUCTION PRESSURE: 20 PSI MAX SUCTION PRESSURE: 50 PSI MODEL NO: 2VC-PMC-V-3-228-208
 BLADDER TANK: 79 GALLON (ASME) ELECTRICAL: 23.2 FLA 28.9 MCA 3K AC

ENGINEERED BUILDING SYSTEMS
 VC Systems & Controls, Inc.
 1000 W. 20th St. Cincinnati, OH 45202
 (513) 761-1850

DOMESTIC BOOSTER PUMP SPECIFICATION



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PROPOSED PROJECT:
RENOVATION FOR 1732 VINE ST / 1734 VINE ST
 CINCINNATI, OH, 45202
 FINDLAY FLATS

Job No: 22042 8/10/2022