

1726 VINE ST / 1728 VINE ST / 1730 VINE ST / 1675 HAMER ST

CINCINNATI, OHIO, 45202

FINDLAY FLATS RENOVATION

PLATTE
architecture + design

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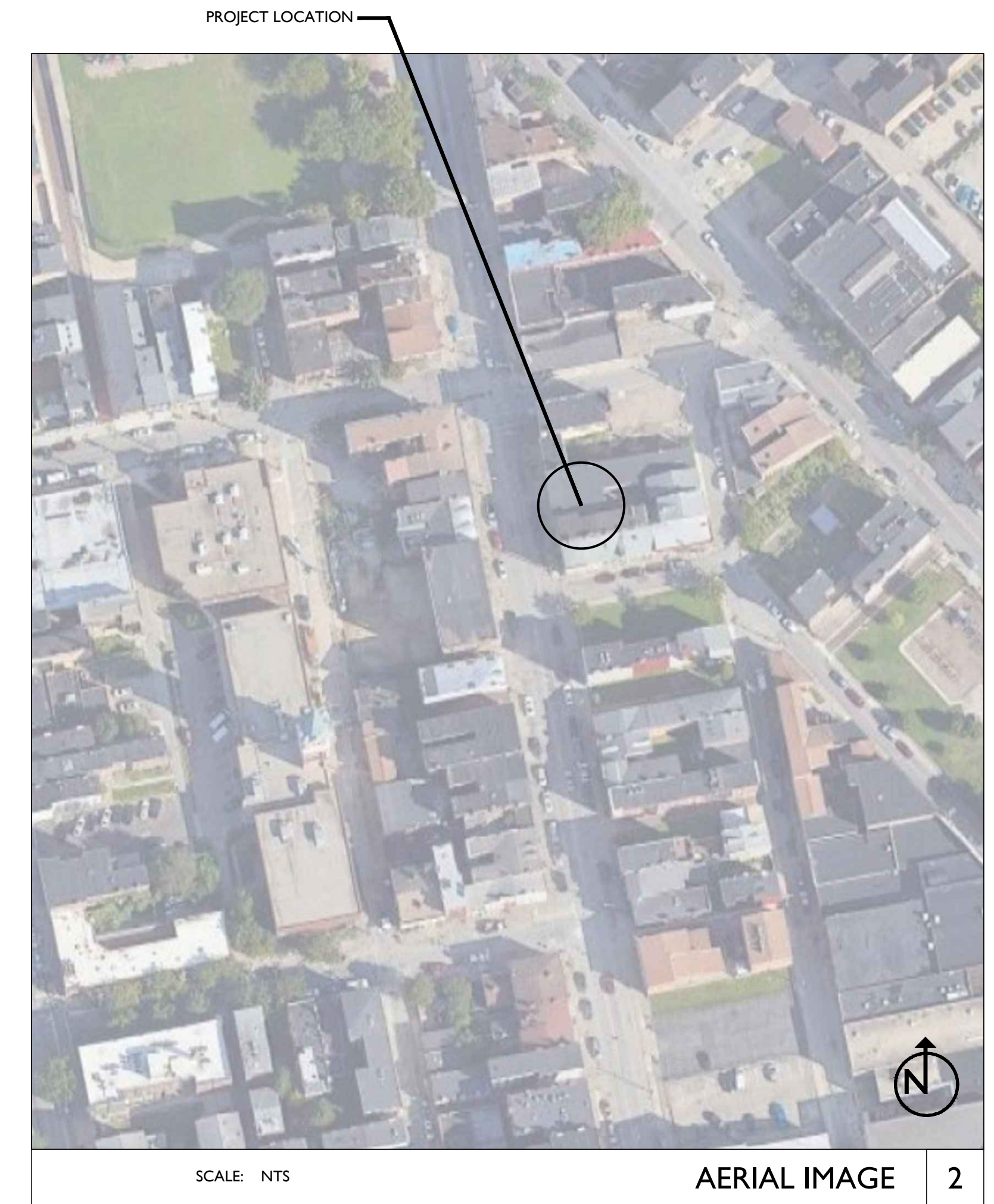
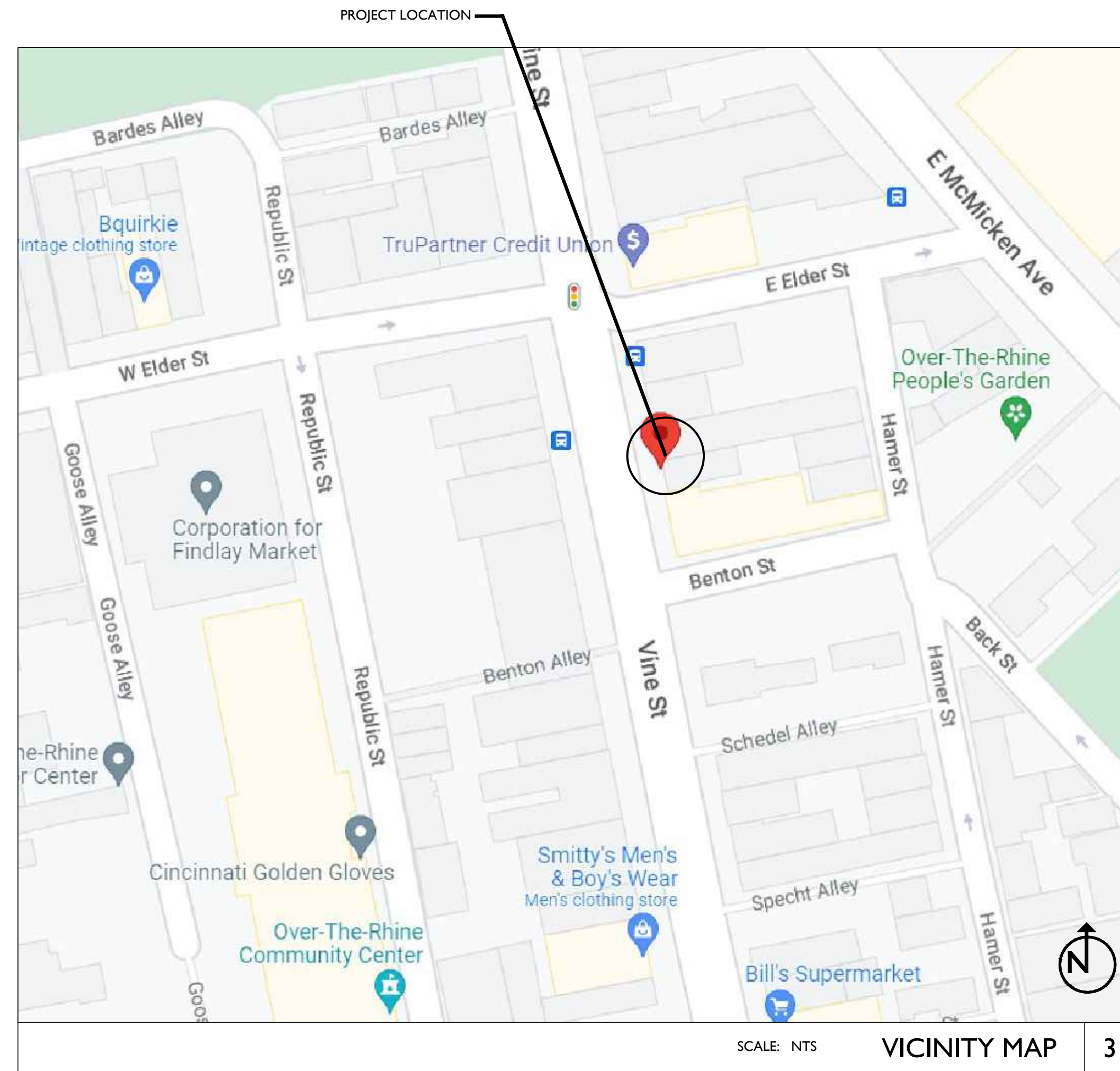
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PROJECT DESCRIPTION

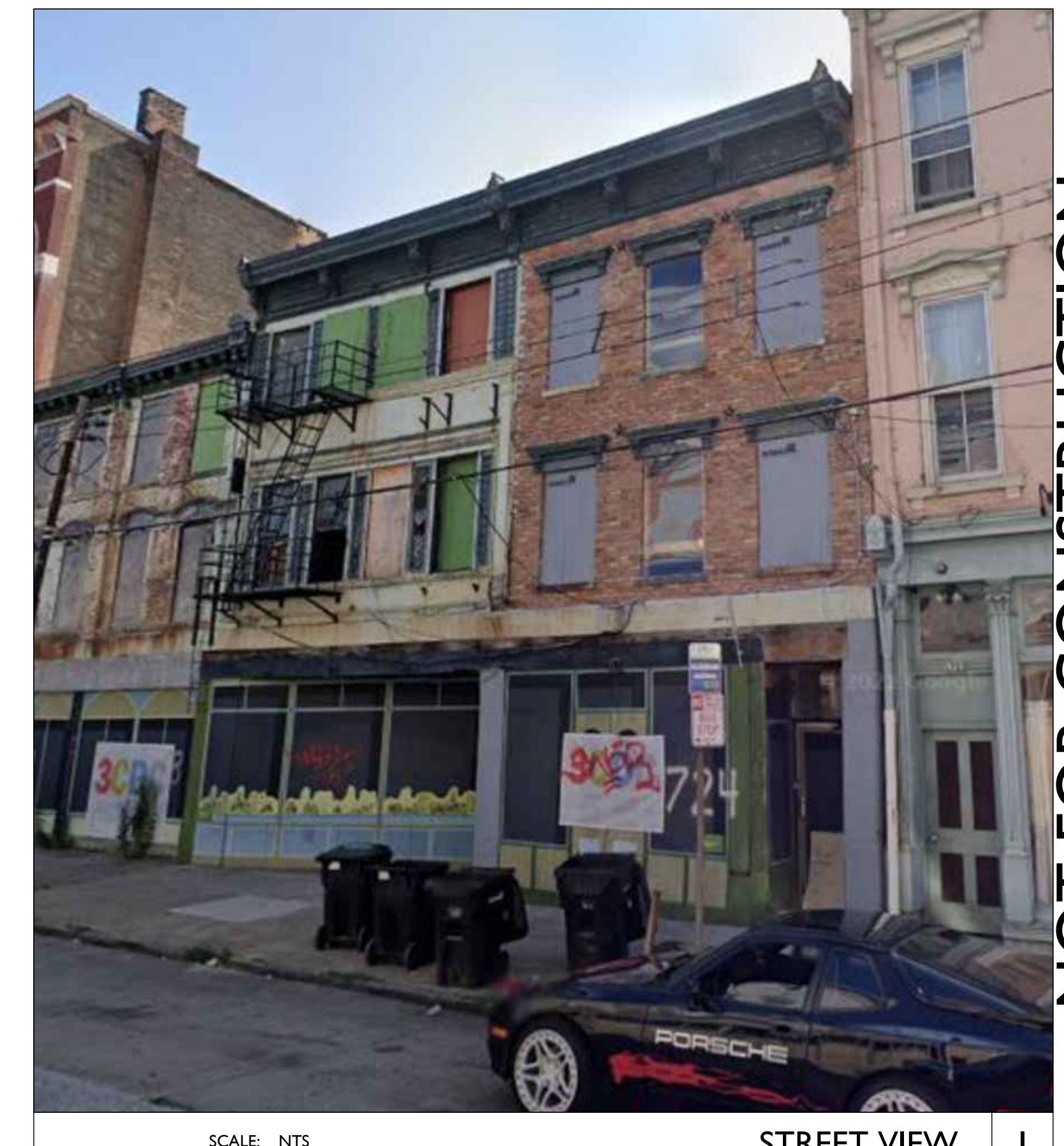
THIS PROJECT IS THE REHABILITATION/RENOVATION OF EXISTING HISTORIC COMMERCIAL / RESIDENTIAL BUILDING. 1726 VINE ST / 1728 VINE ST / 1730 VINE STREET / 1675 HAMER ST HAS 3 STORIES PLUS BASEMENT AND ATTICS. THE BASEMENT WILL REMAIN UNOCCUPIED EXCEPT FOR MECHANICAL EQUIPMENT AND A SMALL PORTION THAT IS DEDICATED TO TENANT STORAGE. THE FIRST FLOOR WILL BE COMMERCIAL TURKEY SPACE WITH B/M-A-2 USES, PLUS TWO R-2 APARTMENTS. THE SECOND AND THIRD FLOORS WILL BE R-2 APARTMENTS. THE ATTIC SPACES WILL REMAIN UNOCCUPIED.

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| DRAWING INDEX | | | | |
|----------------------------|---|--------------------------|----------------------------|----------------------------|
| SHEET # | SHEET TITLE | BID PERMIT 05.28.2023 | PERMIT REV 1 08.04.2023 | PERMIT REV 2 10.24.2023 |
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| P2.00 | PLUMBING DETAILS | | | |
| P2.01 | PLUMBING DETAILS | | | |



| TYPICAL ABBREVIATIONS | | TYPICAL SYMBOLS | |
|-----------------------|--|-----------------|--|
| ADJ | ADJACENT | EQ | EQUAL |
| A.F.F. | ABOVE FINISH FLOOR | EXG | EXISTING |
| ALT | ALTERNATE | EXT | EXTERIOR |
| ALUM | ALUMINUM | FDC | FIRE DEPARTMENT |
| APPROX | APPROXIMATELY | CON | CONNECTION |
| APT | APARTMENT | FDN | FOUNDATION |
| BD | BOARD | F.E. | FIRE EXTINGUISHER |
| BLDG | BUILDING | F.F.E. | FINISH FLOOR ELEVATION |
| CL | CENTER LINE | FLR | FLOOR |
| C.J. | CONTROL JOINT | FTG | FOOTING |
| CLG | CEILING | G.C. | GENERAL CONTRACTOR |
| CLR | CLEAR DIMENSION | GYP | GYPSONUM |
| C.M.U. | CONCRETE MASONRY UNIT | H.M. | HOLLOW METAL |
| COL | COLUMN | HR | HOUR |
| CONC | CONCRETE | HORIZ | HORIZONTAL |
| CONT | CONTINUOUS | HYAC | HEATING, VENTILATION, & AIR CONDITIONING |
| CONTR | CONTINUED | INCL | INCLUDED/INCLUDING |
| CONTR | CONTRACTOR | INFO | INFORMATION |
| DIAG | DIAGONAL | INSUL | INSULATED/INSULATING |
| DIA or Ø | DIAMETER | INT | INTERIOR |
| DM(S) | DIMENSION(S) | LL | LIVE LOAD |
| D.O.T.E. | DEPARTMENT OF TRANSPORTATION & ENGINEERING | MATL | MATERIAL |
| D.L. | DEAD LOAD | MECH | MECHANICAL |
| D.S. | DOWNSPOUT | MEP | MECHANICAL ELECTRICAL AND PLUMBING |
| DTLS(S) | DETAIL(S) | MIN | MINIMUM |
| DWG(S) | DRAWING(S) | MAX | MAXIMUM |
| EA | EACH | MANUF | MANUFACTURER |
| ELEC | ELECTRICAL | N/A | NOT APPLICABLE |
| ELEV(S) | ELEVATION(S) | N.L.C. | NOT IN CONTRACT |
| EJ. | EXPANSION JOINT | N.I.S. | NOT IN SCOPE |
| | | N.T.S. | NOT TO SCALE |
| | | OHBC | OHIO BUILDING CODE |
| | | O.C. | ON CENTER |
| | | OPNG | OPENING |
| | | OPP | OPPOSITE |
| | | O.V. | OVER |
| | | PLWD | PLYWOOD |
| | | PLUMB | PLUMBING |
| | | PT | PRESSURE TREATED |
| | | REF | REFLECTED CEILING PLAN |
| | | REQ | REQUIRED |
| | | REV | REVISION/REVISION |
| | | R.O. | ROUGH OPENING |
| | | R.O.W. | RIGHT OF WAY |
| | | SECT | SECTION |
| | | SIMIL | SIMILAR |
| | | SF | SQUARE FEET |
| | | SPEC | SPECIFICATION |
| | | STRUCT | STRUCTURAL |
| | | INFO | INFORMATION |
| | | T.O. or T/ | TOP OF |
| | | T&G | TONGUE & GROOVE |
| | | TYP | TYPICAL |
| | | U.N.O. | UNLESS NOTED OTHERWISE |
| | | V.B. | VAPOR BARRIER |
| | | VERT | VERTICAL |
| | | V.I.F. or ± | VERIFY IN FIELD |
| | | W/ | WITH |
| | | W/O | WITHOUT |
| | | WD | WOOD |



Progress Dates

Revisions

Design Team:

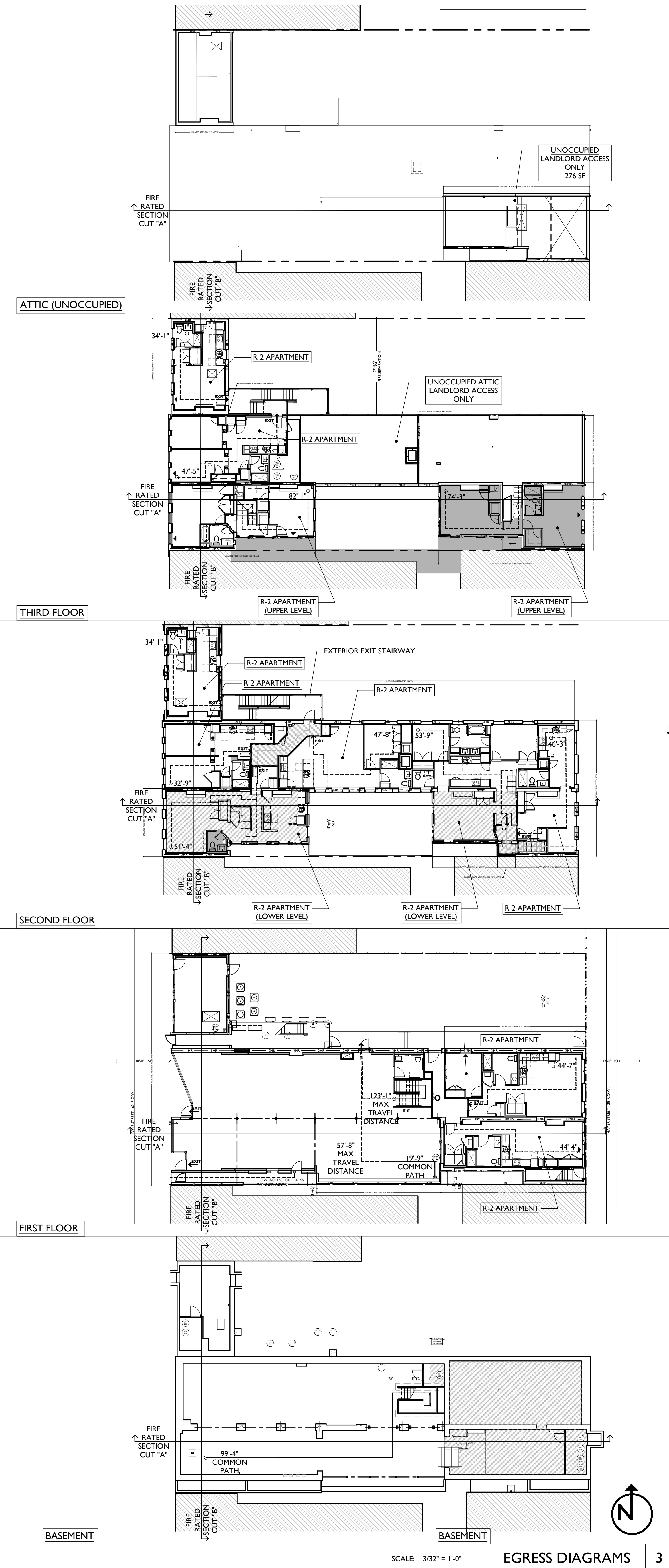
Drawn by:

NOT FOR CONSTRUCTION

PROPOSED PROJECT

Job No: 08/30/2024

G0.00



EGRESS DIAGRAMS GENERAL NOTES:

- HORIZONTAL FLOOR/CEILING + ROOF ASSEMBLIES ARE INDICATED ON THIS PAGE AND IN THE NEW WORK PLANS.
- RATED PARTITIONS ARE INDICATED IN NEW WORK PLANS.
- SEE SHEET A6.00 FOR ASSEMBLIES + PARTITION TYPES DETAILS.

EGRESS DIAGRAMS GRAPHIC KEY:

- EXIT → BUILDING EXIT
- HATCH INDICATES FIRE-RATED EXIT STAIR/PATH
- SPACE NAME # OCCUPANTS -OR- SF OCCUPANT LOAD
- max path common egress remote point → EGRESS PATH
- (FE) FIRE EXTINGUISHER

PROPOSED BUILDING RENOVATION

1. LOCATION: 1724 VINE ST / 1728 VINE ST / 1730 VINE ST / 1675 HAMMER ST, CINCINNATI, OH 45202

2. DESCRIPTION: THIS PROJECT IS THE REHABILITATION/RENOVATION OF AN EXISTING HISTORIC COMMERCIAL/RESIDENTIAL BUILDING. THE PROJECT IS A 3-STORY BUILDING WITH A CRAWL SPACE IN ONE AREA, FULL BASEMENT IN OTHER AREAS, AND ATTIC. THE FIRST FLOOR WILL BECOME B1/A-2 USE AND R-2 USE. THE SECOND AND THIRD FLOORS WILL BE SUBDIVIDED AMONG MULTIPLE RESIDENCES. THE ATTIC WILL REMAIN UNOCCUPIED. **THIS PROJECT IS A CHANGE OF USE. THE PROJECT HAS BEEN SUBMITTED FOR HISTORIC TAX CREDITS WITH THE STATE HISTORIC PRESERVATION OFFICE AND NATIONAL PARK SERVICE, AND THEREFORE WILL BE DICTATED BY CHAPTER 34, SECTIONS 3-11 AND SUPPORTING SECTIONS OF THE OBC.**

PLUMBING, ELECTRIC, SPRINKLER + FIRE ALARM SYSTEMS WILL BE SUBMITTED UNDER A SEPARATE PERMIT.

3. GOVERNING CODE: 2017 OBC (OHIO BUILDING CODE)/CINCINNATI BUILDING CODE/CINCINNATI ZONING CODE

4. ZONING DESIGNATION: CC-P URBAN PARKING OVERLAY DISTRICT - NO PARKING REQUIRED.
PROPOSED COMMERCIAL AREAS: **2,749 SF**
PROPOSED RESIDENTIAL UNITS: **10 UNITS**

5. CONSTRUCTION TYPE: SCHEDULE 1409.09: DEVELOPMENT REGULATIONS - COMMERCIAL DISTRICTS
1724 VINE + 1728 VINE LOT AREA (8,189 SF) / UNIT SF (500 SF) = 16 APARTMENT UNITS ALLOWABLE DENSITY

| | EXISTING | PROPOSED | #OCCUPANCY |
|-----------------------------|------------|--|--|
| BASEMENT | | | |
| NORTH/ 363 SF (TOTAL) | UNOCCUPIED | S-1/UNOCCUPIED | LANDLORD ACCESS ONLY |
| SOUTH/ 3119 SF (TOTAL) | UNOCCUPIED | S-1 | 3119/300 = 10 |
| FIRST FLOOR | | | |
| NORTH/ 323 SF (TOTAL) | M | B (3/4 MERCANTILE) M (1/4 STORAGE) A | 323/100 = 3 242/50 = 4 81/300 = 1 323/15 = 22 |
| SOUTH/ 2432 SF (TOTAL) | M | B (3/4 MERCANTILE) M (1/4 STORAGE) A (23 TABLES & CHAIRS) A (COMMERCIAL KITCHEN)* | 2432/100 = 24 1824/60 = 30 608/300 = 2 1750/15 = 117 874/200 = 5 |
| SOUTH REAR/ 1184 SF (TOT) M | | R-2 | 1184/200 = 5 |
| 2ND FLOOR | | | |
| FRONT/ 2157 SF (TOTAL) | R-2 | R-2 | 2157/200 = 10 |
| REAR/ 433 SF (TOTAL) | R-2 | R-2 | 1453/200 = 7 |
| 3RD FLOOR | | | |
| FRONT/ 1566 SF (TOTAL) | R-2 | R-2 | 1566/200 = 7 |
| REAR/ 616 SF (TOTAL) | R-2 | R-2 | 616 SF/200 = 3 |
| ATTIC/ 1607 (TOTAL) | UNOCCUPIED | UNOCCUPIED | LANDLORD ACCESS ONLY |
| 4TH FLOOR | | | |
| NORTH ATTIC/ 386 SF (TOT) | UNOCCUPIED | UNOCCUPIED | LANDLORD ACCESS ONLY |
| SE ATTIC/ 670 SF (TOTAL) | UNOCCUPIED | UNOCCUPIED | LANDLORD ACCESS ONLY |

7. HEIGHT + AREA

| USE | HEIGHT | ALLOWABLE/PROPOSED | STORIES ABV GRADE | ALLOWABLE/PROPOSED |
|-----------|--------------|--------------------|-----------------------|-----------------------|
| R-2 / A-2 | 75' / 12'-1" | 75' / 12'-1" | 3 STORIES / 1 STORY | 3 STORIES / 1 STORY |
| B | 75' / 12'-1" | 75' / 12'-1" | 4 STORIES / 1 STORY | 4 STORIES / 1 STORY |
| R-2 | 75' / 38'-4" | 75' / 38'-4" | 5 STORIES / 3 STORIES | 5 STORIES / 3 STORIES |

8. EXTERIOR WALL OPENINGS: OPENINGS AT EXTERIOR WALLS LIMITED TO PERCENTAGES PER TABLE 705.8, EXCEPT AT EXISTING NON-CONFORMING CONDITION WHERE NO NEW OPENINGS ADDED.

| ELEVATION | FSD | ALLOWABLE* | PROVIDED |
|-----------|-------------|----------------------|----------------------------------|
| NORTH | 0'-0" | X<3' = 0% | 0% |
| SOUTH | 27'-7" | 25'-X<30' = UNLIMIT. | 8% |
| | 0'-0" | X<3' = 0% | 0% |
| | 3'-5" | 3'-X<5' = 15% | 19% (EXG NON-CONFORM. CONDITION) |
| | 3'-8" | 3'-X<5' = 15% | 6% |
| | 18'-5" | 15'-X<20' = 75% | 22% |
| | 32'-5" | X>30' = UNLIMIT. | 35% |
| EAST | 15'-2" | 15'-X<20' = 75% | 20% |
| | 118'-1 1/2" | X>30' = UNLIMIT. | 12% |

9. INTERIOR FINISH RATINGS: SPRINKLERED/ TABLE 903.1.1 CORRIDORS/ EXIT ACCESS, USES S, B, M, R-2 ROOMS & ENCLOSED SPACES, USES S, B, M, R-2

10. FIRE RESISTANCE RATINGS: PROJECT IS UNSEPARATED MIXED USE, PER SECTION 508.3. HORIZONTAL ASSEMBLIES SEPARATING DWELLING UNITS TO BE 1/2 HOUR RATED PER SECTION 711. CORRIDORS/DWELLING UNITS SEPARATION WALLS TO BE 1/2 HOUR RATED PER SECTION 708.3. THE SOUTHEAST INTERIOR STAIR SHAFT CONNECTS 2 FLOORS, THEREFORE 1 HR RATED PER SECTION 713.4.

| | SPRINKLERED | ALLOWABLE (FT) | PROVIDED (MAX)(FT) |
|-------------------------------|-------------|----------------|--------------------|
| 2 EXITS PER 1017.2 | | | |
| B.M.S-1 | | 200' | 57'-8" |
| SINGLE EXIT PER 1006.3.2(1) | | | |
| R-2 | | 125' | 82'-1" |
| (SINGLE EXIT PER 1006.3.2(2)) | | | |
| S-1 | | 100' | 99'-4" |

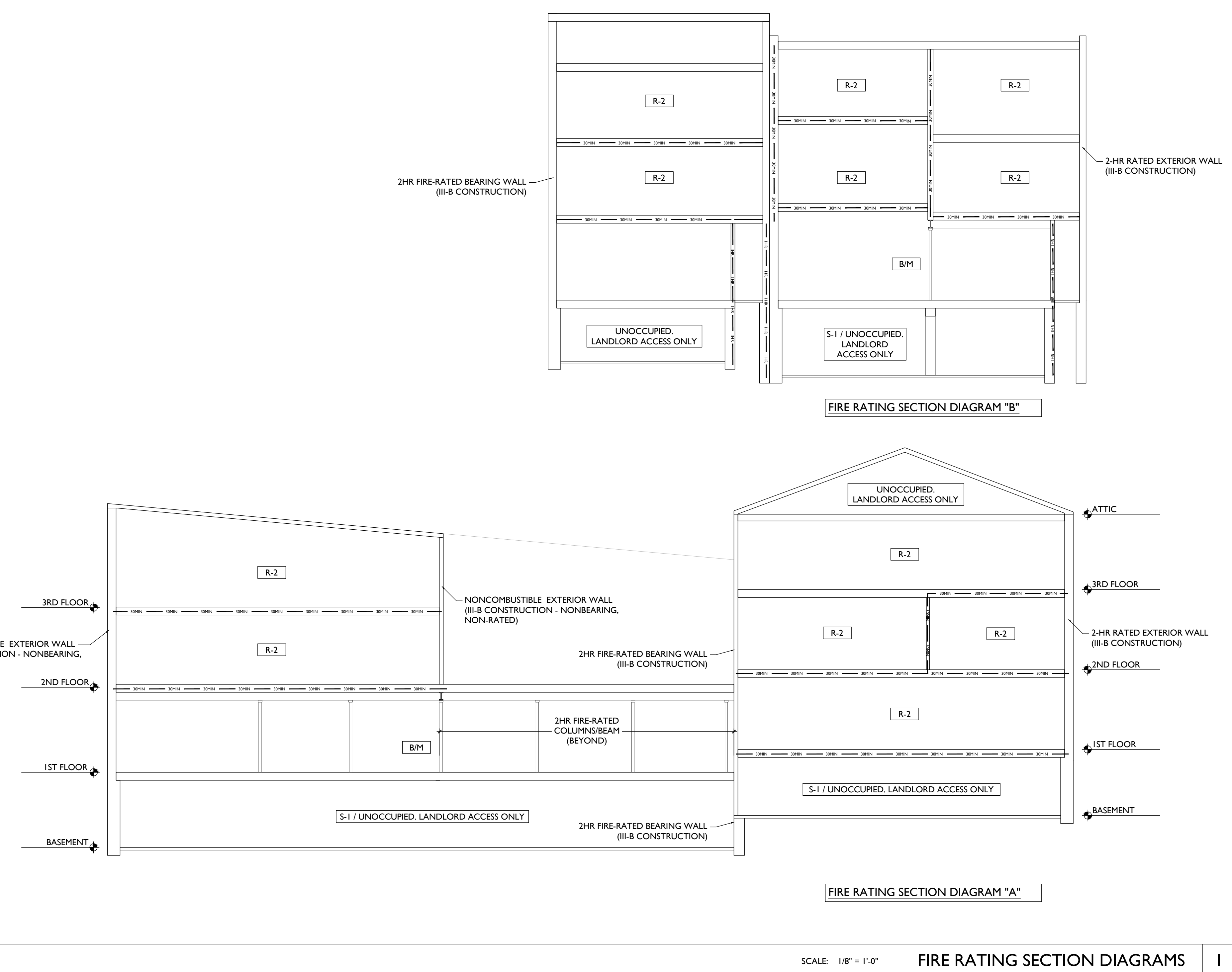
11. EXIT REQUIREMENTS: THE EXISTING BUILDING IS NOT CURRENTLY SPRINKLERED. A SPRINKLER SYSTEM IN COMPLIANCE WITH SECTION 903 AND NFPA 13 IS REQUIRED AND WILL BE PROVIDED THROUGHOUT. THE SPRINKLER SYSTEM WILL BE SUBMITTED UNDER A SEPARATE PERMIT.

12. FIRE PROTECTION: A STANDPIPE IS NOT REQUIRED AND NOT PROVIDED BECAUSE THE HIGHEST OCCUPIED STORY IS <30' ABOVE LOWEST FIRE DEPARTMENT ACCESS.

13. FIRE ALARM: FIRE EXTINGUISHERS WILL BE PROVIDED IN EACH DWELLING UNIT AND AS OTHERWISE REQUIRED BY SECTION 906 IN COORDINATION WITH THE LOCAL FIRE DEPARTMENT, GC TO COORDINATE. A MANUAL FIRE ALARM SYSTEM IS REQUIRED AND PROVIDED. A WATERFLOW ALARM WILL BE INSTALLED ON THE EXTERIOR PER THE BUILDING INSPECTOR'S APPROVAL. SMOKE ALARMS WILL BE INSTALLED IN DWELLING UNITS IN BEDROOMS AND OUTSIDE OF BEDROOMS AS REQUIRED PER SECTION 907.

14. ACCESSIBILITY: ALL FIRST FLOOR COMMERCIAL SPACES SHALL BE ACCESSIBLE TO THE EXTENT FEASIBLE. PLATTE ARCHITECTURE + DESIGN IN CONJUNCTION WITH OUR CONSULTANTS AND THE OWNER WILL ATTEMPT TO IMPROVE THE ACCESSIBILITY OF HISTORIC BUILDINGS TO THE EXTENT FEASIBLE AND WITHOUT ALTERING THE BUILDING STRUCTURE OR HISTORIC CHARACTER. BUILDING ELEMENTS THAT DO NOT FULLY MEET THE REQUIREMENTS OF ICC A117.1 AS REFERENCED IN THE 2017 OBC WILL NOT BE INDICATED OR IDENTIFIED AS ACCESSIBLE.

CODE NOTES 2



PLATTE architecture + design

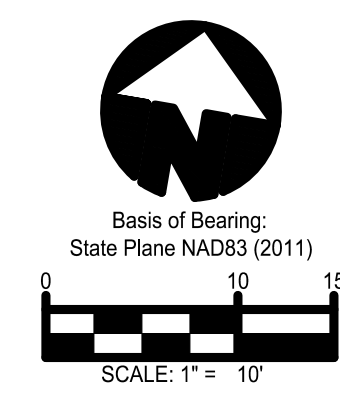
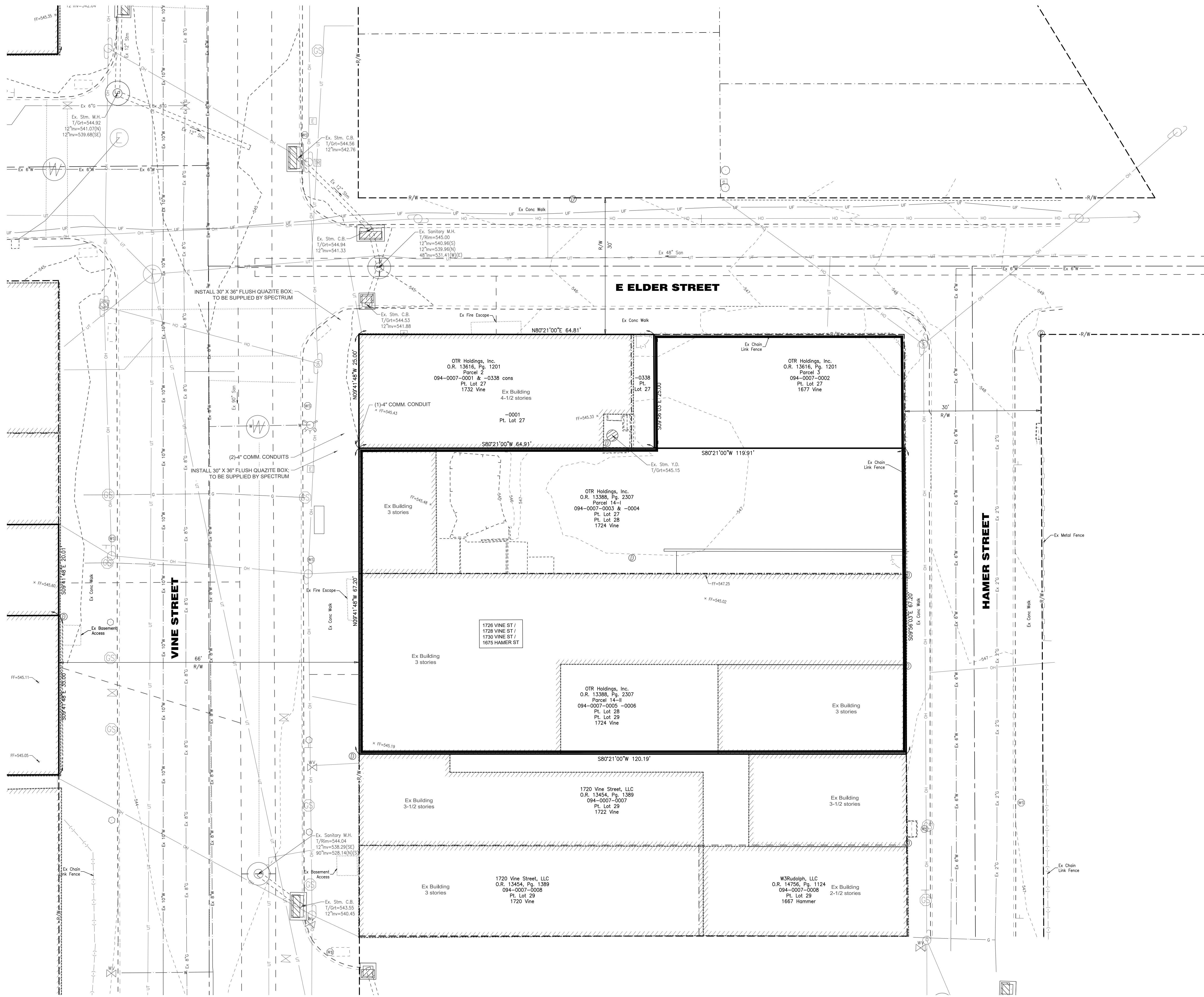
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NOT FOR CONSTRUCTION

PROPOSED PROJECT: _____
Job No: _____ 08/30/2024

Progress Dates: _____
Revisions: _____
Design Team: _____
Drawn by: _____

G0.01



Know what's below.
Call before you dig.

LOCATION OF ALL EXISTING UTILITIES TO BE DETERMINED IN THE FIELD PRIOR TO CONSTRUCTION

PLATTE
architecture + design

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Progress Dates
05.15.2023 - 50% CD
05.26.2023 - BID/PERMIT
08.30.2024 - BID SET 2

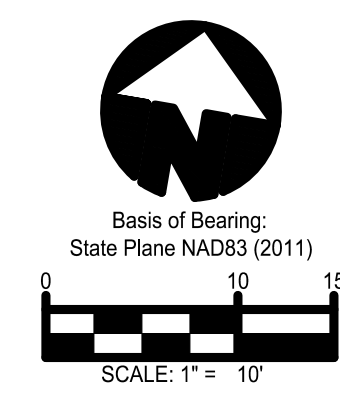
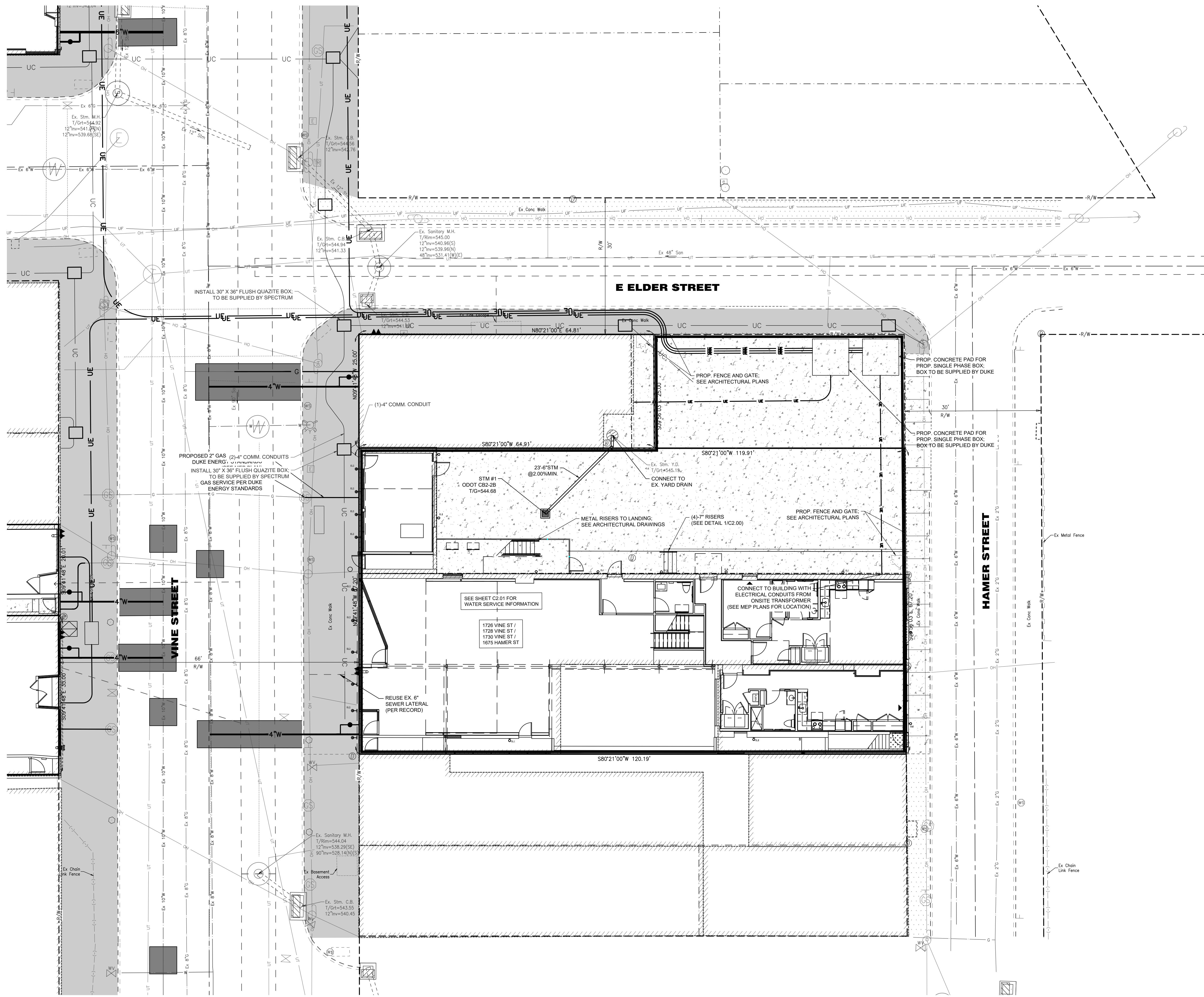
Revisions

Design Team:

Drawn by:
EPS

PROPOSED PROJECT:
RENOVATION FOR
1726 VINE ST / 1728 VINE ST / 1730 VINE ST / 1675 HAMER ST
CINCINNATI, OH, 45220
FINDLAY FLATS

Job No: 22042 05/26/2023



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Cincinnati, OH 45202 - 513.834.6151

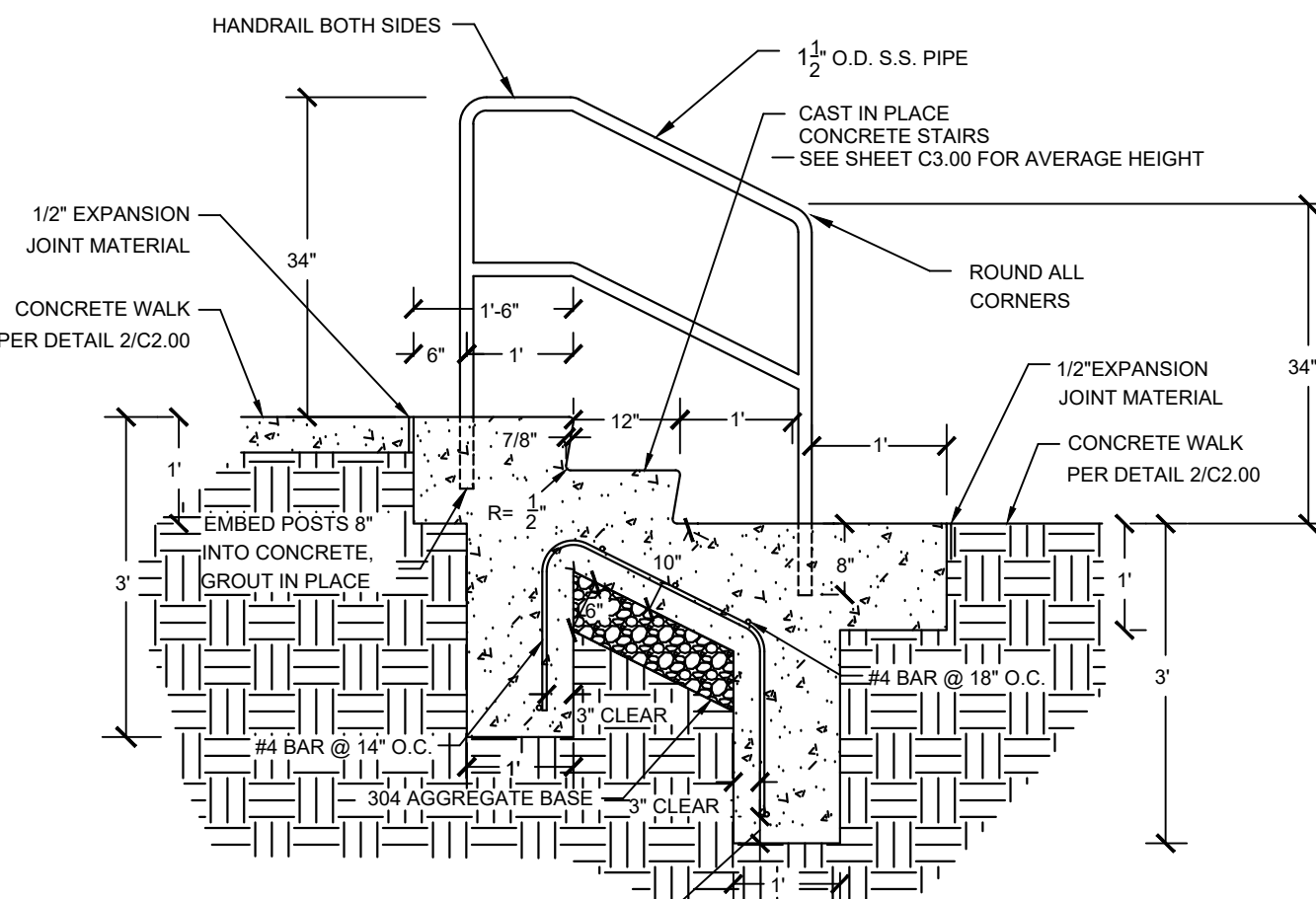


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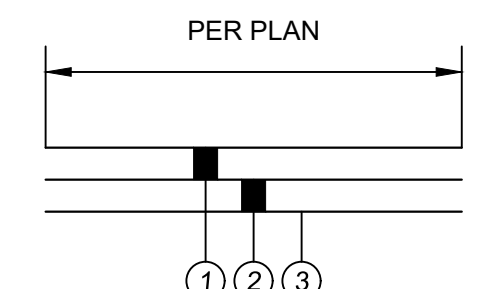
LEGEND

- EXISTING CONCRETE WALK OR DRIVE (TO REMAIN)
- PROPOSED CONCRETE WALK (SEE DETAIL 1/C3.00)
- REMOVE & REPLACE EX PAVEMENT IN KIND PER DOTE STANDARDS (SEE SHEET C3.00 FOR DETAILS)
- STREETSCAPE PROJECT BY OTHERS



NOTE:
1. ALL RE-STEEL IS TO BE FULLY SUPPORTED AND TIED IN PLACE.
2. SEE PLAN FOR NUMBER & HEIGHT OF RISERS.

1 TYPICAL CONCRETE STAIR & HANDRAIL DETAIL
NOT TO SCALE



2 CONCRETE WALK DETAIL
NOT TO SCALE

- 1 ITEM 608 - 4" CONCRETE WALK
- 2 ITEM 304 - 4" AGGREGATE BASE
- 3 ITEM 203 - SUBGRADE COMPACTION

MAINTENANCE OF TRAFFIC NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT STATE OF OHIO DEPARTMENT OF TRANSPORTATION, CONSTRUCTION AND MATERIAL SPECIFICATIONS, AND CURRENT STANDARD DRAWINGS, UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ITEM 614 AND OTHER APPLICABLE PORTIONS OF THE C&M SPECIFICATIONS AS WELL AS IN ACCORDANCE WITH PART 7 OF ODOT. LANE CLOSURES SHALL BE IN ACCORDANCE WITH STANDARD CONSTRUCTION DRAWINGS MT-97.10, MT-99.10.
3. LOCAL TRAFFIC SHALL BE MAINTAINED AT ALL TIMES THROUGH THE USE OF FLAGGERS AND SAFETY CONES, AS DIRECTED BY THE CITY ENGINEER.
4. THE CONTRACTOR MUST COORDINATE THE WORK SO AS TO NOT INTERRUPT INGRESS AND EGRESS FROM AFFECTED PROPERTIES.
5. IF THE CONTRACTOR SO ELECTS, HE MAY SUBMIT ALTERNATE METHODS FOR THE MAINTENANCE OF TRAFFIC, PROVIDED THAT THE INTENT OF THE ABOVE PROVISIONS IS FOLLOWED AND NO ADDITIONAL INCONVENIENCE TO THE TRAVELING PUBLIC RESULTS THEREFROM. NO ALTERNATE PLAN WILL BE PUT INTO EFFECT UNTIL THE APPROVAL HAS BEEN GRANTED, IN WRITING, BY THE CITY OF CINCINNATI DOTE.
6. THE OPEN TRENCH SHALL BE ADEQUATELY MAINTAINED AND PROTECTED WITH DRUMS OR BARRICADES AT ALL TIMES.
7. NO TRENCH SHALL BE LEFT OPEN OVERNIGHT. IN CASE WORK MUST BE SUSPENDED BECAUSE OF INCLEMENT WEATHER OR OTHER REASONS, THE TRENCH FOR THE UNCOMPLETED WORK SHALL BE PLATED OR BACKFILLED AT THE DIRECTION OF THE COUNTY ENGINEER.
8. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES LOCATED PRIOR TO BEGINNING CONSTRUCTION.

MSD SEWER NOTES

1. SANITARY PIPE MATERIAL SHALL BE 6" PVC SDR-35 @2.00% MINIMUM.
2. IF LOWEST LEVEL ELEVATION IS BELOW RIM ELEVATION OF UPSTREAM MANHOLE, THEN TAP MUST INCLUDE BACKFLOW PREVENTION OR BE PUMPED TO GRAVITY.

SITE PERMITS NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL CITY OF CINCINNATI PERMITS FOR PROPOSED SITE WORK, INCLUDING (BUT NOT LIMITED TO): GCWW BRANCH APPLICATION, MSD TAP PERMIT, DOTE RIGHT-OF-WAY PERMIT FOR UTILITY CONNECTIONS, STREETWALK CLOSURE, AND PAVEMENT INSTALLATION), DOTE BARRICADE PERMIT, DOTE REVOCABLE STREET PERMIT (IF APPLICABLE).

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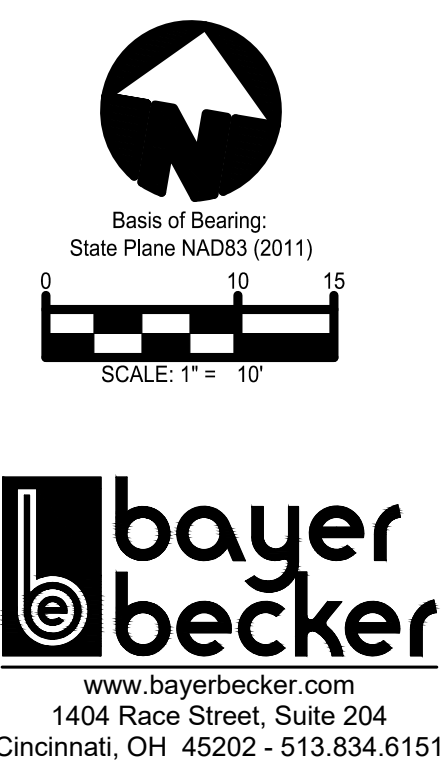
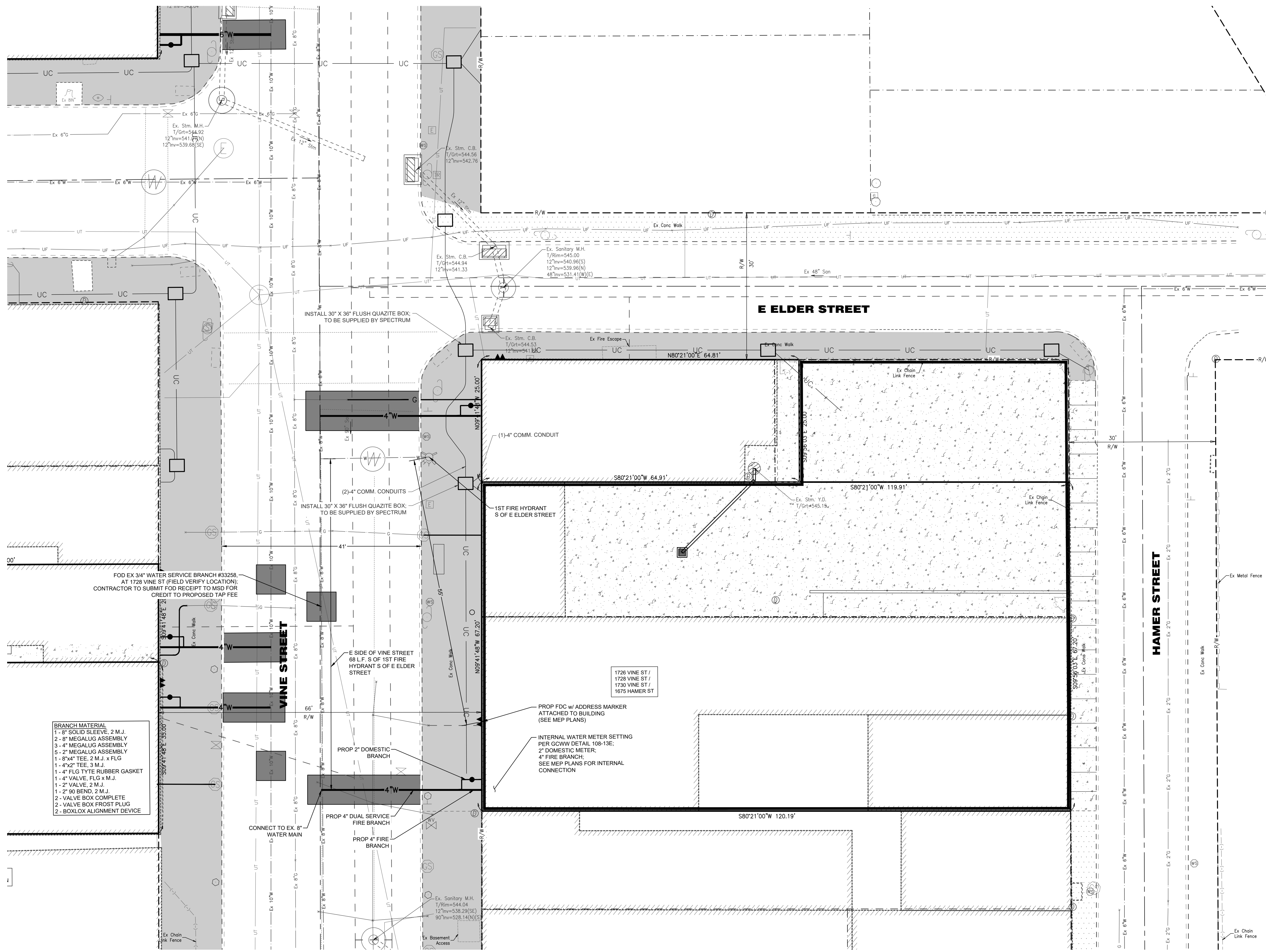
Progress Dates
05.15.2023 - 50% CD
05.26.2023 - BID/PERMIT
08.30.2024 - BID SET 2

Revisions

Design Team:
Drawn by:
EFS

PROPOSED PROJECT:
RENOVATION FOR 1726 VINE ST / 1730 VINE ST / 1728 VINE ST / 1675 HAMER ST
CINCINNATI, OH, 45220
FINDLAY FLATS

Job No: 22042 05/26/2023



Know what's below.
Call before you dig.

LOCATION OF ALL EXISTING UTILITIES TO BE DETERMINED IN THE FIELD PRIOR TO CONSTRUCTION

LEGEND

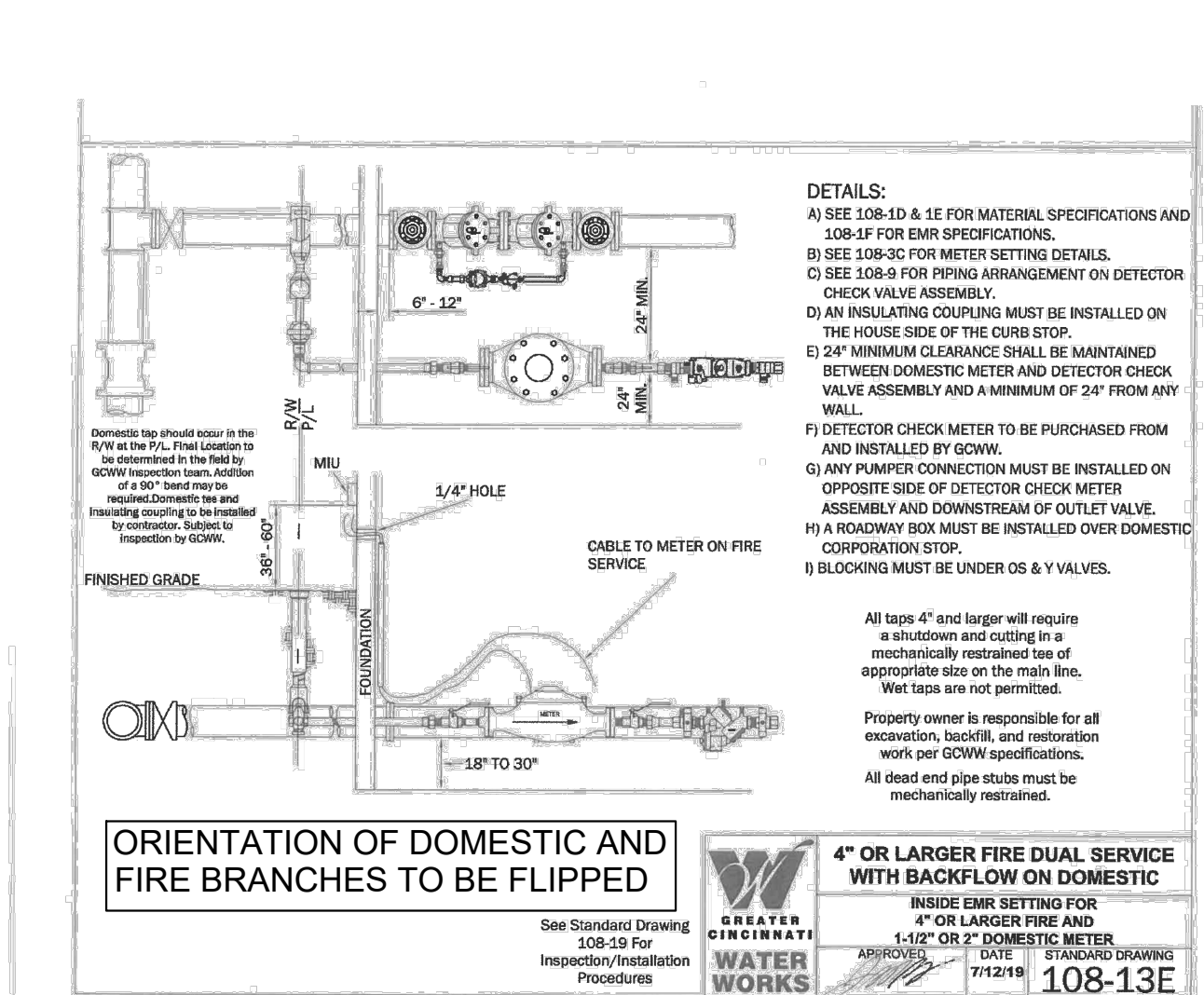
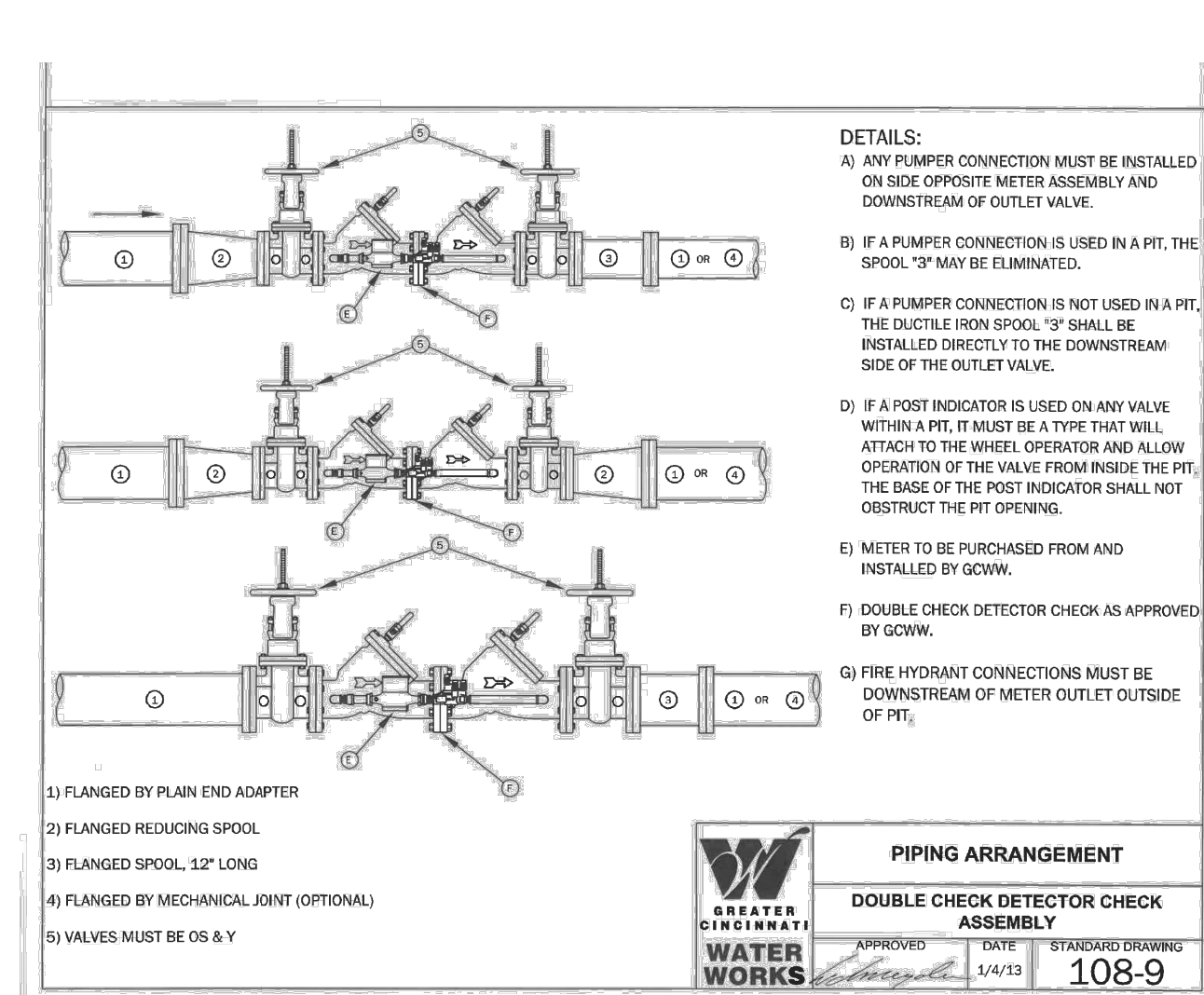
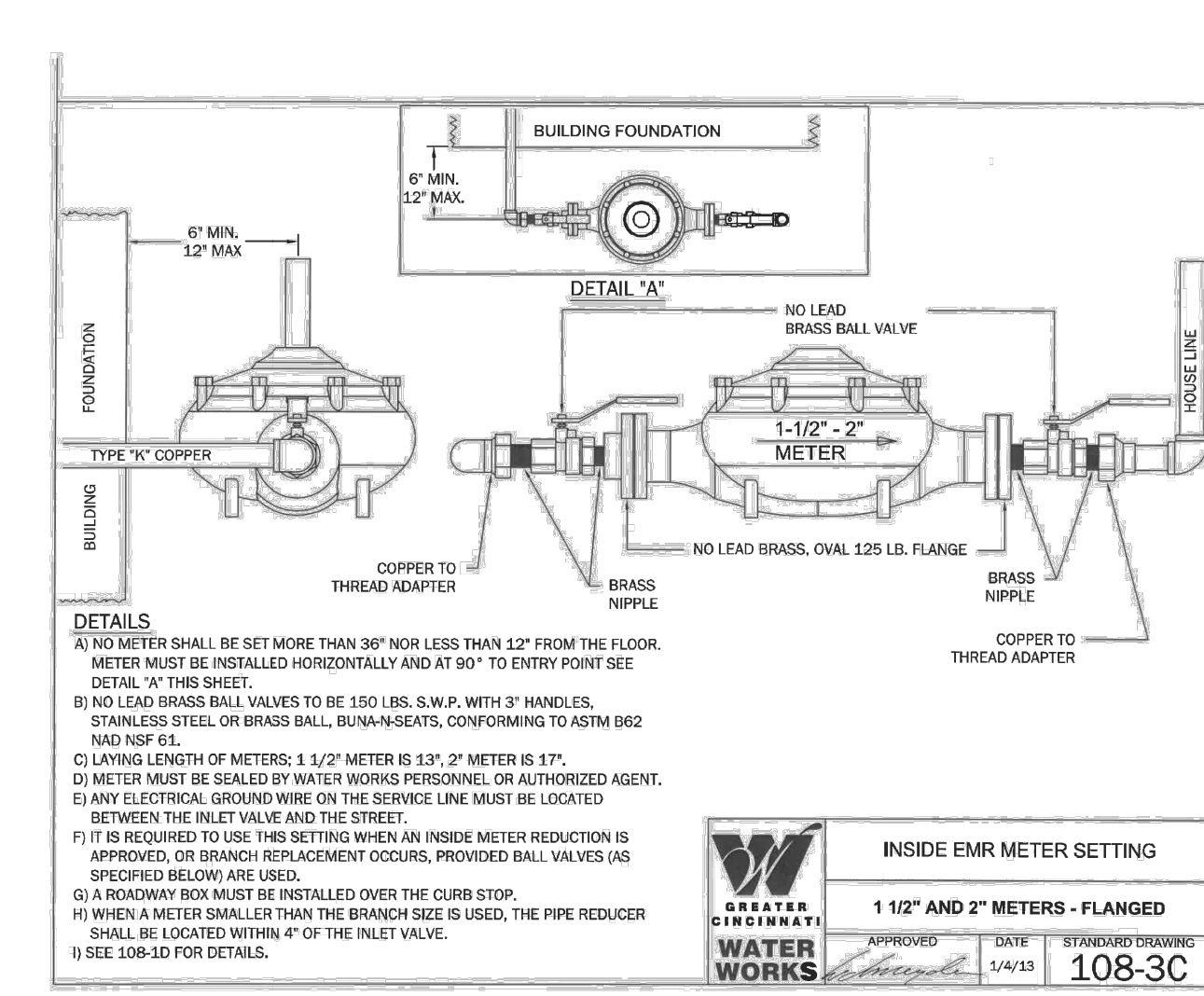
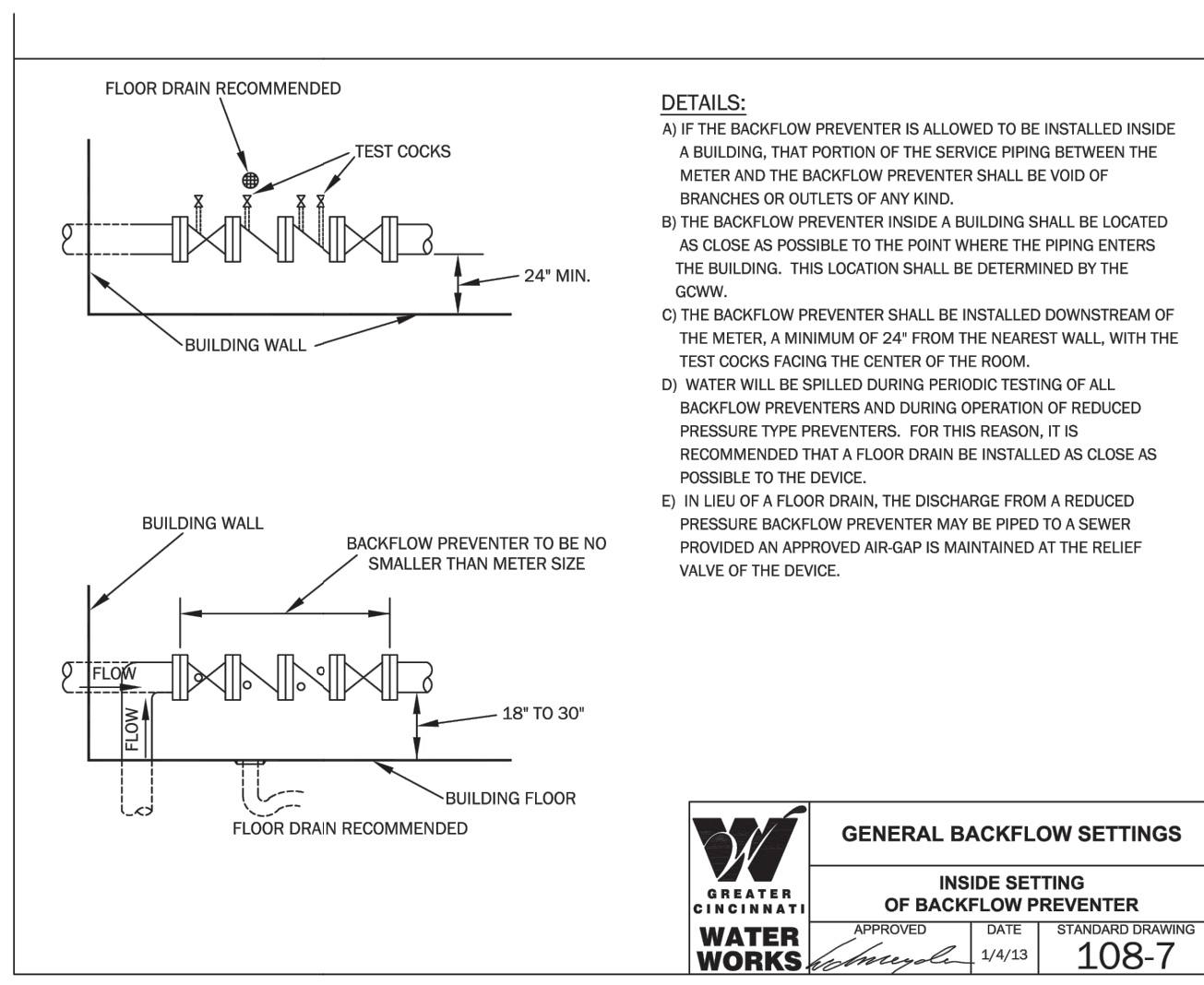
- EXISTING CONCRETE WALK OR DRIVE (TO REMAIN)
- PROPOSED CONCRETE WALK (SEE DETAIL 1/03.00)
- REMOVE & REPLACE EX PAVEMENT IN KIND PER DOTE STANDARDS (SEE SHEET C3.00 FOR DETAILS)
- STREETSCAPE PROJECT BY OTHERS

BRANCH APPLICATION DRAWING VERITY DISCLAIMER

THIS PLAT/SHEET HAS BEEN PREPARED BY THE APPLICANT FOR WATER SERVICE. ALL EXISTING UTILITY AND RECORD INFORMATION DEPICTED ON THE DRAWING, INCLUDING BUILDING FOOTPRINT (WHICH MUST SHOW ANY ENCROACHMENTS INTO THE PUBLIC RIGHT OF WAY INCLUDING, BUT NOT LIMITED TO, BASEMENT AREAS, ROOT CELLARS AND COAL CHUTES), PARCEL AND EASEMENT INFORMATION, ROADWAY AND RIGHT OF WAY LOCATION ARE THE RESULT OF RESEARCH BY THIS APPLICANT. ANY AND ALL DAMAGES OR NEED FOR ADDITIONAL WORK, RESULTING FROM INACCURACY ON THE PART OF THE APPLICANT IS THE APPLICANT'S SOLE FINANCIAL RESPONSIBILITY.

GCWW WATER MAIN NOTES

1. ALL WATER WORK AND WATER MAIN MATERIALS INCLUDING PIPE, FITTINGS, VALVES, HYDRANTS, AND INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF GREATER CINCINNATI WATER WORKS. THE MOST RIGID SPECIFICATIONS SHALL GOVERN IN THE EVENT OF A CONFLICT WITH THE PROJECT SPECIFICATIONS.
2. ALL WATER FACILITIES ON THIS PROJECT ARE TO BE PRIVATE.
3. BACKFILL SHALL BE CLASS A WHEN MAIN IS FIVE (5) FEET OR GREATER FROM EXISTING PUBLIC CURB. LESS THAN FIVE (5) FEET FROM EXISTING PUBLIC CURB, UNDER CURB OR EXISTING PUBLIC PAVEMENT BACKFILL SHALL BE CONTROLLED DENSITY FILL.
4. WATER MAINS SHALL MAINTAIN A MINIMUM COVER OF FOURTY TWO (42) INCHES.
5. A MINIMUM CLEAR DISTANCE OF TEN (10) FEET HORIZONTAL AND EIGHTEEN (18) INCHES VERTICAL SHALL BE MAINTAINED BETWEEN SANITARY AND/OR STORM SEWERS AND WATER MAINS.
6. SANITARY AND STORM SEWERS THAT CROSS WATER MAINS SHALL BE LOCATED SUCH THAT THE SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS.
7. PRIVATE WATER MAINS BEYOND THE METER PIT MAY BE C900 DR18 FOR WORKING PRESSURES LESS THAN 150 PSI. FOR DESIGN PRESSURES GREATER THAN 150 PSI, DUCTILE IRON PRESSURE CLASS 350 OR C900 DR 14 SHALL BE USED.
8. SERVICE PIPING SMALLER THAN THREE (3) INCHES SHALL BE SEAMLESS COPPER FLEXIBLE WATER TUBING, ASTM B 88, TYPE K, PRESSURE CLASS 250.



GENERAL BACKFLOW SETTINGS
APPROVED DATE 1/4/23
108-7

INSIDE EMR METER SETTING
1 1/2" AND 2" METERS - FLANGED
APPROVED DATE 1/4/23
108-3C

PIPING ARRANGEMENT
DOUBLE CHECK DETECTOR CHECK VALVE ASSEMBLY
APPROVED DATE 1/4/23
108-9

4" OR LARGER FIRE DUAL SERVICE WITH BACKFLOW ON DOMESTIC
EMR SETTING FOR 1" OR LARGER FIRE AND 1.5" OR 2" DOMESTIC METER
APPROVED DATE 1/4/23
108-13E



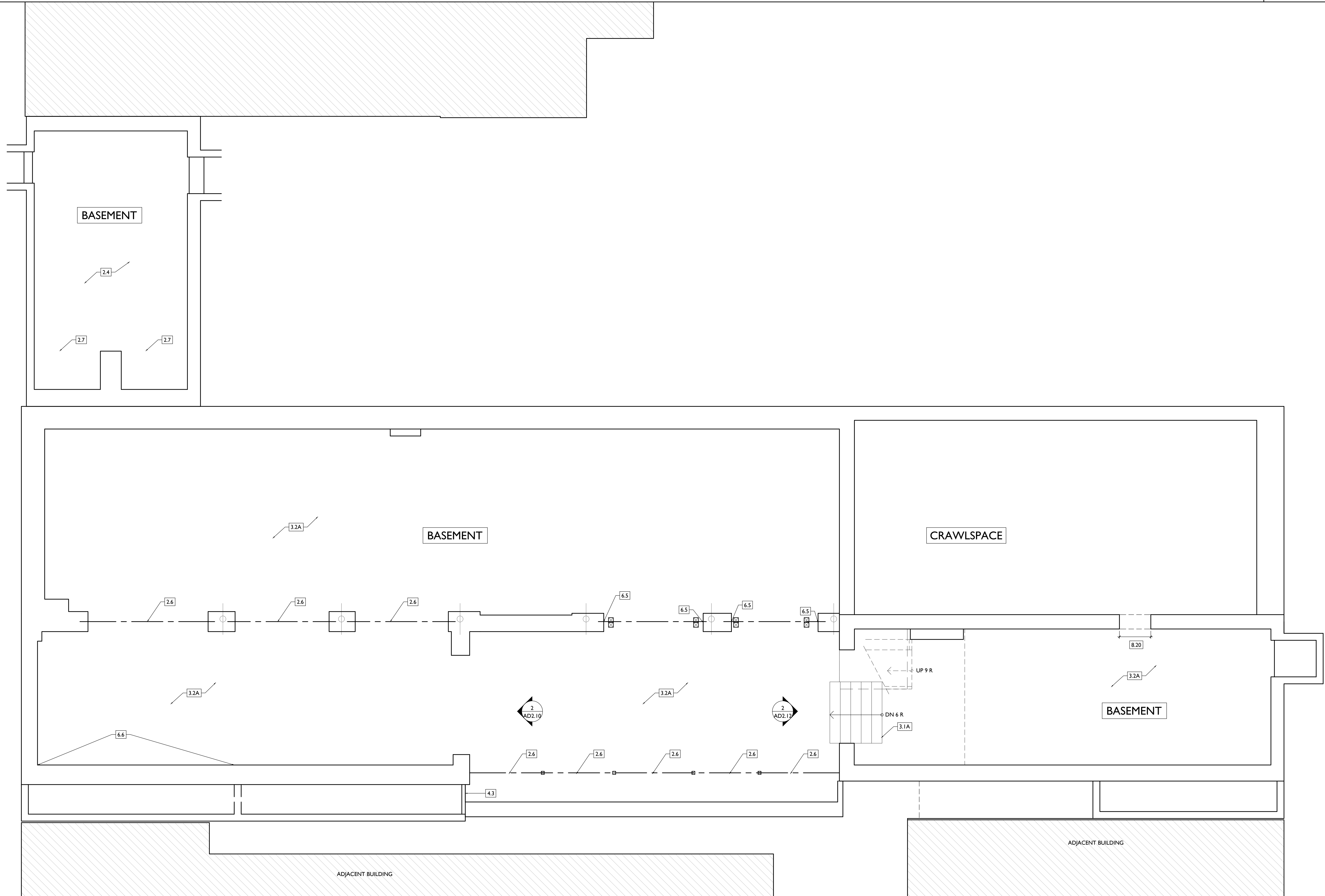
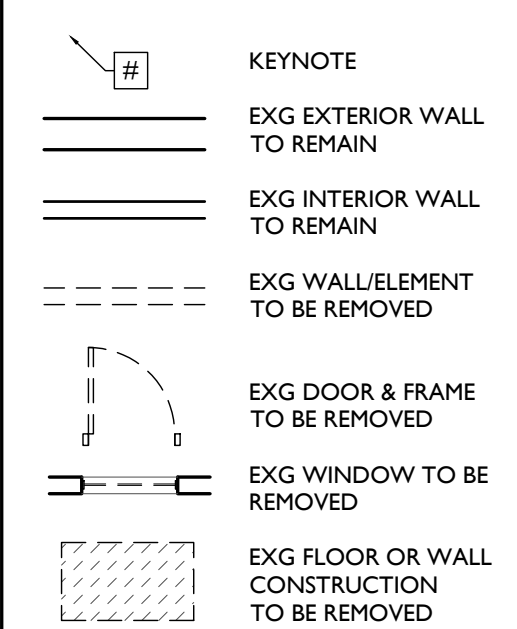
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Revisions
Design Team:
Drawn by:
EFS

1. GENERAL
2. EXG CONDITIONS
 - 2.1 REMOVE GATE AND/OR FENCE.
 - 2.2 EXCAVATE AREA FOR CRAWLSPACE BELOW NEW FLOOR FRAMING. GROUND TO BE 30" MINIMUM BELOW E.O. JOIST. SEE NEW WORK PLANS AND STRUCTURAL DWGS.
 - 2.3 EXCAVATE FOR COLUMN FOOTINGS AS REQ'D FOR NEW STAIRS. SEE NEW WORK PLANS AND STRUCTURAL DWGS.
 - 2.4 DIRTY FLOOR. PREP FOR NEW SLAB. SEE NEW PLANS.
 - 2.5 NON-HISTORIC STORAGE AREA TO BE REMOVED. SEE ELEVATIONS, NEW PLANS.
 - 2.6 EXG BEAM ABOVE TO REMAIN. SEE STRUCT DWGS.
 - 2.7 EXG ARCH ABOVE TO REMAIN.
 - 2.8 NON-HISTORIC 3-STORY INFILL TO BE REMOVED. SEE ELEVATIONS, NEW PLANS.
 - 2.9 REMOVE FIRE ESCAPE.
 - 2.10 REMOVE COLUMN. SEE STRUCTURAL DWGS.
 - 2.11 REMOVE FLOOR FRAMING & SHEATHING/DECKING. SEE STRUCT DWGS & NEW WORK PLANS.
 - 2.12 HISTORIC EXTERIOR ORNAMENT TO REMAIN.
 - A. CORNICE
 - B. BRACKET
 - C. FRIEZE
 - D. VERTICAL DECORATIVE PANEL
 - 2.13 NON-HISTORIC EXTERIOR ORNAMENT TO BE REMOVED.
 - A. BRAKE METAL STOREFRONT CORNICE
 - B. BRAKE METAL PANELING
 - C. PLYWOOD
3. CONCRETE
 - 3.1 CONCRETE OR STONE STEPS
 - A. TO REMAIN
 - B. REMOVE
 - 3.2 CONCRETE SLAB
 - A. TO REMAIN
 - B. REMOVE
4. MASONRY
 - 4.1 NEW OR EXPANDED OPENING IN EXG MASONRY WALL CAREFULLY TOOTH OUT MASONRY FOR REUSE. PROVIDE NEW

- 4.2 STEEL LINTEL. SEE ELEVATIONS & STRUCT DWGS.
 - A. TO REMAIN
 - B. REMOVED & CAPPED BELOW ROOF.
 - 4.3 REMOVE EXG INFILL WALL IN PREP OF NEW CMU FOUNDATION WALL. SEE NEW PLANS AND STRUCTURAL DWGS.
 - 4.4 TOOTH OUT EXG STONE OR WOOD LINTEL. PROVIDE TEMPORARY SHORING AS REQ'D. PREP OPENING FOR NEW CAST STONE LINTEL. SEE NEW WORK ELEVATIONS AND STRUCTURAL DWGS.
 - 4.5 SAWCUT NEW 14"x12" OPENING IN MASONRY WALL FOR HVAC DUCTWORK. PROVIDE NEW STEEL LINTEL. SEE STRUCT DWGS. COORDINATE A.F.F. ELEVATION WITH NEW WORK PLANS, RCPs, AND MECH DRAWINGS.
5. METALS
 - 5.1 NOT USED.
 - 5.2 REMOVE NON-HISTORIC BRAKE METAL.
 6. WOOD, PLASTICS, AND COMPOSITES
 - 6.1 REMOVE RAISED PLATFORM. PROTECT/PRESERVE HISTORIC FLOORING BENEATH.
 - 6.2 REMOVE NON-HISTORIC STAIR & GUARDHANDRAILS ENTIRELY.
 - A. TO REMAIN
 - B. REMOVE NON-HISTORIC RESILIENT TREAD COVERS.
 - C. REPLACE EXG FIRE-DAMAGED TREADS/RISERS AS REQ'D.
 - 6.3 WOOD STAIR TO REMAIN IN PLACE.
 - A. RETAIN HISTORIC RAILINGS
 - B. REMOVE NON-HISTORIC RESILIENT TREAD COVERS.
 - C. REPLACE EXG FIRE-DAMAGED TREADS/RISERS AS REQ'D.
 - 6.4 REMOVE NON-HISTORIC TRIM
 - 6.5 REMOVE EXG WOOD BEAM AND COLUMNS. SHORE AS REQ'D. SEE STRUCTURAL DWGS.
 - 6.6 TRIM BACK EXG JOISTS RUNNING OVER FOUNDATION WALL. SEE NEW WORK PLANS AND STRUCTURAL DWGS. PROVIDE TEMPORARY SHORING AS REQ'D. NOT USED.
 - 6.7 REMOVE RAKE TRIM
 - 6.8 REMOVE RAISED PLATFORM
 - 6.9 WOOD STAIR TO BE RETAINED, BUT PREP TO RELOCATE PER NEW PLANS. REMOVE RESILIENT TREAD COVERS AND EXG HANDRAIL. SEE NEW PLANS, STRUCTURAL DWGS.
 - 6.11 REMOVE NON-HISTORIC EXG WOOD SOFFIT BOARD AND FRAMING.
 - 6.12 REMOVE OVERFRAMING AS REQUIRED. COORDINATE WITH CHANGES TO EXISTING STAIR. SEE NEW PLANS.
 7. THERMAL AND MOISTURE PROTECTION
 - 7.1 REMOVE NON-HISTORIC GUTTER & DOWNSPOUTS.
 - 7.2 BOX GUTTER TO REMAIN.
 - 7.3 EXG ROOF HATCH OPENING TO REMAIN.
 - 7.4 REMOVE EXG MEMBRANE ROOF & SHINGLES. CONTRACTOR TO INSPECT EXG ROOF DECKING AND REPAIR AS NEEDED.
 - 7.5 EXG TRIM AND SIDING TO REMAIN.
 8. OPENINGS
 - 8.1 EXG DOOR, FRAME, AND BRICKMOLD TO REMAIN.
 - 8.2 REMOVE INFILL AT EXG OPENING. EXPAND OPENING DOWNWARD SO NEW SILL IS 2" AFF. TOOTH OUT AND SALVAGE BRICK. SEE NEW PLANS/ELEVATIONS.
 - 8.3 NOT USED.
 - 8.4 REMOVE NON-HISTORIC STOREFRONT INFILL SPANNING B/W MASONRY DEMISING WALLS.
 - A. MASONRY
 - B. WOOD
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 - 8.5 RETAIN HISTORIC STOREFRONT ELEMENTS. SEE ELEVATIONS.
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 - 8.7 NON-HISTORIC DOOR & FRAME TO BE REMOVED.
 - 8.8 EXISTING 3-LITE TRANSOM TO REMAIN.
 - 8.9 NOT USED.
 - 8.10 HISTORIC WINDOW TO BE RETAINED. SEE NEW WORK PLANS FOR REPAIR NOTES.
 - 8.11 REMOVE WINDOW, RETAIN & DO NOT DAMAGE EXG HISTORIC FRAME/BRICK MOULD.
 - 8.12 REMOVE WINDOW & FRAME ENTIRELY, IF PRESENT, BACK TO MASONRY OPENING.
 - 8.13 PREP EXG DOORWAY FOR NEW WINDOW INSTALLATION. REMOVE EXG BRICKMOLD, DOOR, AND DOOR FRAME/TRIM (IF PRESENT) BACK TO MASONRY OPENING. SEE NEW PLANS/ELEVATIONS.
 - 8.14 EXG WINDOW ROUGH OPENING TO REMAIN.
 - 8.15 CONTRACTOR TO INSERT ROUGH OPENING INTO STUD BACKUP
 9. FINISHES
 - 9.1 NOT USED.

- 8.16 WALL TO MATCH BRICK OPENING AT EXTERIOR. SEE NEW PLANS/ELEVATIONS, WINDOW DETAILS, AND STRUCTURAL DWGS. PREP EXG DOORWAY FOR NEW DOOR INSTALLATION. REMOVE EXG BRICK MOLD, DOOR, AND DOOR FRAME (IF PRESENT) BACK TO MASONRY OPENING. SEE NEW PLANS/ELEVATIONS.
- 8.17 PREP EXG DOORWAY FOR MASONRY INFILL. SEE NEW PLANS/ELEVATIONS.
- 8.18 PARTIALLY INFILL EXG OPENING TO BASEMENT. SEE NEW PLANS AND STRUCTURAL DWGS.
- 8.19 EXG OPENING TO ATTIC TO REMAIN. SEE NEW PLANS.
- 8.20 NEW OPENING FOR CRAWL SPACE ACCESS PANEL. SEE NEW PLANS AND STRUCTURAL DWGS.
- 8.21 EXG FLOOR OPENING TO BE INFILLED. SEE NEW PLANS AND STRUCTURAL DWGS.

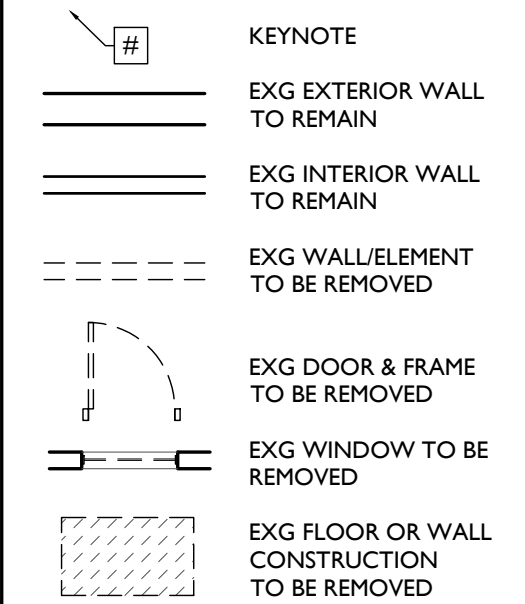


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- STEEL LINTEL. SEE ELEVATIONS & STRUCT DWGS.
- CHIMNEY:
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- WALL TO MATCH BRICK OPENING AT EXTERIOR. SEE NEW PLANS/ELEVATIONS, WINDOW DETAILS, AND STRUCTURAL DWGS.
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- 8.21 EXG FLOOR OPENING TO BE INFILLED. SEE NEW PLANS AND STRUCTURAL DWGS.
- 9. FINISHES**
- 9.1 NOT USED.



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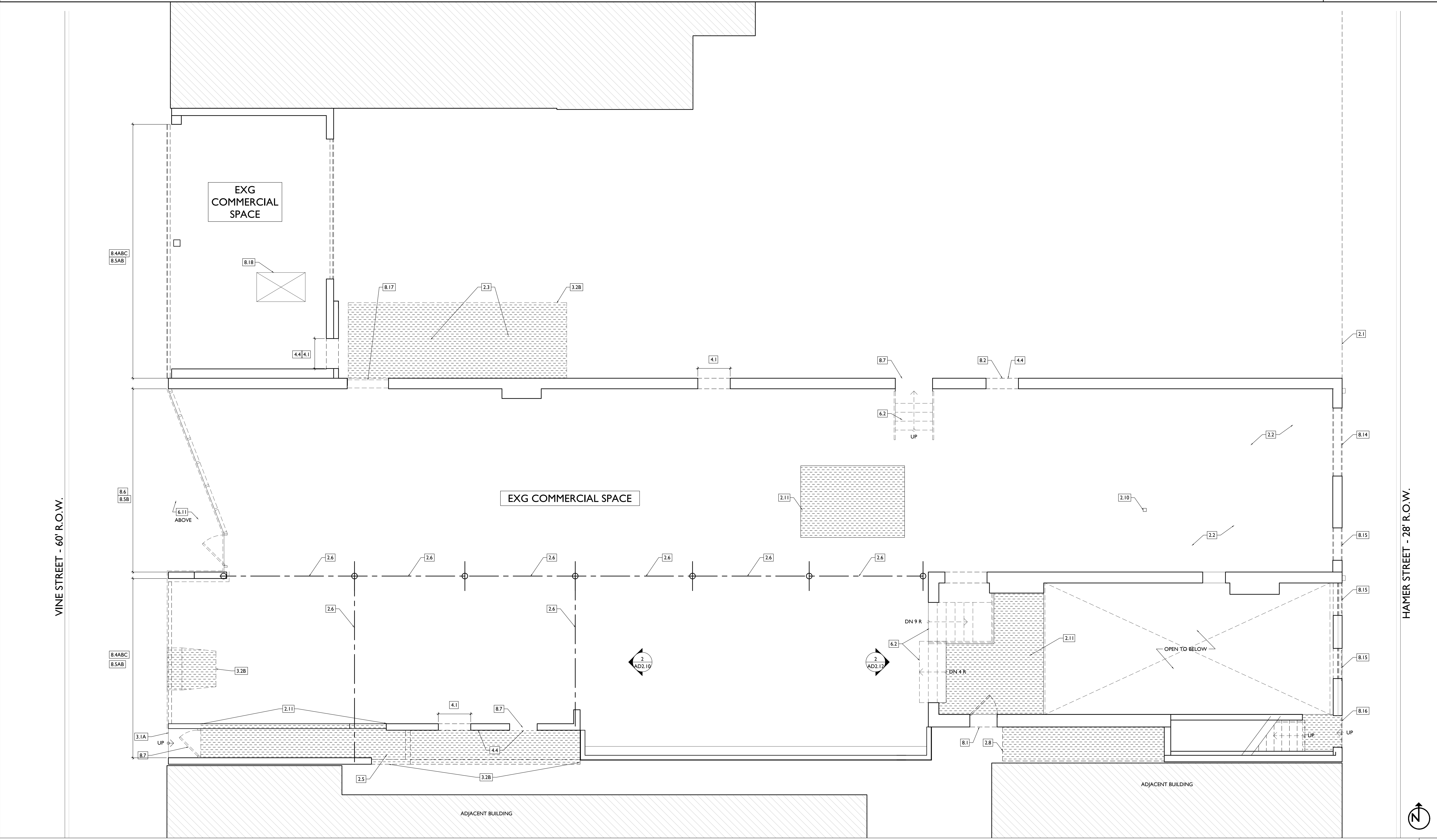
Progress Dates
Revisions
Design Team:
Drawn by:

NOT FOR CONSTRUCTION

PROPOSED PROJECT:

Job No: 08/30/2024

ADI.II



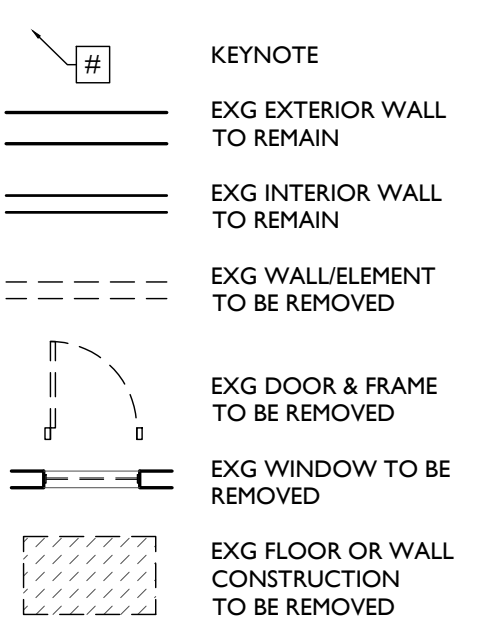
SCALE: 1/4" = 1'-0"

EXISTING + DEMOLITION PLAN - FIRST FLOOR

1. GENERAL
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- 4.3 CHIMNEY:
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 - B. REMOVED & CAPPED BELOW ROOF.
- 4.4 REMOVE EXG INFILL WALL IN PREP OF NEW CMU FOUNDATION WALL. SEE NEW PLANS AND STRUCTURAL DWGS.
- 4.5 TOOTH OUT EXG STONE OR WOOD LINTEL. PROVIDE TEMPORARY SHORING AS REQ'D. PREP OPENING FOR NEW CAST STONE LINTEL. SEE NEW WORK ELEVATIONS AND STRUCTURAL DWGS.
- 4.6 SAWCUT NEW 14"x12" OPENING IN MASONRY WALL FOR HVAC DUCTWORK. PROVIDE NEW STEEL LINTEL. SEE STRUCT DWGS. COORDINATE A.F.F. ELEVATION WITH NEW WORK PLANS, RCPs, AND MECH DRAWINGS.
5. METALS
- 5.1 NOT USED.
- 5.2 REMOVE NON-HISTORIC BRAKE METAL.
6. WOOD, PLASTICS, AND COMPOSITES
- 6.1 REMOVE RAISED PLATFORM. PROTECT/PRESERVE HISTORIC FLOORING BENEATH.
- 6.2 REMOVE NON-HISTORIC STAIR & GUARDHANDRAILS ENTIRELY. WOOD STAIR TO REMAIN IN PLACE.
 - A. RETAIN HISTORIC RAILINGS
 - B. REPLACE NON-HISTORIC RESILIENT TREAD COVERS
 - C. REPLACE EXG FIRE-DAMAGED TREADS/RISERS AS REQ'D.
- 6.3 TRIM BACK EXG JOISTS RUNNING OVER FOUNDATION WALL. SEE NEW WORK PLANS AND STRUCTURAL DWGS. PROVIDE TEMPORARY SHORING AS REQ'D. NOT USED.
- 6.4 REMOVE RAKE TRIM.
- 6.5 REMOVE RAISED PLATFORM.
- 6.6 WOOD STAIR TO BE RETAINED, BUT PREP TO RELOCATE PER NEW PLANS. REMOVE RESILIENT TREAD COVERS AND EXG HANDRAIL. SEE NEW PLANS, STRUCTURAL DWGS.
- 6.7 REMOVE NON-HISTORIC EXG WOOD SOFFIT BOARD AND FRAMING.
- 6.8 REMOVE OVERFRAMING AS REQUIRED. COORDINATE WITH CHANGES TO EXISTING STAIR. SEE NEW PLANS.
7. THERMAL AND MOISTURE PROTECTION
- 7.1 REMOVE NON-HISTORIC GUTTER & DOWNSPOUTS.
- 7.2 BOX GUTTER TO REMAIN.
- 7.3 EXG ROOF HATCH OPENING TO REMAIN.
- 7.4 REMOVE EXG MEMBRANE ROOF & SHINGLES. CONTRACTOR TO INSPECT EXG ROOF DECKING AND REPAIR AS NEEDED.
- 7.5 EXG TRIM AND SIDING TO REMAIN.
8. OPENINGS
- 8.1 EXG DOOR, FRAME, AND BRICKMOLD TO REMAIN.
- 8.2 REMOVE INFILL AT EXG OPENING. EXPAND OPENING DOWNWARD SO NEW SILL IS 2" AFF. TOOTH OUT AND SALVAGE BRICK. SEE NEW PLANS/ELEVATIONS.
- 8.3 NOT USED.
- 8.4 REMOVE NON-HISTORIC STOREFRONT INFILL SPANNING B/W MASONRY DEMISING WALLS.
 - A. MASONRY
 - B. WOOD
 - C. GLAZING
- 8.5 RETAIN HISTORIC STOREFRONT ELEMENTS. SEE ELEVATIONS.
 - A. COLUMNS/PLASTERS
 - B. LINTELS
- 8.6 RETAIN NON-HISTORIC STOREFRONT FRAMING - REPAIR AS REQ'D. REMOVE GLASS AND PLYWOOD INFILL. REMOVE EXG DOOR AND TRANSOM. PREP FOR NEW GLAZING AND INSTALLATION OF NEW DOOR AND TRANSOM. SEE NEW WORK PLANS, ELEVATIONS.
- 8.7 NON-HISTORIC DOOR & FRAME TO BE REMOVED.
- 8.8 EXISTING 3-LITE TRANSOM TO REMAIN.
- 8.9 NOT USED.
- 8.10 HISTORIC WINDOW TO BE RETAINED. SEE NEW WORK PLANS FOR REPAIR NOTES.
- 8.11 REMOVE WINDOW, RETAIN & DO NOT DAMAGE EXG HISTORIC FRAME/BRICK MOULD.
- 8.12 REMOVE WINDOW & FRAME ENTIRELY, IF PRESENT, BACK TO MASONRY OPENING.
- 8.13 PREP EXG DOORWAY FOR NEW WINDOW INSTALLATION. REMOVE EXG BRICKMOLD, DOOR AND DOOR FRAME/TRIM (IF PRESENT) BACK TO MASONRY OPENING. SEE NEW PLANS/ELEVATIONS.
- 8.14 EXG WINDOW ROUGH OPENING TO REMAIN.
- 8.15 CONTRACTOR TO INSERT ROUGH OPENING INTO STUD BACKUP

9. FINISHES
 - 9.1 NOT USED.
- WALL TO MATCH BRICK OPENING AT EXTERIOR. SEE NEW PLANS/ELEVATIONS, WINDOW DETAILS, AND STRUCTURAL DWGS. PREP EXG DOORWAY FOR NEW DOOR INSTALLATION. REMOVE EXG BRICK MOLD, DOOR, AND DOOR FRAME (IF PRESENT) BACK TO MASONRY OPENING. SEE NEW PLANS/ELEVATIONS.
- PREP EXG DOORWAY FOR MASONRY INFILL. SEE NEW PLANS/ELEVATIONS.
- PARTIALLY INFILL EXG OPENING TO BASEMENT. SEE NEW PLANS AND STRUCTURAL DWGS.
- EXG OPENING TO ATTIC TO REMAIN. SEE NEW PLANS.
- NEW OPENING FOR CRAWL SPACE ACCESS PANEL. SEE NEW PLANS AND STRUCTURAL DWGS.
- EXG FLOOR OPENING TO BE INFILLED. SEE NEW PLANS AND STRUCTURAL DWGS.



Progress Dates

Revisions

Design Team:

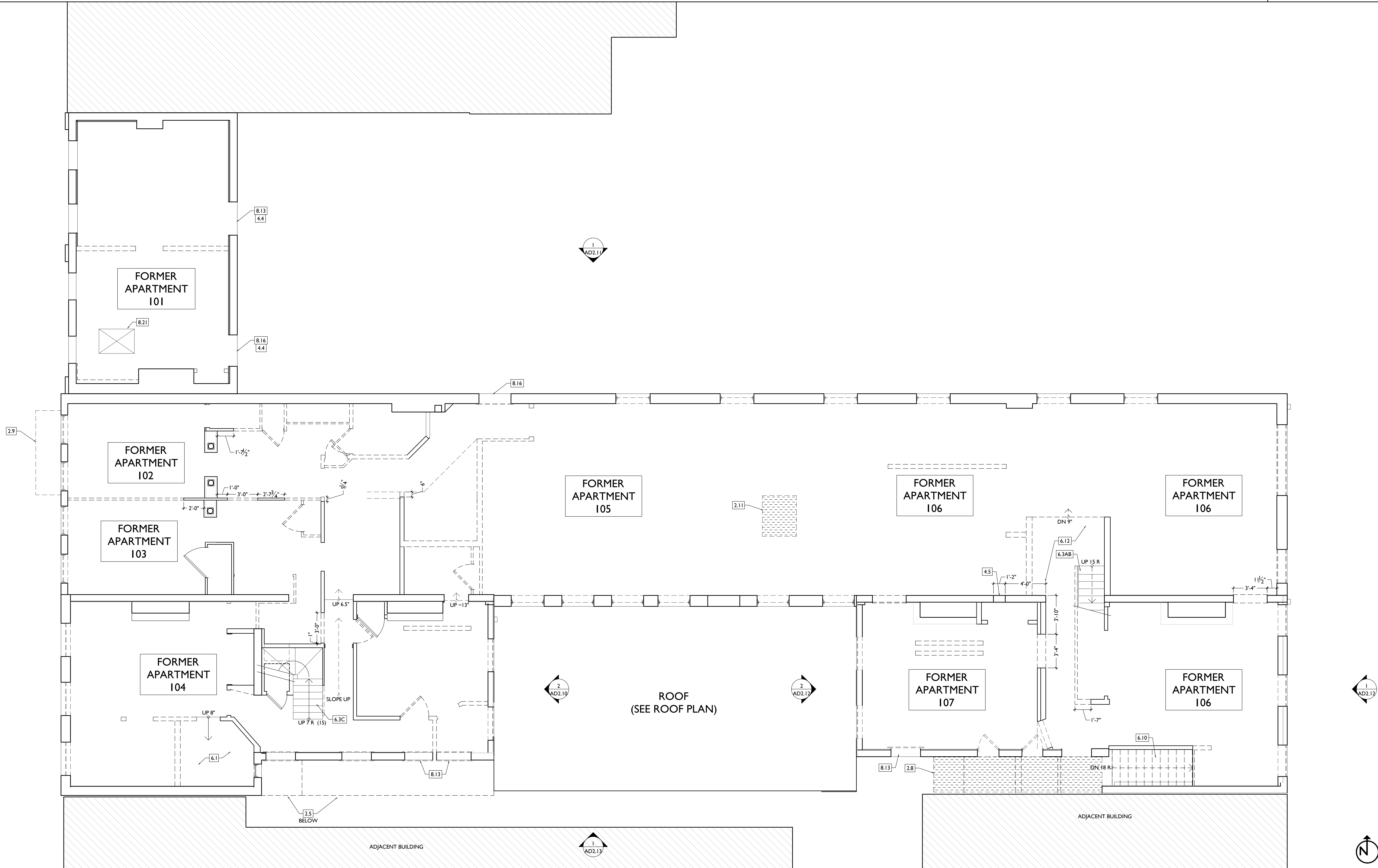
Drawn by:

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PROPOSED PROJECT:

Job No: 08/30/2024

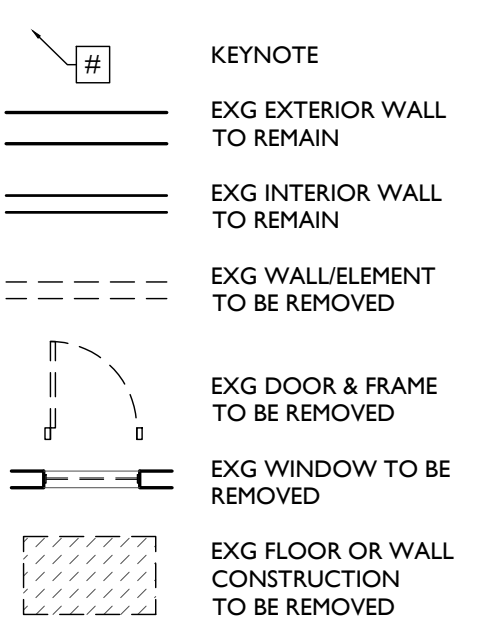
ADI.12



1. GENERAL
2. EXG CONDITIONS
 - 2.1 REMOVE GATE AND/OR FENCE.
 - 2.2 EXCAVATE AREA FOR CRANESPACE BELOW NEW FLOOR FRAMING. GROUND TO BE 30" MINIMUM BELOW E.O. JOIST. SEE NEW WORK PLANS AND STRUCTURAL DWGS.
 - 2.3 EXCAVATE FOR COLUMN FOOTINGS AS REQ'D FOR NEW STAIRS. SEE NEW WORK PLANS AND STRUCTURAL DWGS.
 - 2.4 DIRT FLOOR. PREP FOR NEW SLAB. SEE NEW PLANS.
 - 2.5 NON-HISTORIC STORAGE AREA TO BE REMOVED. SEE ELEVATIONS, NEW PLANS.
 - 2.6 EXG BEAM ABOVE TO REMAIN. SEE STRUCT DWGS.
 - 2.7 EXG ARCH ABOVE TO REMAIN.
 - 2.8 NON-HISTORIC 3-STORY INFILL TO BE REMOVED. SEE ELEVATIONS, NEW PLANS.
 - 2.9 REMOVE FIRE ESCAPE.
 - 2.10 REMOVE COLUMN. SEE STRUCTURAL DWGS.
 - 2.11 REMOVE FLOOR FRAMING & SHEATHING/DECKING. SEE STRUCT DWGS & NEW WORK PLANS.
 - 2.12 HISTORIC EXTERIOR ORNAMENT TO REMAIN.
 - A. CORNICE
 - B. BRACKET
 - C. FRIEZE
 - D. VERTICAL DECORATIVE PANEL
 - 2.13 NON-HISTORIC EXTERIOR ORNAMENT TO BE REMOVED.
 - A. BRAKE METAL STOREFRONT CORNICE
 - B. BRAKE METAL PANELING
 - C. PLYWOOD
3. CONCRETE
 - 3.1 CONCRETE OR STONE STEPS
 - A. TO REMAIN
 - B. REMOVE
 - 3.2 CONCRETE SLAB
 - A. TO REMAIN
 - B. REMOVE
4. MASONRY
 - 4.1 NEW OR EXPANDED OPENING IN EXG MASONRY WALL. CAREFULLY TOOTH OUT MASONRY FOR REUSE. PROVIDE NEW

- 4.2 STEEL LINTEL. SEE ELEVATIONS & STRUCT DWGS.
 - A. TO REMAIN
 - B. REMOVED & CAPPED BELOW ROOF.
- 4.3 REMOVE EXG. INFILL WALL IN PREP OF NEW CMU FOUNDATION WALL. SEE NEW PLANS AND STRUCTURAL DWGS.
- 4.4 TOOTH OUT EXG STONE OR WOOD LINTEL. PROVIDE TEMPORARY SHORING AS REQ'D. PREP OPENING FOR NEW CAST STONE LINTEL. SEE NEW WORK ELEVATIONS AND STRUCTURAL DWGS.
- 4.5 SAWCUT NEW 14"x12" OPENING IN MASONRY WALL FOR HVAC DUCTWORK. PROVIDE NEW STEEL LINTEL. SEE STRUCT DWGS. COORDINATE A.F.F. ELEVATION WITH NEW WORK PLANS, RCPs, AND MECH DRAWINGS.
5. METALS
 - 5.1 NOT USED.
 - 5.2 REMOVE NON-HISTORIC BRAKE METAL.
6. WOOD, PLASTICS, AND COMPOSITES
 - 6.1 REMOVE RAISED PLATFORM. PROTECT/PRESERVE HISTORIC FLOORING BENEATH.
 - 6.2 REMOVE NON-HISTORIC STAIR & GUARDHANDRAILS ENTIRELY.
 - A. WOOD STAIR TO REMAIN IN PLACE.
 - A. RETAIN HISTORIC RAILINGS.
 - B. REPLACE NON-HISTORIC RESILIENT TREAD COVERS.
 - C. REPLACE EXG FIRE-DAMAGED TREADS/RISERS AS REQ'D.
 - 6.4 REMOVE NON-HISTORIC TRIM.
 - 6.5 REMOVE EXG WOOD BEAM AND COLUMNS. SHORE AS REQ'D. SEE STRUCTURAL DWGS.
 - 6.6 TRIM BACK EXG JOISTS RUNNING OVER FOUNDATION WALL. SEE NEW WORK PLANS AND STRUCTURAL DWGS. PROVIDE TEMPORARY SHORING AS REQ'D.
 - 6.7 NOT USED.
 - 6.8 REMOVE RAKE TRIM.
 - 6.9 REMOVE RAISED PLATFORM.
 - 6.10 WOOD STAIR TO BE RETAINED, BUT PREP TO RELOCATE PER NEW PLANS. REMOVE RESILIENT TREAD COVERS AND EXG HANDRAIL. SEE NEW PLANS, STRUCTURAL DWGS.
 - 6.11 REMOVE NON-HISTORIC EXG WOOD SOFFIT BOARD AND FRAMING.
 - 6.12 REMOVE OVERFRAMING AS REQUIRED. COORDINATE WITH CHANGES TO EXISTING STAIR. SEE NEW PLANS.
7. THERMAL AND MOISTURE PROTECTION
 - 7.1 REMOVE NON-HISTORIC GUTTER & DOWNSPOUTS.
 - 7.2 BOX GUTTER TO REMAIN.
 - 7.3 EXG ROOF HATCH OPENING TO REMAIN.
 - 7.4 REMOVE EXG MEMBRANE ROOF & SHINGLES. CONTRACTOR TO INSPECT EXG ROOF DECKING AND REPAIR AS NEEDED.
 - 7.5 EXG TRIM AND SIDING TO REMAIN.
8. OPENINGS
 - 8.1 EXG DOOR, FRAME, AND BRICKMOLD TO REMAIN.
 - 8.2 REMOVE INFILL AT EXG OPENING. EXPAND OPENING DOWNWARD SO NEW SILL IS 2" AFF. TOOTH OUT AND SALVAGE BRICK. SEE NEW PLANS/ELEVATIONS.
 - 8.3 NOT USED.
 - 8.4 REMOVE NON-HISTORIC STOREFRONT INFILL SPANNING B/W MASONRY DEMISING WALLS.
 - A. MASONRY.
 - B. WOOD.
 - C. GLAZING.
 - 8.5 RETAIN HISTORIC STOREFRONT ELEMENTS. SEE ELEVATIONS.
 - A. COLUMNS/PLASTERS.
 - B. LINTELS.
 - 8.6 RETAIN NON-HISTORIC STOREFRONT FRAMING - REPAIR AS REQ'D. REMOVE GLASS AND PLYWOOD INFILL. REMOVE EXG DOOR AND TRANSOM. PREP FOR NEW GLAZING AND INSTALLATION OF NEW DOOR AND TRANSOM. SEE NEW WORK PLANS, ELEVATIONS.
 - 8.7 NON-HISTORIC DOOR & FRAME TO BE REMOVED.
 - 8.8 EXISTING 3-LITE TRANSOM TO REMAIN.
 - 8.9 NOT USED.
 - 8.10 HISTORIC WINDOW TO BE RETAINED. SEE NEW WORK PLANS FOR REPAIR NOTES.
 - 8.11 REMOVE WINDOW, RETAIN & DO NOT DAMAGE EXG HISTORIC FRAME/BRICK MOULD.
 - 8.12 REMOVE WINDOW & FRAME ENTIRELY, IF PRESENT, BACK TO MASONRY OPENING.
 - 8.13 PREP EXG DOORWAY FOR NEW WINDOW INSTALLATION. REMOVE EXG BRICKMOLD, DOOR AND DOOR FRAME/TRIM (IF PRESENT) BACK TO MASONRY OPENING. SEE NEW PLANS/ELEVATIONS.
 - 8.14 EXG WINDOW ROUGH OPENING TO REMAIN.
 - 8.15 CONTRACTOR TO INSERT ROUGH OPENING INTO STUD BACKUP

- 8.16 WALL TO MATCH BRICK OPENING AT EXTERIOR. SEE NEW PLANS/ELEVATIONS, WINDOW DETAILS, AND STRUCTURAL DWGS. PREP EXG DOORWAY FOR NEW DOOR INSTALLATION. REMOVE EXG BRICK MOLD, DOOR, AND DOOR FRAME (IF PRESENT) BACK TO MASONRY OPENING. SEE NEW PLANS/ELEVATIONS.
- 8.17 PREP EXG DOORWAY FOR MASONRY INFILL. SEE NEW PLANS/ELEVATIONS.
- 8.18 PARTIALLY INFILL EXG OPENING TO BASEMENT. SEE NEW PLANS AND STRUCTURAL DWGS.
- 8.19 EXG OPENING TO ATTIC TO REMAIN. SEE NEW PLANS.
- 8.20 NEW OPENING FOR CRAWL SPACE ACCESS PANEL. SEE NEW PLANS AND STRUCTURAL DWGS.
- 8.21 EXG FLOOR OPENING TO BE INFILLED. SEE NEW PLANS AND STRUCTURAL DWGS.
9. FINISHES
 - 9.1 NOT USED.



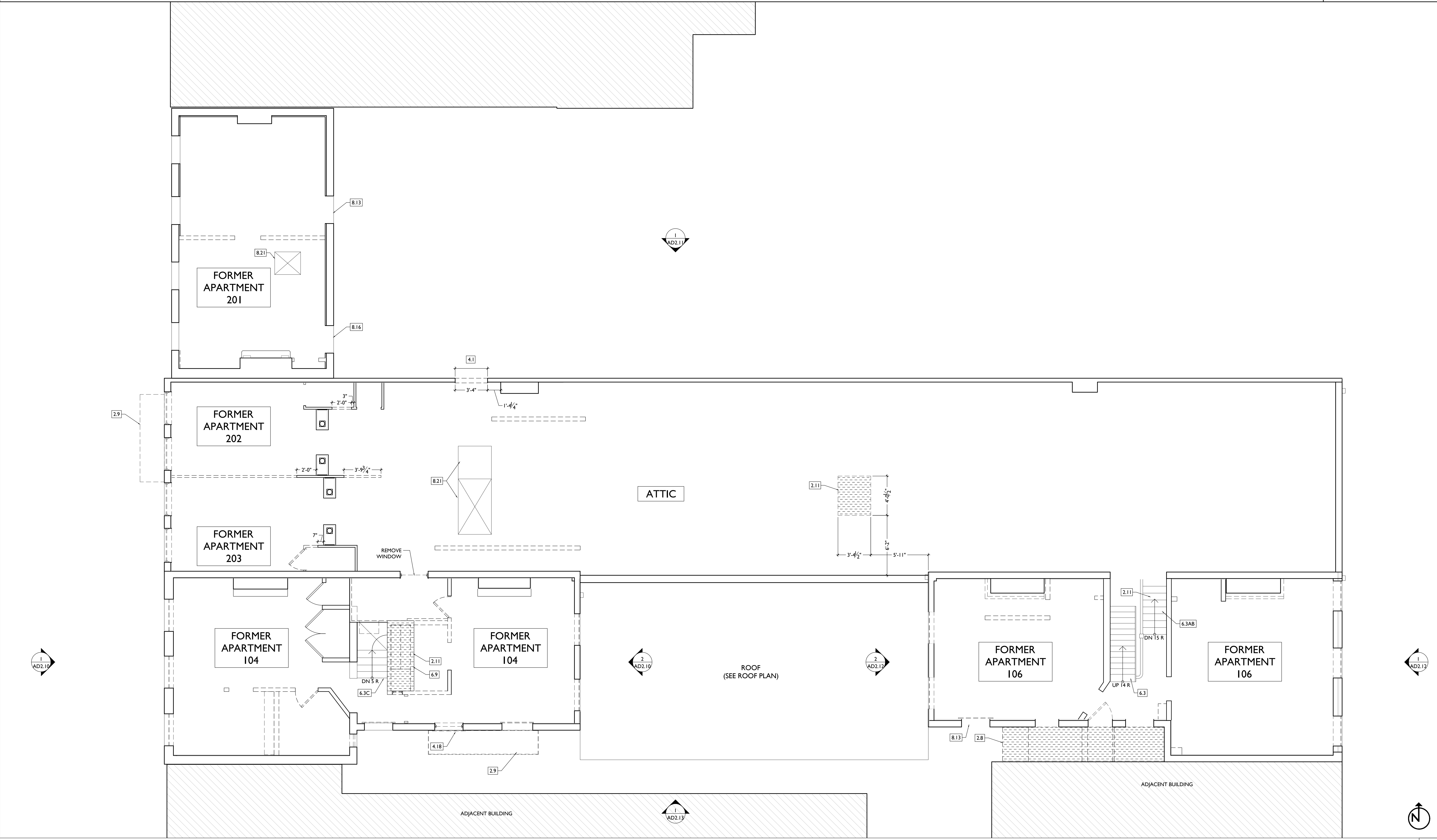
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| Progress Dates |
| Revisions |
| Design Team: |
| Drawn by: |

NOT FOR CONSTRUCTION

PROPOSED PROJECT:

Job No: 08/30/2024

ADI.13



1. **GENERAL**
2. **EXG CONDITIONS**
- 2.1 REMOVE GATE AND/OR FENCE.
- 2.2 EXCAVATE AREA FOR CRANKSPACE BELOW NEW FLOOR FRAMING. GROUND TO BE 30" MINIMUM BELOW E.O. JOIST. SEE NEW WORK PLANS AND STRUCTURAL DWGS.
- 2.3 EXCAVATE FOR COLUMN FOOTINGS AS REQ'D FOR NEW STAIRS. SEE NEW WORK PLANS AND STRUCTURAL DWGS.
- 2.4 DIRTY FLOOR. PREP FOR NEW SLAB. SEE NEW PLANS.
- 2.5 NON-HISTORIC STORAGE AREA TO BE REMOVED. SEE ELEVATIONS, NEW PLANS.
- 2.6 EXG BEAM ABOVE TO REMAIN. SEE STRUCT DWGS.
- 2.7 EXG ARCH ABOVE TO REMAIN.
- 2.8 NON-HISTORIC 3-STORY INFILL TO BE REMOVED. SEE ELEVATIONS, NEW PLANS.
- 2.9 REMOVE FIRE ESCAPE.
- 2.10 REMOVE COLUMN. SEE STRUCTURAL DWGS.
- 2.11 REMOVE FLOOR FRAMING & SHEATHING/DECKING. SEE STRUCT DWGS & NEW WORK PLANS.
- 2.12 HISTORIC EXTERIOR ORNAMENT TO REMAIN.
 - A. CORNICE
 - B. BRACKET
 - C. FRIEZE
 - D. VERTICAL DECORATIVE PANEL
- 2.13 NON-HISTORIC EXTERIOR ORNAMENT TO BE REMOVED.
 - A. BRAKE METAL STOREFRONT CORNICE
 - B. BRAKE METAL PANELING
 - C. PLYWOOD
3. **CONCRETE**
- 3.1 CONCRETE OR STONE STEPS
 - A. TO REMAIN
 - B. REMOVE
- 3.2 CONCRETE SLAB
 - A. TO REMAIN
 - B. REMOVE
4. **MASONRY**
- 4.1 NEW OR EXPANDED OPENING IN EXG MASONRY WALL CAREFULLY TOOTH OUT MASONRY FOR REUSE. PROVIDE NEW

- 4.2 STEEL LINTEL. SEE ELEVATIONS & STRUCT DWGS.
- 4.3 CHIMNEY
 - A. TO REMAIN
 - B. REMOVED & CAPPED BELOW ROOF.
- 4.4 REMOVE EXG INFILL WALL IN PREP OF NEW CMU FOUNDATION WALL. SEE NEW PLANS AND STRUCTURAL DWGS.
- 4.5 TOOTH OUT EXG STONE OR WOOD LINTEL. PROVIDE TEMPORARY SHORING AS REQ'D. PREP OPENING FOR NEW CAST STONE LINTEL. SEE NEW WORK ELEVATIONS AND STRUCTURAL DWGS.
- 4.6 SAWCUT NEW 14"X12" OPENING IN MASONRY WALL FOR HVAC DUCTWORK. PROVIDE NEW STEEL LINTEL. SEE STRUCT DWGS. COORDINATE A.F.F. ELEVATION WITH NEW WORK PLANS, RCPs, AND MECH DRAWINGS.
5. **METALS**
- 5.1 NOT USED.
- 5.2 REMOVE NON-HISTORIC BRAKE METAL.
6. **WOOD, PLASTICS, AND COMPOSITES**
- 6.1 REMOVE RAISED PLATFORM. PROTECT/PRESERVE HISTORIC FLOORING BENEATH.
- 6.2 REMOVE NON-HISTORIC STAIR & GUARDHANDRAILS ENTIRELY.
 - A. RETAIN HISTORIC RAILINGS
 - B. REMOVE NON-HISTORIC RESILIENT TREAD COVERS
 - C. REPLACE EXG FIRE-DAMAGED TREADS/RISERS AS REQ'D.
- 6.3 WOOD STAIR TO REMAIN IN PLACE.
 - A. RETAIN HISTORIC RAILINGS
 - B. REMOVE NON-HISTORIC RESILIENT TREAD COVERS
 - C. REPLACE EXG FIRE-DAMAGED TREADS/RISERS AS REQ'D.
- 6.4 REMOVE NON-HISTORIC TRIM
- 6.5 REMOVE EXG WOOD BEAM AND COLUMNS. SHORE AS REQ'D. SEE STRUCTURAL DWGS.
- 6.6 TRIM BACK EXG JOISTS RUNNING OVER FOUNDATION WALL. SEE NEW WORK PLANS AND STRUCTURAL DWGS. PROVIDE TEMPORARY SHORING AS REQ'D.
- 6.7 NOT USED.
- 6.8 REMOVE RAKE TRIM
- 6.9 REMOVE RAISED PLATFORM
- 6.10 WOOD STAIR TO BE RETAINED, BUT PREP TO RELOCATE PER NEW PLANS. REMOVE RESILIENT TREAD COVERS AND EXG HANDRAIL. SEE NEW PLANS, STRUCTURAL DWGS.
- 6.11 REMOVE NON-HISTORIC EXG WOOD SOFFIT BOARD AND FRAMING.
- 6.12 REMOVE OVERFRAMING AS REQUIRED. COORDINATE WITH CHANGES TO EXISTING STAIR. SEE NEW PLANS.

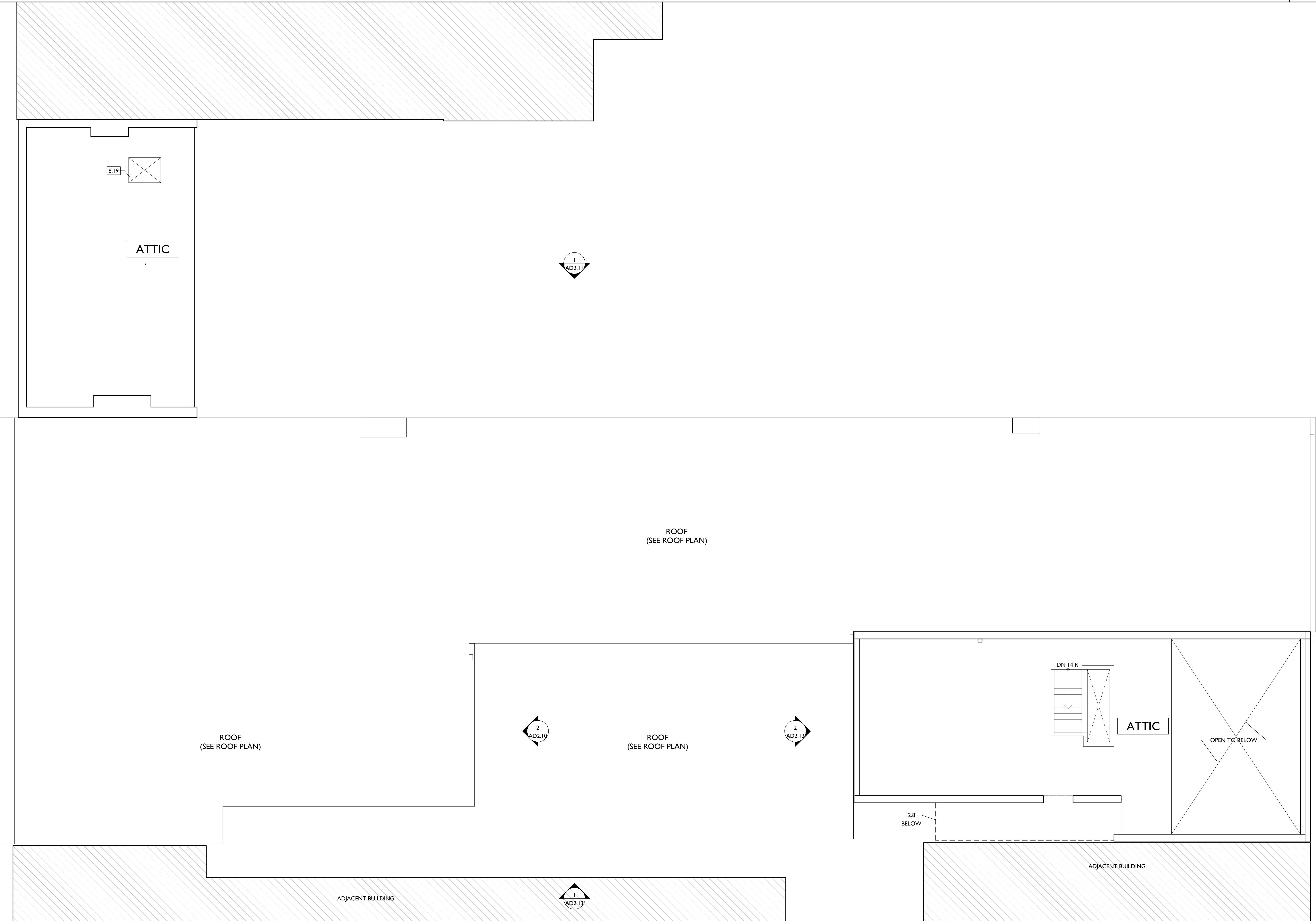
7. **THERMAL AND MOISTURE PROTECTION**
- 7.1 REMOVE NON-HISTORIC GUTTER & DOWNSPOUTS.
- 7.2 BOX GUTTER TO REMAIN.
- 7.3 EXG ROOF HATCH OPENING TO REMAIN.
- 7.4 REMOVE EXG MEMBRANE ROOF & SHINGLES. CONTRACTOR TO INSPECT EXG ROOF DECKING AND REPAIR AS NEEDED.
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8. **OPENINGS**
- 8.1 EXG DOOR, FRAME, AND BRICKMOLD TO REMAIN.
- 8.2 REMOVE INFILL AT EXG OPENING. EXPAND OPENING DOWNWARD SO NEW SILL IS 2" AFF. TOOTH OUT AND SALVAGE BRICK. SEE NEW PLANS/ELEVATIONS.
- 8.3 NOT USED.
- 8.4 REMOVE NON-HISTORIC STOREFRONT INFILL SPANNING B/W MASONRY DEMISING WALLS.
 - A. MASONRY
 - B. WOOD
 - C. GLAZING
- 8.5 RETAIN HISTORIC STOREFRONT ELEMENTS. SEE ELEVATIONS.
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 - B. LINTELS
- 8.6 RETAIN NON-HISTORIC STOREFRONT FRAMING - REPAIR AS REQ'D. REMOVE GLASS AND PLYWOOD INFILL. REMOVE EXG DOOR AND TRANSOM. PREP FOR NEW GLAZING AND INSTALLATION OF NEW DOOR AND TRANSOM. SEE NEW WORK PLANS, ELEVATIONS.
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- 8.8 EXISTING 3-LITE TRANSOM TO REMAIN.
- 8.9 NOT USED.
- 8.10 HISTORIC WINDOW TO BE RETAINED. SEE NEW WORK PLANS FOR REPAIR NOTES.
- 8.11 REMOVE WINDOW, RETAIN & DO NOT DAMAGE EXG HISTORIC FRAME/BRICK MOULD.
- 8.12 REMOVE WINDOW & FRAME ENTIRELY, IF PRESENT, BACK TO MASONRY OPENING.
- 8.13 PREP EXG DOORWAY FOR NEW WINDOW INSTALLATION. REMOVE EXG BRICKMOLD, DOOR, AND DOOR FRAME/TRIM (IF PRESENT) BACK TO MASONRY OPENING. SEE NEW PLANS/ELEVATIONS.
- 8.14 EXG WINDOW ROUGH OPENING TO REMAIN.
- 8.15 CONTRACTOR TO INSERT ROUGH OPENING INTO STUD BACKUP

9. **FINISHES**
- 9.1 NOT USED.

- 8.16 WALL TO MATCH BRICK OPENING AT EXTERIOR. SEE NEW PLANS/ELEVATIONS, WINDOW DETAILS, AND STRUCTURAL DWGS. PREP EXG DOORWAY FOR NEW DOOR INSTALLATION. REMOVE EXG BRICK MOLD, DOOR, AND DOOR FRAME (IF PRESENT) BACK TO MASONRY OPENING. SEE NEW PLANS/ELEVATIONS.
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- 8.19 EXG OPENING TO ATTIC TO REMAIN. SEE NEW PLANS.
- 8.20 NEW OPENING FOR CRAWL SPACE ACCESS PANEL. SEE NEW PLANS AND STRUCTURAL DWGS.
- 8.21 EXG FLOOR OPENING TO BE INFILLED. SEE NEW PLANS AND STRUCTURAL DWGS.

DEMO WORK GRAPHIC KEY:

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| | KEYNOTE |
| | EXG EXTERIOR WALL TO REMAIN |
| | EXG INTERIOR WALL TO REMAIN |
| | EXG WALL/ELEMENT TO BE REMOVED |
| | EXG DOOR & FRAME TO BE REMOVED |
| | EXG WINDOW TO BE REMOVED |
| | EXG FLOOR OR WALL CONSTRUCTION TO BE REMOVED |



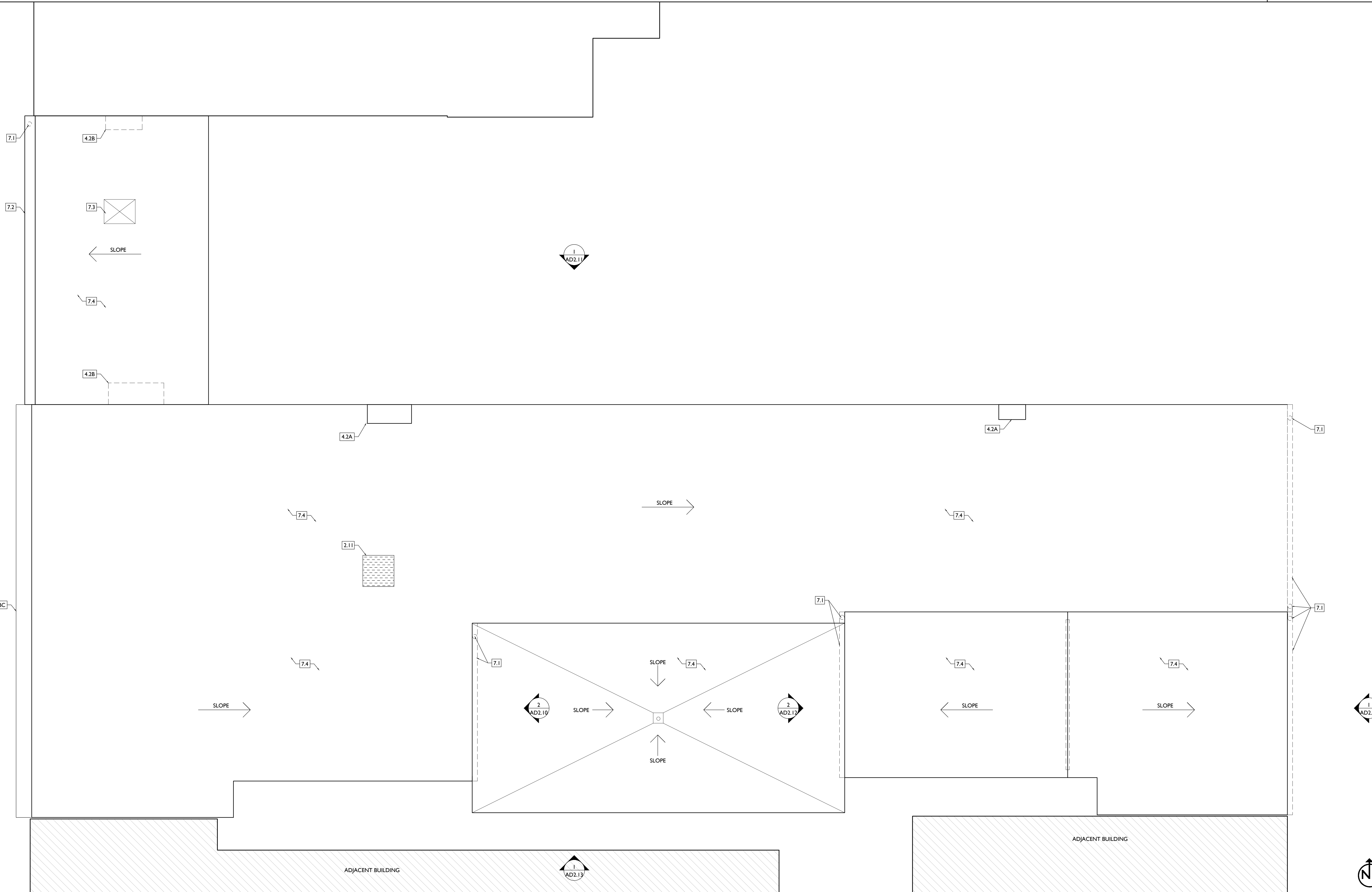
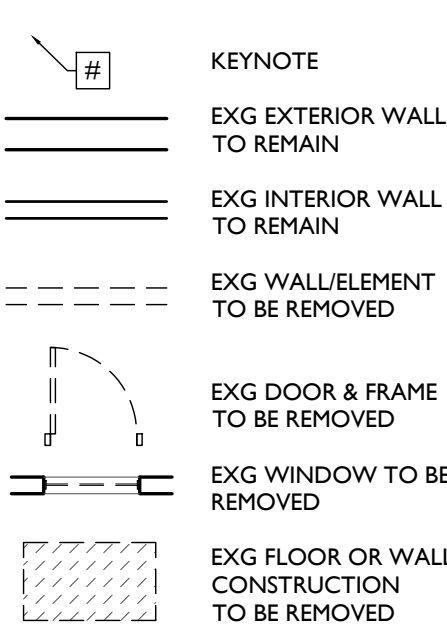
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| Progress Dates |
| Revisions |
| Design Team: |
| Drawn by: |

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- 2.4 DIRTY FLOOR. PREP FOR NEW SLAB. SEE NEW PLANS.
- 2.5 NON-HISTORIC STORAGE AREA TO BE REMOVED. SEE ELEVATIONS, NEW PLANS.
- 2.6 EXG BEAM ABOVE TO REMAIN. SEE STRUCT DWGS.
- 2.7 EXG ARCH ABOVE TO REMAIN.
- 2.8 NON-HISTORIC 3-STORY INFILL TO BE REMOVED. SEE ELEVATIONS, NEW PLANS.
- 2.9 REMOVE FIRE ESCAPE.
- 2.10 REMOVE COLUMN. SEE STRUCTURAL DWGS.
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 - B. BRAKE METAL PANELING
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- 4.1 NEW OR EXPANDED OPENING IN EXG MASONRY WALL CAREFULLY TOOTH OUT MASONRY FOR REUSE. PROVIDE NEW

- 4.2 STEEL LINTEL. SEE ELEVATIONS & STRUCT DWGS.
 - A. TO REMAIN
 - B. REMOVED & CAPPED BELOW ROOF.
- 4.3 REMOVE EXG INFILL WALL IN PREP OF NEW CMU FOUNDATION WALL. SEE NEW PLANS AND STRUCTURAL DWGS.
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5. METALS
- 5.1 NOT USED.
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6. WOOD, PLASTICS, AND COMPOSITES
- 6.1 REMOVE RAISED PLATFORM. PROTECT/PRESERVE HISTORIC FLOORING BENEATH.
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 - B. REMOVE NON-HISTORIC RESILIENT TREAD COVERS.
 - C. REPLACE EXG FIRE-DAMAGED TREADS/RISERS AS REQ'D.
- 6.3 WOOD STAIR TO REMAIN IN PLACE.
 - A. RETAIN HISTORIC RAILINGS
 - B. REMOVE NON-HISTORIC RESILIENT TREAD COVERS.
 - C. REPLACE EXG FIRE-DAMAGED TREADS/RISERS AS REQ'D.
- 6.4 REMOVE NON-HISTORIC TRIM
- 6.5 REMOVE EXG WOOD BEAM AND COLUMNS. SHORE AS REQ'D. SEE STRUCTURAL DWGS.
- 6.6 TRIM BACK EXG JOISTS RUNNING OVER FOUNDATION WALL. SEE NEW WORK PLANS AND STRUCTURAL DWGS. PROVIDE TEMPORARY SHORING AS REQ'D.
- 6.7 NOT USED.
- 6.8 REMOVE RAKE TRIM
- 6.9 REMOVE RAISED PLATFORM
- 6.10 WOOD STAIR TO BE RETAINED, BUT PREP TO RELOCATE PER NEW PLANS. REMOVE RESILIENT TREAD COVERS AND EXG HANDRAIL. SEE NEW PLANS, STRUCTURAL DWGS.
- 6.11 REMOVE NON-HISTORIC EXG WOOD SOFFIT BOARD AND FRAMING.
- 6.12 REMOVE OVERFRAMING AS REQUIRED. COORDINATE WITH CHANGES TO EXISTING STAIR. SEE NEW PLANS.

7. THERMAL AND MOISTURE PROTECTION
- 7.1 REMOVE NON-HISTORIC GUTTER & DOWNSPOUTS.
- 7.2 BOX GUTTER TO REMAIN.
- 7.3 EXG ROOF HATCH OPENING TO REMAIN.
- 7.4 REMOVE EXG MEMBRANE ROOF & SHINGLES. CONTRACTOR TO INSPECT EXG ROOF DECKING AND REPAIR AS NEEDED.
- 7.5 EXG TRIM AND SIDING TO REMAIN.
8. OPENINGS
- 8.1 EXG DOOR, FRAME, AND BRICKMOLD TO REMAIN.
- 8.2 REMOVE INFILL AT EXG OPENING. EXPAND OPENING DOWNWARD SO NEW SILL IS 2" AFF. TOOTH OUT AND SALVAGE BRICK. SEE NEW PLANS/ELEVATIONS.
- 8.3 NOT USED.
- 8.4 REMOVE NON-HISTORIC STOREFRONT INFILL SPANNING B/W MASONRY DEMISING WALLS.
 - A. MASONRY
 - B. WOOD
 - C. GLAZING
- 8.5 RETAIN HISTORIC STOREFRONT ELEMENTS. SEE ELEVATIONS.
 - A. COLUMNS/PLASTERS
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- 8.6 RETAIN NON-HISTORIC STOREFRONT FRAMING - REPAIR AS REQ'D. REMOVE GLASS AND PLYWOOD INFILL. REMOVE EXG DOOR AND TRANSOM. PREP FOR NEW GLAZING AND INSTALLATION OF NEW DOOR AND TRANSOM. SEE NEW WORK PLANS, ELEVATIONS.
- 8.7 NON-HISTORIC DOOR & FRAME TO BE REMOVED.
- 8.8 EXISTING 3-LITE TRANSOM TO REMAIN.
- 8.9 NOT USED.
- 8.10 HISTORIC WINDOW TO BE RETAINED. SEE NEW WORK PLANS FOR REPAIR NOTES.
- 8.11 REMOVE WINDOW, RETAIN & DO NOT DAMAGE EXG HISTORIC FRAME/BRICK MOULD.
- 8.12 REMOVE WINDOW & FRAME ENTIRELY, IF PRESENT, BACK TO MASONRY OPENING.
- 8.13 PREP EXG DOORWAY FOR NEW WINDOW INSTALLATION. REMOVE EXG BRICKMOLD, DOOR AND DOOR FRAME/TRIM (IF PRESENT) BACK TO MASONRY OPENING. SEE NEW PLANS/ELEVATIONS.
- 8.14 EXG WINDOW ROUGH OPENING TO REMAIN.
- 8.15 CONTRACTOR TO INSERT ROUGH OPENING INTO STUD BACKUP

9. FINISHES
 - 9.1 NOT USED.
- WALL TO MATCH BRICK OPENING AT EXTERIOR. SEE NEW PLANS/ELEVATIONS, WINDOW DETAILS, AND STRUCTURAL DWGS. PREP EXG DOORWAY FOR NEW DOOR INSTALLATION. REMOVE EXG MASONRY OPENING. SEE NEW PLANS/ELEVATIONS.
- PREP EXG DOORWAY FOR MASONRY INFILL. SEE NEW PLANS/ELEVATIONS.
- PARTIALLY INFILL EXG OPENING TO BASEMENT. SEE NEW PLANS AND STRUCTURAL DWGS.
- EXG OPENING TO ATTIC TO REMAIN. SEE NEW PLANS.
- NEW OPENING FOR CRANL SPACE ACCESS PANEL. SEE NEW PLANS AND STRUCTURAL DWGS.
- EXG FLOOR OPENING TO BE INFILLED. SEE NEW PLANS AND STRUCTURAL DWGS.



NOT FOR CONSTRUCTION

PROPOSED PROJECT:

Job No: 08/30/2024

ADI.15

Progress Dates

Revisions

Design Team:

Drawn by:

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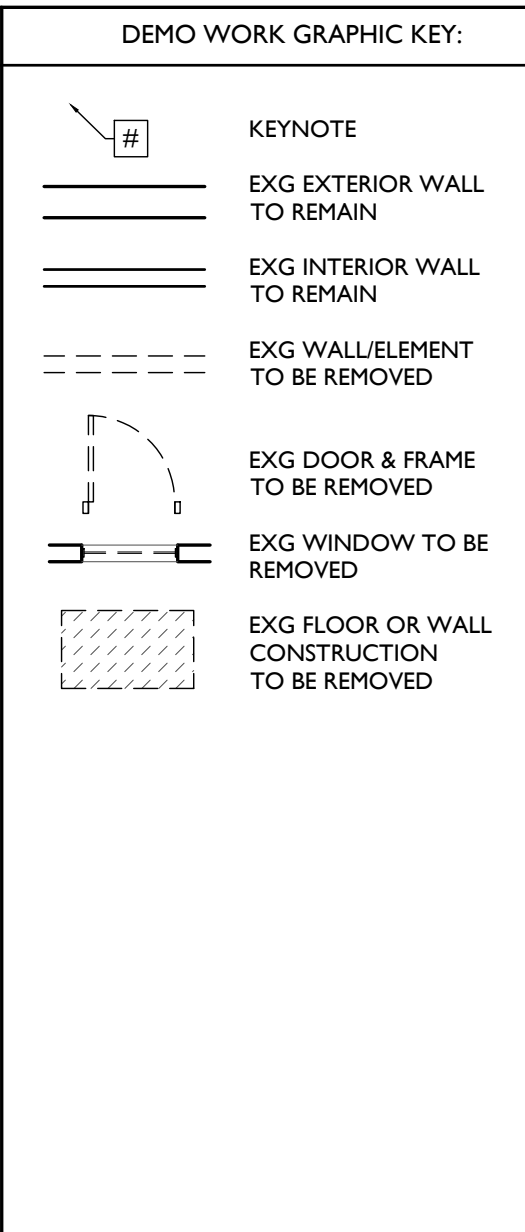
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 - 2.3 EXCAVATE FOR COLUMN FOOTINGS AS REQ'D FOR NEW STAIRS. SEE NEW WORK PLANS AND STRUCTURAL DWGS.
 - 2.4 DIRT FLOOR. PREP FOR NEW SLAB. SEE NEW PLANS.
 - 2.5 NON-HISTORIC STORAGE AREA TO BE REMOVED. SEE ELEVATIONS, NEW PLANS.
 - 2.6 EXG BEAM ABOVE TO REMAIN. SEE STRUCT DWGS.
 - 2.7 EXG ARCH ABOVE TO REMAIN.
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 - A. CORNICE
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 - D. VERTICAL DECORATIVE PANEL
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 - A. BRAKE METAL STOREFRONT CORNICE
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 - A. TO REMAIN
 - B. REMOVE
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 - A. TO REMAIN
 - B. REMOVE
4. MASONRY
 - 4.1 NEW OR EXPANDED OPENING IN EXG MASONRY WALL CAREFULLY TOOTH QUIT MASONRY FOR REUSE. PROVIDE NEW

- 4.2 STEEL LINTEL. SEE ELEVATIONS & STRUCT DWGS.
- 4.3 CHIMNEY:
 - A. TO REMAIN
 - B. REMOVED & CAPPED BELOW ROOF.
- 4.4 REMOVE EXG INFILL WALL IN PREP OF NEW CMU FOUNDATION WALL. SEE NEW PLANS AND STRUCTURAL DWGS.
- 4.5 TOOTH OUT EXG STONE OR WOOD LINTEL. PROVIDE TEMPORARY SHORING AS REQ'D. PREP OPENING FOR NEW CAST STONE LINTEL. SEE NEW WORK ELEVATIONS AND STRUCTURAL DWGS.
- 4.6 SAWCUT NEW 14"x12" OPENING IN MASONRY WALL FOR HVAC DUCTWORK. PROVIDE NEW STEEL LINTEL. SEE STRUCT DWGS. COORDINATE A.F.F. ELEVATION WITH NEW WORK PLANS, RCPs, AND MECH DRAWINGS.
5. METALS
 - 5.1 NOT USED.
 - 5.2 REMOVE NON-HISTORIC BRAKE METAL.
6. WOOD, PLASTICS, AND COMPOSITES
 - 6.1 REMOVE RAISED PLATFORM. PROTECT/PRESERVE HISTORIC FLOORING BENEATH.
 - 6.2 REMOVE NON-HISTORIC STAIR & GUARDHANDRAILS ENTIRELY. WOOD STAIR TO REMAIN IN PLACE.
 - A. RETAIN HISTORIC RAILINGS.
 - B. REMOVE NON-HISTORIC RESILIENT TREAD COVERS.
 - C. REPLACE EXG FIRE-DAMAGED TREADS/RISERS AS REQ'D.
 - 6.3 REMOVE EXG WOOD BEAM AND COLUMNS. SHORE AS REQ'D. SEE STRUCTURAL DWGS.
 - 6.4 TRIM BACK EXG JOISTS RUNNING OVER FOUNDATION WALL. SEE NEW WORK PLANS AND STRUCTURAL DWGS. PROVIDE TEMPORARY SHORING AS REQ'D.
 - 6.5 NOT USED.
 - 6.6 REMOVE RAKE TRIM.
 - 6.7 REMOVE RAISED PLATFORM.
 - 6.8 WOOD STAIR TO BE RETAINED, BUT PREP TO RELOCATE PER NEW PLANS. REMOVE RESILIENT TREAD COVERS AND EXG HANDRAIL. SEE NEW PLANS, STRUCTURAL DWGS.
 - 6.9 REMOVE NON-HISTORIC EXG WOOD SOFFIT BOARD AND FRAMING.
 - 6.10 REMOVE OVERFRAMING AS REQUIRED. COORDINATE WITH CHANGES TO EXISTING STAIR. SEE NEW PLANS.

7. THERMAL AND MOISTURE PROTECTION
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 - 8.18 PARTIALLY INFILL EXG OPENING TO BASEMENT. SEE NEW PLANS AND STRUCTURAL DWGS.
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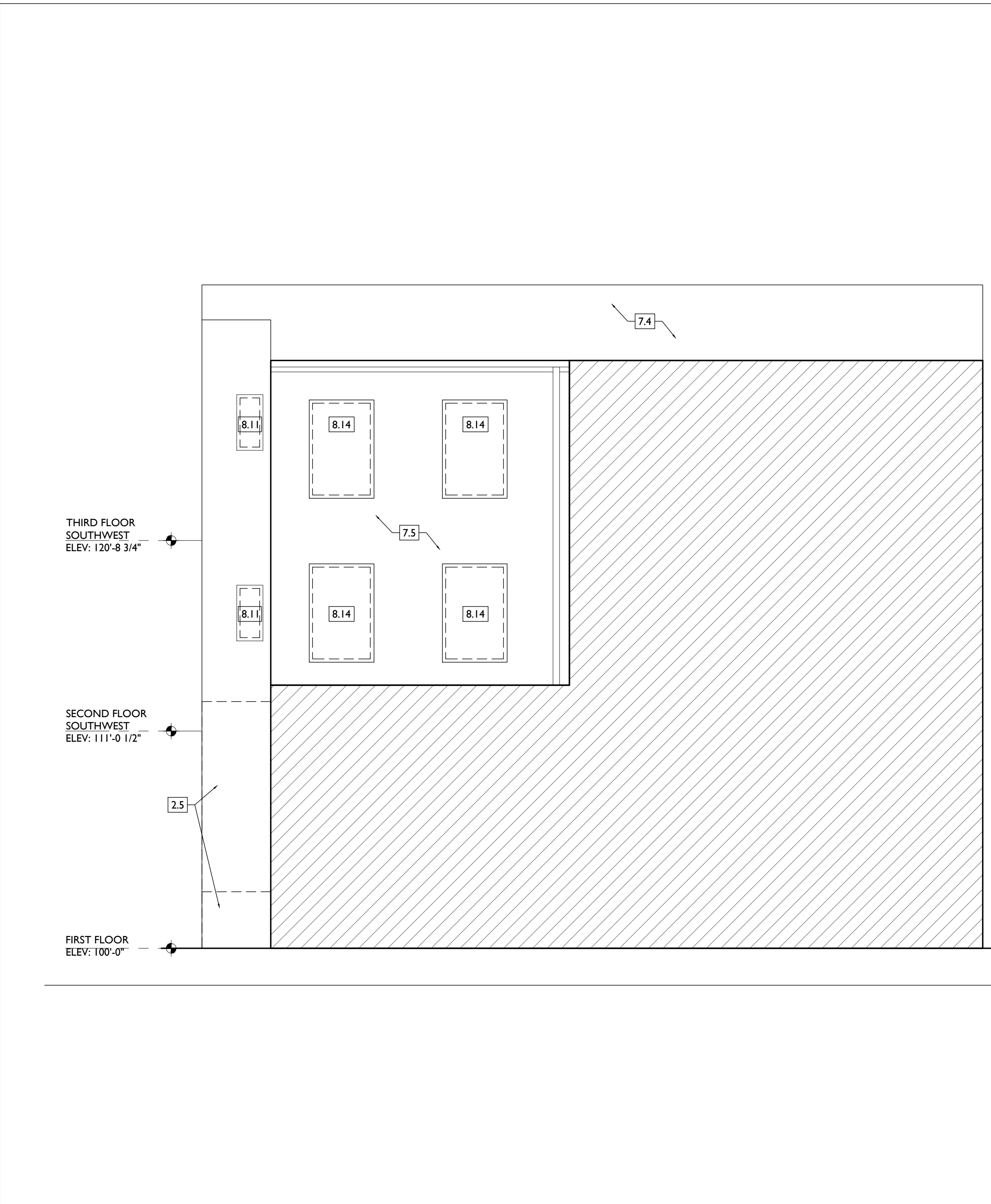
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Progress Dates

Revisions

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Drawn by:



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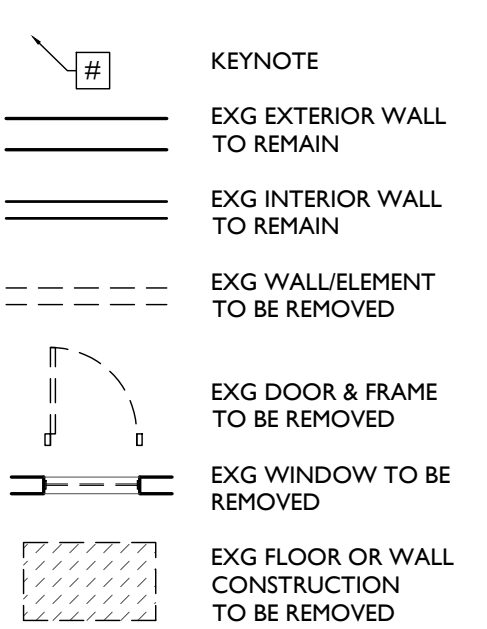
AD2.10

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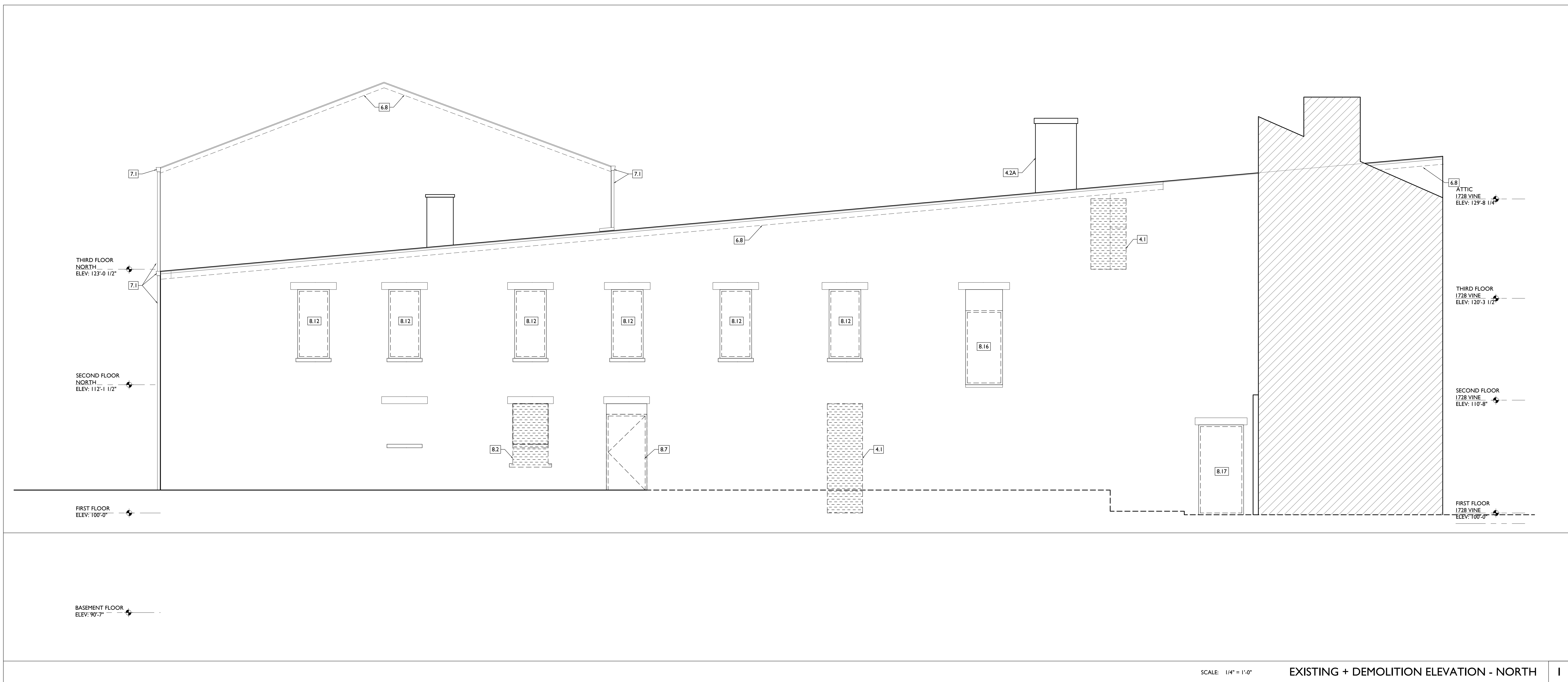


Progress Dates

Revisions

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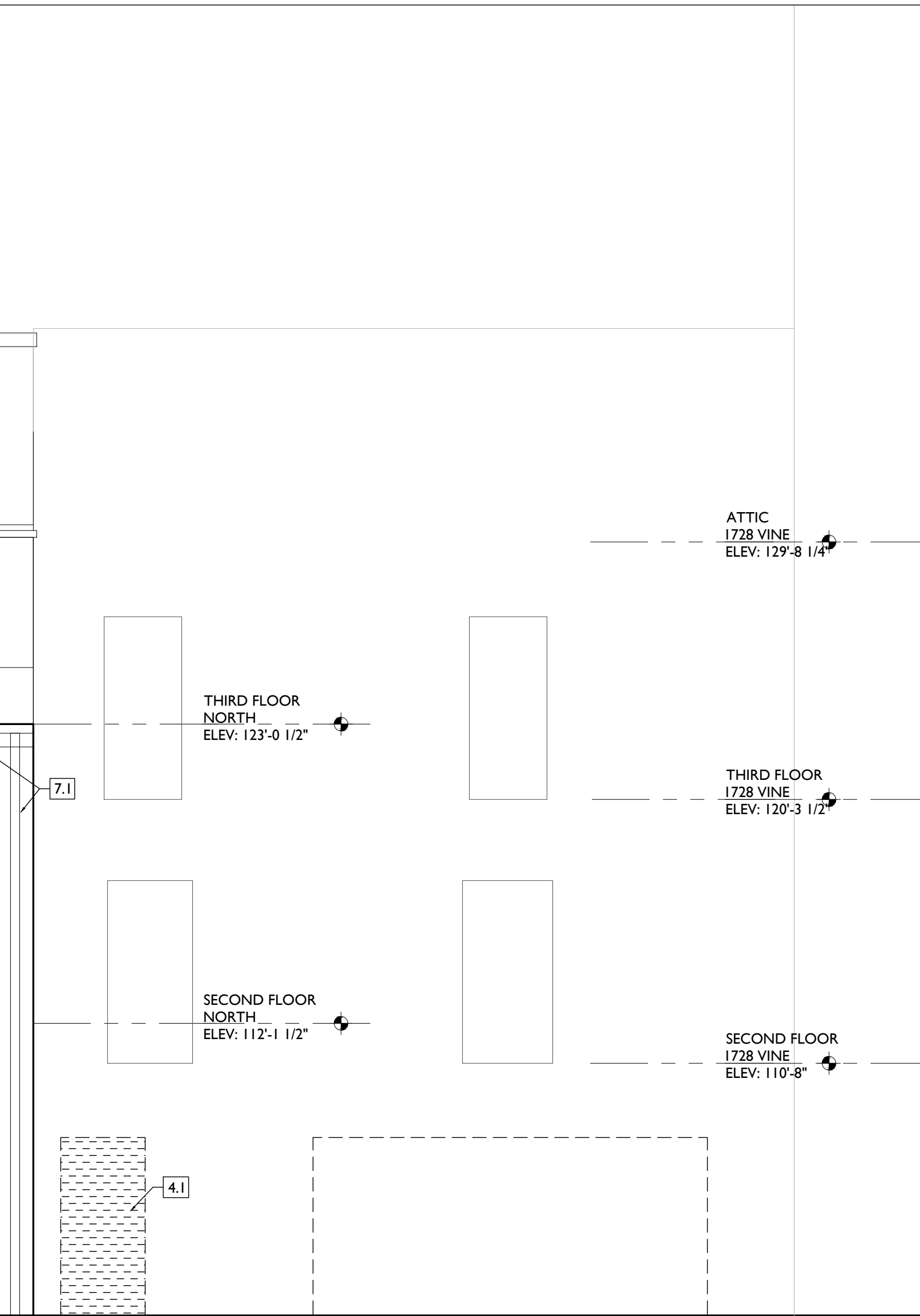
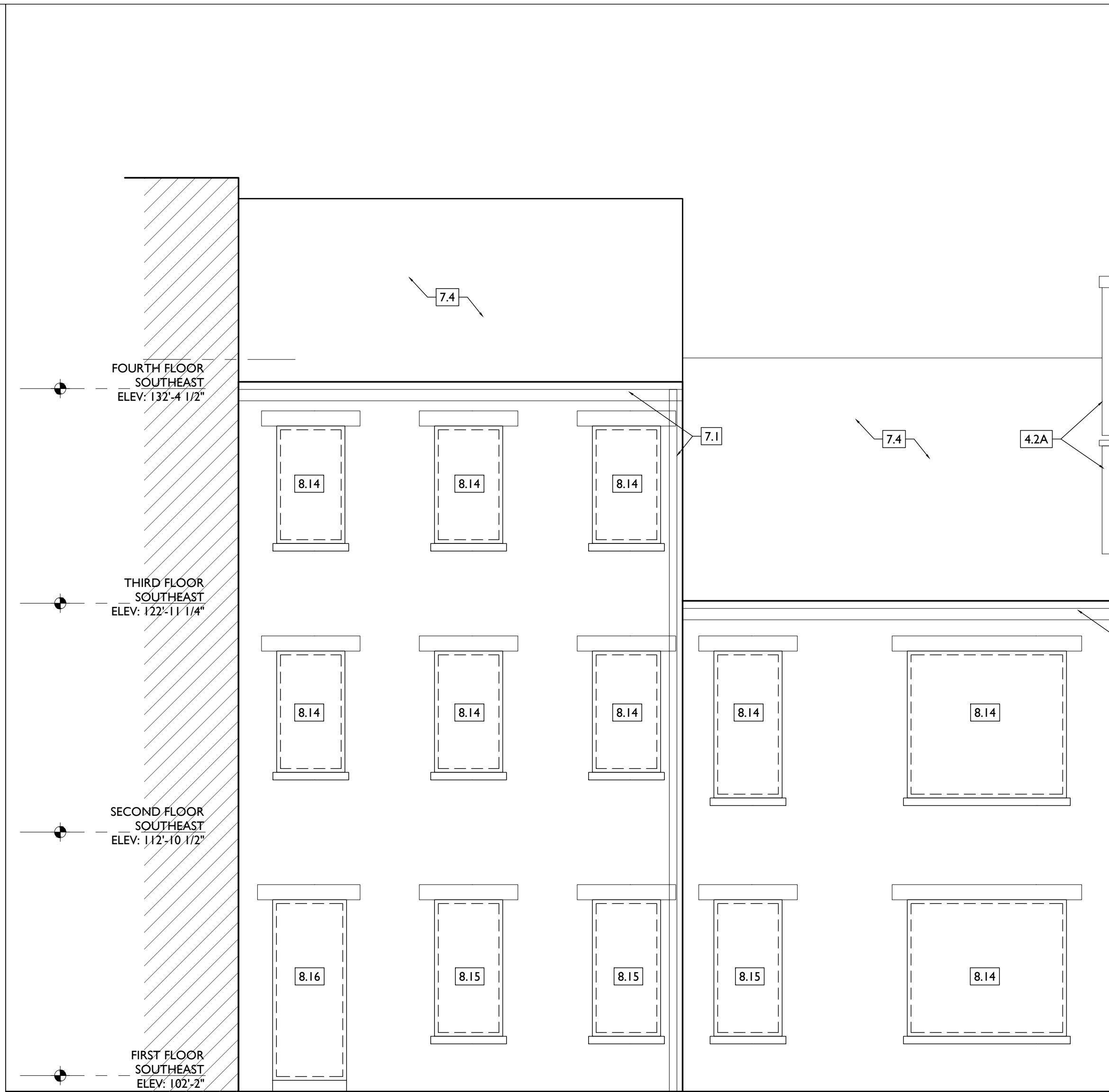
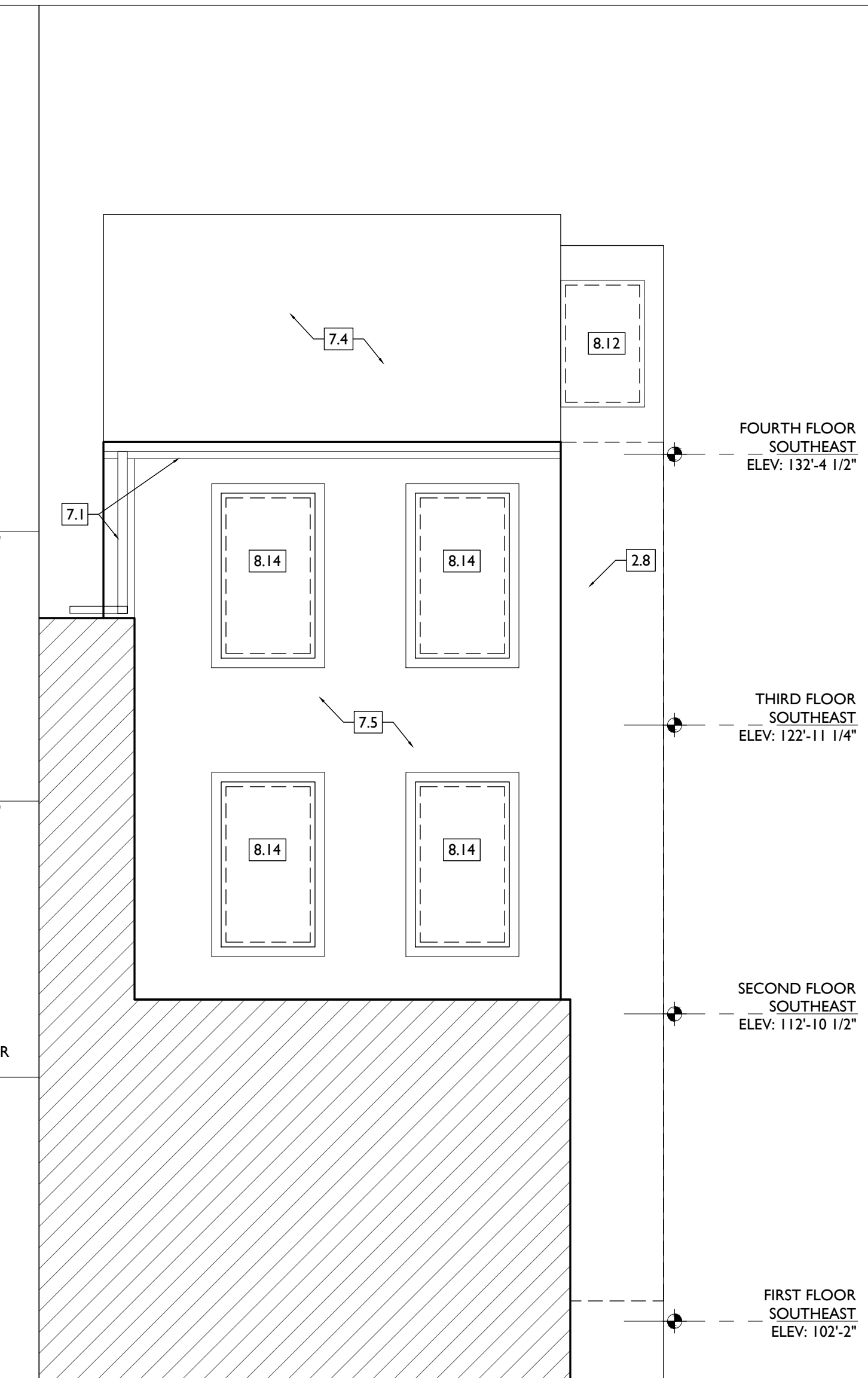
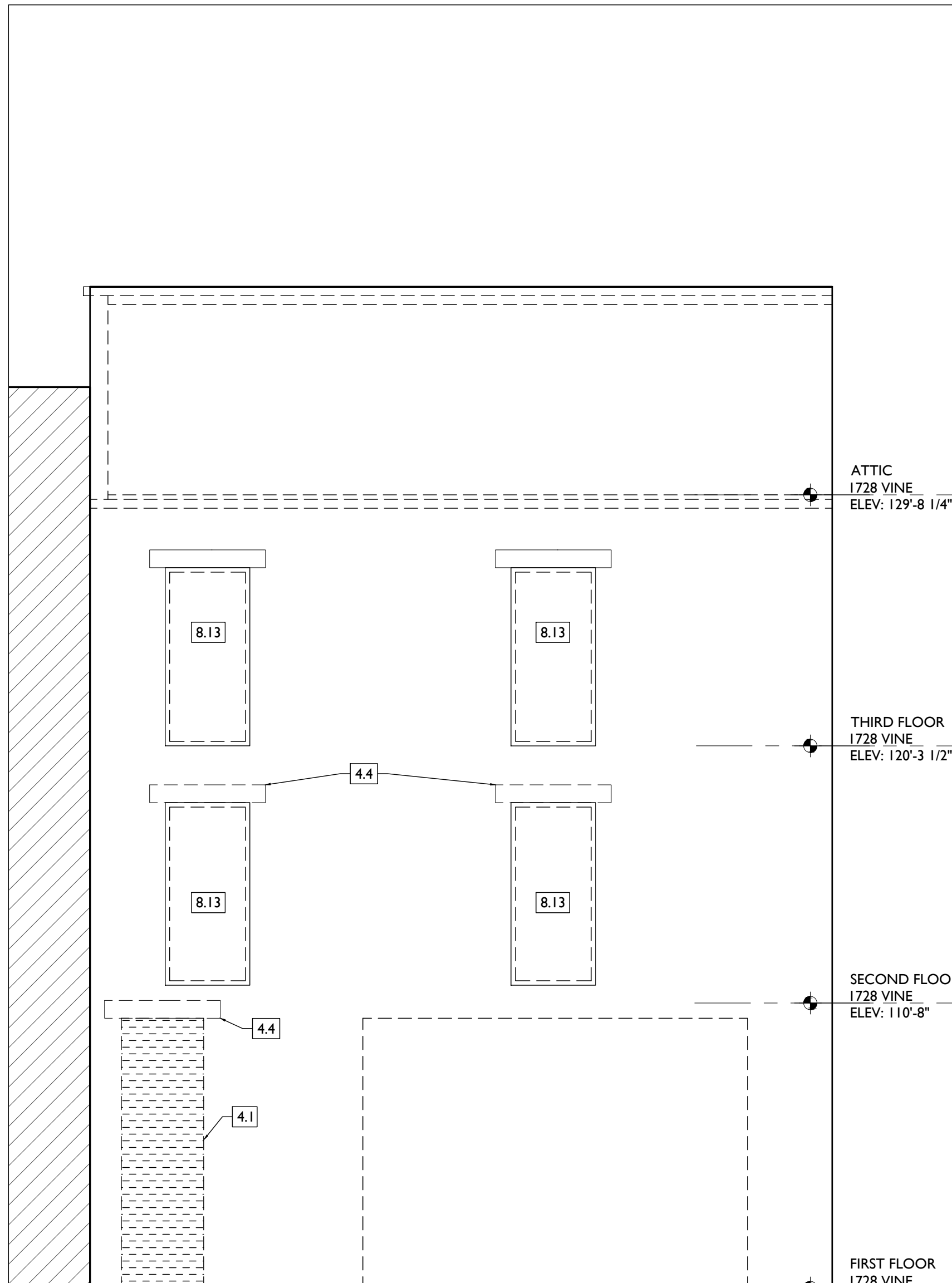
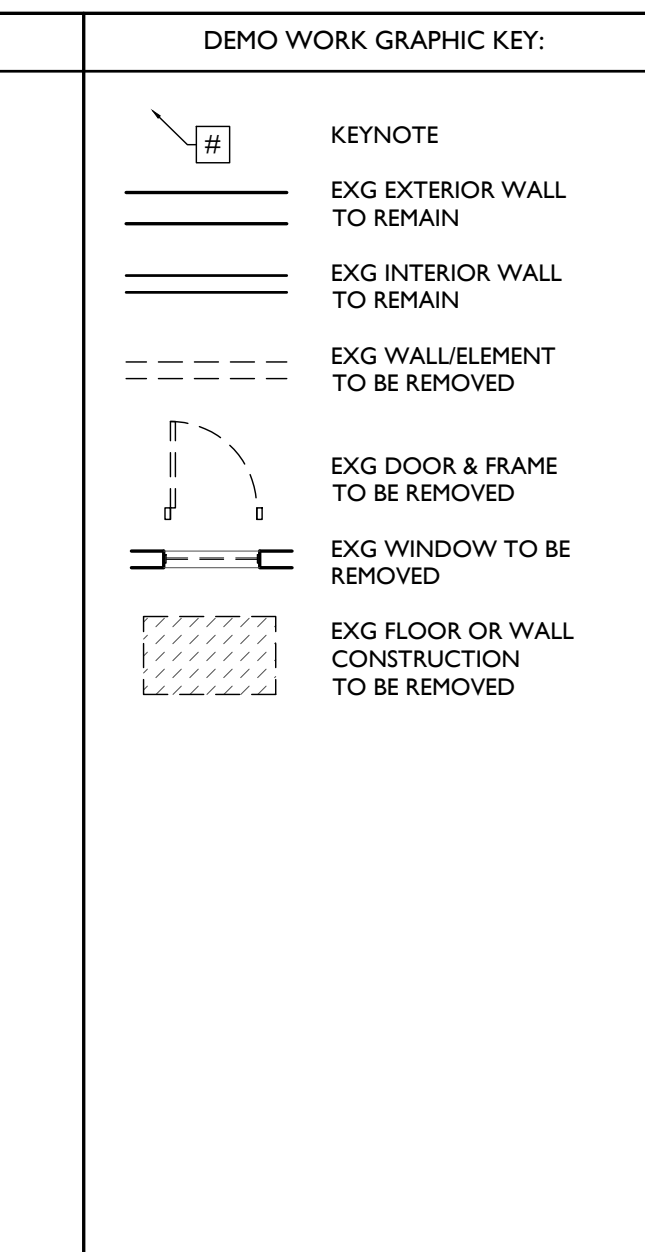
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- 8.11 REMOVE WINDOW, RETAIN & DO NOT DAMAGE EXG HISTORIC FRAME/BRICK MOULD.
- 8.12 REMOVE WINDOW & FRAME ENTIRELY, IF PRESENT, BACK TO MASONRY OPENING.
- 8.13 PREP EXG DOORWAY FOR NEW WINDOW INSTALLATION. REMOVE EXG BRICKMOLD, DOOR AND DOOR FRAME/TRIM (IF PRESENT) BACK TO MASONRY OPENING. SEE NEW PLANS/ELEVATIONS.
- 8.14 EXG WINDOW ROUGH OPENING TO REMAIN.
- 8.15 CONTRACTOR TO INSERT ROUGH OPENING INTO STUD BACKUP

9. FINISHES
- 9.1 NOT USED.

- WALL TO MATCH BRICK OPENING AT EXTERIOR. SEE NEW PLANS/ELEVATIONS, WINDOW DETAILS, AND STRUCTURAL DWGS. PREP EXG DOORWAY FOR NEW DOOR INSTALLATION. REMOVE EXG BRICK MOLD, DOOR, AND DOOR FRAME (IF PRESENT) BACK TO MASONRY OPENING. SEE NEW PLANS/ELEVATIONS.
- PREP EXG DOORWAY FOR MASONRY INFILL. SEE NEW PLANS/ELEVATIONS.
- PARTIALLY INFILL EXG OPENING TO BASEMENT. SEE NEW PLANS AND STRUCTURAL DWGS.
- EXG OPENING TO ATTIC. TO REMAIN. SEE NEW PLANS.
- NEW OPENING FOR CRAWL SPACE ACCESS PANEL. SEE NEW PLANS AND STRUCTURAL DWGS.
- EXG FLOOR OPENING TO BE INFILLED. SEE NEW PLANS AND STRUCTURAL DWGS.



SCALE: 1/4" = 1'-0" EXISTING + DEMOLITION ELEVATION - EAST 3 EXISTING + DEMOLITION ELEVATION - WEST INSET 2 SCALE: 1/4" = 1'-0" EXISTING + DEMOLITION ELEVATION - EAST 1

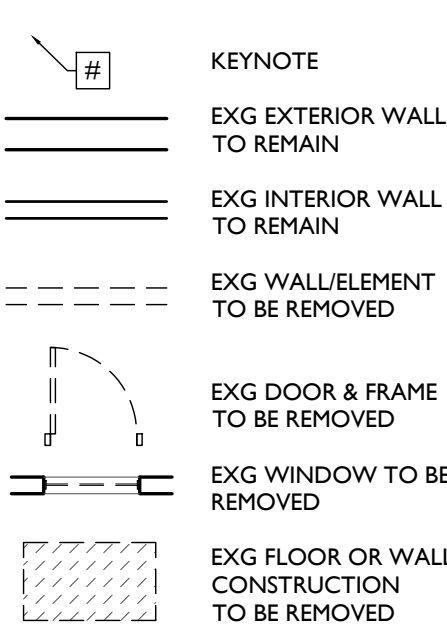
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| Progress Dates |
| Revisions |
| Design Team: |
| Drawn by: |

1. GENERAL
2. EXG CONDITIONS
- 2.1 REMOVE GATE AND/OR FENCE.
- 2.2 EXCAVATE AREA FOR GRAVSPACE BELOW NEW FLOOR FRAMING. GROUND TO BE 30" MINIMUM BELOW E.O. JOIST. SEE NEW WORK PLANS AND STRUCTURAL DWGS.
- 2.3 EXCAVATE FOR COLUMN FOOTINGS AS REQ'D FOR NEW STAIRS. SEE NEW WORK PLANS AND STRUCTURAL DWGS.
- 2.4 DIRT FLOOR. PREP FOR NEW SLAB. SEE NEW PLANS.
- 2.5 NON-HISTORIC STORAGE AREA TO BE REMOVED. SEE ELEVATIONS, NEW PLANS.
- 2.6 EXG BEAM ABOVE TO REMAIN. SEE STRUCT DWGS.
- 2.7 EXG ARCH ABOVE TO REMAIN.
- 2.8 NON-HISTORIC 3-STORY INFILL TO BE REMOVED. SEE ELEVATIONS, NEW PLANS.
- 2.9 REMOVE FIRE ESCAPE.
- 2.10 REMOVE COLUMN. SEE STRUCTURAL DWGS.
- 2.11 REMOVE FLOOR FRAMING & SHEATHING/DECKING. SEE STRUCT DWGS & NEW WORK PLANS.
- 2.12 HISTORIC EXTERIOR ORNAMENT TO REMAIN.
 - A. CORNICE
 - B. BRACKET
 - C. FRIEZE
 - D. VERTICAL DECORATIVE PANEL
- 2.13 NON-HISTORIC EXTERIOR ORNAMENT TO BE REMOVED.
 - A. BRAKE METAL STOREFRONT CORNICE
 - B. BRAKE METAL PANELING
 - C. PLYWOOD
3. CONCRETE
- 3.1 CONCRETE OR STONE STEPS
 - A. TO REMAIN
 - B. REMOVE
- 3.2 CONCRETE SLAB
 - A. TO REMAIN
 - B. REMOVE
4. MASONRY
- 4.1 NEW OR EXPANDED OPENING IN EXG MASONRY WALL CAREFULLY TOOTH OUT MASONRY FOR REUSE. PROVIDE NEW

- 4.2 STEEL LINTEL. SEE ELEVATIONS & STRUCT DWGS.
- 4.3 CHIMNEY:
 - A. TO REMAIN
 - B. REMOVED & CAPPED BELOW ROOF.
- 4.3 REMOVE EXG INFILL WALL IN PREP OF NEW CMU FOUNDATION WALL. SEE NEW PLANS AND STRUCTURAL DWGS.
- 4.4 TOOTH OUT EXG STONE OR WOOD LINTEL. PROVIDE TEMPORARY SHORING AS REQ'D. PREP OPENING FOR NEW CAST STONE LINTEL. SEE NEW WORK ELEVATIONS AND STRUCTURAL DWGS.
- 4.5 SAWCUT NEW 14"x12" OPENING IN MASONRY WALL FOR HVAC DUCTWORK. PROVIDE NEW STEEL LINTEL. SEE STRUCT DWGS. COORDINATE A.F.F. ELEVATION WITH NEW WORK PLANS, RCPs, AND MECH DRAWINGS.
5. METALS
- 5.1 NOT USED.
- 5.2 REMOVE NON-HISTORIC BRAKE METAL.
6. WOOD, PLASTICS, AND COMPOSITES
- 6.1 REMOVE RAISED PLATFORM. PROTECT/PRESERVE HISTORIC FLOORING BENEATH.
- 6.2 REMOVE NON-HISTORIC STAIR & GUARDHANDRAILS ENTIRELY. WOOD STAIR TO REMAIN IN PLACE.
 - A. RETAIN HISTORIC RAILINGS
 - B. REPLACE NON-HISTORIC RESILIENT TREAD COVERS
 - C. REPLACE EXG FIRE-DAMAGED TREADS/RISERS AS REQ'D.
- 6.4 REMOVE NON-HISTORIC TRIM
- 6.5 REMOVE EXG WOOD BEAM AND COLUMNS. SHORE AS REQ'D. SEE STRUCTURAL DWGS.
- 6.6 TRIM BACK EXG JOISTS RUNNING OVER FOUNDATION WALL. SEE NEW WORK PLANS AND STRUCTURAL DWGS. PROVIDE TEMPORARY SHORING AS REQ'D.
- 6.7 NOT USED.
- 6.8 REMOVE RAKE TRIM
- 6.9 REMOVE RAISED PLATFORM
- 6.10 WOOD STAIR TO BE RETAINED, BUT PREP TO RELOCATE PER NEW PLANS. REMOVE RESILIENT TREAD COVERS AND EXG HANDRAIL. SEE NEW PLANS, STRUCTURAL DWGS.
- 6.11 REMOVE NON-HISTORIC EXG WOOD SOFFIT BOARD AND FRAMING.
- 6.12 REMOVE OVERFRAMING AS REQUIRED. COORDINATE WITH CHANGES TO EXISTING STAIR. SEE NEW PLANS.

7. THERMAL AND MOISTURE PROTECTION
- 7.1 REMOVE NON-HISTORIC GUTTER & DOWNSPOUTS.
- 7.2 BOX GUTTER TO REMAIN.
- 7.3 EXG ROOF HATCH OPENING TO REMAIN.
- 7.4 REMOVE EXG MEMBRANE ROOF & SHINGLES. CONTRACTOR TO INSPECT EXG ROOF DECKING AND REPAIR AS NEEDED.
- 7.5 EXG TRIM AND SIDING TO REMAIN.
8. OPENINGS
- 8.1 EXG DOOR, FRAME, AND BRICKMOLD TO REMAIN.
- 8.2 REMOVE INFILL AT EXG OPENING. EXPAND OPENING DOWNWARD SO NEW SILL IS 2" AFF. TOOTH OUT AND SALVAGE BRICK. SEE NEW PLANS/ELEVATIONS.
- 8.3 NOT USED.
- 8.4 REMOVE NON-HISTORIC STOREFRONT INFILL SPANNING B/W MASONRY DEMISING WALLS.
 - A. MASONRY
 - B. WOOD
 - C. GLAZING
- 8.5 RETAIN HISTORIC STOREFRONT ELEMENTS. SEE ELEVATIONS.
 - A. COLUMNS/PLASTERS
 - B. LINTELS
- 8.6 RETAIN NON-HISTORIC STOREFRONT FRAMING - REPAIR AS REQ'D. REMOVE GLASS AND PLYWOOD INFILL. REMOVE EXG DOOR AND TRANSOM. PREP FOR NEW GLAZING AND INSTALLATION OF NEW DOOR AND TRANSOM. SEE NEW WORK PLANS, ELEVATIONS.
- 8.7 NON-HISTORIC DOOR & FRAME TO BE REMOVED.
- 8.8 EXISTING 3-LITE TRANSOM TO REMAIN.
- 8.9 NOT USED.
- 8.10 HISTORIC WINDOW TO BE RETAINED. SEE NEW WORK PLANS FOR REPAIR NOTES.
- 8.11 REMOVE WINDOW, RETAIN & DO NOT DAMAGE EXG HISTORIC FRAME/BRICK MOULD.
- 8.12 REMOVE WINDOW & FRAME ENTIRELY, IF PRESENT, BACK TO MASONRY OPENING.
- 8.13 PREP EXG DOORWAY FOR NEW WINDOW INSTALLATION. REMOVE EXG BRICKMOLD, DOOR, AND DOOR FRAME/TRIM (IF PRESENT) BACK TO MASONRY OPENING. SEE NEW PLANS/ELEVATIONS.
- 8.14 EXG WINDOW ROUGH OPENING TO REMAIN.
- 8.15 CONTRACTOR TO INSERT ROUGH OPENING INTO STUD BACKUP

9. FINISHES
 - 9.1 NOT USED.
- WALL TO MATCH BRICK OPENING AT EXTERIOR. SEE NEW PLANS/ELEVATIONS, WINDOW DETAILS, AND STRUCTURAL DWGS. PREP EXG DOORWAY FOR NEW DOOR INSTALLATION. REMOVE EXG BRICK MOLD, DOOR, AND DOOR FRAME (IF PRESENT) BACK TO MASONRY OPENING. SEE NEW PLANS/ELEVATIONS. PREP EXG DOORWAY FOR MASONRY INFILL. SEE NEW PLANS/ELEVATIONS.
- 8.18 PARTIALLY INFILL EXG OPENING TO BASEMENT. SEE NEW PLANS AND STRUCTURAL DWGS.
- 8.19 EXG OPENING TO ATTIC. TO REMAIN. SEE NEW PLANS.
- 8.20 NEW OPENING FOR CRAWL SPACE ACCESS PANEL. SEE NEW PLANS AND STRUCTURAL DWGS.
- 8.21 EXG FLOOR OPENING TO BE INFILLED. SEE NEW PLANS AND STRUCTURAL DWGS.



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| Progress Dates |
| Revisions |
| Design Team: |
| Drawn by: |



NOT FOR CONSTRUCTION

GENERAL NOTES:

- 1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND INFORMATION IN THESE DRAWINGS.
2. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, INCLUDING SITE CONDITIONS. ALL ERRORS, OMISSIONS, AND INCONSISTENCIES ARE TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. FAILURE TO DO SO WILL RELEASE THE ARCHITECT OF ALL RESPONSIBILITY. ANY CHANGES FROM THESE DOCUMENTS ARE THE RESPONSIBILITY OF THE CONTRACTOR. THESE DRAWINGS ARE NOT TO BE SCALED. IF INSUFFICIENT INFORMATION EXISTS, CONTACT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK. EACH CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS AS MAY EFFECT HIS OWN WORK, DESIGN/BUILD OR OTHERWISE.
3. BEST MANAGEMENT PRACTICES SHALL BE USED BY THE CONTRACTOR DURING DEMOLITION TO PREVENT RELEASE OF LEAD-CONTAMINATED DUST SHALL BE EMITTED FROM DEMOLITION ACTIVITIES. ALL PAINT CHIPS AND OTHER DEBRIS OR RESIDUE SHALL BE REMOVED FROM THE PROJECT SITE AT THE COMPLETION OF DEMOLITION. STORAGE AND TRANSPORT OF MATERIALS KNOWN OR ASSUMED TO CONTAIN LEAD BASED PAINT SHALL BE COVERED TO PREVENT ACCESS TO OR RELEASE OF LEAD-CONTAMINATED DUST OR DEBRIS.
4. IT SHALL BE THE RESPONSIBILITY OF THE BUILDING OWNER TO SUPERVISE CONSTRUCTION AND INSURE THAT THESE DRAWINGS ARE COMPLIED WITH IN THE EVENT THAT THIS ARCHITECT IS NOT RETAINED FOR SUCH SERVICES.
5. ALL WORK SHALL COMPLY WITH STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS, INCLUDING THE AMERICANS WITH DISABILITIES ACT, HAVING AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK, AND SHALL BE DONE TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY EACH RESPECTIVE TRADE.
6. GUARANTEES SHALL BE REQUIRED OF ALL BRANCHES OF THE WORK. CONTRACTORS TO REMEDY ANY DEFECTS THEIR WORK AND PAY FOR ANY RESULTANT DAMAGES TO OTHER WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.
7. CONTRACTOR SHALL SUPERVISE THE WORK DURING PROGRESS AND SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION SAFETY, COMPLIANCE TO BE IN ACCORDANCE WITH ALL STATE, FEDERAL AND O.S.H.A. REGULATIONS.
8. CONTRACTOR AND ALL SUB-CONTRACTORS SHALL MAINTAIN THE JOB CLEAR OF TRASH AND DEBRIS. ALL WASTE MATERIAL, TOOLS, CONSTRUCTION EQUIPMENT AND SURPLUS MATERIAL SHALL BE REMOVED FROM THE SITE PRIOR TO SUBSTANTIAL COMPLETION AND FINAL ACCEPTANCE.
9. CONTRACTOR SHALL PRESENT THE PROJECT TO THE OWNER FOR ACCEPTANCE, CLEAN AND READY FOR USE. ALL GLASS TO BE CLEANED, FLOORS SWEEP BROOM CLEAN, FIXTURES WASHED AND LABELS REMOVED FROM ALL ITEMS.
10. ANY CONTRACTOR OF SUBCONTRACTOR WHO PERFORMS ANY WORK KNOWING IT TO BE CONTRARY TO APPLICABLE LAWS, ORDINANCES OR REGULATION, AND WITHOUT WRITTEN NOTICE TO THE ARCHITECT SHALL ASSUME FULL RESPONSIBILITY AND SHALL BEAR ALL ATTRIBUTABLE COSTS.
11. IN THE EVENT OF ANY CONFLICT BETWEEN ARCHITECTURAL DRAWINGS OR SPECIFICATIONS AND STRUCTURAL DRAWINGS OR SPECIFICATIONS, STRUCTURAL SHALL GOVERN.
12. PROJECT IS TO RECEIVE HISTORIC TAX CREDITS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE WELL VERSED IN THE APPROVED PART 2 AND SUBSEQUENT AMENDMENTS, AND TO INFORM SUBCONTRACTORS OF ANY CHANGES/ APPROVALS DURING THE BIDDING AND THE CONSTRUCTION PHASES.

GENERAL NOTES- ALL TRADES

- 1. FURNISH ALL LABOR, MATERIAL AND APURTENANCES NECESSARY FOR A COMPLETE AND OPERATIONAL SYSTEM AS SHOWN OR REQUIRED.
2. ALL WORK SHALL CONFORM TO APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. EACH CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, TESTS AND INSPECTIONS FOR HIS OWN WORK, AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
3. PERFORM ALL TESTS, ADJUSTMENTS, ETC. AS REQUIRED BY EQUIPMENT MANUFACTURER OR AUTHORITIES HAVING JURISDICTION.
4. CONTRACTORS SHALL VISIT SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS AS MAY EFFECT HIS OWN WORK. EACH CONTRACTOR SHALL COORDINATE HIS OWN WORK WITH THAT OF OTHER TRADES.
5. EACH CONTRACTOR SHALL FURNISH ALL CUTTING AND PATCHING REQUIRED FOR HIS OWN WORK. NO CUTTING SHALL BE PERFORMED WITHOUT PRIOR APPROVAL OF GENERAL CONTRACTOR.
6. WORKMANSHIP SHALL REPRESENT THE HIGHEST STANDARD OF THE INDUSTRY. GUARANTEE ALL MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE.

GENERAL CONDITIONS

CONTRACT DOCUMENTS INCLUDE THESE GENERAL CONDITIONS FOR CONSTRUCTION, DRAWINGS, SCHEDULES, AND SPECIFICATIONS PREPARED BY THE ARCHITECT AND CONTAINED HEREIN, AND ALL WRITTEN ADDENDA OR OTHER MODIFICATIONS ISSUED SUBSEQUENTLY BY THE ARCHITECT. THE CONTRACT DOCUMENTS SHALL NOT BE CONSTRUED TO CREATE ANY CONTRACTUAL RELATIONSHIP OF ANY KIND BETWEEN THE ARCHITECT AND THE CONTRACTOR.

CONTRACT MODIFICATIONS: THESE CONTRACT DOCUMENTS SHALL NOT BE FURTHER MODIFIED BY ANY TERMS OR CONDITIONS OTHER THAN THOSE LISTED HEREIN OR IN THE SPECIFICATIONS, OR IN ANY WRITTEN AGREEMENTS EXECUTED BY THE OWNER, CONTRACTOR AND SUBCONTRACTORS.

NOTES WRITTEN IN THE IMPERATIVE MOOD REFER TO ACTION TO BE PERFORMED BY THE CONTRACTOR. THE WORDS "THE CONTRACTOR SHALL" ARE ALWAYS IMPLIED. IF NOT STATED, UNLESS OTHERWISE NOTED, THE TERM "CONTRACTOR" SHALL ALSO APPLY TO ALL SUBCONTRACTORS OF THE CONTRACTOR.

THE CURRENT EDITION OF AIA DOCUMENT A101 SHALL BE THE FORM OF AGREEMENT TO BE SIGNED BY THE OWNER AND GENERAL CONTRACTOR, UNLESS THE OWNER AND CONTRACTOR MUTUALLY AGREE OTHERWISE. GENERAL CONDITIONS CONTAINED IN AIA DOCUMENT A201 SHALL APPLY.

BEST MANAGEMENT PRACTICES SHALL BE EMPLOYED TO CONTROL EROSION DURING CONSTRUCTION AND UNTIL FINAL COVER IS ESTABLISHED.

THE CONTRACTOR SHALL BE NOTIFIED, BOTH VERBALLY AND THROUGH NOTATIONS ON THE FINAL CONST. DWG, THAT WORK SHALL BE HALTED AT A LOT IF INDICATORS OF CONTAMINATION (FILL OTHER THAN "CLEAN FILL", DISCOLORED SOILS OR CHEMICAL/PETROLEUM ODORS) ARE IDENTIFIED DURING CONST. TO ALLOW FOR A QUALIFIED ENVIRONMENTAL PROFESSIONAL TO INSPECT THE LOT AND MAKE RECOMMENDATIONS REGARDING APPROPRIATE ACTIONS.

ANY WATER WELLS OR SEPTIC SYSTEMS IDENTIFIED DURING SITE DEVELOPMENT SHALL BE ABANDONED AS REQUIRED BY OAC 3745.9-10 OR 3701-29-21, AS APPLICABLE, AND AFTER CONSULTATION W/ THE LOCAL HEALTH DEPARTMENT.

DEFINITIONS:

"CONTRACTOR": THE PERSON OR ENTITY CONSTRUCTING THE DESIGNATED WORK.

"OWNER": THE PERSON OR ENTITY THAT OWNS THE BUILDING BEING RENOVATED. THE TERM "OWNER" INCLUDES HIS DESIGNATED AND AUTHORIZED AGENTS AND REPRESENTATIVES.

"WORK": THE TERM "WORK" MEANS OBLIGATIONS UNDERTAKEN BY THE CONTRACTOR PURSUANT TO THE CONTRACT DOCUMENTS. WORK INCLUDES THE FURNISHING OF ALL MATERIAL, LABOR, EQUIPMENT, SUPPLIES, TOOLS, SCAFFOLDING, SUPERVISION, TRANSPORTATION, INSURANCE, TAXES AND ALL OTHER SERVICES, INCIDENTALS AND EXPENSES NECESSARY FOR THE FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

"PROJECT": THE PROJECT IS THE TOTAL CONSTRUCTION OF WHICH THE WORK PERFORMED UNDER THE CONTRACT DOCUMENTS MAY BE THE WHOLE OR A PART.

"CONTRACT DOCUMENTS": THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS REQUIRED FOR COMPLETION OF THE WORK, INCLUDING DRAWINGS AND SPECIFICATIONS. ALTHOUGH THE CONTRACT DOCUMENTS HAVE BEEN PREPARED WITH DUE CARE AND DILIGENCE, PERFECTION CANNOT BE GUARANTEED. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF THE VARIOUS PARTS OF THE WORK SO THAT NO PART SHALL BE IN AN UNFINISHED OR INCOMPLETE CONDITION.

DRAWINGS PREPARED BY OTHERS:

ARCHITECTURAL, CIVIL, STRUCTURAL, MECHANICAL AND ELECTRICAL DWGS SHALL BE WORKED TOGETHER, INCLUDING THE LOCATION OF DEPRESSED SLABS, SLOPES, DRAINS, REGLETS, BOLT SETTINGS, ETC. ANY DISCREPANCY SHALL BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

SHOP DWGS PREPARED BY OTHER CONTRACTORS MAY BE REQUIRED TO SUPPLEMENT THE CONTRACT DOCUMENTS. SUCH DWGS ARE FURNISHED FOR THE CONTRACTOR'S INFORMATION AND COORDINATION ONLY.

GENERAL NOTES: PROPOSED WORK

- A. THIS IS A HISTORIC TAX CREDIT PROJECT. WORK MUST COMPLY W/ APPROVED PART 2, INCLUDING AMENDMENTS.
B. NO HISTORIC ELEMENTS SHALL BE REMOVED/MODIFIED UNLESS SPECIFICALLY INDICATED IN ARCH PLANS.
C. REPAIR OR REPLACE EXG DAMAGED OR DETERIORATED FLOOR FRAMING &/OR WOOD SUBFLOOR - PER STRUCT DWGS.
D. HISTORIC TRIM TO BE RETAINED, U.N.O. SEE DEMO & PROPOSED PLANS.
E. RETAIN ANY REMAINING HISTORIC WOOD WINDOW SASH, FRAMES, BRICKMOLD & SHUTTER HARDWARE, U.N.O. SEE DEMO & EXTERIOR ELEVATIONS.
F. REPAIR MATERIALS THAT ARE DETERIORATED OR HAVE MOISTURE/FIRE DAMAGE AS REQ. IF DAMAGE IS SEVERE AND HISTORIC ELEMENTS ARE NON-SALVAGEABLE, COORDINATE REPLACEMENT ELEMENTS WITH ARCHITECT.
G. SEE CODE SHEETS FOR ROOF/FLOOR/CEILING ASSEMBLY LOCATIONS & PARTITION SCHEDULE FOR TYPES.
H. PENETRATIONS OF RATED ASSEMBLIES TO BE PROTECTED PER SECTION 713.3 & 713.4 OBC. COORD W/ MEP DWGS.
I. PROVIDE FIRE BLOCKING PER 717.2 OBC.
J. PROVIDE DRAFTSTOPPING IN FLOORS, CLGS/ROOFS & ATTICS PER OBC.
K. PROVIDE BLOCKING FOR SHELVING, CABINETS AND BATHROOM ACCESSORIES AND GRAB BARS. SEE PLANS AND INTERIOR ELEVATIONS.
L. USE PRESSURE TREATED WOOD IN THE FOLLOWING LOCATIONS:
- EXTERIOR APPLICATIONS.
- IN BASEMENTS.
- WOOD IN CONTACT WITH MASONRY, STONE, OR CONCRETE.
- AT ANY NEW FRAMING IN CONTACT W/ MASONRY OR FOUNDATION WALL, PROVIDE SEPARATION JOIST & BEAM END WRAPS.
M. EXTERIOR TRIM, SOFFITS, CORNICE AND STOREFRONT ELEMENTS TO BE REPAIRED/RETAINED/REPLACED AND PAINTED AS NOTED IN DRAWINGS. EXG. UNPAINTED BRICK AND STONE TO REMAIN UNPAINTED. SEE EXTERIOR ELEVATIONS FOR SCOPE OF WORK. COORD COLORS DIRECTLY W/ ARCHITECT.
AF. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR LOCATION AND CONNECTIONS OF ALL MEP EQUIPMENT.
AG. PROVIDE SLEEVES THROUGH EXG. BRICK WALL IN ATTIC AS REQUIRED FOR HVAC LINE-SET INSTALLATION.
AH. ADDITIONAL OPENINGS IN EXTERIOR WALLS WILL BE REQUIRED FOR VARIOUS MEP DUCTS/PIPES/ETC. AND ARE NOT SHOWN ON ARCH & STRUCT PLANS. COORD W/ MEP PLANS. CONTACT ARCHITECT FOR PLACEMENT.
AI. PROVIDE FIRE EXTINGUISHERS PER CODE SUMMARY & NFPA REQS. COORD W/ FIRE MARSHALL.
AJ. FASTENERS INTO EXISTING HISTORIC MASONRY WALLS ARE TO BE FASTENED INTO MORTAR JOINTS.
AK. EXTERIOR STEEL TO BE DUPLEX-FINISH (GALVANIZED, WITH HIGH-PERFORMANCE COMPATIBLE EPOXY PAINT).
AL. REPAIR & RESAL AROUND EXG. CHIMNEYS, TYP. AS REQ. PROVIDE NEW ALUM CAP, TYP.
AN. EXTERIOR WOOD TO BE PRESSURE TREATED.
AN. WHERE INFILLING EXISTING OPENINGS IN, OR EXTENDING THE LENGTH OF AN EXISTING WOOD FRAMED PARTITION, FINISH FACES OF THE NEW CONSTRUCTION ARE TO ALIGN WITH ADJACENT EXISTING FINISH FACES ON BOTH SIDES.
AO. SHEET METAL WORK TO COMPLY WITH SHACNA ARCHITECTURAL SHEET METAL MANUAL.
AP. FLASH AND SEAL NEW ROOF PENETRATIONS THROUGH EXISTING ROOF. EMPLOY INSTALLERS ACCEPTABLE TO EXISTING ROOF MANUFACTURER AND COMPLY WITH EXISTING ROOF MANUFACTURER REQUIREMENTS TO MAINTAIN EXISTING ROOF WARRANTY.
AQ. BASEMENTS TO BE TESTED FOR RADON EXPOSURE. PROVIDE VAPOR MITIGATION SYSTEM BELOW BASEMENT SLAB AS REQUIRED. CONNECT TO VERTICAL VENTS INDICATED IN FLOOR PLANS.
AR. MASONRY WORK: REFER TO PART 2 SHPO NARRATIVES AND STRUCTURAL DRAWINGS FOR FULL EXTENT AND SCOPE FOR MASONRY CLEANING, TUCKERPOINTING, REPAIR, REPLACEMENT, AND PAINTING.
AS. MASONRY CLEANING: CONTRACTOR SHALL PERFORM MASONRY CLEANING WORK IN ACCORDANCE WITH PRESERVATION BRIEF 6 - "DANGERS OF ABRASIVE CLEANING TO HISTORIC BUILDINGS." CONTRACTOR SHALL CLEAN EXISTING MASONRY THROUGHOUT USING THE GENTLEST MEANS POSSIBLE AND SHALL START EACH NEW METHOD OF CLEANING (E.G. BY BRUSH, WITH DETERGENT, WITH WATER PRESSURE, ETC.) IN DISCRETE AREA OF EACH WALL. CONTRACTOR SHALL BEGIN BY CLEANING WITH WATER AND NATURAL BRISTLE BRUSHES. CONTRACTOR SHALL THEN CLEAN ANY AREAS THAT REQUIRE FURTHER CLEANING USING NON-ABRASIVE, NON-ACIDIC DETERGENTS WITH NATURAL BRISTLE BRUSHES. CONTRACTOR SHALL THEN CLEAN ANY AREAS THAT REQUIRE FURTHER CLEANING USING NON-ABRASIVE, NON-ACIDIC DETERGENTS WITH LOW PRESSURE WATER (STARTING AT 20 PSI AT TIP). UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE PRESSURE WASHING WITH GREATER THAN 40 PSI AT TIP. CLEANING SHALL BE PERFORMED EVENLY THROUGHOUT THE ENTIRETY OF EACH WALL WALLS WHERE STUCCO / PARGING IS TO REMAIN SHALL NOT BE CLEANED WITH PRESSURE WASHING. REMOVE EXISTING LOOSE STUCCO / PARGING BY HAND WITH BRUSHES. PRESERVATION BRIEF 6 - "DANGERS OF ABRASIVE CLEANING TO HISTORIC BUILDINGS: HTTPS://WWW.NPS.GOV/TPSHOW-TO-PRESERVE/BRIEFS/6-DANGERS-ABRASIVE-CLEANING.HTM
AT. PARGING: CONTRACTOR TO TEST AND ASSESS THE INTEGRITY OF EXISTING STUCCO / PARGING ON EXISTING MASONRY WALLS. ANY STUCCO / PARGING TO REMAIN MUST BE SECURELY HELD TO EXISTING MASONRY WALL. ANY STUCCO / PARGING THAT IS NOT SECURELY HELD TO MASONRY WALL SHALL BE REMOVED THROUGH GENTLEST MEANS POSSIBLE (SEE MASONRY CLEANING ABOVE). NEW STUCCO / PARGING SHALL BE INSTALLED WHERE EXISTING STUCCO / PARGING HAS BEEN REMOVED, AND AS INDICATED ON THE DRAWINGS. INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S HIGHEST RECOMMENDATIONS USING ALL ASSOCIATED COMPONENTS FOR FLASHING, PENETRATIONS, ETC. STUCCO / PARGING SHALL BE INSTALLED ON MASONRY JAMB SURFACES OF NEW DOOR AND WINDOWS OPENINGS UP TO THE WINDOW / DOOR UNIT. NEW STUCCO / PARGING SHALL MATCH EXISTING IN TEXTURE AND COLOR. NEW STUCCO / PARGING SHALL BE A THREE-COAT SYSTEM (SCRATCH COAT, BROWN COAT AND FINISH COAT) WITH A GLASS FIBER REINFORCED LATH. BASIS-OF-DESIGN IS "SENERGY" BRAND, "SENERGY" SENTRY STUCCO WALL SYSTEM FB/M/LATH 1000" WITH PRE-MIXED "SENTRY STUCCO BASE" AND "SENERLASTIC" FINISH COAT WITH TEXTURE TO MATCH EXISTING. CONTROL JOINTS TO BE ALIGNED WITH OPENINGS.
AU. GYPSUM BOARD: SEE PARTITION SCHEDULE. MOLD & MOISTURE RESISTANT GYPSUM BOARD IN ALL WET AREAS - RESTROOMS, KITCHENS, LAUNDRY, BASEMENTS.
AV. STORM WINDOWS: FRAME WIDTH CANNOT REDUCE THE DAYLIGHT OPENING OF THE WINDOW & THE CENTER CHECK RAIL MUST ALIGN WITH THE WINDOW CENTER CHECK RAIL. NO SCREENS.
AW. PROVIDE UNIT ENTRY SIGNAGE PER FINISH SCHEDULE AT EACH RESIDENTIAL UNIT ENTRY. FINAL LOCATION TO BE DETERMINED BY OWNER. IF MOUNTING ON DOOR, ENSURE INSTALLATION DOES NOT VOID RATING OF DOOR ASSEMBLY.
AX. PROVIDE BLINDS AT RESIDENTIAL UNITS PER FINISH SCHEDULE. QUANTITY AND LOCATIONS BY OWNER.
AY. SUBCONTRACTOR TO PROVIDE RECOMMENDED ALLOWANCE FOR PLASTER REPAIR.

NOT FOR CONSTRUCTION

PROPOSED PROJECT

Job No: 08/30/2024

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PLATTE architecture + design

Progress Dates

Revisions

Design Team:

Drawn by:

NEW WORK PLANS & ELEVATIONS # KEYED NOTES:

- IMPORTANT:** HISTORIC TRIM PRESENT IN THIS BUILDING THROUGHOUT THIS BUILDING. HISTORIC TRIM, DOORS, AND WINDOWS ARE PRESENT. PRESERVE HISTORIC ELEMENTS UNLESS AREAS OF MISSING HISTORIC TRIM ON HISTORIC WALLS SHALL BE PATCHED TO MATCH ADJ. HISTORIC TRIM EXACTLY.
- HISTORIC EXTERIOR WALLS TO RECEIVE FURRING - CAREFULLY REMOVE EXG HISTORIC INTERIOR TRIM, REPAIR, AND REINSTALL ON NEWLY-FURRED OUT WALLS TO PRESERVE HISTORIC APPEARANCE.
 - HISTORIC INTERIOR WALLS - PRESERVE, REPAIR, AND PATCH HISTORIC TRIM AT EXG HISTORIC INTERIOR WALLS AND DOOR OPENINGS.
- 3. CONCRETE**
- SLAB TO REMAIN. SCOPE & VERIFY FLOOR DRAINS CONNECT TO SEWER. REPAIR AS REQUIRED.
 - NEW CONCRETE SLAB W/ NEW FLOOR DRAINS/ PER PLUMBING DRAWINGS. SLOPE 1/4" = 12' MIN TO DRAIN. CONTROL JOINTS PER STRUCTURAL DWG.
 - VAPOR MITIGATION SYSTEM BELOW SLAB, AS REQUIRED BY OWNER'S CONSULTANT. SEE CONSULTANT DESIGN FOR SYSTEM DETAILS AND LOCATIONS OF VERTICAL VENTS. SEE NOTE 22.1.
 - NEW CONCRETE SLOPED ENTRY. SEE STRUCTURAL DWGS.
 - NEW CONCRETE (STEPS), MAX RISER 7", MIN TREAD 11". SEE CIVIL DETAILS.
 - PROVIDE CONCRETE POUR-THROUGH AT SILL THRESHOLD.
 - NEW CONCRETE SLAB ON GRADE. SLOPE 1/20 MAX. SEE CIVIL DRAWINGS.
 - EXG CONCRETE STAR TO REMAIN.
 - NEW FOOTINGS FOR COLUMN. SEE STRUCTURAL DWGS.
 - NEW STRIP FOOTINGS FOR BEARING WALL. SEE STRUCTURAL DWGS.
- 4. MASONRY**
- NEW OR EXPANDED OPENING IN EXG MASONRY WALL (SEE STRUCTURAL DWGS). TOOTH OUT AND KEY IN BRICK AS REQ'D TO PROVIDE EXPOSED BRICK RETURNS. PROVIDE NEW STEEL LINTEL. SEE STRUCTURAL DWGS.
 - NEW WINDOW OPENING IN PREVIOUSLY INFILLED OPENING. PROVIDE NEW CAST STONE SILL, TOOTH OUT

- AND KEY IN BRICK AT JAMBS TO MATCH ADJACENT. USE EXG STONE LINTEL. SEE STRUCTURAL DWGS.
- EXG MASONRY OPENING TO BE INFILLED W/ BRICK TO MATCH EXG HISTORIC. INSERT NEW BRICK 1" BACK FROM FACE OF ADJACENT WALL. SEE DETAIL 13A/3.00.
 - BRICK TO BE LEFT EXPOSED. SCRAPE LOOSE PAINT, CLEAN EXISTING DOORWAY OPENING TO BECOME WINDOW OPENING. INFILL LOWER OPENING WITH BRICK TO MATCH EXISTING HISTORIC ADJACENT - INSERT NEW BRICK 1" BACK FROM FACE OF ADJACENT WALL. PROVIDE NEW CAST STONE SILL, TOOTH OUT & KEY IN BRICK AS REQ'D TO REPAIR JAMBS, ALLOW BRICK RETURN, AND ALLOW NEW SILL TO BE INSERTED AT SAME A.F.F. ELEVATION AS ADJACENT WINDOWS. UNO. SEE DETAIL 23AS.00.
 - REPLACE DAMAGED/MISSING BRICK AS SHOWN ON EXTERIOR ELEVATIONS & PER SHPO NARRATIVE.
 - NEW CAST STONE SILL THRESHOLD.
- 4. WOOD, PLASTICS, AND COMPOSITES**
- REPAIR DAMAGED PIECES OF WOOD STAIRS.
 - TREADS & RISERS.
 - BALLUSTRADE.
 - ADD TREADS/RISERS PER PLAN.
 - RELOCATE EXG STAR STRINGERS/TREADS/RISERS WESTWARD.
 - RELOCATE EXG STAR STRINGERS/TREADS/RISERS EASTWARD.
 - NEW INTERIOR WOOD STAIR. TREAD DEPTH PER PLANS. RISER HEIGHT = 7" MAX. PROVIDE 3/8" CLEAR HEAD HEIGHT.
 - NEW FLOOR FRAMING - SEE STRUCT DWGS.
 - NEW CASED OPENING IF APPLICABLE. JAMB EXTENSIONS TO MATCH DEPTH OF OPENING. SEE FINISH SCHEDULE FOR TRIM SIZES.
 - MATCH HEIGHT TO ADJACENT DOOR HEADS.
 - MATCH HEIGHT TO ADJACENT TRANSOM HEADS.
 - NEW EXTERIOR STAIR. SEE SHEET A3.00.
 - HISTORIC INTERIOR MANTEL TRIM.
 - RETAIN & REPAIR.
 - MANTEL FROM ADJACENT TO BE INSTALLED AT THIS LOCATION.
 - RETAIN & REPAIR STOREFRONT ELEMENTS. MATCH EXG IF ANY REMAINS. SEE EXTERIOR ELEVATIONS.

- 5. METALS**
- NEW CONTINUOUS STEEL PIPE HANDRAIL. SEE DTL 3/AS.00.
 - NEW STEEL GUARDRAIL. SEE DTL 3/AS.00.
 - EXG STEEL STRUCTURE TO REMAIN. SEE STRUCTURAL DWGS.
 - NEW METAL BREEZEWAY GATE - SEE DOOR SCHEDULE.
 - NEW STEEL BEAM. SEE STRUCTURAL DWGS.
 - REPAIR/RELOCATE EXG VERTICAL DECORATIVE PANEL AS REQ'D.
 - NEW STEEL COLUMN. SEE STRUCTURAL DWGS.
 - NEW BLACK METAL PICKET FENCE. B.O.D. = REFERENCE "UPGRADE" STEEL FENCE. 6'-0" TALL. 3 RAIL. W/ SUMMIT PICKETS AND STANDARD BOTTOM. COORD. FINAL SPEC W/ ARCHITECT. SEE CIVIL FOR TOTAL SCOPE BETWEEN 1732-34 VINE AND 1726-1730 VINE / 1675 HAMER.
- 6. THERMAL AND MOISTURE PROTECTION**
- NEW PRE-FINISHED K-STYLE ALUMINUM GUTTER. SEE EXTERIOR ELEVATIONS.
 - INSTALL NEW CLEAR INSULATED GLAZING IN EXG STOREFRONT FRAMING AND TRANSOM ABOVE ENTRY DOOR. INSTALL NEW DOOR IN EXG ENTRY OPENING - SEE DOOR SCHEDULE.
 - NEW CHASE OPENING IN FLOOR. SEE STRUCTURAL DWGS FOR FRAMING.
 - NEW STOREFRONT CONSTRUCTION. SEE EXTERIOR ELEVATIONS AND STOREFRONT DETAIL SHEET A6.13.
 - NEW SIGNAGE BOARD.
 - PROVIDE NEW ATTIC ACCESS PANEL (27"x30" MIN) ADHERE RIGID INSULATION TO BACK OF ATTIC HATCH PANEL TO MATCH R-VALUE OF FLOOR-CEILING ASSEMBLY.
 - REPAIR AT JAMB.
 - THIS DOOR IS A RELOCATED HISTORIC DOOR. SEE EXG DEMOLITION PLANS FOR ORIGINAL LOCATION & DOOR SCHEDULE FOR MORE INFORMATION.
 - RELOCATED HISTORIC TRIM INSTALLED IN THIS LOCATION. SEE EXG PLANS FOR ORIGINAL LOCATION.
 - NEW EXTERIOR BUILDING ENTRY DOOR AND FRAME - SEE DOOR SCHEDULE.

- 7. FINISHES**
- NOT USED.
 - FIRE-RATING TO BE CONTINUOUS BEHIND PLUMBING/CHASE/ FURRING WALL. FIRE RATING TO BE CONTINUOUS AT INTERSECTION W/ NON-RATED WALL.
 - EXG WAINCOT - CAREFULLY REMOVE AND REINSTALL OVER NEW FURRED WALL.
 - GROUND-MOUNTED MAILBOXES. LOCKABLE. BOXES TO MEET USPS-4C STANDARDS & ACCESSIBILITY REQUIREMENTS.
 - NOT USED.
 - ENTRY SYSTEM CALLBOX B.O.D. = "2N ACCESS CONTROL" PARTIAL HEIGHT WALL - SEE DTL 4/AS.00.
 - CLOSETS W/ BLOCKING AT RODS & BRACKETS.
 - TYP ENCLOSED CLOSET: 12" DEEP MELAMINE SHELF & CLOTHES ROD AT 66" AFF. TYP UNO.
 - ADJUSTABLE SHELVES ON STANDARD MOUNT.
 - PROVIDE DRAIN PAN BENEATH WASHING MACHINE/ WATER HEATER. SEE PLUMBING DWGS.
 - PROVIDE "NO SMOKING" SIGN AT EXTERIOR WALL.
 - NOT USED.
 - SHOWER NICHE. SEE ENLARGED PLANS, INTERIOR ELEVATIONS AND DETAIL 1/AS.00.
 - APPROXIMATE LOCATION OF CHASE WALL FOR PLUMBING AND MECH VENTILATION RISERS. WRAP IN GYP BD AS REQ'D. SEE PLUMBING AND MECH DWGS.
 - PROVIDE BLOCKING FOR WALL-MOUNTED CHANGING STATION. SEE INTERIOR ELEVATION.
 - FIRE EXTINGUISHER. COORDINATE FINAL LOCATION WITH LOCAL FIRE MARSHAL.
 - SURFACE MOUNTED.
 - IN SINK CABINET IN RESIDENTIAL UNIT. TYPICAL.
 - NEW 2HR FIRE-RATED SHAFT FOR 18" DUCT. PROVIDE "CH" CHANNELS 6" WIDE. SEE STRUCTURAL DWGS.
 - PROVIDE COUNTERTOP SUPPORT BRACKET AT 21"

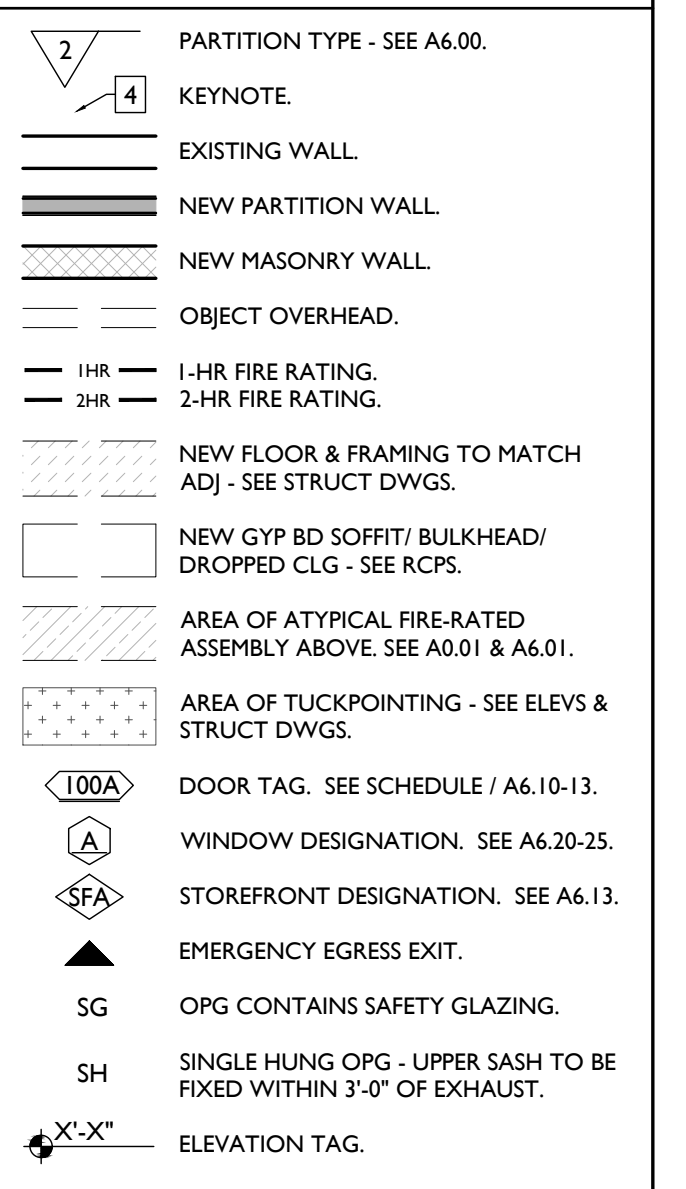
- 8. OPENINGS**
- EXG HISTORIC DOOR IN EXG OPENING TO BE FIXED CLOSED. SEE DOOR SCHEDULE. IF EXG DOOR DAMAGED, REPLACE WITH OTHER EXG HISTORIC DOOR SALVAGED FROM OTHER PART OF BUILDING.
 - PROVIDE NEW FLUSH ALUMINUM FLOOR ACCESS PANEL.
 - NEW STOREFRONT CONSTRUCTION. SEE EXTERIOR ELEVATIONS AND STOREFRONT DETAIL SHEET A6.13.
 - TIE INTO EXISTING SEWER SYSTEM. NEW PVC AT LOWER 6' OF DOWNSPOUT. PAINT TO MATCH DOWNSPOUT.
 - PROVIDE EXTENSION TO ADJACENT ROOF.
 - NEW RECTANGULAR-PROFILE ALUMINUM GUTTER. SEE EXTERIOR ELEVATIONS AND STAIR DETAILS SHEET A3.00.
 - NEW SLATE GRAY ROOF SHINGLES. B.O.D. OWENS CORNING TRIU DEFINITION DURATION SHINGLES. WITH 30 YEAR MIN. WARRANTY. PROVIDE ICE AND WATER SHIELD WHERE REQUIRED.
 - NEW FULLY ADHERED WHITE TPO MEMBRANE ROOF W/ CRICKETS WHERE REQUIRED FOR POSITIVE DRAINAGE AND TERMINATION BARS & METAL COUNTERTOP FLASHING - SEE

- 9. FINISHES**
- NOT USED.
 - FIRE-RATING TO BE CONTINUOUS BEHIND PLUMBING/CHASE/ FURRING WALL. FIRE RATING TO BE CONTINUOUS AT INTERSECTION W/ NON-RATED WALL.
 - EXG WAINCOT - CAREFULLY REMOVE AND REINSTALL OVER NEW FURRED WALL.
 - GROUND-MOUNTED MAILBOXES. LOCKABLE. BOXES TO MEET USPS-4C STANDARDS & ACCESSIBILITY REQUIREMENTS.
 - NOT USED.
 - ENTRY SYSTEM CALLBOX B.O.D. = "2N ACCESS CONTROL" PARTIAL HEIGHT WALL - SEE DTL 4/AS.00.
 - CLOSETS W/ BLOCKING AT RODS & BRACKETS.
 - TYP ENCLOSED CLOSET: 12" DEEP MELAMINE SHELF & CLOTHES ROD AT 66" AFF. TYP UNO.
 - ADJUSTABLE SHELVES ON STANDARD MOUNT.
 - PROVIDE DRAIN PAN BENEATH WASHING MACHINE/ WATER HEATER. SEE PLUMBING DWGS.
 - PROVIDE "NO SMOKING" SIGN AT EXTERIOR WALL.
 - NOT USED.
 - SHOWER NICHE. SEE ENLARGED PLANS, INTERIOR ELEVATIONS AND DETAIL 1/AS.00.
 - APPROXIMATE LOCATION OF CHASE WALL FOR PLUMBING AND MECH VENTILATION RISERS. WRAP IN GYP BD AS REQ'D. SEE PLUMBING AND MECH DWGS.
 - PROVIDE BLOCKING FOR WALL-MOUNTED CHANGING STATION. SEE INTERIOR ELEVATION.
 - FIRE EXTINGUISHER. COORDINATE FINAL LOCATION WITH LOCAL FIRE MARSHAL.
 - SURFACE MOUNTED.
 - IN SINK CABINET IN RESIDENTIAL UNIT. TYPICAL.
 - NEW 2HR FIRE-RATED SHAFT FOR 18" DUCT. PROVIDE "CH" CHANNELS 6" WIDE. SEE STRUCTURAL DWGS.
 - PROVIDE COUNTERTOP SUPPORT BRACKET AT 21"

- 10. SPECIALTIES**
- GROUND-MOUNTED MAILBOXES. LOCKABLE. BOXES TO MEET USPS-4C STANDARDS & ACCESSIBILITY REQUIREMENTS.
 - NOT USED.
 - ENTRY SYSTEM CALLBOX B.O.D. = "2N ACCESS CONTROL" PARTIAL HEIGHT WALL - SEE DTL 4/AS.00.
 - CLOSETS W/ BLOCKING AT RODS & BRACKETS.
 - TYP ENCLOSED CLOSET: 12" DEEP MELAMINE SHELF & CLOTHES ROD AT 66" AFF. TYP UNO.
 - ADJUSTABLE SHELVES ON STANDARD MOUNT.
 - PROVIDE DRAIN PAN BENEATH WASHING MACHINE/ WATER HEATER. SEE PLUMBING DWGS.
 - PROVIDE "NO SMOKING" SIGN AT EXTERIOR WALL.
 - NOT USED.
 - SHOWER NICHE. SEE ENLARGED PLANS, INTERIOR ELEVATIONS AND DETAIL 1/AS.00.
 - APPROXIMATE LOCATION OF CHASE WALL FOR PLUMBING AND MECH VENTILATION RISERS. WRAP IN GYP BD AS REQ'D. SEE PLUMBING AND MECH DWGS.
 - PROVIDE BLOCKING FOR WALL-MOUNTED CHANGING STATION. SEE INTERIOR ELEVATION.
 - FIRE EXTINGUISHER. COORDINATE FINAL LOCATION WITH LOCAL FIRE MARSHAL.
 - SURFACE MOUNTED.
 - IN SINK CABINET IN RESIDENTIAL UNIT. TYPICAL.
 - NEW 2HR FIRE-RATED SHAFT FOR 18" DUCT. PROVIDE "CH" CHANNELS 6" WIDE. SEE STRUCTURAL DWGS.
 - PROVIDE COUNTERTOP SUPPORT BRACKET AT 21"

- 11. FIRE SUPPRESSION**
- APPROX LOCATION OF FDC CONNECTION - COORDINATE W/ FIRE DEPT.
 - SPRINKLER RISER. SEE PLUMBING DWGS.
 - PROVIDE 2-HR FIRE-RATING AT STRUCTURE. SEE SHEET A6.02.
 - PROVIDE 2-HR FIRE-RATING AT STRUCTURE. SEE SHEET A6.02.
 - PROVIDE WATERFLOW ALARM DEVICE. CONFIRM LOCATION WITH BUILDING INSPECTOR AND FIRE DEPARTMENT. COORDINATE WITH ELECTRICAL AND FIRE SUPPRESSION CONTRACTOR.
- 12. PLUMBING**
- PROVIDE RADON RISER, AS REQUIRED BY OWNER'S CONSULTANT. RISER TO EXTEND FROM BASEMENT TO ATTIC. SEE CONSULTANT DESIGN FOR LOCATIONS OF RISERS. SEE NOTE 3.2. COORDINATE WITH PLUMBING CONTRACTOR.
 - PLUMBING CHASE (OR WALL) - VERIFY LOCATIONS IN FIELD TO ALIGN CONCEALMENT BETWEEN FLOORS.
 - NEW HOSE BIB LOCATION. SEE PLUMBING.
- 13. HEATING, VENTILATING, AND AIR CONDITIONING**
- MECHANICAL UNITS - WALLING PADS TO & AROUND EQUIPMENT. GUARDRAIL REQUIRED IF EQUIPMENT < 10' FROM ROOF EDGE. PROVIDE OVER-FRAMED PLATFORM PER 1/AS.00. SEE HVAC. SEE STRUCTURAL DWGS. SOUND ISOLATE MECHANICAL PLATFORM AND PROVIDE SOUND ISOLATION PADS AT BASE OF MECHANICAL UNITS. USE MANUFACTURER'S INSTALLATION INSTRUCTIONS TO CONFIRM CLEARANCES.
 - PROVIDE NEW VENT WITH OPERABLE DAMPERS. SUM OF VENTILATION AREA SERVING CRAWL SPACE TO BE 72" MIN. PER 1203.42, EX. 2 OF OBC 2017.
 - FUTURE KITCHEN HOOD EXHAUST WALL-HUNG MECHANICAL UNIT. SEE STRUCTURAL DWGS. SEE HVAC. USE MANUFACTURER'S INSTALLATION

- 14. ELECTRICAL**
- ELECTRIC PANEL RECESSED IN WALL W/ 30"W X 36"D CLEAR IN FRONT. PAINT TO MATCH ADJACENT WALL. W/ FIXED ROOF WALKWAY PADS.
 - APPROXIMATE LOCATION OF NEW FURRING WALL. SEE SHEET A6.02.
 - APPROPRIATE PAINT TYPE FOR PANEL.
 - NEW EXTERIOR LIGHTING. NO EXPOSED CONDUIT ON FACE OF BUILDING.
- 15. EXTERIOR IMPROVEMENTS**
- NEW VFD FENCE - SEE 16/AS.00 AND CIVIL DWGS.
 - NEW 6'-0" BLACK METAL PICKET FENCE. B.O.D. = REFERENCE UPGRADE STANDARD. WITH RINNACLE OR SUMMIT PICKETS. COORD. FINAL SPEC W/ ARCHITECT.



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Progress Dates

Revisions

Design Team:

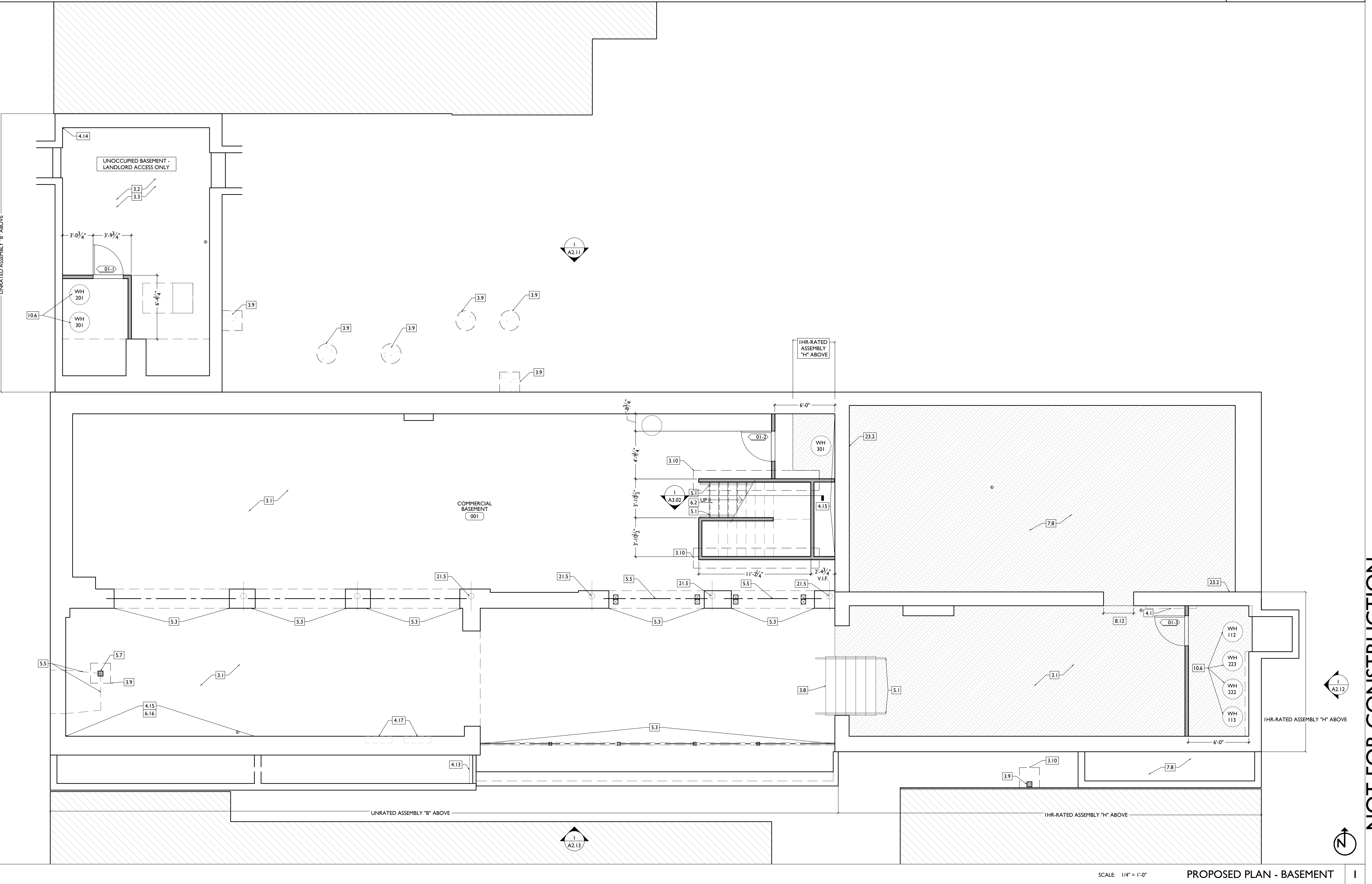
Drawn by:

NOT FOR CONSTRUCTION

PROPOSED PROJECT:

Job No: 08/30/2024

AI.10



SCALE: 1/4" = 1'-0" PROPOSED PLAN - BASEMENT |

NEW WORK PLANS & ELEVATIONS # KEYED NOTES:

- IMPORTANT:** HISTORIC TRIM PRESENT IN THIS BUILDING THROUGHOUT THIS BUILDING. HISTORIC TRIM DOORS AND WINDOWS ARE PRESENT. PRESERVE HISTORIC ELEMENTS UNLESS AREAS OF MISSING HISTORIC TRIM ON HISTORIC WALLS SHALL BE PATCHED TO MATCH ADJ. HISTORIC TRIM EXACTLY.
- HISTORIC EXTERIOR WALLS TO RECEIVE FURRING. CAREFULLY REMOVE EXG HISTORIC INTERIOR TRIM, REPAIR, AND REINSTALL ON NEWLY-FURRED OUT WALLS TO PRESERVE HISTORIC APPEARANCE.
 - HISTORIC INTERIOR WALLS - PRESERVE, REPAIR, AND PATCH HISTORIC TRIM AT EXG HISTORIC INTERIOR WALLS AND DOOR OPENINGS.
- 3. CONCRETE**
- SLAB TO REMAIN. SCOPE & VERIFY FLOOR DRAINS CONNECT TO SEWER. REPAIR AS REQUIRED.
 - NEW CONCRETE SLAB W/ NEW FLOOR DRAINS/ PER PLUMBING DRAWINGS. SLOPE 1/4" / 12" MIN TO DRAIN. CONTROL JOINTS PER STRUCTURAL DWG.
 - VAPOR MITIGATION SYSTEM BELOW SLAB, AS REQUIRED BY OWNER'S CONSULTANT. SEE CONSULTANT DESIGN FOR SYSTEM DETAILS AND LOCATIONS OF VERTICAL VENTS. SEE NOTE 22.1.
 - NEW CONCRETE SLOPED ENTRY. SEE STRUCTURAL DWGS.
 - NEW CONCRETE STEPS. MAX RISE 7"; MIN TREAD 11". SEE CIVIL DETAILS.
 - PROVIDE CONCRETE POUR-THROUGH AT SILL THRESHOLD.
 - NEW CONCRETE SLAB ON GRADE. SLOPE 1/20 MAX. SEE CIVIL DRAWINGS.
 - EXG CONCRETE STAIR TO REMAIN.
 - NEW FOOTINGS FOR COLUMN. SEE STRUCTURAL DWGS.
 - NEW STRIP FOOTINGS FOR BEARING WALL. SEE STRUCTURAL DWGS.
- 4. MASONRY**
- NEW OR EXPANDED OPENING IN EXG MASONRY WALL (SEE STRUCTURAL DWGS). TOOTH OUT AND KEY IN BRICK AS REQ'D TO PROVIDE EXPOSED BRICK RETURNS. PROVIDE NEW STEEL LINTEL. SEE STRUCTURAL DWGS.
 - NEW WINDOW OPENING IN PREVIOUSLY INFILLED OPENING. PROVIDE NEW CAST STONE SILL, TOOTH OUT

- AND KEY IN BRICK AT JAMBS TO MATCH ADJACENT. USE EXG STONE LINTEL. SEE STRUCTURAL DWGS.
 - EXG MASONRY OPENING TO BE INFILLED W/ BRICK TO MATCH EXG HISTORIC. INSERT NEW BRICK 1" BACK FROM FACE OF ADJACENT WALL. SEE DETAIL 13A.00.
 - BRICK TO BE LEFT EXPOSED. SCRAPE LOOSE PAINT, CLEAN EXISTING DOORWAY OPENING TO BECOME WINDOW OPENING. INFILL LOWER OPENING WITH BRICK TO MATCH EXISTING HISTORIC ADJACENT. INSERT NEW BRICK 1" BACK FROM FACE OF ADJACENT WALL. PROVIDE NEW CAST STONE SILL. TOOTH OUT & KEY IN BRICK AS REQ'D TO REPAIR JAMBS. ALLOW BRICK RETURN, AND ALLOW NEW SILL TO BE INSERTED AT SAME A.F.F. ELEVATION AS ADJACENT WINDOWS. UNO. SEE DETAIL 23A.00.
 - REPLACE DAMAGED/MISSING BRICK AS SHOWN ON EXTERIOR ELEVATIONS & PER SHPO NARRATIVE.
 - NEW CAST STONE SILL THRESHOLD.
- 4. WOOD, PLASTICS, AND COMPOSITES**
- REPAIR DAMAGED PIECES OF WOOD STAIRS.
 - TREADS/RISSERS.
 - BALLUSTRADE.
 - ADD TREADS/RISSERS PER PLAN.
 - RELOCATE EXG STAIR STRINGERS/TREADS/RISSERS WESTWARD.
 - SEE STRUCTURAL DWGS FOR REINFORCEMENT OF STAIR OPENING.
 - NEW INTERIOR WOOD STAIR. TREAD DEPTH PER PLANS. RISER HEIGHT = 7" MAX. PROVIDE 3/8" CLEAR HEAD HEIGHT.
 - NEW FLOOR FRAMING - SEE STRUCT DWGS.
 - NEW CASED OPENING IF APPLICABLE. JAMB EXTENSIONS TO MATCH DEPTH OF OPENING. SEE FINISH SCHEDULE FOR TRIM SIZES.
 - MATCH HEIGHT TO ADJACENT DOOR HEADS.
 - MATCH HEIGHT TO ADJACENT TRANSOM HEADS.
 - NEW EXTERIOR STAIR. SEE SHEET A3.00.
 - HISTORIC INTERIOR MANTEL TRIM.
 - RETAIN & REPAIR.
 - MANTEL FROM ADJACENT TO BE INSTALLED AT THIS LOCATION.
 - RETAIN & REPAIR STOREFRONT ELEMENTS. MATCH EXG IF ANY REMAINS. SEE EXTERIOR ELEVATIONS.

- NEW LINTEL AT NEW OPENING IN MASONRY WALL FOR HVAC DUCT. SEE STRUCTURAL & MECH DWGS.
 - NEW CONTINUOUS STEEL PIPE HANDRAIL. SEE DTL 51A.00.
 - NEW STEEL GUARDRAIL. SEE DTL 51A.00.
 - EXG STEEL STRUCTURE TO REMAIN. SEE STRUCTURAL DWGS.
 - NEW METAL BREEZEWAY GATE - SEE DOOR SCHEDULE.
 - NEW METAL BEAM. SEE STRUCTURAL DWGS.
 - REPAIR/RELOCATE EXG VERTICAL DECORATIVE PANEL AS REQ'D.
 - NEW STEEL COLUMN. SEE STRUCTURAL DWGS.
 - NEW BLACK METAL PICKET FENCE. B.O.D. = BETTERANCE "UPGRADE" STEEL FENCE. 6" Ø TALL. 3 RAIL. W/ SUMMIT PICKETS AND STANDARD BOTTOM. COORD. FINAL SPEC W/ ARCHITECT. SEE CIVIL FOR TOTAL SCOPE BETWEEN 1732-34 VINE AND 1726-1730 VINE / 1675 HAMER.
- 5. METALS**
- NEW PAINTED CEMENT FIBERBOARD RAKE TRIM & GUTTERBOARD - SEE ELEVATIONS.
 - NEW PAINTED CEMENT FIBERBOARD BAND BOARD. 1X8.
 - NEW COLUMN PER STRUCTURAL DWGS.
 - NEW WOOD SCREEN AT STAIR. SEE SHEET A3.00.
 - EXG CORNICHE TO REMAIN. REPAIR AS REQ'D.
 - NEW PAINTED CEMENT FIBERBOARD SIDING INFILL FLOOR OPENING PER STRUCTURAL DWGS. NEW FACE 7/8" OF GYP CEILING TO BE RECEIVED 1" FROM ADJACENT CEILING. PER SHPO REQUEST.
 - REPLACE HISTORIC BEADBOARD GUARDRAIL WITH FULL HEIGHT PAINTED BEADBOARD PANEL WALLS RISING TO 3RD FLOOR CEILING TO ENCLOSE ATTIC STAIR.
 - PROVIDE NEW LEDGER TO HANG EXG SHORTENED JOISTS. SEE STRUCTURAL DWGS.
- 6. THERMAL AND MOISTURE PROTECTION**
- NEW PRE-FINISHED K-STYLE ALUMINUM GUTTER. REPAIR DAMAGED ELEVATIONS.
 - INSTALL NEW CLEAR INSULATED GLAZING IN EXG STOREFRONT FRAMING AND TRANSOM ABOVE ENTRY DOOR. INSTALL NEW DOOR IN EXG ENTRY OPENING - SEE DOOR SCHEDULE.
 - NEW CHASE OPENING IN FLOOR. SEE STRUCTURAL DWGS FOR FRAMING.
 - NOT USED.
 - NEW STOREFRONT CONSTRUCTION. SEE EXTERIOR ELEVATIONS AND STOREFRONT DETAIL SHEET A6.13.
 - LOWER 6" OF DOWNSPOUT. PAINT TO MATCH DOWNSPOUT.
 - TIE INTO EXISTING SEWER SYSTEM. NEW PVC AT LOWER 6" OF DOWNSPOUT. PAINT TO MATCH DOWNSPOUT.
 - PROVIDE EXTENSION TO ADJACENT ROOF.
 - NEW RECTANGULAR-PROFILE ALUMINUM GUTTER. SEE EXTERIOR ELEVATIONS AND STAIR DETAILS SHEET A3.00.
 - NEW SLATE GRAY ROOF SHINGLES. B.O.D. OWENS CORNING TRIU DEFINITION DURATION SHINGLES. WITH 30 YEAR MIN. WARRANTY. PROVIDE ICE AND WATER SHIELD WHERE REQUIRED.
 - RELOCATED HISTORIC TRIM INSTALLED IN THIS LOCATION. SEE EXG PLANS FOR ORIGINAL LOCATION.
 - NEW EXTERIOR BUILDING ENTRY DOOR AND FRAME - SEE DOOR SCHEDULE.

- ROOF DETAILS INSULATION PER SCHEDULE B.O.D. - 60 MIL WHITE TPO FULLY ADHERED ROOF SYSTEM. 20 YEAR WARRANTY. BY CARLISLE SYNTEC, CARLISLE, PA. OR EQUIVALENT.
 - NEW ROOF ACCESS HATCH. INSTALL PER MANUF'S INSTRUCTIONS. BASIS OF DESIGN = BILCO ES07B. 36"X36". SEE STRUCTURAL DWGS FOR OPENING FRAMING.
 - PROVIDE 10 MIL POLYETHYLENE CLASS 1 VAPOR BARRIER AT FLOOR OF CRAWL SPACE. OVERLAP SEAMS. TURN UP WALL TO UNDERSIDE OF JOISTS - ATTACH TO WALL EDGE WITH TERMINATION BAR.
 - NEW DARK BRONZE ALUM CAP @ CHIMNEY.
- 7. FINISHES**
- NOT USED.
 - FIRE-RATING TO BE CONTINUOUS BEHIND PLUMBING/CHASE/ FURRING WALL. FIRE RATING TO BE CONTINUOUS AT INTERSECTION W/ NON-RATED WALL.
 - EXG WAINCOT - CAREFULLY REMOVE AND REINSTALL OVER NEW FURRED WALL.
- 8. SPECIALTIES**
- GROUND-MOUNTED MAILBOXES. LOCKABLE. BOXES TO MEET UPS-4C STANDARDS & ACCESSIBILITY REQUIREMENTS.
 - NOT USED.
 - ENTRY SYSTEM CALLBOX. B.O.D. = "2N ACCESS CONTROL". PARTIAL HEIGHT WALL - SEE DTL 41A.00.
 - CLOSETS W/ BLOCKING AT RODS & BRACKETS.
 - TYP ENCLOSED CLOSET. 12" DEEP MELAMINE SHELF & CLOTHES ROD AT 66" AFF. TYP UNO.
 - ABOVE WID.
 - ADJUSTABLE SHELVES ON STANDARD MOUNT.
 - PROVIDE DRAIN PAN BENEATH WASHING MACHINE/ WATER HEATER. SEE PLUMBING DWGS.
 - PROVIDE "NO SMOKING" SIGN AT EXTERIOR WALL.
 - NOT USED.
 - SHOWER NICHE. SEE ENLARGED PLANS. INTERIOR ELEVATIONS AND DETAIL 11A.00.
 - APPROXIMATE LOCATION OF CHASE WALL FOR PLUMBING AND MECH VENTILATION RISERS. WRAP IN GYP BO AS REQ'D. SEE PLUMBING AND MECH DWGS.
 - PROVIDE BLOCKING FOR WALL-MOUNTED CHANGING STATION. SEE INTERIOR ELEVATIONS.
 - FIRE EXTINGUISHER. COORDINATE FINAL LOCATION WITH LOCAL FIRE MARSHAL.
 - SURFACE MOUNTED.
 - IN SINK CABINET IN RESIDENTIAL UNIT. TYPICAL.
 - NEW 2HR FIRE-RATED SHAFT FOR 18" DUCT. PROVIDE "CH" CHANNELS 6" WIDE. SEE STRUCTURAL DWGS.
 - PROVIDE COUNTERTOP SUPPORT BRACKET AT 21"

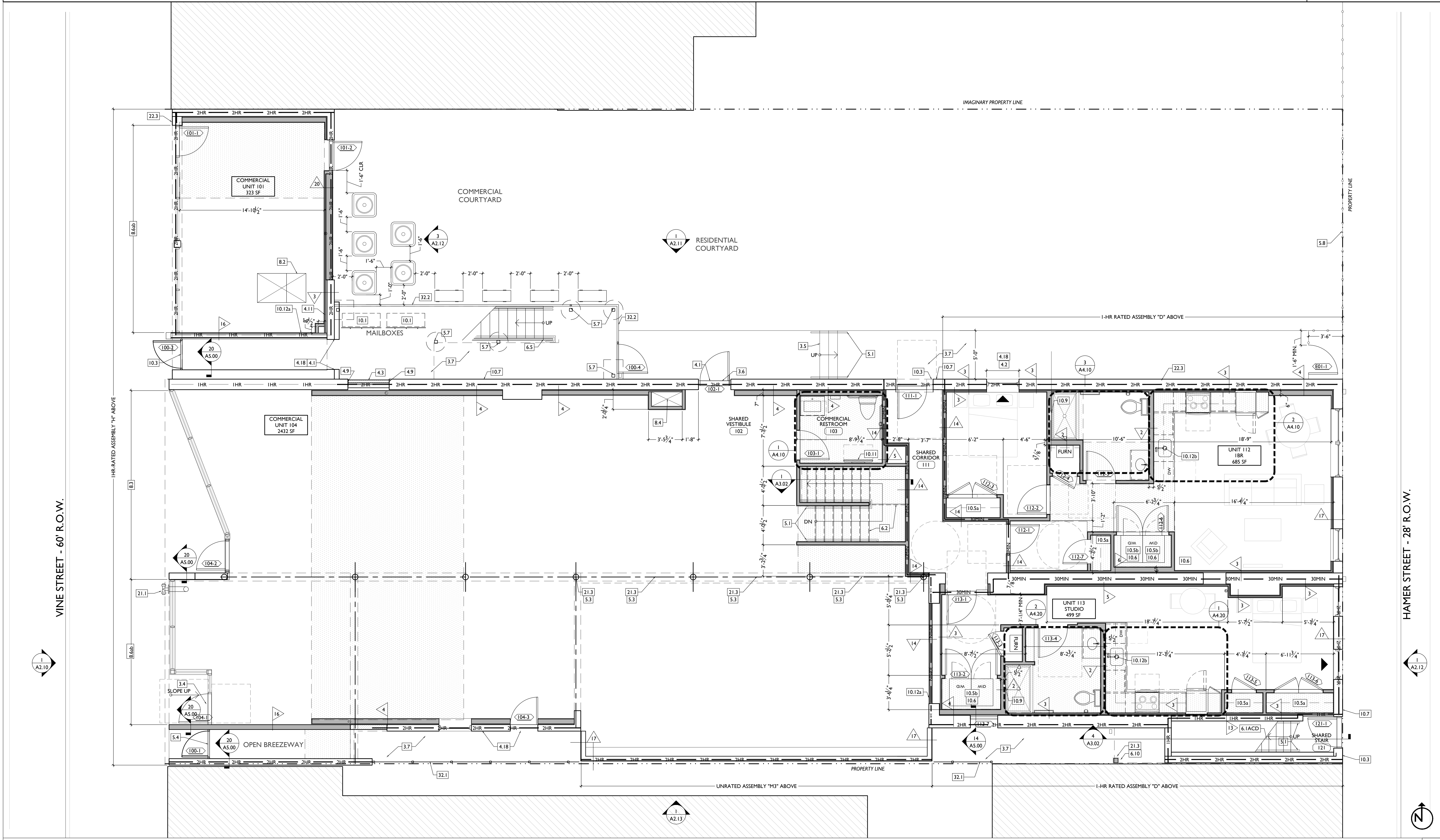
- OVERHANG. B.O.D. = "THE ORIGINAL GRANITE BRACKET - T BRACE COUNTERTOP SUPPORT BRACKET. 20" LENGTH". HATCHED AREA SHOWS APPROXIMATE LOCATION OF NEW FIXED ROOF WALKWAY PADS.
- 9. FIRE SUPPRESSION**
- APPROX LOCATION OF FDC CONNECTION - COORDINATE W/ FIRE DEPT.
 - SPRINKLER RISER. SEE PLUMBING DWGS.
 - PROVIDE 2-HR FIRE-RATING AT STRUCTURE. SEE SHEET A6.02.
 - PROVIDE 2-HR FIRE-RATING AT BASE OF COLUMN AT TOP CONCRETE RISER. SEE SHEET A6.02.
 - PROVIDE WATERFLOW ALARM DEVICE. CONFIRM LOCATION WITH BUILDING INSPECTOR AND FIRE DEPARTMENT. COORDINATE WITH ELECTRICAL AND FIRE SUPPRESSION CONTRACTOR.
- 10. PLUMBING**
- PROVIDE RADON RISER, AS REQUIRED BY OWNER'S CONSULTANT. RISER TO EXTEND FROM BASEMENT TO ATTIC. SEE CONSULTANT DESIGN FOR LOCATIONS OF RISERS. SEE NOTE 3.2. COORDINATE WITH PLUMBING.
 - PLUMBING CHASE (OR WALL) - VERIFY LOCATIONS IN FIELD TO ALIGN CONCEALMENT BETWEEN FLOORS.
 - NEW HOSE BIB LOCATION. SEE PLUMBING.
- 11. HEATING, VENTILATING, AND AIR CONDITIONING**
- MECHANICAL UNITS - WALLING PADS TO & AROUND EQUIPMENT. GUARDRAIL REQUIRED IF EQUIPMENT <10' FROM ROOF EDGE. PROVIDE OVER-FRAMED PLATFORM PER 11A.00. SEE HVAC. SEE STRUCTURAL DWGS. SOUND ISOLATE MECHANICAL PLATFORM AND PROVIDE SOUND ISOLATION PADS AT BASE OF MECHANICAL UNITS. USE MANUFACTURER'S INSTALLATION INSTRUCTIONS TO CONFIRM CLEARANCES.
 - NEW VENT WITH OPERABLE DAMPERS. SUM OF VENTILATION AREA SERVING CRAWL SPACE TO BE 72" MIN. PER 1203.42, EX. 2 OF CBC 2017.
 - FUTURE KITCHEN HOOD EXHAUST WALL-HUNG MECHANICAL UNIT. SEE STRUCTURAL DWGS. SEE HVAC. USE MANUFACTURER'S INSTALLATION.

NEW WORK GRAPHIC KEY:

- PARTITION TYPE - SEE A6.00.
- KEYNOTE.
- EXISTING WALL.
- NEW PARTITION WALL.
- NEW MASONRY WALL.
- OBJECT OVERHEAD.
- 1-HR FIRE RATING.
- 2-HR FIRE RATING.
- NEW FLOOR & FRAMING TO MATCH ADJ. - SEE STRUCT DWGS.
- NEW GYP BD SOFFIT/ BULKHEAD/ DROPPED CLG - SEE RCPS.
- AREA OF ATYPICAL FIRE-RATED ASSEMBLY ABOVE. SEE A6.01 & A6.01.
- AREA OF TUCKPOINTING - SEE ELEV & STRUCT DWGS.
- DOOR TAG. SEE SCHEDULE / A6.10-13.
- WINDOW DESIGNATION. SEE A6.20-25.
- STOREFRONT DESIGNATION. SEE A6.13.
- EMERGENCY EGRESS EXIT.
- OPG CONTAINS SAFETY GLAZING.
- SINGLE HUNG OPG - UPPER SASH TO BE FIXED WITHIN 3'-0" OF EXHAUST.
- ELEVATION TAG.

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PROGRESS DATES

REVISIONS

DESIGN TEAM:

DRAWN BY:

NOT FOR CONSTRUCTION

PROPOSED PROJECT:

Job No: 08/30/2024

SCALE: 1/4" = 1'-0"

PROPOSED PLAN - FIRST FLOOR

NEW WORK PLANS & ELEVATIONS # KEYED NOTES:

- IMPORTANT:** HISTORIC TRIM PRESENT IN THIS BUILDING THROUGHOUT THIS BUILDING. HISTORIC TRIM, DOORS, AND WINDOWS ARE PRESENT. PRESERVE HISTORIC ELEMENTS UNLESS AREAS OF MISSING HISTORIC TRIM ON HISTORIC WALLS SHALL BE PATCHED TO MATCH ADJ. HISTORIC TRIM EXACTLY.
- HISTORIC EXTERIOR WALLS TO RECEIVE FURRING. CAREFULLY REMOVE EXG HISTORIC INTERIOR TRIM, REPAIR, AND REINSTALL ON NEWLY-FURRED OUT WALLS TO PRESERVE HISTORIC APPEARANCE.
 - HISTORIC INTERIOR WALLS - PRESERVE, REPAIR, AND PATCH HISTORIC TRIM AT EXG HISTORIC INTERIOR WALLS AND DOOR OPENINGS.
- 3. CONCRETE**
- SLAB TO REMAIN. SCOPE & VERIFY FLOOR DRAINS CONNECT TO SEWER. REPAIR AS REQUIRED.
 - NEW CONCRETE SLAB W/ NEW FLOOR DRAINS/PER PLUMBING DRAWINGS. SLOPE 1/4" 12 MIN TO DRAIN CONTROL JOINTS PER STRUCTURAL DWG.
 - VAPOR MITIGATION SYSTEM BELOW SLAB, AS REQUIRED BY OWNER'S CONSULTANT. SEE CONSULTANT DESIGN FOR SYSTEM DETAILS AND LOCATIONS OF VERTICAL VENTS. SEE NOTE 22.1.
 - NEW CONCRETE SLOPED ENTRY. SEE STRUCTURAL DWGS.
 - NEW CONCRETE (STEPS), MAX RISE 7", MIN TREAD 11". SEE CIVIL DETAILS.
 - PROVIDE CONCRETE POUR-THROUGH AT SILL THRESHOLD.
 - NEW CONCRETE SLAB ON GRADE. SLOPE 1:20 MAX. SEE CIVIL DRAWINGS.
 - EXG CONCRETE STAIR TO REMAIN.
 - NEW FOOTINGS FOR COLUMN. SEE STRUCTURAL DWGS.
 - NEW STRIP FOOTINGS FOR BEARING WALL. SEE STRUCTURAL DWGS.
- 4. MASONRY**
- NEW OR EXPANDED OPENING IN EXG MASONRY WALL (SEE STRUCTURAL DWGS). TOOTH OUT AND KEY IN BRICK AS REQ'D TO PROVIDE EXPOSED BRICK RETURNS. PROVIDE NEW STEEL LINTEL. SEE STRUCTURAL DWGS.
 - NEW WINDOW OPENING IN PREVIOUSLY INFILLED OPENING. PROVIDE NEW CAST STONE SILL, TOOTH OUT

- AND KEY IN BRICK AT JAMBS TO MATCH ADJACENT. USE EXG STONE LINTEL. SEE STRUCTURAL DWGS.
 - EXG MASONRY OPENING TO BE INFILLED W/ BRICK TO MATCH EXG HISTORIC. INSERT NEW BRICK 1" BACK FROM FACE OF ADJACENT WALL. SEE DETAIL 13A.00.
 - BRICK TO BE LEFT EXPOSED. SCRAPE LOOSE PAINT, CLEAN EXISTING DOORWAY OPENING TO BECOME WINDOW OPENING. INFILL LOWER OPENING WITH BRICK TO MATCH EXISTING HISTORIC ADJACENT. INSERT NEW BRICK 1" BACK FROM FACE OF ADJACENT WALL. PROVIDE NEW CAST STONE SILL, TOOTH OUT & KEY IN BRICK AS REQ'D TO REPAIR JAMBS, ALLOW BRICK RETURN, AND ALLOW NEW SILL TO BE INSERTED AT SAME A.F.F. ELEVATION AS ADJACENT WINDOWS. UNO. SEE DETAIL 23A.00.
 - REPLACE DAMAGED/MISSING BRICK AS SHOWN ON EXTERIOR ELEVATIONS & PER SPO NARRATIVE.
 - NEW CAST STONE SILL THRESHOLD.
- 4. WOOD, PLASTICS, AND COMPOSITES**
- REPAIR DAMAGED PIECES OF WOOD STAIRS.
 - TREADS AND RISERS.
 - BALLUSTRADE.
 - ADD TREADS/RISERS PER PLAN.
 - RELOCATE EXG STAIR STRINGERS/TREADS/RISERS WESTWARD.
 - SEE STRUCTURAL DWGS FOR REINFORCEMENT OF STAIR OPENING.
 - NEW INTERIOR WOOD STAIR. TREAD DEPTH PER PLANS. RISER HEIGHT = 7" MAX. PROVIDE 9"8" CLEAR HEAD HEIGHT.
 - NEW FLOOR FRAMING - SEE STRUCT DWGS.
 - NEW CASED OPENING IF APPLICABLE. JAMB EXTENSIONS TO MATCH EXISTING OPENING. SEE FINISH SCHEDULE FOR TRIM SIZES.
 - MATCH HEIGHT TO ADJACENT DOOR HEADS.
 - MATCH TRIM TO ADJACENT TRANSOM HEADS.
 - NEW EXTERIOR STAIR. SEE SHEET A3.00.
 - HISTORIC BRICK MANTEL TRIM.
 - RETAIN & REPAIR.
 - MANTEL FROM ADJACENT TO BE INSTALLED AT THIS LOCATION.
 - CRICKETS WHERE REQUIRED FOR POSITIVE DRAINAGE AND WHERE TERMINATION BARS & METAL COUNTERFLASHING - SEE

- NEW LINTEL AT NEW OPENING IN MASONRY WALL FOR HVAC DUCT. SEE STRUCTURAL & MECH DWGS.
 - NEW CONTINUOUS STEEL PIPE HANDRAIL. SEE DTL 5/A.00.
 - NEW STEEL GUARDRAIL. SEE DTL 5/A.00.
 - EXG STEEL STRUCTURE TO REMAIN. SEE STRUCTURAL DWGS.
 - NEW METAL BREESTWAY GATE - SEE DOOR SCHEDULE.
 - NEW STEEL BEAM. SEE STRUCTURAL DWGS.
 - REPAIR/REBRICKATE EXG VERTICAL DECORATIVE PANEL AS REQ'D.
 - NEW STEEL COLUMN. SEE STRUCTURAL DWGS.
 - BLACK METAL PICKET FENCE. B.O.D. = REFERENCE "UPGRADE" STEEL FENCE. 8" 0" TALL, 3 RAIL, W/ SUMMIT PICKETS AND STANDARD BOTTOM. COORD. FINAL SPEC W/ ARCHITECT. SEE CIVIL FOR TOTAL SCOPE BETWEEN 1732-34 VINE AND 1726-1730 VINE / 1675 HAMER.
- 7. THERMAL AND MOISTURE PROTECTION**
- NEW PRE-FINISHED K-STYLE ALUMINUM GUTTER. SEE EXTERIOR ELEVATIONS.
 - REPAIR AND RELINE EXG BOX GUTTER. NEW PRE-FINISHED ALUMINUM DOWNSPOUT.
 - NEW ROUND ALUMINUM DOWNSPOUT PAINTED TO MATCH ADJACENT WALL SURFACE. SEE EXTERIOR ELEVATIONS.
 - TIE INTO EXISTING SEWER SYSTEM. NEW PVC AT LOWER 6" OF DOWNSPOUT. PAINT TO MATCH DOWNSPOUT.
 - PROVIDE EXTENSION TO LOWER ROOF.
 - NEW RECTANGULAR-PROFILE ALUMINUM GUTTER. SEE EXTERIOR ELEVATIONS AND STAIR DETAILS SHEET A3.00.
 - NEW SLATE GRAY ROOF SHINGLES. B.O.D. OWENS CORNING TRI-DEFINITION DURATION SHINGLES. WITH 30 YEAR MIN. WARRANTY. PROVIDE ICE AND WATER SHIELD WHERE REQUIRED.
 - NEW FULLY ADHERED WHITE TPO MEMBRANE ROOF W/ CRICKETS WHERE REQUIRED FOR POSITIVE DRAINAGE AND WHERE TERMINATION BARS & METAL COUNTERFLASHING - SEE

- A. BASE.
- B. BULKHEAD.
- C. FRAMING.
- D. GLAZING.
- NEW PAINTED CEMENT FIBERBOARD RAKE TRIM & GUTTERBOARD - SEE ELEVATIONS.
- NEW PAINTED CEMENT FIBERBOARD BAND BOARD, 1X8.
- NEW COLUMN PER STRUCTURAL DWGS.
- NEW WOOD SCREEN AT STAIR. SEE SHEET A3.00.
- EXG CORNICHE TO REMAIN. REPAIR AS REQ'D.
- NEW PAINTED CEMENT FIBERBOARD SIDING INFILL FLOOR OPENING PER STRUCTURAL DWGS. NEW FACE 7.9 OF GYP CEILING TO BE RECESSED 1" FROM ADJACENT CEILING. PER SPO REQUEST.
- REPLACE HISTORIC BRADBOARD GUARDRAIL WITH FULL HEIGHT PAINTED BRADBOARD PANEL WALLS RISING TO 3RD FLOOR CEILING TO ENCLOSE ATTIC STAIR.
- PROVIDE NEW LEDGER TO HANG EXG SHORTENED JOISTS. SEE STRUCTURAL DWGS.
- NEW STOREFRONT CONSTRUCTION. SEE EXTERIOR ELEVATIONS AND STOREFRONT DETAIL SHEET A6.13.
- NEW SIGNAGE BOARD.
- PROVIDE NEW ATTIC ACCESS PANEL (27"x30" MIN) ADHERE RIGID INSULATION TO BACK OF ATTIC HATCH PANEL TO MATCH R-VALUE OF FLOOR-CEILING ASSEMBLY.
- NEW EXTERIOR STAIR. SEE SHEET A3.00.
- THIS DOOR IS A RELOCATED HISTORIC DOOR. SEE EXG DEMOLITION PLANS FOR ORIGINAL LOCATION & DOOR SCHEDULE FOR MORE INFORMATION.
- RELOCATED HISTORIC TRIM INSTALLED IN THIS LOCATION. SEE EXG PLANS FOR ORIGINAL LOCATION.
- NEW EXTERIOR BUILDING ENTRY DOOR AND FRAME - SEE DOOR SCHEDULE.

- PROVIDE NEW WALL ACCESS PANEL FOR CRAWL SPACE. 36"x36". CONTRACTOR TO FIELD VERIFY HEIGHT OF PANEL SILL TO MAKE SURE ACCESS POINT IS ABOVE FLOOR OF CRAWL SPACE.
- NOT USED.
- FIRE-RATING TO BE CONTINUOUS BEHIND PLUMBING/CHASE/ FURRING WALL. FIRE RATING TO BE CONTINUOUS AT INTERSECTION W/ NON-RATED WALL.
- EXG WAINCOT - CAREFULLY REMOVE AND REINSTALL OVER NEW FURRED WALL.
- GROUND-MOUNTED MAILBOXES. LOCKABLE. BOXES TO MEET UPS-4C STANDARDS & ACCESSIBILITY REQUIREMENTS.
- NOT USED.
- PARTIAL HEIGHT WALL - SEE DTL 4/A5.00.
- CLOSETS W/ BLOCKING AT RODS & BRACKETS.
- TYP ENCLOSED CLOSET. 12" DEEP MELAMINE SHELF & CLOTHES ROD AT 66" AFF. TYP UNO.
- ADJUSTABLE SHELVES ON STANDARD MOUNT.
- PROVIDE DRAIN PAN BENEATH WASHING MACHINE/ WATER HEATER. SEE PLUMBING DWGS.
- PROVIDE "NO SMOKING" SIGN AT EXTERIOR WALL.
- NOT USED.
- SHOWER NICHE. SEE ENLARGED PLANS. INTERIOR ELEVATIONS AND DETAIL 1/A5.00.
- APPROXIMATE LOCATION OF CHASE WALL FOR PLUMBING AND MECH VENTILATION RISERS. WRAP IN GYP BO AS REQ'D. SEE PLUMBING AND MECH DWGS.
- PROVIDE BLOCKING FOR WALL-MOUNTED CHANGING STATION. SEE INTERIOR ELEVATIONS.
- FIRE EXTINGUISHER. COORDINATE FINAL LOCATION WITH LOCAL FIRE MARSHAL.
- SURFACE MOUNTED.
- IN SINK CABINET IN RESIDENTIAL UNIT. TYPICAL. FUTURE KITCHEN HOOD EXHAUST CHANNELS 6" WIDE. SEE STRUCTURAL DWGS.
- NEW EXTERIOR COUNTERTOP SUPPORT BRACKET AT 21"

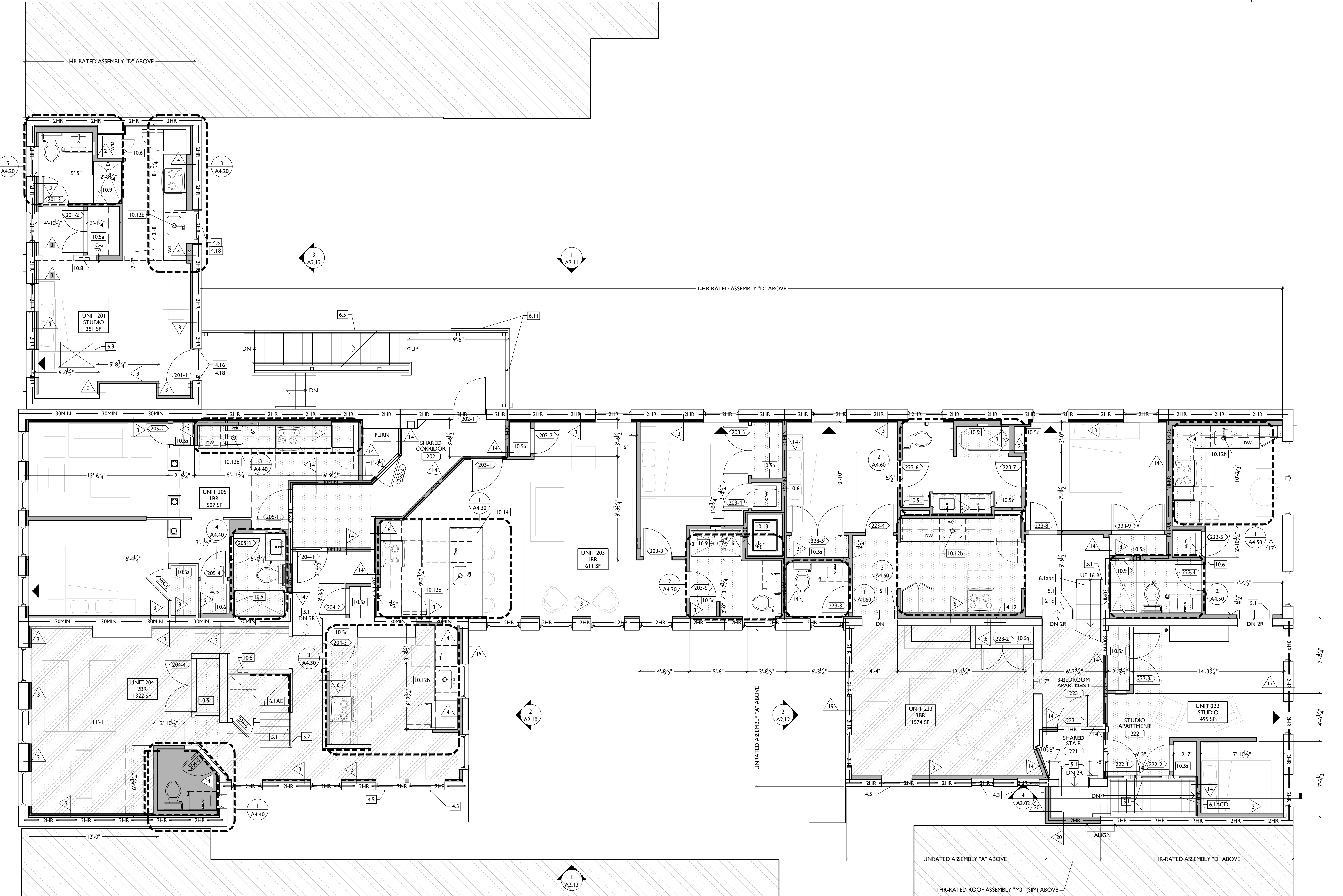
- OVERHANG. B.O.D. = "THE ORIGINAL GRANITE BRACKET - T BRACE COUNTERTOP SUPPORT BRACKET 20" LENGTH". HATCHED AREA SHOWS APPROXIMATE LOCATION OF NEW FIXED ROOF WALKWAY PADS.
- 21. FIRE SUPPRESSION**
- APPROX LOCATION OF FDC CONNECTION - COORDINATE W/ FIRE DEPT.
- SPRINKLER RISER. SEE PLUMBING DWGS.
- PROVIDE 2-HR FIRE-RATING AT STRUCTURE. SEE SHEET A6.02.
- PROVIDE 2-HR FIRE-RATING AT STRUCTURE. SEE SHEET A6.02.
- PROVIDE WATERFLOW ALARM DEVICE. CONFIRM LOCATION WITH BUILDING INSPECTOR AND FIRE DEPARTMENT. COORDINATE WITH ELECTRICAL AND FIRE SUPPRESSION CONTRACTOR.
- 22. PLUMBING**
- PROVIDE RADON RISER, AS REQUIRED BY OWNER'S CONSULTANT. RISER TO EXTEND FROM BASEMENT TO ATTIC. SEE CONSULTANT DESIGN FOR LOCATIONS OF RISERS. SEE NOTE 3.2. COORDINATE WITH PLUMBING.
- PLUMBING CHASE (OR WALL) - VERIFY LOCATIONS IN FIELD TO ALIGN CONCEALMENT BETWEEN FLOORS.
- NEW HOSE BIB LOCATION. SEE PLUMBING.
- 23. HEATING, VENTILATING, AND AIR CONDITIONING**
- MECHANICAL UNITS - WALLING PADS TO & AROUND EQUIPMENT. GUARDRAIL REQUIRED IF EQUIPMENT <10" FROM ROOF EDGE. PROVIDE OVER-FRAMED PLATFORM PER 1/A5.00. SEE HVAC. SEE STRUCTURAL DWGS. SOUND ISOLATION MECHANICAL PLATFORM AND PROVIDE SOUND ISOLATION PADS AT BASE OF MECHANICAL UNITS. USE MANUFACTURER'S INSTALLATION INSTRUCTIONS TO CONFIRM CLEARANCES.
- PROVIDE NEW VENT WITH OPERABLE DAMPERS. SUN OF VENTILATION AREA SERVING CRAWL SPACE TO BE 72" MIN. PER 1203.42, EX. 2 OF CBC 2017.
- FUTURE KITCHEN HOOD EXHAUST WALL-HUNG MECHANICAL UNIT. SEE STRUCTURAL DWGS. SEE HVAC. USE MANUFACTURER'S INSTALLATION

- INSTRUCTIONS TO CONFIRM SIDEREAR CLEARANCES.
- 26. ELECTRICAL**
- ELECTRIC PANEL RECESSED IN WALL W/ 30"W X 36"D CLEAR IN FRONT. PAINT TO MATCH ADJACENT WALL W/ APPROPRIATE PAINT TYPE FOR PANEL.
- NEW EXTERIOR LIGHTING. NO EXPOSED CONDUIT ON FACE OF BUILDING.
- EXTERIOR IMPROVEMENTS**
- NEW VFD FENCE - SEE 16/A5.00 AND CIVIL DWGS.
- PROVIDE 1-HR FIRE-RATING AT STRUCTURE. SEE SHEET A6.02.
- NEW 6" 0" BLACK METAL PICKET FENCE. B.O.D. = "REFERENCE UPGRADE STANDARD" WITH FINNACLE OR SUMMIT PICKETS. COORD. FINAL SPEC W/ ARCHITECT.

- PARTITION TYPE - SEE A6.00.
- KEYNOTE.
- EXISTING WALL.
- NEW PARTITION WALL.
- NEW MASONRY WALL.
- OBJECT OVERHEAD.
- 1-HR FIRE RATING.
- 2-HR FIRE RATING.
- NEW FLOOR & FRAMING TO MATCH ADJ - SEE STRUCT DWGS.
- NEW GYP BO SOFFIT/ BULKHEAD/ DROPPED CLG - SEE RCPS.
- AREA OF ATYPICAL FIRE-RATED ASSEMBLY ABOVE. SEE A6.01 & A6.01.
- AREA OF TUCKPOINTING - SEE ELEV5 & STRUCT DWGS.
- DOOR TAG. SEE SCHEDULE / A6.10-13.
- WINDOW DESIGNATION. SEE A6.20-25.
- STOREFRONT DESIGNATION. SEE A6.13.
- EMERGENCY EGRESS EXIT.
- SG CONTAINS SAFETY GLAZING.
- SINGLE HUNG OPG - UPPER SASH TO BE FIXED WITHIN 3'-0" OF EXHAUST.
- ELEVATION TAG.

- NEW WORK GRAPHIC KEY:

- NEW WORK GRAPHIC KEY:



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Progress Dates

Revisions

Design Team

Drawn by:

NOT FOR CONSTRUCTION

PROPOSED PROJECT

Job No: 08/30/2024

SCALE: 1/4" = 1'-0"

PROPOSED PLAN - SECOND FLOOR

AI.12

NEW WORK PLANS & ELEVATIONS # KEYED NOTES:

- IMPORTANT:** HISTORIC TRIM PRESENT IN THIS BUILDING THROUGHOUT THIS BUILDING. HISTORIC TRIM, DOORS, AND WINDOWS ARE PRESENT. PRESERVE HISTORIC ELEMENTS UNLESS AREAS OF MISSING HISTORIC TRIM ON HISTORIC WALLS SHALL BE PATCHED TO MATCH ADJ. HISTORIC TRIM EXACTLY.
- HISTORIC EXTERIOR WALLS TO RECEIVE FURRING. CAREFULLY REMOVE EXG HISTORIC INTERIOR TRIM, REPAIR, AND REINSTALL ON NEWLY-FURRED OUT WALLS TO PRESERVE HISTORIC APPEARANCE.
 - HISTORIC INTERIOR WALLS - PRESERVE, REPAIR, AND PATCH HISTORIC TRIM AT EXG HISTORIC INTERIOR WALLS AND DOOR OPENINGS.
- 3. CONCRETE**
- SLAB TO REMAIN. SCOPE & VERIFY FLOOR DRAINS CONNECT TO SEWER. REPAIR AS REQUIRED.
 - NEW CONCRETE SLAB W/ NEW FLOOR DRAINS PER PLUMBING DRAWINGS. SLOPE 1/4" = 12 MIN TO DRAIN. CONTROL JOINTS PER STRUCTURAL DWG.
 - VAPOR MITIGATION SYSTEM BELOW SLAB, AS REQUIRED BY OWNER'S CONSULTANT. SEE CONSULTANT DESIGN FOR SYSTEM DETAILS AND LOCATIONS OF VERTICAL VENTS. SEE NOTE 22.1.
 - NEW CONCRETE SLOPED ENTRY. SEE STRUCTURAL DWGS.
 - NEW CONCRETE (STEPS), MAX RISER 7", MIN TREAD 11". SEE CIVIL DETAILS.
 - PROVIDE CONCRETE POUR-THROUGH AT SILL THRESHOLD.
 - NEW CONCRETE SLAB ON GRADE. SLOPE 1/20 MAX. SEE CIVIL DRAWINGS.
 - EXG CONCRETE STAIR TO REMAIN.
 - NEW FOOTINGS FOR COLUMN. SEE STRUCTURAL DWGS.
 - NEW STRIP FOOTINGS FOR BEARING WALL. SEE STRUCTURAL DWGS.
- 4. MASONRY**
- NEW OR EXPANDED OPENING IN EXG MASONRY WALL (SEE STRUCTURAL DWGS). TOOTH OUT AND KEY IN BRICK AS REQ'D TO PROVIDE EXPOSED BRICK RETURNS. PROVIDE NEW STEEL LINTEL. SEE STRUCTURAL DWGS.
 - NEW WINDOW OPENING IN PREVIOUSLY INFILLED OPENING. PROVIDE NEW CAST STONE SILL, TOOTH OUT

- AND KEY IN BRICK AT JAMBS TO MATCH ADJACENT. USE EXG STONE LINTEL. SEE STRUCTURAL DWGS.
- EXG MASONRY OPENING TO BE INFILLED W/ BRICK TO MATCH EXG HISTORIC. INSERT NEW BRICK 1" BACK FROM FACE OF ADJACENT WALL. SEE DETAIL 13A.00.
- BRICK TO BE LEFT EXPOSED. SCRAPE LOOSE PAINT. CLEAN EXISTING DOORWAY OPENING TO BECOME WINDOW OPENING. INFILL LOWER OPENING WITH BRICK TO MATCH EXISTING HISTORIC ADJACENT. INSERT NEW BRICK 1" BACK FROM FACE OF ADJACENT WALL. PROVIDE NEW CAST STONE SILL. TOOTH OUT & KEY IN BRICK AS REQ'D TO REPAIR JAMBS. ALLOW BRICK RETURN, AND ALLOW NEW SILL TO BE INSERTED AT SAME A.F.F. ELEVATION AS ADJACENT WINDOWS. UNO. SEE DETAIL 23A.00.
- REPLACE DAMAGED/MISSING BRICK AS SHOWN ON ARCHITECT. SEE CIVIL FOR TOTAL SCOPE BETWEEN 1732-34 VINE AND 1726-1730 VINE / 1675 HAMER.
- REMOVE LOOSE AND/OR CRACKED AS SHOWN ON THE ELEVATIONS & REPAIR TO MATCH FINISH OF EXG MASONRY.
- ADD NEW PARING IN AREAS ON SHOWN ON EXTERIOR ELEVATIONS - MATCH FINISH OF EXISTING PARING.
- EXPOSED BRICK JAMB. TOOTH IN BRICK TO MATCH ADJACENT BRICK.
- EXG CHIMNEY TO REMAIN - REPOINT AND REPAIR AS REQ'D.
- REPAIR DAMAGED MASONRY AT BASE OF WALL. SEE STRUCTURAL.
- INFILL EXG OPENING SALVAGED BRICK AND STUD BACKUP WALL PER WALL TYPE SHOWN IN PLAN. TOOTH OUT AND KEY IN BRICK FOR SEAMLESS EXTERIOR APPEARANCE.
- REPLACE BRICK & MORTAR TO MATCH EXG.
- NEW CMU FOUNDATION WALL. SEE STRUCTURAL DWGS.
- FOUNDATION REPAIR. SEE STRUCTURAL DWGS.
- BUILD UP FOUNDATION WALL WITH CMU TO UNDERSIDE.
- BRICK REPAIR AT JAMBS. SEE STRUCTURAL DWGS.
- INFILL COAL CHUTE AT T.O. FOUNDATION WALL. SEE STRUCTURAL DWGS.
- KEY IN REPLACEMENT CAST STONE LINTEL. SEE STRUCTURAL DWGS.

- NEW LINTEL AT NEW OPENING IN MASONRY WALL FOR HVAC DUCT. SEE STRUCTURAL & MECH DWGS.
- NEW CONTINUOUS STEEL PIPE HANDRAIL. SEE DTL 5/A.00.
- NEW STEEL GUARDRAIL. SEE DTL 5/A.00.
- EXG STEEL STRUCTURE TO REMAIN. SEE STRUCTURAL DWGS.
- NEW METAL BREEZEWAY GATE. SEE DOOR SCHEDULE.
- NEW STEEL BEAM. SEE STRUCTURAL DWGS.
- REPAIR/RELOCATE EXG VERTICAL DECORATIVE PANEL AS REQ'D.
- NEW STEEL COLUMN. SEE STRUCTURAL DWGS.
- BLACK METAL PICKET FENCE. B.O.D. = BETTERANCE "UPGRADE" STEEL FENCE. 8'-0" TALL, 3 RAIL, W/ SUMMIT PICKETS AND STANDARD BOTTOM. COORD. FINAL SPEC W/ ARCHITECT. SEE CIVIL FOR TOTAL SCOPE BETWEEN 1732-34 VINE AND 1726-1730 VINE / 1675 HAMER.
- WOOD, PLASTICS, AND COMPOSITES
- REPAIR DAMAGED PIECES OF WOOD STAIRS.
- TREADS/RISSERS
- BALLUSTRADE
- ADD TREADS/RISSERS PER PLAN.
- RELOCATE EXG STAIR STRINGERS/TREADS/RISSERS WESTWARD.
- RELOCATE EXG STAIR STRINGERS/TREADS/RISSERS EASTWARD.
- NEW INTERIOR WOOD STAIR. TREAD DEPTH PER PLANS. RISER HEIGHT = 7" MAX. PROVIDE 9" CLEAR HEAD HEIGHT.
- NEW FLOOR FRAMING - SEE STRUCT DWGS.
- NEW CASED OPENING IF APPLICABLE. JAMB EXTENSIONS TO MATCH DEPTH OF OPENING. SEE FINISH SCHEDULE FOR TRIM SIZES.
- MATCH HEIGHT TO ADJACENT DOOR HEADS.
- MATCH HEIGHT TO ADJACENT TRANSOM HEADS.
- NEW EXTERIOR STAIR. SEE SHEET A3.00.
- HISTORIC INTERIOR MANTEL TRIM.
- RETAIN & REPAIR.
- MANTEL FROM ADJACENT TO BE INSTALLED AT THIS LOCATION.
- RETAIN & REPAIR STOREFRONT ELEMENTS. MATCH EXG IF ANY REMAINS. SEE EXTERIOR ELEVATIONS.

- BASE
- BULKHEAD
- FRAMING
- GLAZING
- NEW PAINTED CEMENT FIBERBOARD RAKE TRIM & GUTTERBOARD - SEE ELEVATIONS
- NEW PAINTED CEMENT FIBERBOARD BAND BOARD, 1X8.
- NEW COLUMN PER STRUCTURAL DWGS.
- NEW WOOD SCREEN AT STAIR. SEE SHEET A3.00.
- EXG CORNICHE TO REMAIN. REPAIR AS REQ'D.
- NEW PAINTED CEMENT FIBERBOARD SIDING
- INFILL FLOOR OPENING PER STRUCTURAL DWGS. NEW FACE 7.9 OF GYP CEILING TO BE RECESSED 1" FROM ADJACENT CEILING. PER SHPO REQUEST.
- REPLACE HISTORIC DOOR IN EXG OPENING TO BE FIXED EXG. SEE DOOR SCHEDULE. IF EXG DOOR DAMAGED, REPLACE WITH OTHER EXG HISTORIC DOOR SALVAGED FROM OTHER PART OF BUILDING.
- PROVIDE NEW FLUSH ALUMINUM FLOOR ACCESS PANEL.
- NEW STOREFRONT CONSTRUCTION. SEE EXTERIOR ELEVATIONS AND STOREFRONT DETAIL SHEET A6.13.
- NEW PRE-FINISHED K-STYLE ALUMINUM GUTTER. SEE EXTERIOR ELEVATIONS.
- REPAIR AND RELINE EXG BOX GUTTER. NEW PRE-FINISHED ALUMINUM DOWNSPOUT.
- NEW ROUND ALUMINUM DOWNSPOUT PAINTED TO MATCH ADJACENT WALL SURFACE. SEE EXTERIOR ELEVATIONS.
- TIE INTO EXISTING SEWER SYSTEM. NEW PVC AT LOWER 6" OF DOWNSPOUT. PAINT TO MATCH DOWNSPOUT.
- PROVIDE EXTENSION TO LOWER ROOF.
- NEW RECTANGULAR-PROFILE ALUMINUM GUTTER. SEE EXTERIOR ELEVATIONS AND STAIR DETAILS SHEET A3.00.
- NEW SLATE GRAY ROOF SHINGLES. B.O.D. OWENS CORNING TRI-DEFINITION DURATION SHINGLES. WITH 30 YEAR MIN. WARRANTY. PROVIDE ICE AND WATER SHIELD WHERE REQUIRED.
- NEW FULLY ADHERED WHITE TPO MEMBRANE ROOF W/ CRICKETS WHERE REQUIRED FOR POSITIVE DRAINAGE AND TRIMMERY BARS & METAL COUNTERTOP FLASHING - SEE

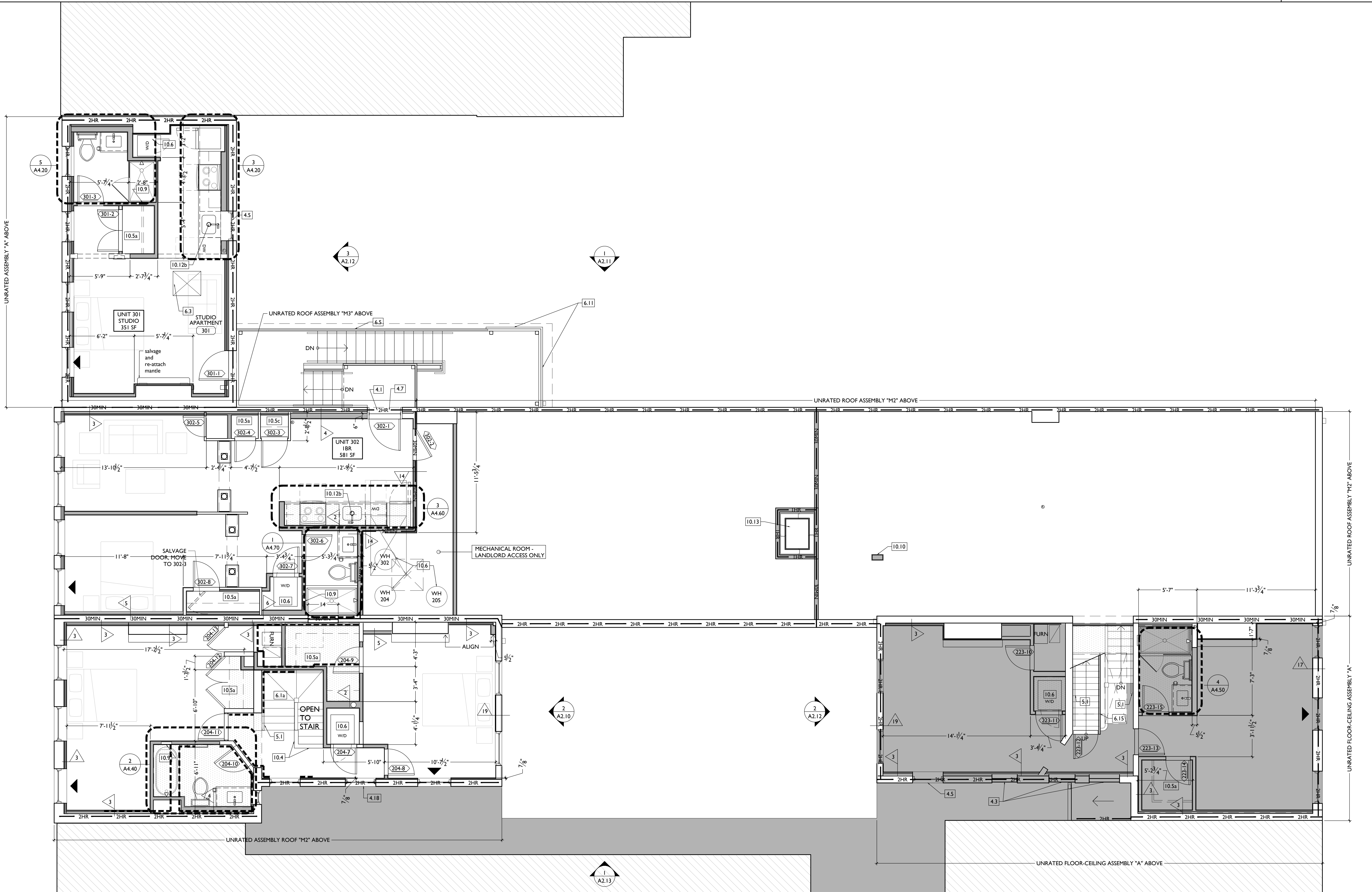
- ROOF DETAILS INSULATION PER SCHEDULE B.O.D. - 60 MIL WHITE TPO FULLY ADHERED ROOF SYSTEM, 20 YEAR WARRANTY, BY CARLISLE SYNTEC, CARLISLE, PA, OR EQUIVALENT
- NEW ROOF ACCESS HATCH. INSTALL PER MANUF'S INSTRUCTIONS. BASIS OF DESIGN = BILCO ES07B, 36"x36". SEE STRUCTURAL DWGS FOR OPENING FRAMING.
- PROVIDE 10 MIL POLYETHYLENE CLASS I VAPOR BARRIER AT FLOOR OF CRAWL SPACE. OVERLAP SEAMS. TURN UP WALL TO UNDERSIDE OF JOISTS - ATTACH TO WALL EDGE WITH TERMINATION BAR.
- NEW DARK BRONZE ALUM CAP @ CHIMNEY.
- FINISHES
- NOT USED.
- FIRE-RATING TO BE CONTINUOUS BEHIND PLUMBING/CHASE/FURRING WALL. FIRE RATING TO BE CONTINUOUS AT INTERSECTION W/ NON-RATED WALL.
- EXG WAINCOT - CAREFULLY REMOVE AND REINSTALL OVER NEW FURRED WALL.
- SPECIALTIES
- GROUND-MOUNTED MAILBOXES. LOCKABLE. BOXES TO MEET UPS-4C STANDARDS & ACCESSIBILITY REQUIREMENTS.
- NOT USED.
- ENTRY SYSTEM CALLBOX B.O.D. = "2N ACCESS CONTROL" PARTIAL HEIGHT WALL - SEE DTL 4/A.00.
- CLOSETS W/ BLOCKING AT RODS & BRACKETS.
- TYP ENCLOSED CLOSET. 12" DEEP MELAMINE SHELF & CLOTHES ROD AT 66" AFF. TYP UNO.
- ABOVE WID.
- ADJUSTABLE SHELVES ON STANDARD MOUNT.
- PROVIDE DRAIN PAN BENEATH WASHING MACHINE/ WATER HEATER. SEE PLUMBING DWGS.
- PROVIDE "NO SMOKING" SIGN AT EXTERIOR WALL.
- NOT USED.
- SHOWER NICHE. SEE ENLARGED PLANS. INTERIOR ELEVATIONS AND DETAIL 1/A.00.
- APPROXIMATE LOCATION OF CHASE WALL FOR PLUMBING AND MECH VENTILATION RISERS. WRAP IN GYP BD AS REQ'D. SEE PLUMBING AND MECH DWGS.
- PROVIDE BLOCKING FOR WALL-MOUNTED CHANGING STATION. SEE INTERIOR ELEVATIONS.
- FIRE EXTINGUISHER. COORDINATE FINAL LOCATION WITH LOCAL FIRE MARSHAL.
- SURFACE MOUNTED.
- IN SINK CABINET IN RESIDENTIAL UNIT. TYPICAL.
- NEW 3/4" DIA. RATED SHUTTLE FOR 18" DUCT. PROVIDE "CH" CHANNELS 6" WIDE. SEE STRUCTURAL DWGS.
- NEW EXTERIOR BUILDING ENTRY DOOR AND FRAME - SEE DOOR SCHEDULE.

- PROVIDE NEW WALL ACCESS PANEL FOR CRAWL SPACE. BRACE COUNTERTOP SUPPORT BRACKET. 20" LENGTH. SILL TO MAKE SURE ACCESS POINT IS ABOVE FLOOR OF CRAWL SPACE.
- OVERHANG. B.O.D. = "THE ORIGINAL GRANITE BRACKET - T BRACE COUNTERTOP SUPPORT BRACKET. 20" LENGTH" HATCHED AREA SHOWS APPROXIMATE LOCATION OF NEW FIXED ROOF WALKWAY PADS.
- FIRE SUPPRESSION
- APPROX LOCATION OF FDC CONNECTION - COORDINATE W/ FIRE DEPT.
- SPRINKLER RISER. SEE PLUMBING DWGS.
- PROVIDE 2-HR FIRE-RATING AT STRUCTURE. SEE SHEET A6.02.
- PROVIDE 2-HR FIRE-RATING AT STRUCTURE. SEE SHEET A6.02.
- PROVIDE WATERFLOW ALARM DEVICE. CONFIRM LOCATION WITH BUILDING INSPECTOR AND FIRE DEPARTMENT. COORDINATE WITH ELECTRICAL AND FIRE SUPPRESSION CONTRACTOR.
- PLUMBING
- PROVIDE RADON RISER, AS REQUIRED BY OWNER'S CONSULTANT. RISER TO EXTEND FROM BASEMENT TO ATTIC. SEE CONSULTANT DESIGN FOR LOCATIONS OF RISERS. SEE NOTE 3.2. COORDINATE WITH PLUMBING.
- PLUMBING CHASE (OR WALL) - VERIFY LOCATIONS IN FIELD TO ALIGN CONCEALMENT BETWEEN FLOORS.
- NEW HOSE BIB LOCATION. SEE PLUMBING.
- HEATING, VENTILATING, AND AIR CONDITIONING
- MECHANICAL UNITS - WALLING PADS TO 8' AROUND EQUIPMENT. GUARDRAIL REQUIRED IF EQUIPMENT <10' FROM ROOF EDGE. PROVIDE OVER-FRAMED PLATFORM PER 1/A.00. SEE HVAC. SEE STRUCTURAL DWGS. SOUND ISOLATE MECHANICAL PLATFORM AND PROVIDE SOUND ISOLATION PADS AT BASE OF MECHANICAL UNITS. USE MANUFACTURER'S INSTALLATION INSTRUCTIONS TO CONFIRM CLEARANCES.
- PROVIDE NEW VENT WITH OPERABLE DAMPERS. SUM OF VENTILATION AREA SERVING CRAWL SPACE TO BE 72" MIN. PER 1203.42, EX. 2 OF CBC 2017.
- FUTURE KITCHEN HOOD EXHAUST WALL-HUNG MECHANICAL UNIT. SEE STRUCTURAL DWGS. SEE HVAC. USE MANUFACTURER'S INSTALLATION

- INSTRUCTIONS TO CONFIRM SIDEREAR CLEARANCES.
- ELECTRICAL
- ELECTRIC PANEL RECESSED IN WALL W/ 30"W X 36"D CLEAR IN FRONT. PAINT TO MATCH ADJACENT WALL W/ APPROPRIATE PAINT TYPE FOR PANEL.
- NEW EXTERIOR LIGHTING. NO EXPOSED CONDUIT ON FACE OF BUILDING.
- EXTERIOR IMPROVEMENTS
- NEW VFD FENCE - SEE 16/A.00 AND CIVIL DWGS.
- NEW 6'-0" BLACK METAL PICKET FENCE. B.O.D. = "BETTERANCE UPGRADE STANDARD" WITH PINNACLE OR SUMMIT PICKETS. COORD. FINAL SPEC W/ ARCHITECT.

- PARTITION TYPE - SEE A6.00.
- KEYNOTE
- EXISTING WALL
- NEW PARTITION WALL
- NEW MASONRY WALL
- OBJECT OVERHEAD
- 1-HR FIRE RATING
- 2-HR FIRE RATING
- NEW FLOOR & FRAMING TO MATCH ADJ. - SEE STRUCT DWGS.
- NEW GYP BD SOFFIT/ BULKHEAD/ DROPPED CLG - SEE RCPS.
- AREA OF ATYPICAL FIRE-RATED ASSEMBLY ABOVE. SEE A6.01 & A6.01.
- AREA OF TUCKPOINTING - SEE ELEV & STRUCT DWGS.
- DOOR TAG. SEE SCHEDULE / A6.10-13.
- WINDOW DESIGNATION. SEE A6.20-25.
- STOREFRONT DESIGNATION. SEE A6.13.
- EMERGENCY EGRESS EXIT.
- OPG CONTAINS SAFETY GLAZING.
- SINGLE HUNG OPG - UPPER SASH TO BE FIXED WITHIN 3'-0" OF EXHAUST.
- ELEVATION TAG.

- NEW WORK GRAPHIC KEY:
- PARTITION TYPE - SEE A6.00.
- KEYNOTE
- EXISTING WALL
- NEW PARTITION WALL
- NEW MASONRY WALL
- OBJECT OVERHEAD
- 1-HR FIRE RATING
- 2-HR FIRE RATING
- NEW FLOOR & FRAMING TO MATCH ADJ. - SEE STRUCT DWGS.
- NEW GYP BD SOFFIT/ BULKHEAD/ DROPPED CLG - SEE RCPS.
- AREA OF ATYPICAL FIRE-RATED ASSEMBLY ABOVE. SEE A6.01 & A6.01.
- AREA OF TUCKPOINTING - SEE ELEV & STRUCT DWGS.
- DOOR TAG. SEE SCHEDULE / A6.10-13.
- WINDOW DESIGNATION. SEE A6.20-25.
- STOREFRONT DESIGNATION. SEE A6.13.
- EMERGENCY EGRESS EXIT.
- OPG CONTAINS SAFETY GLAZING.
- SINGLE HUNG OPG - UPPER SASH TO BE FIXED WITHIN 3'-0" OF EXHAUST.
- ELEVATION TAG.



NOT FOR CONSTRUCTION

PROPOSED PLAN - THIRD FLOOR

SCALE: 1/4" = 1'-0"

Job No: 08/30/2024

NEW WORK PLANS & ELEVATIONS # KEYED NOTES:

- IMPORTANT:** HISTORIC TRIM PRESENT IN THIS BUILDING THROUGHOUT THIS BUILDING. HISTORIC TRIM, DOORS, AND WINDOWS ARE PRESENT. PRESERVE HISTORIC ELEMENTS UNLESS AREAS OF MISSING HISTORIC TRIM ON HISTORIC WALLS SHALL BE PATCHED TO MATCH ADJ. HISTORIC TRIM EXACTLY.
- HISTORIC EXTERIOR WALLS TO RECEIVE FURRING - CAREFULLY REMOVE EXG HISTORIC INTERIOR TRIM, REPAIR, AND REINSTALL ON NEWLY-FURRED OUT WALLS TO PRESERVE HISTORIC APPEARANCE.
 - HISTORIC INTERIOR WALLS - PRESERVE, REPAIR, AND PATCH HISTORIC TRIM AT EXG HISTORIC INTERIOR WALLS AND DOOR OPENINGS.
- 3. CONCRETE**
- SLAB TO REMAIN. SCOPE & VERIFY FLOOR DRAINS CONNECT TO SEWER. REPAIR AS REQUIRED.
 - NEW CONCRETE SLAB W/ NEW FLOOR DRAINS PER PLUMBING DRAWINGS. SLOPE 1/4" = 12' MIN TO DRAIN. CONTROL JOINTS PER STRUCTURAL DWG.
 - VAPOR MITIGATION SYSTEM BELOW SLAB, AS REQUIRED BY OWNER'S CONSULTANT. SEE CONSULTANT DESIGN FOR SYSTEM DETAILS AND LOCATIONS OF VERTICAL VENTS. SEE NOTE 22.1.
 - NEW CONCRETE SLOPED ENTRY. SEE STRUCTURAL DWGS.
 - NEW CONCRETE (STEPS), MAX RISE 7", MIN TREAD 11". SEE CIVIL DETAILS.
 - PROVIDE CONCRETE POUR-THROUGH AT SILL THRESHOLD.
 - NEW CONCRETE SLAB ON GRADE. SLOPE 1:20 MAX. SEE CIVIL DRAWINGS.
 - EXG CONCRETE STAIR TO REMAIN.
 - NEW FOOTINGS FOR COLUMN. SEE STRUCTURAL DWGS.
 - NEW STRIP FOOTINGS FOR BEARING WALL. SEE STRUCTURAL DWGS.
- 4. MASONRY**
- NEW OR EXPANDED OPENING IN EXG MASONRY WALL (SEE STRUCTURAL DWGS). TOOTH OUT AND KEY IN BRICK AS REQ'D TO PROVIDE EXPOSED BRICK RETURNS. PROVIDE NEW STEEL LINTEL. SEE STRUCTURAL DWGS.
 - NEW WINDOW OPENING IN PREVIOUSLY INFILLED OPENING. PROVIDE NEW CAST STONE SILL, TOOTH OUT

- AND KEY IN BRICK AT JAMBS TO MATCH ADJACENT. USE EXG STONE LINTEL. SEE STRUCTURAL DWGS.
 - EXG MASONRY OPENING TO BE INFILLED W/ BRICK TO MATCH EXG HISTORIC. INSERT NEW BRICK 1" BACK FROM FACE OF ADJACENT WALL. SEE DETAIL 13A/30.0.
 - BRICK TO BE LEFT EXPOSED. SCRAPE LOOSE PAINT, CLEAN EXISTING DOORWAY OPENING TO BECOME WINDOW OPENING. INFILL LOWER OPENING WITH BRICK TO MATCH EXISTING HISTORIC ADJACENT - INSERT NEW BRICK 1" BACK FROM FACE OF ADJACENT WALL. PROVIDE NEW CAST STONE SILL, TOOTH OUT & KEY IN BRICK AS REQ'D TO REPAIR JAMBS, ALLOW BRICK RETURN, AND ALLOW NEW SILL TO BE INSERTED AT SAME A.F.F. ELEVATION AS ADJACENT WINDOWS, UNO. SEE DETAIL 23A/30.0.
 - REPLACE DAMAGED/MISSING BRICK AS SHOWN ON EXTERIOR ELEVATIONS & PER SHOP NARRATIVE.
 - NEW CAST STONE SILL THRESHOLD.
- PARKING:
- REMOVE LOOSE AND/OR CRACKED AS SHOWN ON THE ELEVATIONS & REPAIR TO MATCH FINISH OF EXG PARKING.
 - ADD NEW PARKING IN AREAS ON SHOWN ON EXTERIOR ELEVATIONS - MATCH FINISH OF EXISTING PARKING.
- EXPOSED BRICK JAMB, TOOTH IN BRICK TO MATCH ADJACENT BRICK.
 - EXG CHIMNEY TO REMAIN - REPOINT AND REPAIR AS REQ'D.
 - REPAIR DAMAGED MASONRY AT BASE OF WALL. SEE STRUCTURAL.
 - INFILL EXG OPENING SALVAGED BRICK AND STUD BACKUP WALL PER WALL TYPE SHOWN IN PLAN. TOOTH OUT AND KEY IN BRICK FOR SEAMLESS EXTERIOR APPEARANCE.
 - REPLACEMENT BRICK & MORTAR TO MATCH EXG.
 - NEW CMU FOUNDATION WALL. SEE STRUCTURAL DWGS.
 - FOUNDATION REPAIR. SEE STRUCTURAL DWGS.
 - BUILD UP FOUNDATION WALL WITH CMU TO UNDERSIDE OF SUBFLOOR. SEE STRUCTURAL DWGS.
 - BRICK REPAIR AT JAMBS. SEE STRUCTURAL DWGS.
 - INFILL COAL CHUTE AT T.O. FOUNDATION WALL. SEE STRUCTURAL DWGS.
 - KEY IN REPLACEMENT CAST STONE LINTEL. SEE STRUCTURAL DWGS.

- NEW LINTEL AT NEW OPENING IN MASONRY WALL FOR HVAC DUCT. SEE STRUCTURAL & MECH DWGS.
 - NEW CONTINUOUS STEEL PIPE HANDRAIL. SEE DTL 31A/30.0.
 - NEW STEEL GUARDRAIL. SEE DTL 31A/30.0.
 - EXG STEEL STRUCTURE TO REMAIN. SEE STRUCTURAL DWGS.
 - NEW METAL BREEZEWAY GATE - SEE DOOR SCHEDULE.
 - NEW STEEL BEAM. SEE STRUCTURAL DWGS.
 - REPAIR/RELOCATE EXG VERTICAL DECORATIVE PANEL AS REQ'D.
 - NEW STEEL COLUMN. SEE STRUCTURAL DWGS.
 - NEW BLACK METAL PICKET FENCE. B.O.D. = REFERENCE "UPGRADE" STEEL FENCE. 6'-0" TALL, 3 RAIL, W/ SUMMIT PICKETS AND STANDARD BOTTOM. COORD. FINAL SPEC W/ ARCHITECT. SEE CIVIL FOR TOTAL SCOPE BETWEEN 1732-34 VINE AND 1726-1730 VINE / 1675 HAMER.
- 6. WOOD, PLASTICS, AND COMPOSITES**
- REPAIR DAMAGED PIECES OF WOOD STAIRS.
 - TREADS/RISE RISERS.
 - BALLUSTRADE.
 - ADD TREADS/RISE PER PLAN.
 - RELOCATE EXG STAIR STRINGERS/TREADS/RISERS WESTWARD.
 - NEW INTERIOR WOOD STAIR. TREAD DEPTH PER PLANS. RISER HEIGHT = 7" MAX. PROVIDE 9"-8" CLEAR HEAD HEIGHT.
 - NEW FLOOR FRAMING - SEE STRUCT DWGS.
 - NEW CASED OPENING IF APPLICABLE. JAMB EXTENSIONS TO MATCH DEPTH OF OPENING. SEE FINISH SCHEDULE FOR TRIM SIZES.
 - MATCH HEIGHT TO ADJACENT DOOR HEADS.
 - MATCH HEIGHT TO ADJACENT TRANSOM HEADS.
 - NEW EXTERIOR STAIR. SEE SHEET A3.00.
 - HISTORIC INTERIOR MANTEL TRIM.
 - MANTEL FROM ADJACENT TO BE INSTALLED AT THIS LOCATION.
 - RETAIN & REPAIR STOREFRONT ELEMENTS. MATCH EXG IF ANY REMAINS. SEE EXTERIOR ELEVATIONS.

- BASE.
 - BULKHEAD.
 - FRAMING.
 - GLAZING.
- NEW PAINTED CEMENT FIBERBOARD RAKE TRIM & GUTTERBOARD - SEE ELEVATIONS.
 - NEW PAINTED CEMENT FIBERBOARD BAND BOARD, 1X8.
 - NEW COLUMN PER STRUCTURAL DWGS.
 - NEW WINDOW SCREEN AT STAIR. SEE SHEET A3.00.
 - EXG CORNICHE TO REMAIN. REPAIR AS REQ'D.
 - NEW PAINTED CEMENT FIBERBOARD SIDING.
 - INFILL FLOOR OPENING PER STRUCTURAL DWGS. NEW FACE 7.9 OF GIP CEILING TO BE RECESSED 1" FROM ADJACENT CEILING. PER SHOP REQUEST.
 - REPLACE HISTORIC BEADBOARD GUARDRAIL WITH FULL HEIGHT PAINTED BEADBOARD PANEL WALLS RISING TO 3RD FLOOR CEILING TO ENCLOSE ATTIC STAIR.
 - PROVIDE NEW LEDGER TO HANG EXG SHORTENED JOISTS. SEE STRUCTURAL DWGS.
- 7. THERMAL AND MOISTURE PROTECTION**
- NEW PRE-FINISHED K-STYLE ALUMINUM GUTTER. SEE EXTERIOR ELEVATIONS.
 - REPAIR AND RELINE EXG BOX GUTTER; NEW PRE-FINISHED ALUMINUM DOWNSPOUT.
 - NEW ROUND ALUMINUM DOWNSPOUT PAINTED TO MATCH ADJACENT WALL SURFACE. SEE EXTERIOR ELEVATIONS.
 - TIE INTO EXISTING SEWER SYSTEM. NEW PVC AT LOWER 6" OF DOWNSPOUT. PAINT TO MATCH DOWNSPOUT.
 - PROVIDE EXTENSION TO ADJACENT ROOF.
 - NEW RECTANGULAR-PROFILE ALUMINUM GUTTER. SEE EXTERIOR ELEVATIONS AND STAIR DETAILS SHEET A3.00.
 - NEW SLATE GRAY ROOF SHINGLES. B.O.D. OWENS CORNING TRU DEFINITION DURATION SHINGLES. WITH 30 YEAR MIN. WARRANTY. PROVIDE ICE AND WATER SHIELD WHERE REQUIRED.
 - NEW STEEL LINTEL. SEE STRUCTURAL DWGS.
 - NEW EXTERIOR BUILDING ENTRY DOOR AND FRAME - SEE DOOR SCHEDULE.

- ROOF DETAILS INSULATION PER SCHEDULE. B.O.D. - 60 MIL WHITE TPO FULLY ADHERED ROOF SYSTEM. 20 YEAR WARRANTY. BY CARLISLE SYNTEC, CARLISLE, PA. OR EQUIVALENT.
 - NEW ROOF ACCESS HATCH. INSTALL PER MANUF'S INSTRUCTIONS. BASIS OF DESIGN = BILCO ES07B, 36"x36". SEE STRUCTURAL DWGS FOR OPENING FRAMING.
 - PROVIDE 10 MIL POLYETHYLENE CLASS 1 VAPOR BARRIER AT FLOOR OF CRAWL SPACE. OVERLAP SEAMS. TURN UP WALL TO UNDERSIDE OF JOISTS - ATTACH TO WALL EDGE WITH TERMINATION BAR.
 - NEW DARK BRONZE ALUM CAP @ CHIMNEY.
- 8. OPENINGS**
- EXG HISTORIC DOOR IN EXG OPENING TO BE FIXED CLOSED. SEE DOOR SCHEDULE. IF EXG DOOR DAMAGED, REPLACE WITH OTHER EXG HISTORIC DOOR SALVAGED FROM OTHER PART OF BUILDING.
 - PROVIDE NEW FLUSH ALUMINUM FLOOR ACCESS PANEL (24"x36" MIN).
 - INSTALL NEW CLEAR INSULATED GLAZING IN EXG STOREFRONT FRAMING AND TRANSOM ABOVE ENTRY DOOR. INSTALL NEW DOOR IN EXG ENTRY OPENING - SEE DOOR SCHEDULE.
 - NEW CHASE OPENING IN FLOOR. SEE STRUCTURAL DWGS FOR FRAMING.
 - NOT USED.
 - NEW STOREFRONT CONSTRUCTION. SEE EXTERIOR ELEVATIONS AND STOREFRONT DETAIL SHEET A6.13.
 - BULKHEAD.
 - SIGNAGE BOARD.
 - PROVIDE NEW ATTIC ACCESS PANEL (22"x30" MIN) ADHERE RIGID INSULATION TO BACK OF ATTIC HATCH PANEL TO MATCH R-VALUE OF FLOOR-CEILING ASSEMBLY.
 - RETAIN AT JAMB.
 - THIS DOOR IS A RELOCATED HISTORIC DOOR. SEE EXG DEMOLITION PLANS FOR ORIGINAL LOCATION & DOOR SCHEDULE FOR MORE INFORMATION.
 - RELOCATED HISTORIC TRIM INSTALLED IN THIS LOCATION. SEE EXG PLANS FOR ORIGINAL LOCATION.
 - NEW EXTERIOR BUILDING ENTRY DOOR AND FRAME - SEE DOOR SCHEDULE.

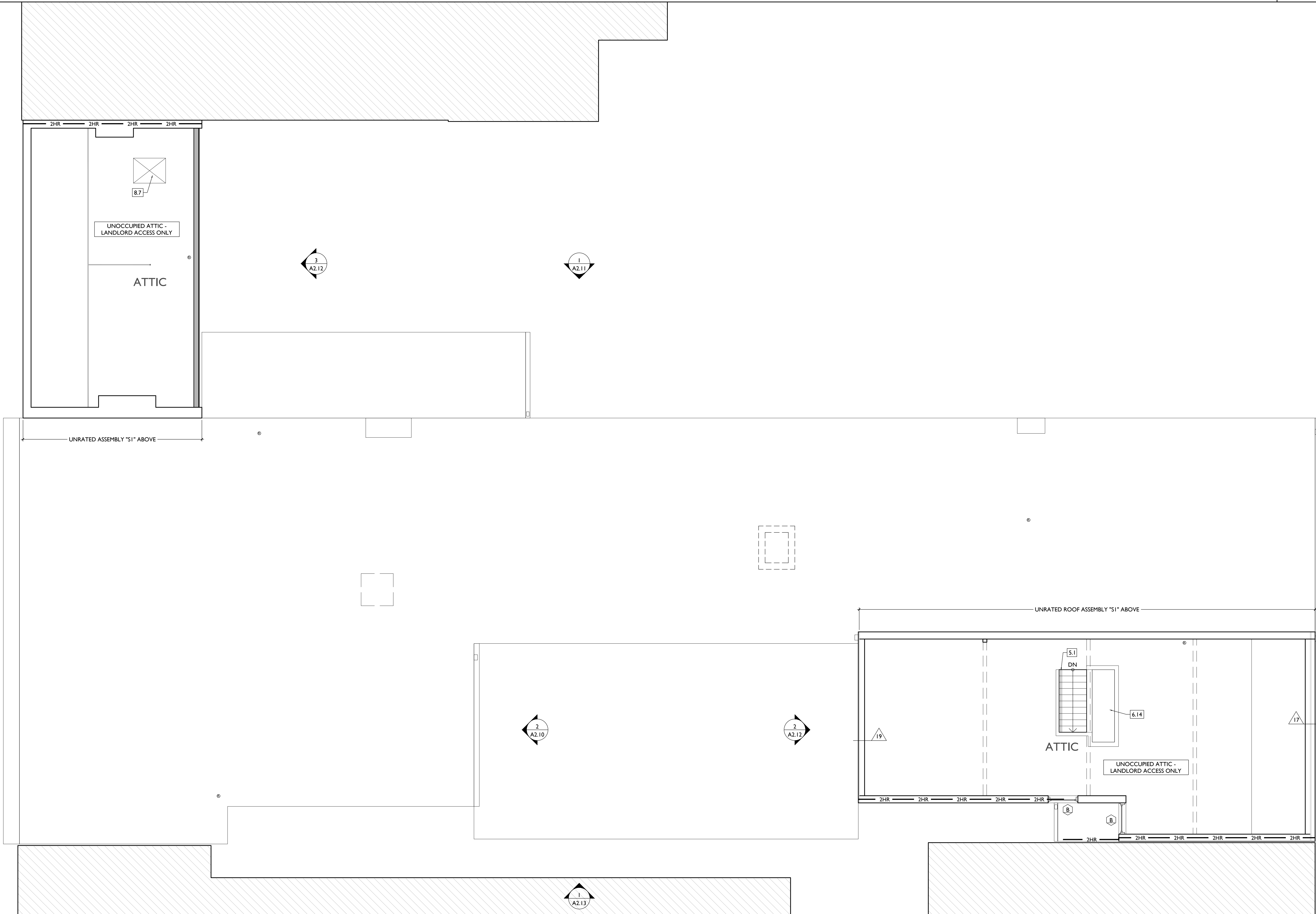
- PROVIDE NEW WALL ACCESS PANEL FOR CRAWL SPACE. 36"x36". CONTRACTOR TO FIELD VERIFY HEIGHT OF PANEL SILL TO MAKE SURE ACCESS POINT IS ABOVE FLOOR OF CRAWL SPACE.
 - NOT USED.
 - FIRE-RATING TO BE CONTINUOUS BEHIND PLUMBING/CHASE/ FURRING WALL. FIRE RATING TO BE CONTINUOUS AT INTERSECTION W/ NON-RATED WALL.
 - EXG WAINCOT - CAREFULLY REMOVE AND REINSTALL OVER NEW FURRED WALL.
- 9. FINISHES**
- NOT USED.
 - GROUND-MOUNTED MAILBOXES, LOCKABLE. BOXES TO MEET UPS-4C STANDARDS & ACCESSIBILITY REQUIREMENTS.
 - NOT USED.
 - ENTRY SYSTEM CALLBOX. B.O.D. = "2N ACCESS CONTROL" PARTIAL HEIGHT WALL - SEE DTL 4A/30.0.
 - CLOSETS W/ BLOCKING AT RODS & BRACKETS.
 - TYP ENCLOSED CLOSET. 12" DEEP MELAMINE SHELF & CLOTHES ROD AT 66" AFF. TYP UNO.
 - ADJUSTABLE SHELVES ON STANDARD MOUNT.
 - PROVIDE DRAIN PAN BENEATH WASHING MACHINE/ WATER HEATER. SEE PLUMBING DWGS.
 - PROVIDE "NO SMOKING" SIGN AT EXTERIOR WALL.
 - NOT USED.
 - SHOWER NICHE. SEE ENLARGED PLANS, INTERIOR ELEVATIONS AND DETAIL 11A/30.0.
 - APPROXIMATE LOCATION OF CHASE WALL FOR PLUMBING AND MECH VENTILATION RISERS. WRAP IN GYP BD AS REQ'D. SEE PLUMBING AND MECH DWGS.
 - PROVIDE BLOCKING FOR WALL-MOUNTED CHANGING STATION. SEE INTERIOR ELEVATION.
 - FIRE EXTINGUISHER. COORDINATE FINAL LOCATION WITH LOCAL FIRE MARSHAL.
 - IN SINK CABINET IN RESIDENTIAL UNIT. TYPICAL.
 - NEW 2HR FIRE-RATED SHAFT FOR 18" DUCT. PROVIDE "CH" CHANNELS 6" WIDE. SEE STRUCTURAL DWGS.
 - PROVIDE COUNTERTOP SUPPORT BRACKET AT 21"

- OVERHANG. B.O.D. = "THE ORIGINAL GRANITE BRACKET - T BRACE COUNTERTOP SUPPORT BRACKET. 20" LENGTH" HATCHED AREA SHOWS APPROXIMATE LOCATION OF NEW FIXED ROOF WALKWAY PADS.
- SPRINKLER RISER. SEE PLUMBING DWGS.
- PROVIDE 2-HR FIRE-RATING AT STRUCTURE. SEE SHEET A6.02.
- PROVIDE 2-HR FIRE-RATING AT BASE OF COLUMN AT TOP CONCRETE PER. SEE SHEET A6.02.
- PROVIDE WATERFLOW ALARM DEVICE. CONFIRM LOCATION WITH BUILDING INSPECTOR AND FIRE DEPARTMENT. COORDINATE WITH ELECTRICAL AND FIRE SUPPRESSION CONTRACTOR.
- MECHANICAL UNITS - WALLING PADS TO & AROUND EQUIPMENT. GUARDRAIL REQUIRED IF EQUIPMENT <10' FROM ROOF EDGE. PROVIDE OVER-FRAMED PLATFORM PER 11A/30.0. SEE HVAC. SEE STRUCTURAL DWGS. SOUND ISOLATE MECHANICAL PLATFORM AND PROVIDE SOUND ISOLATION PADS AT BASE OF MECHANICAL UNITS. USE MANUFACTURER'S INSTALLATION INSTRUCTIONS TO CONFIRM CLEARANCES.
- PROVIDE NEW VENT WITH OPERABLE DAMPERS. SUM OF VENTILATION AREA SERVING CRAWL SPACE TO BE 72" MIN. PER 1203.42, EX. 2 OF OBC 2017.
- FUTURE KITCHEN HOOD EXHAUST WALL-HUNG MECHANICAL UNIT. SEE STRUCTURAL DWGS. SEE HVAC. USE MANUFACTURER'S INSTALLATION

- INSTRUCTIONS TO CONFIRM SIDEREAR CLEARANCES.
- ELECTRICAL
- ELECTRIC PANEL RECESSED IN WALL W/ 30"W X 36"D CLEAR IN FRONT. PAINT TO MATCH ADJACENT WALL W/ APPROPRIATE PAINT TYPE FOR PANEL.
- NEW EXTERIOR LIGHTING. NO EXPOSED CONDUIT ON FACE OF BUILDING.
- EXTERIOR IMPROVEMENTS
- NEW VFD FENCE - SEE 16A/30.00 AND CIVIL DWGS.
- NEW 6'-0" BLACK METAL PICKET FENCE. B.O.D. = "REFERENCE UPGRADE STANDARD" WITH FINNACLE OR SUMMIT PICKETS. COORD. FINAL SPEC W/ ARCHITECT.

NEW WORK GRAPHIC KEY:

- PARTITION TYPE - SEE A6.00
- KEYNOTE
- EXISTING WALL
- NEW PARTITION WALL
- NEW MASONRY WALL
- OBJECT OVERHEAD
- 1-HR FIRE RATING
- 2-HR FIRE RATING
- NEW FLOOR & FRAMING TO MATCH ADJ - SEE STRUCT DWGS.
- NEW GYP BD SOFFIT/ BULKHEAD/ DROPPED CLG - SEE RCPS.
- AREA OF ATYPICAL FIRE-RATED ASSEMBLY ABOVE. SEE A6.01 & A6.01.
- AREA OF TUCKPOINTING - SEE ELEVS & STRUCT DWGS.
- DOOR TAG. SEE SCHEDULE / A6.10-13.
- WINDOW DESIGNATION. SEE A6.20-25.
- STOREFRONT DESIGNATION. SEE A6.13.
- EMERGENCY EGRESS EXIT.
- OPG CONTAINS SAFETY GLAZING.
- SINGLE HUNG OPG - UPPER SASH TO BE FIXED WITHIN 3'-0" OF EXHAUST.
- ELEVATION TAG.



SCALE: 1/4" = 1'-0" PROPOSED PLAN - FOURTH FLOOR

PLATTE
architecture + design

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Progress Dates

Revisions

Design Team:

Drawn by:

PROPOSED PROJECT

Job No: 08/30/2024

AI.14

NOT FOR CONSTRUCTION

NEW WORK PLANS & ELEVATIONS # KEYED NOTES:

- IMPORTANT:** HISTORIC TRIM PRESENT IN THIS BUILDING THROUGHOUT THIS BUILDING. HISTORIC TRIM, DOORS, AND WINDOWS ARE PRESENT. PRESERVE HISTORIC ELEMENTS UNLESS AREAS OF MISSING HISTORIC TRIM ON HISTORIC WALLS SHALL BE PATCHED TO MATCH ADJ. HISTORIC TRIM EXACTLY.
- HISTORIC EXTERIOR WALLS TO RECEIVE FURRING - CAREFULLY REMOVE EXG HISTORIC INTERIOR TRIM, REPAIR, AND REINSTALL ON NEWLY-FURRED OUT WALLS TO PRESERVE HISTORIC APPEARANCE.
 - HISTORIC INTERIOR WALLS - PRESERVE, REPAIR, AND PATCH HISTORIC TRIM AT EXG HISTORIC INTERIOR WALLS AND DOOR OPENINGS.
- 3. CONCRETE**
- SLAB TO REMAIN. SCOPE & VERIFY FLOOR DRAINS CONNECT TO SEWER. REPAIR AS REQUIRED.
 - NEW CONCRETE SLAB W/ NEW FLOOR DRAINS/ PER PLUMBING DRAWINGS. SLOPE 1/4" / 12 MIN TO DRAIN. CONTROL JOINTS PER STRUCTURAL DWG.
 - VAPOR MITIGATION SYSTEM BELOW SLAB, AS REQUIRED BY OWNER'S CONSULTANT. SEE CONSULTANT DESIGN FOR SYSTEM DETAILS AND LOCATIONS OF VERTICAL VENTS. SEE NOTE 22.1.
 - NEW CONCRETE SLOPED ENTRY. SEE STRUCTURAL DWGS.
 - NEW CONCRETE (STEPS), MAX RISE 7", MIN TREAD 11". SEE CIVIL DETAILS.
 - PROVIDE CONCRETE POUR-THROUGH AT SILL THRESHOLD.
 - NEW CONCRETE SLAB ON GRADE. SLOPE 1:20 MAX. SEE CIVIL DRAWINGS.
 - EXG CONCRETE STAIR TO REMAIN.
 - NEW FOOTINGS FOR COLUMN. SEE STRUCTURAL DWGS.
 - NEW STRIP FOOTINGS FOR BEARING WALL. SEE STRUCTURAL DWGS.
- 4. MASONRY**
- NEW OR EXPANDED OPENING IN EXG MASONRY WALL (SEE STRUCTURAL DWGS). TOOTH OUT AND KEY IN BRICK AS REQ'D TO PROVIDE EXPOSED BRICK RETURNS. PROVIDE NEW STEEL LINTEL. SEE STRUCTURAL DWGS.
 - NEW WINDOW OPENING IN PREVIOUSLY INFILLED OPENING. PROVIDE NEW CAST STONE SILL, TOOTH OUT

- AND KEY IN BRICK AT JAMBS TO MATCH ADJACENT. USE EXG STONE LINTEL. SEE STRUCTURAL DWGS.
- EXG MASONRY OPENING TO BE INFILLED W/ BRICK TO MATCH EXG HISTORIC. INSERT NEW BRICK 1" BACK FROM FACE OF ADJACENT WALL. SEE DETAIL 13A15.00.
- BRICK TO BE LEFT EXPOSED. SCRAPE LOOSE PAINT, CLEAN, AND REINSTALL ON NEWLY-FURRED OUT WALLS TO PRESERVE HISTORIC APPEARANCE.
- HISTORIC INTERIOR WALLS - PRESERVE, REPAIR, AND PATCH HISTORIC TRIM AT EXG HISTORIC INTERIOR WALLS AND DOOR OPENINGS.
- NEW CONCRETE SLOPED ENTRY. SEE STRUCTURAL DWGS.
- NEW CONCRETE (STEPS), MAX RISE 7", MIN TREAD 11". SEE CIVIL DETAILS.
- PROVIDE CONCRETE POUR-THROUGH AT SILL THRESHOLD.
- NEW CONCRETE SLAB ON GRADE. SLOPE 1:20 MAX. SEE CIVIL DRAWINGS.
- EXG CONCRETE STAIR TO REMAIN.
- NEW FOOTINGS FOR COLUMN. SEE STRUCTURAL DWGS.
- NEW STRIP FOOTINGS FOR BEARING WALL. SEE STRUCTURAL DWGS.

- NEW LINTEL AT NEW OPENING IN MASONRY WALL FOR HVAC DUCT. SEE STRUCTURAL & MECH DWGS.
- NEW CONTINUOUS STEEL PIPE HANDRAIL. SEE DTL 23A5.00.
- NEW STEEL GUARDRAIL. SEE DTL 23A5.00.
- EXG STEEL STRUCTURE TO REMAIN. SEE STRUCTURAL DWGS.
- NEW METAL BREEZEWAY GATE. SEE DOOR SCHEDULE.
- NEW STEEL BEAM. SEE STRUCTURAL DWGS.
- REPAIR/RELOCATE EXG VERTICAL DECORATIVE PANEL AS REQ'D.
- NEW STEEL COLUMN. SEE STRUCTURAL DWGS.
- NEW BLACK METAL PICKET FENCE. B.O.D. = BETAFENCE "UPGRADE" STEEL FENCE. 6" Ø TALL. 3 RAIL. W/ SUMMIT PICKETS AND STANDARD BOTTOM. COORD. FINAL SPEC W/ ARCHITECT. SEE CIVIL FOR TOTAL SCOPE BETWEEN 1732-34 VINE AND 1726-1730 VINE / 1675 HAMER.

- 5. METALS**
- NEW CONTINUOUS STEEL PIPE HANDRAIL. SEE DTL 23A5.00.
 - NEW STEEL GUARDRAIL. SEE DTL 23A5.00.
 - EXG STEEL STRUCTURE TO REMAIN. SEE STRUCTURAL DWGS.
 - NEW METAL BREEZEWAY GATE. SEE DOOR SCHEDULE.
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- 6. WOOD, PLASTICS, AND COMPOSITES**
- REPAIR DAMAGED PIECES OF WOOD STAIRS.
 - TREADS/RISE RISERS.
 - BALLUSTRADE.
 - ADD TREADS/RISE RISERS PER PLAN.
 - RELOCATE EXG STAIR STRINGERS/TREADS/RISERS WESTWARD.
 - SEE STRUCTURAL DWGS FOR REINFORCEMENT OF STAIR OPENING.
 - NEW INTERIOR WOOD STAIR. TREAD DEPTH PER PLANS. RISER HEIGHT = 7" MAX. PROVIDE 9"Ø CLEAR HEAD HEIGHT.
 - NEW FLOOR FRAMING - SEE STRUCT DWGS.
 - NEW CASED OPENING IF APPLICABLE. JAMB EXTENSIONS TO MATCH DEPTH OF OPENING. SEE FINISH SCHEDULE FOR TRIM SIZES.
 - MATCH HEIGHT TO ADJACENT DOOR HEADS.
 - MATCH HEIGHT TO ADJACENT TRANSOM HEADS.
 - NEW EXTERIOR STAIR. SEE SHEET A3.00.
 - OWENS CORNING TRU DEFINITION DURATION SHINGLES. WITH 30 YEAR MIN. WARRANTY. PROVIDE ICE AND WATER SHIELD WHERE REQUIRED.
 - MANTEL FROM ADJACENT TO BE INSTALLED AT THIS LOCATION.
 - REPAIR & REPAIR STOREFRONT ELEMENTS. MATCH EXG IF ANY REMAINS. SEE EXTERIOR ELEVATIONS.

- 7. THERMAL AND MOISTURE PROTECTION**
- NEW PRE-FINISHED K-STYLE ALUMINUM GUTTER. SEE EXTERIOR ELEVATIONS.
 - REPAIR AND RELINE EXG BOX GUTTER. NEW PRE-FINISHED ALUMINUM DOWNSPOUT.
 - NEW ROUND ALUMINUM DOWNSPOUT PAINTED TO MATCH ADJACENT WALL SURFACE. SEE EXTERIOR ELEVATIONS.
 - TIE INTO EXISTING SEWER SYSTEM. NEW PVC AT LOWER 6"Ø DOWNSPOUT. PAINT TO MATCH DOWNSPOUT.
 - PROVIDE EXTENSION TO ADJACENT ROOF.
 - NEW RECTANGULAR-PROFILE ALUMINUM GUTTER. SEE EXTERIOR ELEVATIONS AND STAIR DETAIL SHEET A3.00.
 - NEW SLATE GRAY ROOF SHINGLES. B.O.D. OWENS CORNING TRU DEFINITION DURATION SHINGLES. WITH 30 YEAR MIN. WARRANTY. PROVIDE ICE AND WATER SHIELD WHERE REQUIRED.
 - NEW FULLY ADHERED WHITE TPO MEMBRANE ROOF W/ CRICKETS WHERE REQUIRED FOR POSITIVE DRAINAGE AND W/ TERMINATION BARS & METAL COUNTERTOP FLASHING - SEE

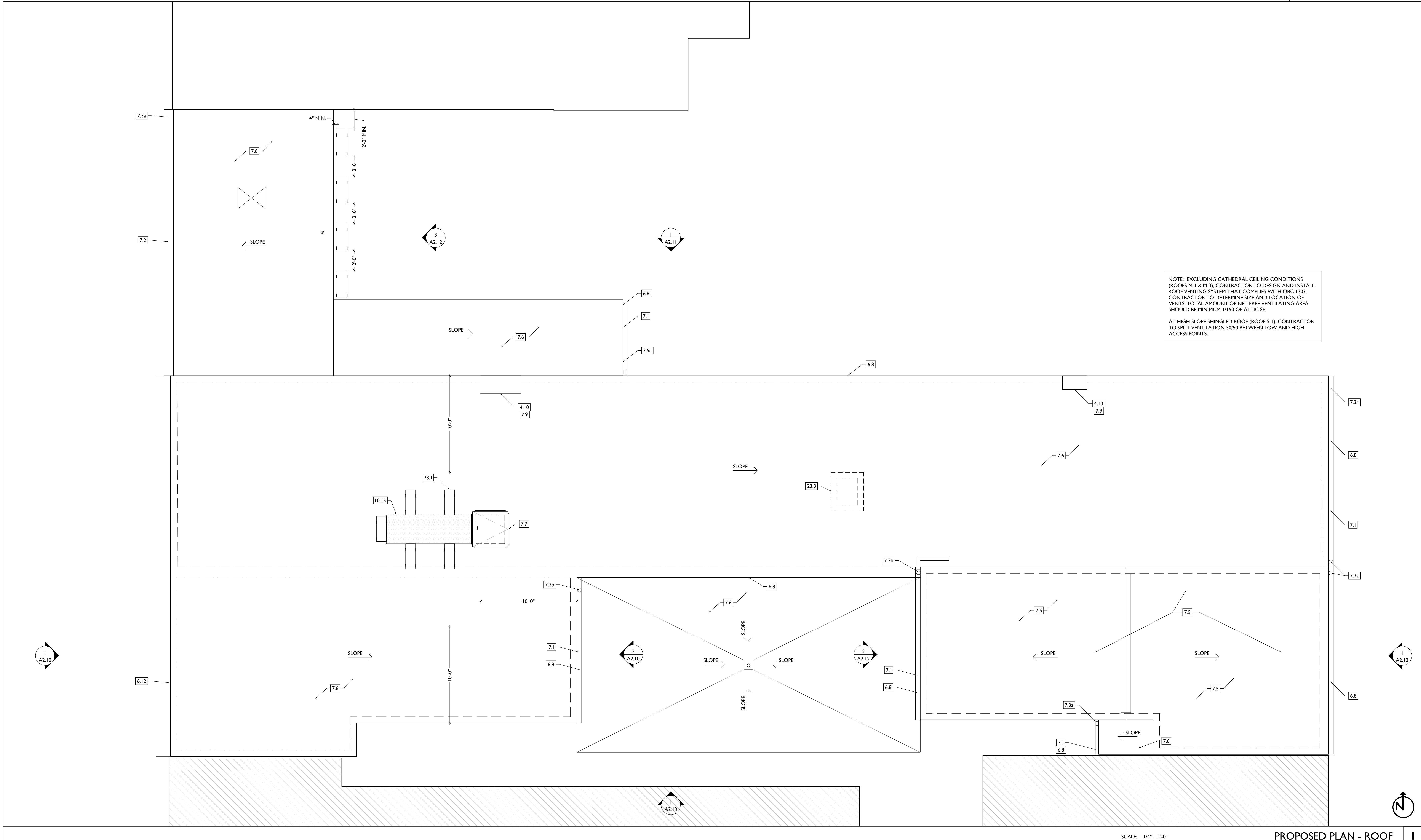
- 8. OPENINGS**
- EXG HISTORIC DOOR IN EXG OPENING TO BE FIXED CLOSED. SEE DOOR SCHEDULE. IF EXG DOOR DAMAGED, REPLACE WITH OTHER EXG HISTORIC DOOR SALVAGED FROM OTHER PART OF BUILDING.
 - PROVIDE NEW FLUSH ALUMINUM FLOOR ACCESS PANEL.
 - INSTALL NEW CLEAR INSULATED GLAZING IN EXG STOREFRONT FRAMING AND TRANSOM ABOVE ENTRY DOOR. INSTALL NEW DOOR IN EXG ENTRY OPENING - SEE DOOR SCHEDULE.
 - NEW CHASE OPENING IN FLOOR. SEE STRUCTURAL DWGS FOR FRAMING.
 - NOT USED.
 - NEW STOREFRONT CONSTRUCTION. SEE EXTERIOR ELEVATIONS AND STOREFRONT DETAIL SHEET A6.13.
 - BULKHEAD.
 - NEW SIGNAGE BOARD.
 - PROVIDE NEW ATTIC ACCESS PANEL (22"x30" MIN) ADHERE RIGID INSULATION TO BACK OF ATTIC HATCH PANEL TO MATCH R-VALUE OF FLOOR-CEILING ASSEMBLY.
 - NEW SLATE GRAY ROOF SHINGLES. B.O.D. OWENS CORNING TRU DEFINITION DURATION SHINGLES. WITH 30 YEAR MIN. WARRANTY. PROVIDE ICE AND WATER SHIELD WHERE REQUIRED.
 - RELOCATED HISTORIC TRIM INSTALLED IN THIS LOCATION. SEE EXG PLANS FOR ORIGINAL LOCATION.
 - NEW EXTERIOR BUILDING ENTRY DOOR AND FRAME - SEE DOOR SCHEDULE.

- 9. FINISHES**
- NOT USED.
 - FIRE-RATING TO BE CONTINUOUS BEHIND PLUMBING/CHASE/ FURRING WALL. FIRE RATING TO BE CONTINUOUS AT INTERSECTION W/ NON-RATED WALL.
 - EXG WAINCOT - CAREFULLY REMOVE AND REINSTALL OVER NEW FURRED WALL.
- 10. SPECIALTIES**
- GROUND-MOUNTED MAILBOXES. LOCKABLE. BOXES TO MEET UPS-4C STANDARDS & ACCESSIBILITY REQUIREMENTS.
 - NOT USED.
 - ENTRY SYSTEM CALLBOX B.O.D. = "2N ACCESS CONTROL" PARTIAL HEIGHT WALL - SEE DTL 4A5.00.
 - CLOSETS W/ BLOCKING AT RODS & BRACKETS.
 - TYP ENCLOSED CLOSET. 12" DEEP MELAMINE SHELF & CLOTHES ROD AT 66" AFF. TYP U.N.O.
 - ABOVE WID.
 - ADJUSTABLE SHELVES ON STANDARD MOUNT.
 - PROVIDE DRAIN PAN BENEATH WASHING MACHINE/ WATER HEATER. SEE PLUMBING DWGS.
 - PROVIDE "NO SMOKING" SIGN AT EXTERIOR WALL.
 - NOT USED.
 - SHOWER NICHE. SEE ENLARGED PLANS. INTERIOR ELEVATIONS AND DETAIL 11A5.00.
 - APPROXIMATE LOCATION OF CHASE WALL FOR PLUMBING AND MECH VENTILATION RISERS. WRAP IN GYP BO. REQ'D. SEE PLUMBING AND MECH DWGS.
 - PROVIDE BLOCKING FOR WALL-MOUNTED CHANGING STATION. SEE INTERIOR ELEVATIONS.
 - FIRE EXTINGUISHER. COORDINATE FINAL LOCATION WITH LOCAL FIRE MARSHAL.
 - SURFACE MOUNTED.
 - IN SINK CABINET IN RESIDENTIAL UNIT. TYPICAL.
 - NEW 2HR FIRE-RATED SHAFT FOR 18" DUCT. PROVIDE "CH" CHANNELS 6" WIDE. SEE STRUCTURAL DWGS.
 - NEW EXTERIOR BUILDING ENTRY DOOR AND FRAME - SEE DOOR SCHEDULE.

- 11. FIRE SUPPRESSION**
- APPROX LOCATION OF FDC CONNECTION - COORDINATE W/ FIRE DEPT.
 - SPRINKLER RISER. SEE PLUMBING DWGS.
 - PROVIDE 2-HR FIRE-RATING AT STRUCTURE. SEE SHEET A6.02.
 - PROVIDE 2-HR FIRE-RATING AT STRUCTURE. SEE SHEET A6.02.
 - PROVIDE WATERFLOW ALARM DEVICE. CONFIRM LOCATION WITH BUILDING INSPECTOR AND FIRE DEPARTMENT. COORDINATE WITH ELECTRICAL AND FIRE SUPPRESSION CONTRACTOR.
- 22. PLUMBING**
- PROVIDE RADON RISER, AS REQUIRED BY OWNER'S CONSULTANT. RISER TO EXTEND FROM BASEMENT TO ATTIC. SEE CONSULTANT DESIGN FOR LOCATIONS OF RISERS. SEE NOTE 3.2. COORDINATE WITH PLUMBING.
 - PLUMBING CHASE (OR WALL) - VERIFY LOCATIONS IN FIELD TO ALIGN CONCEALMENT BETWEEN FLOORS.
 - NEW HOSE BIB LOCATION. SEE PLUMBING.
- 23. HEATING, VENTILATING, AND AIR CONDITIONING**
- MECHANICAL UNITS - WALLING PADS TO & AROUND EQUIPMENT. GUARDRAIL REQUIRED IF EQUIPMENT <10" FROM ROOF EDGE. PROVIDE OVER-FRAMED PLATFORM PER 11A5.00. SEE HVAC. SEE STRUCTURAL DWGS. SOUND ISOLATE MECHANICAL PLATFORM AND PROVIDE SOUND ISOLATION PADS AT BASE OF MECHANICAL UNITS. USE MANUFACTURER'S INSTALLATION INSTRUCTIONS TO CONFIRM CLEARANCES.
 - PROVIDE NEW VENT WITH OPERABLE DAMPERS. SUM OF VENTILATION AREA SERVING CRAWL SPACE TO BE 72" MIN. PER 1203.42, EX. 2 OF OBC 2017.
 - FUTURE KITCHEN HOOD EXHAUST WALL-HUNG MECHANICAL UNIT. SEE STRUCTURAL DWGS. SEE HVAC. USE MANUFACTURER'S INSTALLATION

- 26. ELECTRICAL**
- ELECTRIC PANEL RECESSED IN WALL W/ 30"W X 36"D CLEAR IN FRONT. PAINT TO MATCH ADJACENT WALL. W FACE OF BUILDING.
 - NEW VFD FENCE - SEE 16A5.00 AND CIVIL DWGS.
 - NEW 6"Ø BLACK METAL PICKET FENCE. B.O.D. = BETAFENCE UPGRADE STANDARD. WITH FINNACLE OR SUMMIT PICKETS. COORD. FINAL SPEC W/ ARCHITECT.

- INSTRUCTIONS TO CONFIRM SIDEREAR CLEARANCES.
- NEW WORK GRAPHIC KEY:
- PARTITION TYPE - SEE A6.00
 - KEYNOTE
 - EXISTING WALL
 - NEW PARTITION WALL
 - NEW MASONRY WALL
 - OBJECT OVERHEAD
 - 1-HR FIRE RATING
 - 2-HR FIRE RATING
 - NEW FLOOR & FRAMING TO MATCH ADJ - SEE STRUCT DWGS.
 - NEW GYP BO SOFFIT/ BULKHEAD/ DROPPED CLG - SEE RCPS.
 - AREA OF ATYPICAL FIRE-RATED ASSEMBLY ABOVE. SEE A6.01 & A6.01.
 - AREA OF TUCKPOINTING - SEE ELEV & STRUCT DWGS.
 - DOOR TAG. SEE SCHEDULE / A6.10-13.
 - WINDOW DESIGNATION. SEE A6.20-25.
 - STOREFRONT DESIGNATION. SEE A6.13.
 - EMERGENCY EGRESS EXIT.
 - OPG CONTAINS SAFETY GLAZING.
 - SINGLE HUNG OPG - UPPER SASH TO BE FIXED WITHIN 3'-0" OF EXHAUST.
 - ELEVATION TAG.



SCALE: 1/4" = 1'-0" PROPOSED PLAN - ROOF 1

Progress Dates

Revisions

Design Team:

Drawn by:

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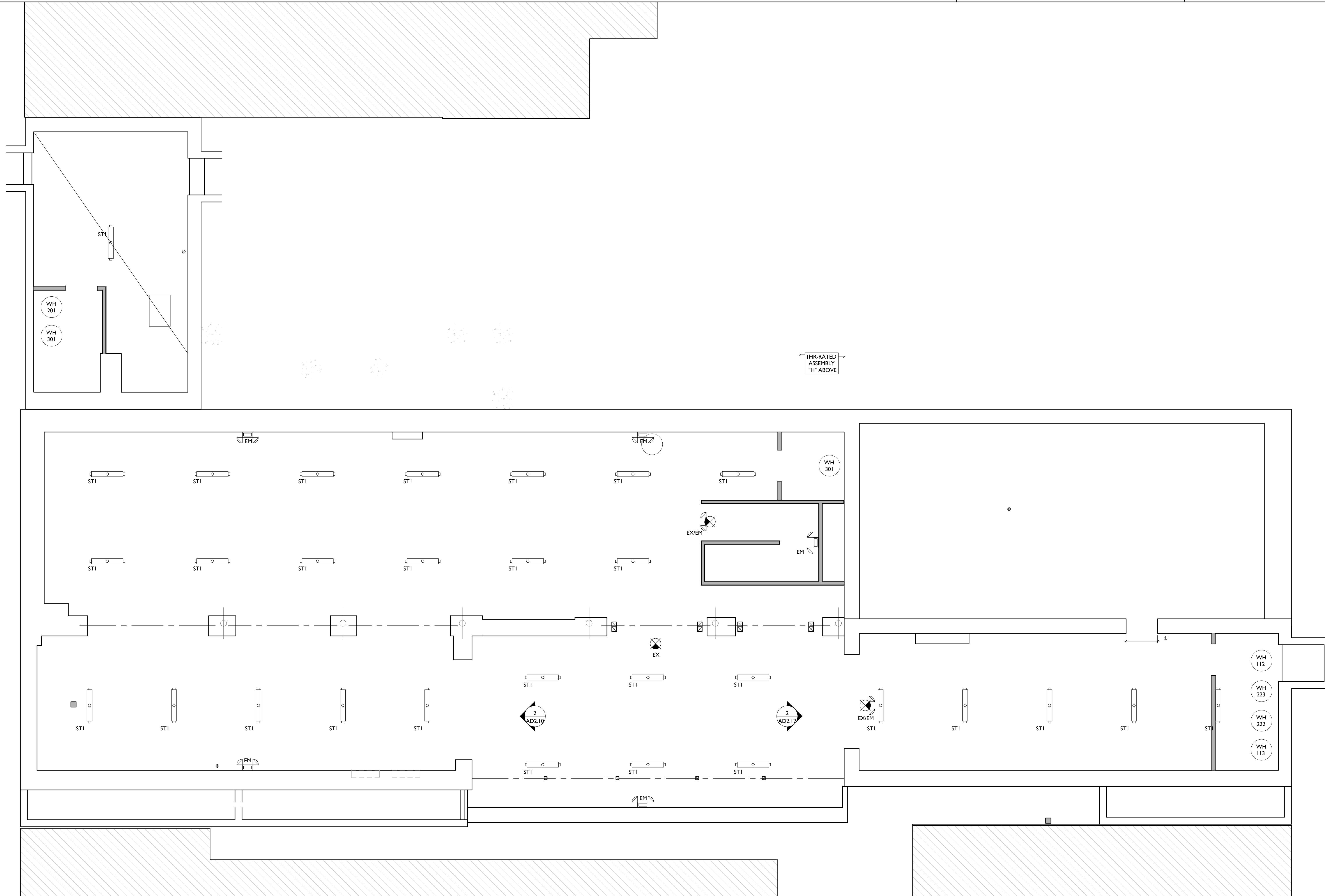
H. PROVIDE UNDER-CABINET LIGHTING BENEATH ALL UPPER KITCHEN CABINETS IN RESIDENTIAL UNITS. SEE ELEC DWGS.

I. SEE EXTERIOR ELEVATIONS FOR MOUNTING HEIGHTS OF EXTERIOR LIGHTS.

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| SP | PHOTOELECTRIC |
| --- | CENTER ON ARCHITECTURAL FEATURE |
| --- | STRUCTURAL MEMBER - SEE STRUCTURAL DWGS |



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PLATTE
 architecture + design

Progress Dates
 Revisions
 Design Team:
 Drawn by:

NOT FOR CONSTRUCTION

PROPOSED PROJECT

Job No: 08/30/2024

AI.20

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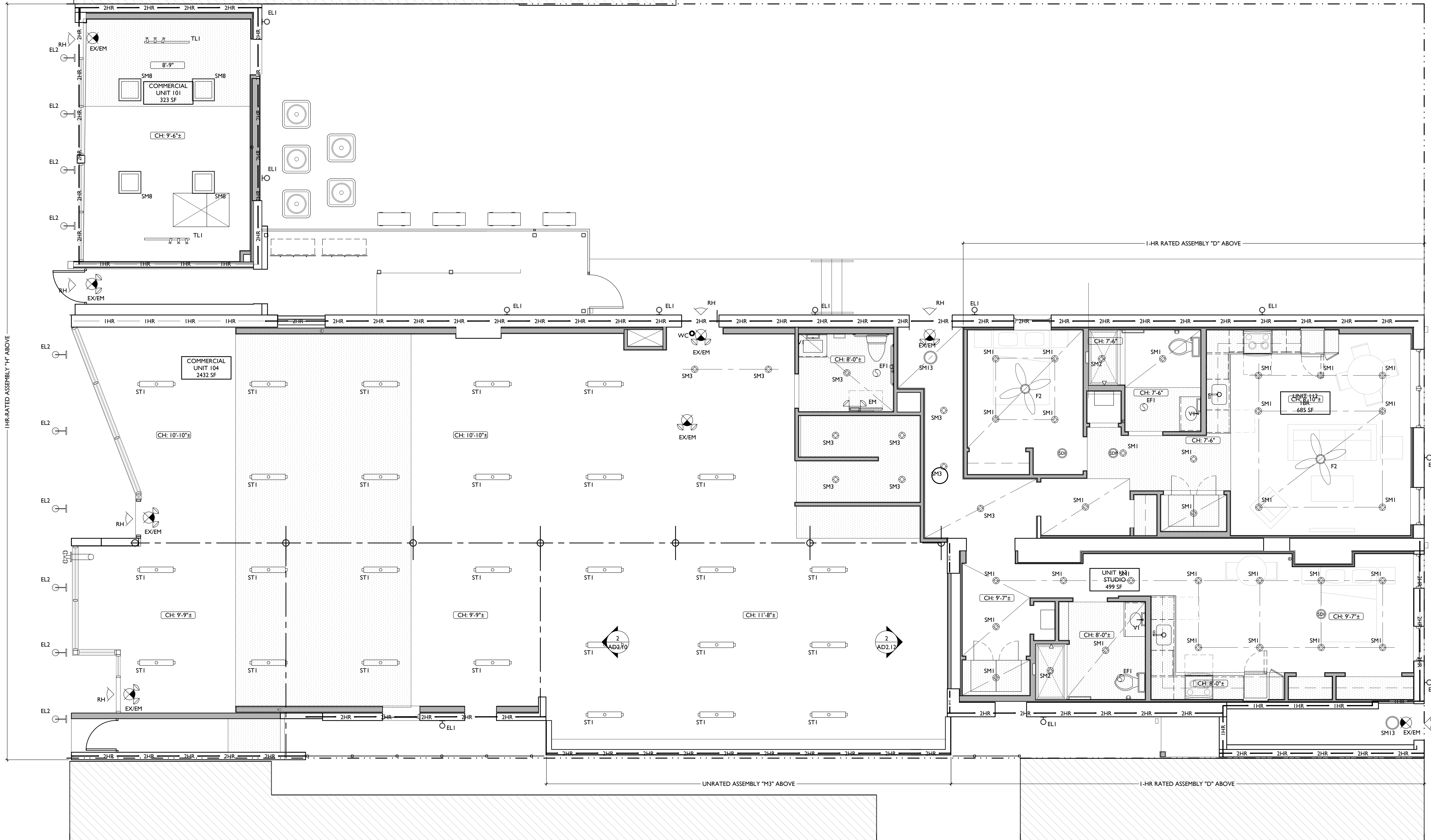
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VINE STREET - 60' R.O.W.

HAMER STREET - 28' R.O.W.

NOT FOR CONSTRUCTION

| |
|----------------|
| Progress Dates |
| Revisions |
| Design Team: |
| Drawn by: |

PROPOSED PROJECT:
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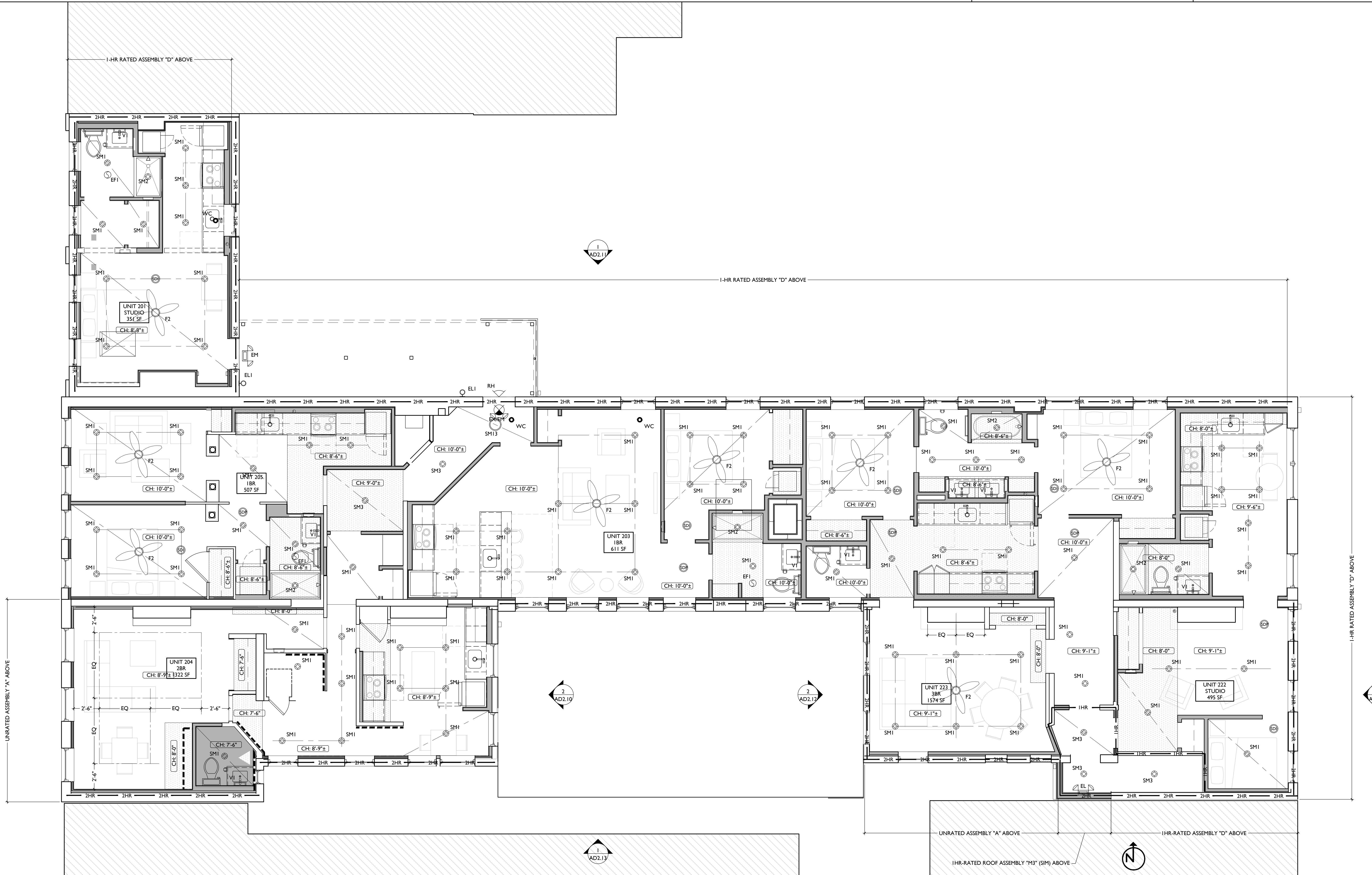
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 - CENTER ON ARCHITECTURAL FEATURE
 - STRUCTURAL MEMBER - SEE STRUCTURAL DWGS



SCALE: 1/4" = 1'-0" REFLECTED CEILING PLAN - SECOND FLOOR

NOT FOR CONSTRUCTION

PROPOSED PROJECT

Job No: 08/30/2024

Progress Dates
Revisions
Design Team:
Drawn by:

| SYMBOL | FIXTURE TYPE | REMARKS |
|--------|-------------------------------|--|
| SM1 | SURFACE MOUNT LED CAN LIGHT | SM1 - GENERAL LIGHTS. PROVIDE DIMMERS IN RESIDENTIAL UNITS. |
| SM2 | SURFACE MOUNT LED CAN LIGHT | SM2 - DAMP RATED, TYPICAL IN SHOWERS. |
| SM3 | SURFACE MOUNT LED CAN LIGHT | SM3 - ALWAYS ON, TYPICAL IN COMMON STAIRHALLS. |
| SM13 | SURFACE MOUNT ENTRY LIGHT | STAIR HALL ENTRY VESTIBULE, 1ST FLOOR ONLY |
| SM8 | SURFACE MOUNT LINEAR LED | TYPICAL IN COMMERCIAL TURNKEY SPACES |
| ST1 | SURFACE MOUNT UTILITY FIXTURE | TYPICAL IN ATTICS AND IN BASEMENTS |
| V1 | WALL MOUNT VANITY LIGHT | V1 - TYPICAL OVER BATHROOM VANITIES IN TYPICAL RESIDENTIAL UNITS. |
| V2 | WALL MOUNT VANITY LIGHT | V2 - TYPICAL ON SIDES OF BATHROOM VANITIES IN TYPICAL RESIDENTIAL UNITS. |
| TL1 | SURFACE MOUNT TRACK LIGHT | DIMMABLE, TYPICAL IN COMMERCIAL TURNKEY SPACES AND IN LOBBIES |
| UC | UNDER CABINET LIGHT | TYPICAL IN RESIDENTIAL KITCHENS |
| PI | SURFACE MOUNT PENDANT | TYPICAL OVER KITCHEN ISLANDS |

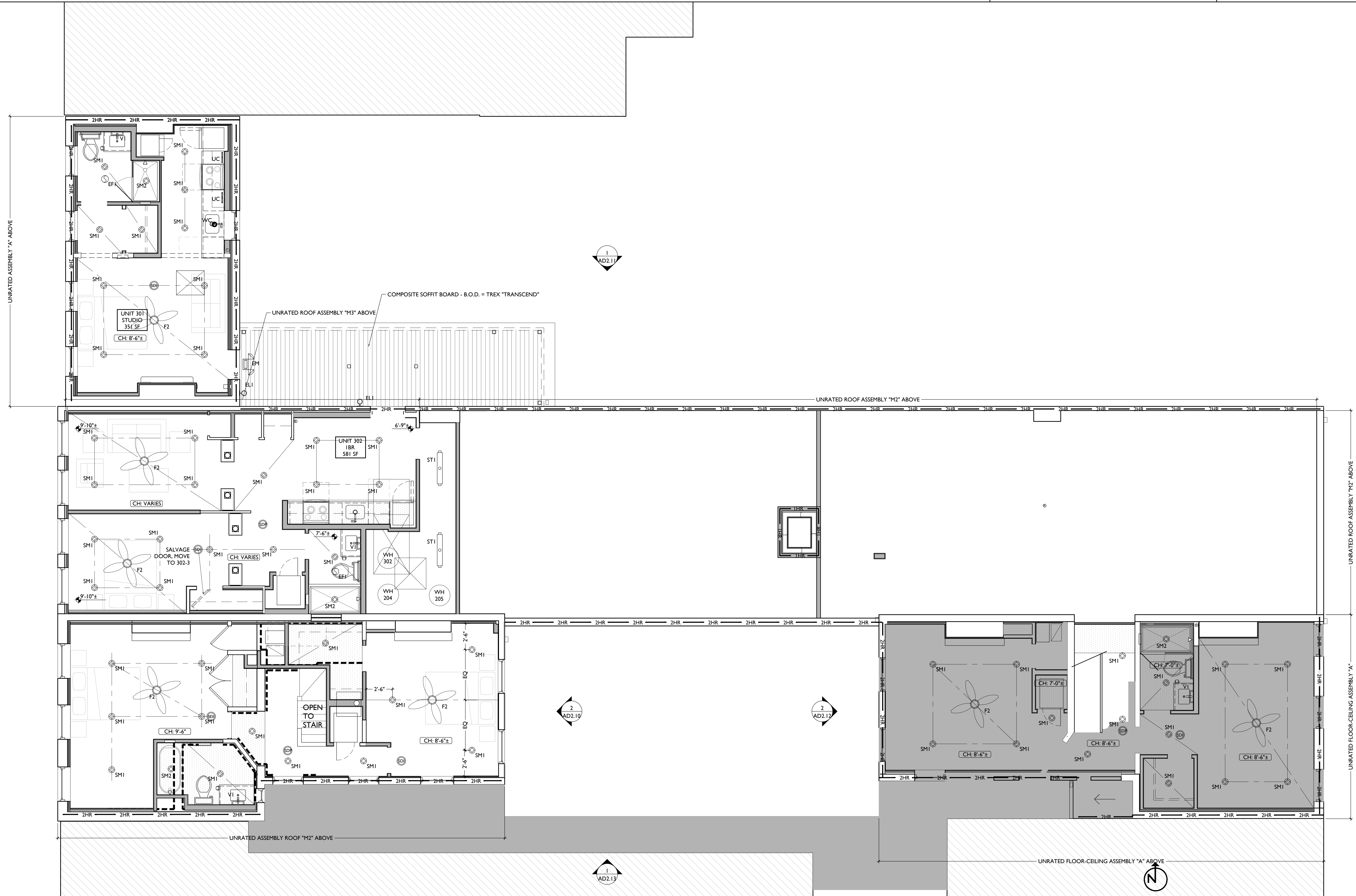
| SYMBOL | FIXTURE TYPE | REMARKS |
|--------|---------------------------|---|
| F1 | CEILING FAN WITH LIGHT | SMALL FAN, TYPICAL IN BEDROOMS AND LIVING ROOMS |
| F2 | CEILING FAN WITH LIGHT | LARGE FAN, TYPICAL IN BEDROOM AND LIVING ROOM |
| WM1 | WALL MOUNT EXTERIOR LIGHT | EXTERIOR ARCHITECTURAL UP-DOWN LIGHT |
| WMS | WALL MOUNT EXTERIOR LIGHT | EXTERIOR ARCHITECTURAL GOOSENECK LIGHT |
| ES | EMERGENCY EGRESS LIGHT | EMERGENCY EGRESS EXIT SIGN |
| ESL | EMERGENCY EGRESS LIGHT | EMERGENCY EGRESS EXIT SIGN W/ LIGHTS |
| EF1 | BATHROOM VENT | TYPICAL BATHROOM EXHAUST FAN/VENT |

| SYMBOL | FIXTURE TYPE | REMARKS |
|--------|------------------------|--|
| RH1 | EMERGENCY EGRESS LIGHT | LED REMOTE HEAD EMERGENCY EGRESS LIGHT |
| EM | EMERGENCY EGRESS LIGHT | EMERGENCY EGRESS LIGHT WALL PACK |

REFLECTED CEILING PLAN GENERAL NOTES:

- NOTE: THIS IS A HISTORIC TAX CREDIT PROJECT. ALL WORK MUST COMPLY W/ APPROVED, PART 2, INCLUDING AMENDMENTS. NO HISTORIC ELEMENTS SHALL BE REMOVED/MODIFIED UNLESS SPECIFICALLY INDICATED IN ARCH DWGS.
- IF A FIXTURE APPEARS TO BE CENTERED IN A SPACE, THEN CENTER IT.
- LOWERED CEILING AND SOFFITS SHALL BE 8'-0" HIGH A.F.F., U.N.O.
- CLG HTS AT EXG FLOORS ARE TO BE V.I.F.
- ALL CEILING FINISHES IN OCCUPIED SPACES TO BE SMOOTH PAINTED DRYWALL U.N.O. SEE FINISH SCHEDULE FOR PAINT COLORS.
- BASEMENTS & UNOCCUPIED ATTICS TO HAVE EXPOSED JOISTS - NO FINISH CLG U.N.O.
- ALL SOFFITS OVER KITCHEN CABINETS TO BE 8'-0" AFF AND 2'-1 1/2" WIDE MINIMUM.
- PROVIDE UNDER-CABINET LIGHTING BENEATH ALL UPPER KITCHEN CABINETS IN RESIDENTIAL UNITS. SEE ELEC DWGS.
- SEE EXTERIOR ELEVATIONS FOR MOUNTING HEIGHTS OF EXTERIOR LIGHTS.
- SEE ELECTRICAL DRAWINGS FOR FIXTURE SPECIFICATIONS.
- ANY FIXTURES LOCATED IN AREAS WITH REMAINING HISTORIC TIN CEILING SHOULD BE CENTERED ON THE CEILING TILES, RATHER THAN PERFECTLY CENTERED IN THE SPACE. ADJUST THE GRID PLACEMENT/DIMENSIONS BY A FEW INCHES AS REQUIRED TO ACCOMMODATE THIS.

| SYMBOL | REMARKS |
|-----------|---|
| CH: 8'-0" | CEILING HEIGHT TAG (TYP 8'-0" U.N.O.) |
| --- | SOFFIT/LOWERED GYP BD CEILING |
| --- | AREA OF ATYPICAL FIRE-RATING. SEE PLANS & SHEET A0.01 |
| WC | WATER CURTAIN HEAD TO PROVIDE 100% COVERAGE OF WINDOW. COORD W/ F/P PLANS |
| (NL) | DENOTES NIGHT LIGHT FIXTURE |
| (OS) | DENOTES OCCUPANCY SENSOR |
| SD | COMBO SMOKE/CARBON MONOXIDE DETECTOR: IONIZATION (TYP BEDROOMS) |
| SP | PHOTOELECTRIC |
| --- | CENTER ON ARCHITECTURAL FEATURE |
| --- | STRUCTURAL MEMBER - SEE STRUCTURAL DWGS |



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|----------------|
| Progress Dates |
| Revisions |
| Design Team: |
| Drawn by: |

NOT FOR CONSTRUCTION

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REFLECTED CEILING PLAN GENERAL NOTES:

A. NOTE: THIS IS A HISTORIC TAX CREDIT PROJECT. ALL WORK MUST COMPLY W/ APPROVED, PART 2, INCLUDING AMENDMENTS. NO HISTORIC ELEMENTS SHALL BE REMOVED/MODIFIED UNLESS SPECIFICALLY INDICATED IN ARCH DWGS.

B. IF A FIXTURE APPEARS TO BE CENTERED IN A SPACE, THEN CENTER IT.

C. LOWERED CEILINGS AND SOFFITS SHALL BE 8'-0" HIGH A.F.F., U.N.O.

D. CLG HTS AT EXG FLOORS ARE TO BE V.I.F.

E. ALL CEILING FINISHES IN OCCUPIED SPACES TO BE SMOOTH PAINTED DRYWALL U.N.O. SEE FINISH SCHEDULE FOR PAINT COLORS.

F. BASEMENTS & UNOCCUPIED ATTICS TO HAVE EXPOSED JOISTS - NO FINISH CLG U.N.O.

G. ALL SOFFITS OVER KITCHEN CABINETS TO BE 8'-0" AFF AND 2'-1 1/2" WIDE MINIMUM.

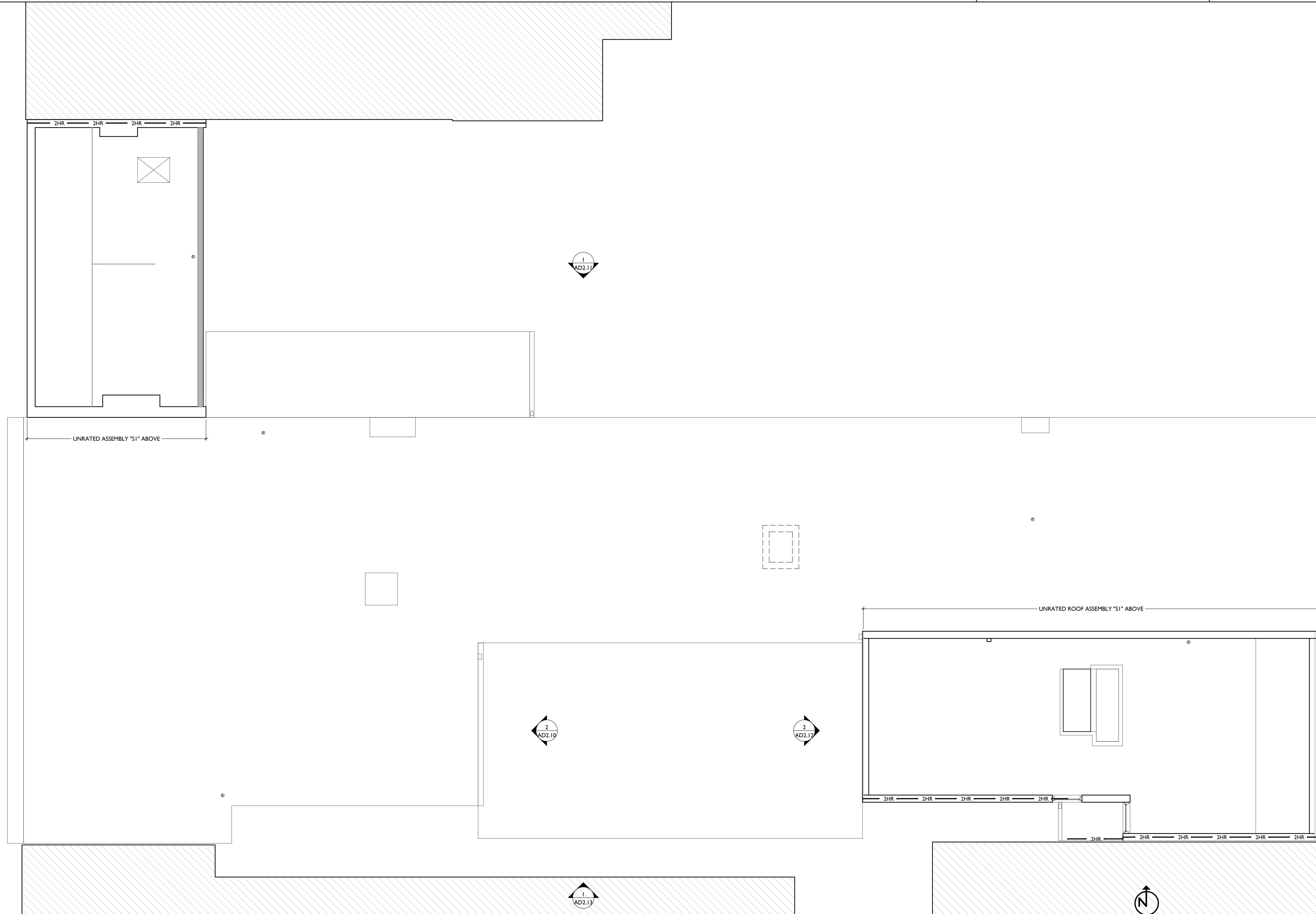
H. PROVIDE UNDER-CABINET LIGHTING BENEATH ALL UPPER KITCHEN CABINETS IN RESIDENTIAL UNITS. SEE ELEC DWGS.

I. SEE EXTERIOR ELEVATIONS FOR MOUNTING HEIGHTS OF EXTERIOR LIGHTS.

J. SEE ELECTRICAL DRAWINGS FOR FIXTURE SPECIFICATIONS.

K. ANY FIXTURES LOCATED IN AREAS WITH REMAINING HISTORIC TIN CEILINGS SHOULD BE CENTERED ON THE CEILING TILES. RATHER THAN PERFECTLY CENTERED IN THE SPACE. ADJUST THE GRID PLACEMENT/DIMENSIONS BY A FEW INCHES AS REQUIRED TO ACCOMMODATE THIS.

| SYMBOL | REMARKS |
|-----------|---|
| CH: 8'-0" | CEILING HEIGHT TAG (TYP 8'-0" U.N.O.) |
| [Symbol] | SOFFIT/LOWERED GYP BD CEILING |
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Progress Dates

Revisions

Design Team:
Drawn by:

NOT FOR CONSTRUCTION

PROPOSED PROJECT

Job No: 08/30/2024

A1.24

NEW WORK PLANS & ELEVATIONS # KEYED NOTES:

- IMPORTANT #1** HISTORIC TRIM PRESENT IN THIS BUILDING:
- THROUGHOUT THIS BUILDING, HISTORIC TRIM, DOORS, AND WINDOWS ARE PRESENT. PRESERVE HISTORIC ELEMENTS UNLESS AREAS OF MISSING HISTORIC TRIM ON HISTORIC WALLS SHALL BE PATCHED TO MATCH ADJ. HISTORIC TRIM EXACTLY.
 - HISTORIC EXTERIOR WALLS TO RECEIVE FURRING - CAREFULLY REMOVE EXG HISTORIC INTERIOR TRIM, REPAIR, AND REINSTALL ON NEWLY-FURRED OUT WALLS TO PRESERVE HISTORIC APPEARANCE.
 - HISTORIC INTERIOR WALLS - PRESERVE, REPAIR, AND PATCH HISTORIC TRIM AT EXG HISTORIC INTERIOR WALLS AND DOOR OPENINGS.
- 3. CONCRETE**
- SLAB TO REMAIN. SCOPE & VERIFY FLOOR DRAINS CONNECT TO SEWER. REPAIR AS REQUIRED.
 - NEW CONCRETE SLAB W/ NEW FLOOR DRAINS PER PLUMBING DRAWINGS. SLOPE 1/4" = 12 MIN TO DRAIN. VAPOR MITIGATION SYSTEM BELOW SLAB, AS REQUIRED BY OWNER'S CONSULTANT. SEE CONSULTANT DESIGN FOR SYSTEM DETAILS AND LOCATIONS OF VERTICAL VENTS. SEE NOTE 22.1.
 - NEW CONCRETE SLOPED ENTRY. SEE STRUCTURAL DWGS. NEW CONCRETE (STEPS), MAX RISER 7", MIN TREAD 11". SEE CIVIL DETAILS.
 - PROVIDE CONCRETE POUR-THROUGH AT SILL THRESHOLD.
 - NEW CONCRETE SLAB ON GRADE. SLOPE 1:20 MAX. SEE CIVIL DRAWINGS.
 - EXG CONCRETE STAIR TO REMAIN.
 - NEW FOOTINGS FOR COLUMNS. SEE STRUCTURAL DWGS.
 - NEW STRIP FOOTINGS FOR BEARING WALL. SEE STRUCTURAL DWGS.
- 4. MASONRY**
- NEW OR EXPANDED OPENING IN EXG MASONRY WALL (SEE STRUCTURAL DWGS). TOOTH OUT AND KEY IN BRICK AS REQ'D TO PROVIDE EXPOSED BRICK RETURNS. PROVIDE NEW STEEL LINTEL. SEE STRUCTURAL DWGS.
 - NEW WINDOW OPENING IN PREVIOUSLY INFILLED OPENING. PROVIDE NEW CAST STONE SILL, TOOTH OUT

- AND KEY IN BRICK AT JAMBS TO MATCH ADJACENT. USE EXG STONE LINTEL. SEE STRUCTURAL DWGS.
- EXG MASONRY OPENING TO BE INFILLED W/ BRICK TO MATCH EXG HISTORIC. INSERT NEW BRICK 1" BACK FROM FACE OF ADJACENT WALL. SEE DETAIL 13A/30.0.
- BRICK TO BE LEFT EXPOSED. SCRAPE LOOSE PAINT, CLEAN EXISTING DOORWAY OPENING TO BECOME WINDOW OPENING. INFILL LOWER OPENING WITH BRICK TO MATCH EXISTING HISTORIC ADJACENT. INSERT NEW BRICK 1" BACK FROM FACE OF ADJACENT WALL. PROVIDE NEW CAST STONE SILL, TOOTH OUT & KEY IN BRICK AS REQ'D TO REPAIR JAMBS, ALLOW BRICK RETURN, AND ALLOW NEW SILL TO BE INSERTED AT SAME A.F.F. ELEVATION AS ADJACENT WINDOWS. UNO. SEE DETAIL 23AS.00.
- REPLACE DAMAGED/MISSING BRICK AS SHOWN ON EXTERIOR ELEVATIONS & PER SHPO NARRATIVE.
- NEW CAST STONE SILL THRESHOLD.
- PARKING:
 - REMOVE LOOSE AND/OR CRACKED AS SHOWN ON THE ELEVATIONS & REPAIR TO MATCH FINISH OF EXG PARKING.
 - ADD NEW PARKING IN AREAS ON SHOWN ON EXTERIOR ELEVATIONS - MATCH FINISH OF EXISTING PARKING.
 - EXPOSED BRICK JAMB, TOOTH IN BRICK TO MATCH ADJACENT BRICK.
 - EXG CHIMNEY TO REMAIN - REPOINT AND REPAIR AS REQ'D. REPAIR DAMAGED MASONRY AT BASE OF WALL. SEE STRUCTURAL.
 - INFILL EXG OPENING SALVAGED BRICK AND STUD BACKUP WALL PER WALL TYPE SHOWN IN PLAN, TOOTH OUT AND KEY IN BRICK FOR SEAMLESS EXTERIOR APPEARANCE.
 - REPLACE BRICK & MORTAR TO MATCH EXG.
 - NEW CMU FOUNDATION WALL. SEE STRUCTURAL DWGS.
 - FOUNDATION REPAIR. SEE STRUCTURAL DWGS.
 - BUILD UP FOUNDATION WALL WITH CMU TO UNDERSIDE OF SUBFLOOR. SEE STRUCTURAL DWGS.
 - BRICK REPAIR AT JAMBS. SEE STRUCTURAL DWGS.
 - INFILL COAL CHUTE AT T.O. FOUNDATION WALL. SEE STRUCTURAL DWGS.
 - KEY IN REPLACEMENT CAST STONE LINTEL. SEE STRUCTURAL DWGS.

- NEW LINTEL AT NEW OPENING IN MASONRY WALL FOR HVAC DUCT. SEE STRUCTURAL & MECH DWGS.
- NEW CONTINUOUS STEEL PIPE HANDRAIL. SEE DTL 2/AS.00.
- NEW STEEL GUARDRAIL. SEE DTL 2/AS.00.
- EXG STEEL STRUCTURE TO REMAIN. SEE STRUCTURAL DWGS.
- NEW METAL BRUEEWAY GATE - SEE DOOR SCHEDULE.
- NEW STEEL BEAM. SEE STRUCTURAL DWGS.
- REPAIR/RELOCATE EXG VERTICAL DECORATIVE PANEL AS REQ'D.
- NEW STEEL COLUMN. SEE STRUCTURAL DWGS.
- NEW BLACK METAL PICKET FENCE. B.O.D. = BETAFENCE "UPGRADE" STEEL FENCE, 6" Ø TALL, 3 RAIL, W/ SUMMIT PICKETS AND STANDARD BOTTOM. COORD. FINAL SPEC W/ ARCHITECT. SEE CIVIL FOR TOTAL SCOPE BETWEEN 1732-34 VINE AND 1726-1730 VINE / 1675 HAMER.
- WOOD, PLASTICS, AND COMPOSITES REPAIR DAMAGED PIECES OF WOOD STAIRS.
 - TREADS & RISERS
 - BALLUSTRADE
 - ADD TREADS/RISERS PER PLAN.
 - RELOCATE EXG STAIR STRINGERS/TREADS/RISERS WESTWARD.
 - SEE STRUCTURAL DWGS FOR REINFORCEMENT OF STAIR OPENING.
- NEW INTERIOR WOOD STAIR. TREAD DEPTH PER PLANS. RISER HEIGHT = 7" MAX. PROVIDE 9"Ø CLEAR HEAD HEIGHT.
- NEW FLOOR FRAMING - SEE STRUCT DWGS.
- NEW CASED OPENING IF APPLICABLE, JAMB EXTENSIONS TO MATCH DEPTH OF OPENING. SEE FINISH SCHEDULE FOR TRIM SIZES.
 - MATCH HEIGHT TO ADJACENT DOOR HEADS.
 - MATCH HEIGHT TO ADJACENT TRANSOM HEADS.
 - NEW EXTERIOR STAIR. SEE SHEET A3.00.
 - HISTORIC INTERIOR MANTEL TRIM.
 - RETAIN & REPAIR.
 - MANTEL FROM ADJACENT TO BE INSTALLED AT THIS LOCATION.
 - RETAIN & REPAIR STOREFRONT ELEMENTS. MATCH EXG IF ANY REMAINS. SEE EXTERIOR ELEVATIONS.

- BASE.
- BULKHEAD.
- FRAMING.
- GLAZING.
- NEW PAINTED CEMENT FIBERBOARD RAKE TRIM & GUTTERBOARD - SEE ELEVATIONS.
- NEW PAINTED CEMENT FIBERBOARD BAND BOARD, 1X8.
- NEW COLUMN PER STRUCTURAL DWGS.
- NEW WOOD SCREEN AT STAIR. SEE SHEET A3.00.
- EXG CORNICHE TO REMAIN. REPAIR AS REQ'D.
- NEW PAINTED CEMENT FIBERBOARD SIDING INFILL FLOOR OPENING PER STRUCTURAL DWGS. NEW FACE 7.9 OF GYP CEILING TO BE RECESSED 1" FROM ADJACENT CEILING. PER SHPO REQUEST.
- EXG HISTORIC DOOR IN EXG OPENING TO BE FIXED TO DOOR SCHEDULE. IF EXG DOOR DAMAGED, REPLACE WITH OTHER EXG HISTORIC DOOR SALVAGED FROM OTHER PART OF BUILDING.
- PROVIDE NEW FLUSH ALUMINUM FLOOR ACCESS PANEL (24"X30" MIN).
- NEW STOREFRONT CONSTRUCTION. SEE EXTERIOR ELEVATIONS AND STOREFRONT DETAIL SHEET A6.13.
 - INTO EXISTING SEWER SYSTEM. NEW PVC AT LOWER 6"Ø DOWNSPOUT. PAINT TO MATCH DOWNSPOUT.
 - PROVIDE EXTENSION TO ADJACENT ROOF.
 - NEW RECTANGULAR-PROFILE ALUMINUM GUTTER. SEE EXTERIOR ELEVATIONS AND STAIR DETAILS SHEET A3.00.
 - NEW SLATE GRAY ROOF SHINGLES. B.O.D. OWENS CORNING TRIU DEFINITION DURATION SHINGLES. WITH 30 YEAR MIN. WARRANTY. PROVIDE ICE AND WATER SHIELD WHERE REQUIRED.
 - NEW FULLY ADHERED WHITE TPO MEMBRANE ROOF W/ CRICKETS WHERE REQUIRED FOR POSITIVE DRAINAGE AND TERMINATION BARS & METAL COUNTERFLASHING - SEE
- ROOF DETAILS INSULATION PER SCHEDULE. B.O.D. = 60 MIL WHITE TPO FULLY ADHERED ROOF SYSTEM, 20 YEAR WARRANTY, BY CARLISLE SYNTec, CARLISLE, PA, OR EQUIVALENT.
- NEW ROOF ACCESS HATCH. INSTALL PER MANUF'S INSTRUCTS. BASIS OF DESIGN = BILCO ES07B, 36"X36" SEE STRUCTURAL DWGS FOR OPENING FRAMING.
- PROVIDE 10 MIL POLYETHYLENE CLASS I VAPOR BARRIER AT FLOOR OF CRAWL SPACE. OVERLAP SEAMS. TURN UP WALL TO UNDERSIDE OF JOISTS - ATTACH TO WALL EDGE WITH TERMINATION BAR.
- NEW DARK BRONZE ALUM CAP @ CHIMNEY.

- FINISHES
 - NOT USED.
 - FIRE-RATING TO BE CONTINUOUS BEHIND PLUMBING/CHASE/ FURRING WALL. FIRE RATING TO BE CONTINUOUS AT INTERSECTION W/ NON-RATED WALL.
 - EXG WAINCOT - CAREFULLY REMOVE AND REINSTALL OVER NEW FURRED WALL.
- SPECIALTIES
 - GROUND-MOUNTED MAILBOXES, LOCKABLE. BOXES TO MEET UPS-4C STANDARDS & ACCESSIBILITY REQUIREMENTS.
 - NOT USED.
 - ENTRY SYSTEM CALLBOX B.O.D. = "2N ACCESS CONTROL" PARTIAL HEIGHT WALL - SEE DTL 4/AS.00.
 - CLOSETS W/ BLOCKING AT RODS & BRACKETS.
 - TYP ENCLOSED CLOSET, 12" DEEP MELAMINE SHELF & CLOTHES ROD AT 66" AFF. TYP UNO.
 - ABOVE WID.
 - ADJUSTABLE SHELVES ON STANDARD MOUNT.
 - PROVIDE DRAIN PAN BENEATH WASHING MACHINE/ WATER HEATER. SEE PLUMBING DWGS.
 - PROVIDE "NO SMOKING" SIGN AT EXTERIOR WALL.
 - NOT USED.
 - SHOWER NICHE. SEE ENLARGED PLANS, INTERIOR ELEVATIONS AND DETAIL 1/AS.00.
 - APPROXIMATE LOCATION OF CHASE WALL FOR PLUMBING AND MECH VENTILATION RISERS. WRAP IN GYP BD AS REQ'D. SEE PLUMBING AND MECH DWGS.
 - PROVIDE BLOCKING FOR WALL-MOUNTED CHANGING STATION. SEE INTERIOR ELEVATIONS.
 - FIRE EXTINGUISHER. COORDINATE FINAL LOCATION WITH LOCAL FIRE MARSHAL.
 - SURFACE MOUNTED.
 - IN SINK CABINET IN RESIDENTIAL UNIT. TYPICAL EXG PLANS FOR ORIGINAL LOCATION.
 - NEW 2HR FIRE-RATED SHAFT FOR 18" DUCT. PROVIDE "CH" CHANNELS 6" WIDE. SEE STRUCTURAL DWGS.
 - PROVIDE COUNTERTOP SUPPORT BRACKET AT 21"

- FIRE SUPPRESSION
 - APPROX LOCATION OF FDC CONNECTION - COORDINATE W/ FIRE DEPT.
 - SPRINKLER RISER. SEE PLUMBING DWGS.
 - PROVIDE 2-HR FIRE-RATING AT STRUCTURE. SEE SHEET A6.02.
 - PROVIDE 2-HR FIRE-RATING AT BASE OF COLUMN AT TOP CONCRETE FIBR. SEE SHEET A6.02.
 - PROVIDE WATERFLOW ALARM DEVICE. CONFIRM LOCATION WITH BUILDING INSPECTOR AND FIRE DEPARTMENT. COORDINATE WITH ELECTRICAL AND FIRE SUPPRESSION CONTRACTOR.
- PLUMBING
 - PROVIDE RADON RISER, AS REQUIRED BY OWNER'S CONSULTANT. RISER TO EXTEND FROM BASEMENT TO ATTIC. SEE CONSULTANT DESIGN FOR LOCATIONS OF RISERS. SEE NOTE 3.2. COORDINATE WITH PLUMBING, PLUMBING CHASE (OR WALL) - VERIFY LOCATIONS IN FIELD TO ALIGN CONCEALMENT BETWEEN FLOORS.
 - NEW HOSE BIB LOCATION. SEE PLUMBING.
- HEATING, VENTILATING, AND AIR CONDITIONING
 - MECHANICAL UNITS - WALLING PADS TO & AROUND EQUIPMENT. GUARDRAIL REQUIRED IF EQUIPMENT <10" FROM ROOF EDGE. PROVIDE OVER-FRAMED PLATFORM PER 1/AS.00. SEE HVAC. SEE STRUCTURAL DWGS. SOUND ISOLATE MECHANICAL PLATFORM AND PROVIDE SOUND ISOLATION PADS AT BASE OF MECHANICAL UNITS. USE MANUFACTURER'S INSTALLATION INSTRUCTIONS TO CONFIRM CLEARANCES.
 - PROVIDE NEW VENT WITH OPERABLE DAMPERS. SUN OF VENTILATION AREA SERVING CRAWL SPACE TO BE 72" MIN. PER 1203.42, EX. 2 OF OBC 2017.
 - FUTURE KITCHEN HOOD EXHAUST WALL-HUNG MECHANICAL UNIT. SEE STRUCTURAL DWGS. SEE HVAC. USE MANUFACTURER'S INSTALLATION

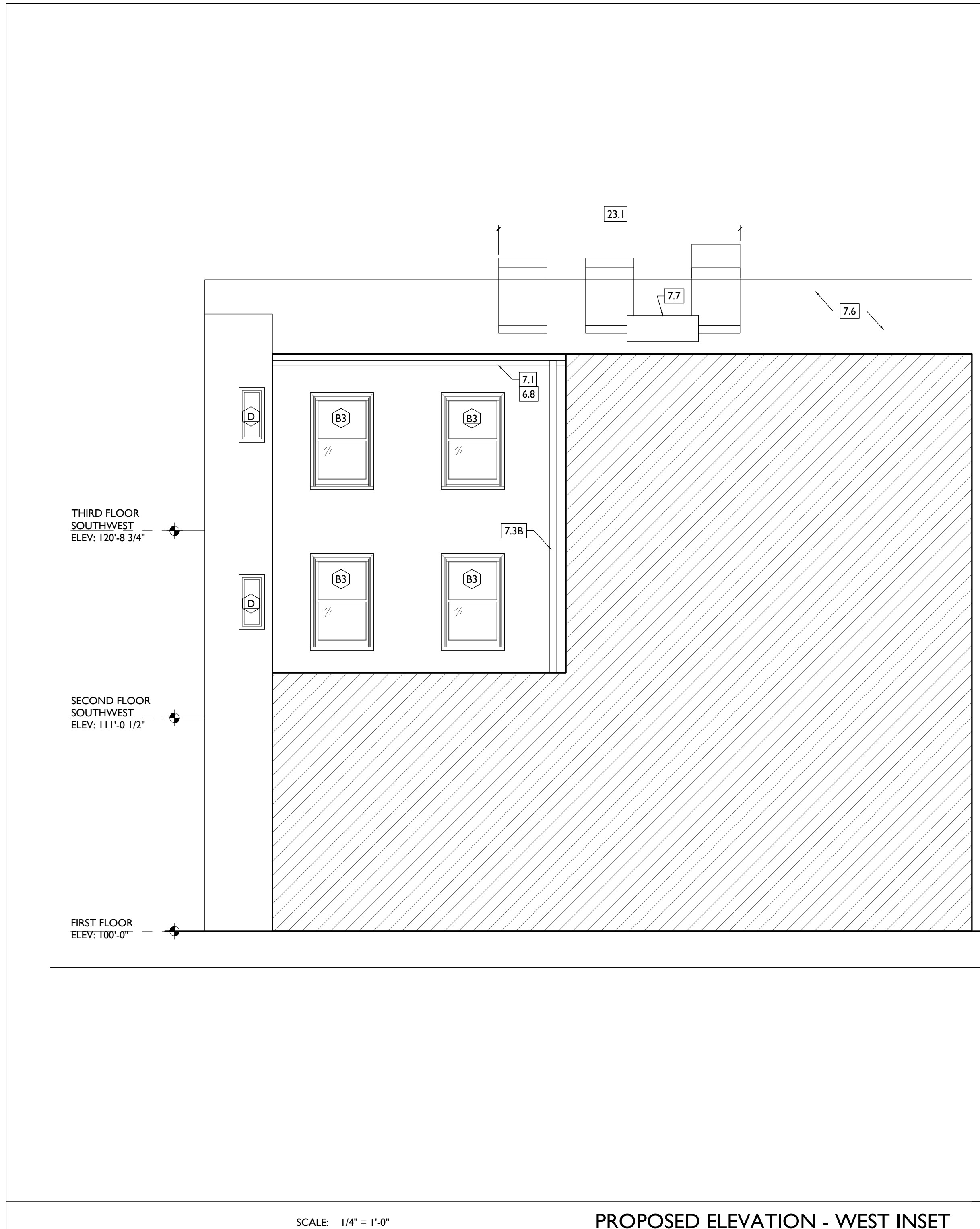
NEW WORK GRAPHIC KEY:

- PARTITION TYPE - SEE A6.00
- KEYNOTE
- EXISTING WALL
- NEW PARTITION WALL
- NEW MASONRY WALL
- OBJECT OVERHEAD
- 1-HR FIRE RATING
- 2-HR FIRE RATING
- NEW FLOOR & FRAMING TO MATCH ADJ - SEE STRUCT DWGS.
- NEW GYP BD SOFFIT/ BULKHEAD/ DROPPED CLG - SEE RCPS.
- AREA OF ATYPICAL FIRE-RATED ASSEMBLY ABOVE. SEE A6.01 & A6.01.
- AREA OF TUCKPOINTING - SEE ELEV & STRUCT DWGS.
- DOOR TAG. SEE SCHEDULE / A6.10-13.
- WINDOW DESIGNATION. SEE A6.20-25.
- STOREFRONT DESIGNATION. SEE A6.13.
- EMERGENCY EGRESS EXIT.
- OPG CONTAINS SAFETY GLAZING.
- SINGLE HUNG OPG - UPPER SASH TO BE FIXED WITHIN 3'-0" OF EXHAUST.
- ELEVATION TAG.

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Progress Dates
Revisions
Design Team:
Drawn by:



SCALE: 1/4" = 1'-0" PROPOSED ELEVATION - WEST INSET |



SCALE: 1/4" = 1'-0" PROPOSED ELEVATION - WEST |

NOT FOR CONSTRUCTION

PROPOSED PROJECT
Job No: 08/30/2024

A2.10

NEW WORK PLANS & ELEVATIONS # KEYED NOTES:

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 - HISTORIC EXTERIOR WALLS TO RECEIVE FURRING - CAREFULLY REMOVE EXG HISTORIC INTERIOR TRIM, REPAIR, AND REINSTALL ON NEWLY-FURRED OUT WALLS TO PRESERVE HISTORIC APPEARANCE.
 - HISTORIC INTERIOR WALLS - PRESERVE, REPAIR, AND PATCH HISTORIC TRIM AT EXG HISTORIC INTERIOR WALLS AND DOOR OPENINGS.
- 3. CONCRETE**
- SLAB TO REMAIN. SCOPE & VERIFY FLOOR DRAINS CONNECT TO SEWER. REPAIR AS REQUIRED.
 - NEW CONCRETE SLAB W/ NEW FLOOR DRAINS PER PLUMBING DRAWINGS. SLOPE 1/4" / 12" MIN TO DRAIN. CONTROL JOINTS PER STRUCTURAL DWG.
 - VAPOR MITIGATION SYSTEM BELOW SLAB, AS REQUIRED BY OWNER'S CONSULTANT. SEE CONSULTANT DESIGN FOR SYSTEM DETAILS AND LOCATIONS OF VERTICAL VENTS. SEE NOTE 22.1.
 - NEW CONCRETE SLOPED ENTRY. SEE STRUCTURAL DWGS.
 - NEW CONCRETE (STEPS), MAX RISE 7", MIN TREAD 11". SEE CIVIL DETAILS.
 - PROVIDE CONCRETE POUR-THROUGH AT SILL THRESHOLD.
 - NEW CONCRETE SLAB ON GRADE. SLOPE 1:20 MAX. SEE CIVIL DRAWINGS.
 - EXG CONCRETE STAR TO REMAIN.
 - NEW FOOTINGS FOR COLUMNS. SEE STRUCTURAL DWGS.
 - NEW STRIP FOOTINGS FOR BEARING WALL. SEE STRUCTURAL DWGS.
- 4. MASONRY**
- NEW OR EXPANDED OPENING IN EXG MASONRY WALL (SEE STRUCTURAL DWGS). TOOTH OUT AND KEY IN BRICK AS REQ'D TO PROVIDE EXPOSED BRICK RETURNS. PROVIDE NEW STEEL LINTEL. SEE STRUCTURAL DWGS.
 - NEW WINDOW OPENING IN PREVIOUSLY INFILLED OPENING. PROVIDE NEW CAST STONE SILL, TOOTH OUT

- AND KEY IN BRICK AT JAMBS TO MATCH ADJACENT. USE EXG STONE LINTEL. SEE STRUCTURAL DWGS.
- EXG MASONRY OPENING TO BE INFILLED W/ BRICK TO MATCH EXG HISTORIC. INSET NEW BRICK 1" BACK FROM FACE OF ADJACENT WALL. SEE DETAIL 13A/30.0.
- BRICK TO BE LEFT EXPOSED. SCRAPE LOOSE PAINT, CLEAN, AND REPAIR. INFLILL LOWER OPENING WITH BRICK TO MATCH EXISTING HISTORIC ADJACENT. INSERT NEW BRICK 1" BACK FROM FACE OF ADJACENT WALL. PROVIDE NEW CAST STONE SILL, TOOTH OUT & KEY IN BRICK AS REQ'D TO REPAIR JAMBS. ALLOW BRICK RETURN, AND ALLOW NEW SILL TO BE INSERTED AT SAME A.F.F. ELEVATION AS ADJACENT WINDOWS. UNO. SEE DETAIL 23A/5.00.
- REPLACE DAMAGED/MISSING BRICK AS SHOWN ON EXTERIOR ELEVATIONS & PER SHPO NARRATIVE.
- NEW CAST STONE SILL/THRESHOLD.
- PARKING:
 - REMOVE LOOSE AND/OR CRACKED AS SHOWN ON THE ELEVATIONS & REPAIR TO MATCH FINISH OF EXG PARKING.
 - ADD NEW PARKING IN AREAS ON SHOWN ON EXTERIOR ELEVATIONS - MATCH FINISH OF EXISTING PARKING.
- EXPOSED BRICK JAMB, TOOTH IN BRICK TO MATCH ADJACENT BRICK.
- REPAIR DAMAGED MASONRY AT BASE OF WALL. SEE STRUCTURAL.
- EXG CHIMNEY TO REMAIN - REPOINT AND REPAIR AS REQ'D.
- INFILL EXG OPENING SALVAGED BRICK AND STUD BACKUP WALL PER WALL TYPE SHOWN IN PLAN, TOOTH OUT AND KEY IN BRICK FOR SEAMLESS EXTERIOR APPEARANCE.
- REPLACE BRICK & MORTAR TO MATCH EXG.
- NEW CMU FOUNDATION WALL. SEE STRUCTURAL DWGS.
- FOUNDATION REPAIR. SEE STRUCTURAL DWGS.
- BUILD UP FOUNDATION WALL WITH CMU TO UNDERSIDE OF SUBFLOOR. SEE STRUCTURAL DWGS.
- BRICK REPAIR AT JAMBS. SEE STRUCTURAL DWGS.
- INFILL LOCAL CHUTE AT T.O. FOUNDATION WALL. SEE STRUCTURAL DWGS.
- KEY IN REPLACEMENT CAST STONE LINTEL. SEE STRUCTURAL DWGS.

- NEW LINTEL AT NEW OPENING IN MASONRY WALL FOR HVAC DUCT. SEE STRUCTURAL & MECH DWGS.
 - NEW CONTINUOUS STEEL PIPE HANDRAIL. SEE DTL 21A/5.00.
 - NEW STEEL GUARDRAIL. SEE DTL 21A/5.00.
 - EXG STEEL STRUCTURE TO REMAIN. SEE STRUCTURAL DWGS.
 - NEW METAL BREEZEWAY GATE. SEE DOOR SCHEDULE.
 - NEW STEEL BEAM. SEE STRUCTURAL DWGS.
 - REPAIR/RELOCATE EXG VERTICAL DECORATIVE PANEL AS REQ'D.
 - NEW STEEL COLUMN. SEE STRUCTURAL DWGS.
 - NEW BLACK METAL PICKET FENCE. B.O.D. = BETA FENCE "UPGRADE" STEEL FENCE. 6'-0" TALL, 3 RAIL, W/ SUMMIT PICKETS AND STANDARD BOTTOM. COORD. FINAL SPEC W/ ARCHITECT. SEE CIVIL FOR TOTAL SCOPE BETWEEN 1732-34 VINE AND 1726-1730 VINE / 1675 HAMER.
- 6. WOOD, PLASTICS, AND COMPOSITES**
- REPAIR DAMAGED PIECES OF WOOD STAIRS.
 - TREADS/RISSERS.
 - BALLUSTRADE.
 - ADD TREADS/RISSERS PER PLAN.
 - RELOCATE EXG STAR STRINGERS/TREADS/RISSERS WESTWARD.
 - SEE STRUCTURAL DWGS FOR REINFORCEMENT OF STAR OPENING.
 - NEW INTERIOR WOOD STAIR. TREAD DEPTH PER PLANS. RISER HEIGHT = 7" MAX. PROVIDE 9"-8" CLEAR HEAD HEIGHT.
 - NEW FLOOR FRAMING - SEE STRUCT DWGS.
 - NEW CASED OPENING IF APPLICABLE. JAMB EXTENSIONS TO MATCH DEPTH OF OPENING. SEE FINISH SCHEDULE FOR TRIM SIZES.
 - MATCH HEIGHT TO ADJACENT DOOR HEADS.
 - MATCH HEIGHT TO ADJACENT TRANSOM HEADS.
 - NEW EXTERIOR STAIR. SEE SHEET A3.00.
 - HISTORIC INTERIOR MANTLE TRIM.
 - RETAIN & REPAIR.
 - MANTLE FROM ADJACENT TO BE INSTALLED AT THIS LOCATION.
 - RETAIN & REPAIR STOREFRONT ELEMENTS. MATCH EXG IF ANY REMAINS. SEE EXTERIOR ELEVATIONS.

- 7. THERMAL AND MOISTURE PROTECTION**
- NEW PRE-FINISHED K-STYLE ALUMINUM GUTTER. SEE EXTERIOR ELEVATIONS.
 - REPAIR AND RELINE EXG BOX GUTTER. NEW PRE-FINISHED ALUMINUM DOWNSPOUT.
 - NEW ROUND ALUMINUM DOWNSPOUT PAINTED TO MATCH ADJACENT WALL SURFACE. SEE EXTERIOR ELEVATIONS.
 - TIE INTO EXISTING SEWER SYSTEM. NEW PVC AT LOWER 6" OF DOWNSPOUT. PAINT TO MATCH DOWNSPOUT.
 - PROVIDE EXTENSION TO ADJACENT ROOF.
 - PROVIDE EXTENSION TO ADJACENT ROOF.
 - NEW RECTANGULAR-PROFILE ALUMINUM GUTTER. SEE EXTERIOR ELEVATIONS AND STAR DETAILS SHEET A3.00.
 - NEW SLATE GRAY ROOF SHINGLES. B.O.D. OWENS CORNING TRIU DEFINITION DURATION SHINGLES. WITH 30 YEAR MIN. WARRANTY. PROVIDE ICE AND WATER SHIELD WHERE REQUIRED.
 - NEW FULLY ADHERED WHITE TPO MEMBRANE ROOF W/ CRICKETS WHERE REQUIRED FOR POSITIVE DRAINAGE AND TERMINATION BARS & METAL COUNTERFLASHING - SEE

- ROOF DETAILS INSULATION PER SCHEDULE B.O.D. - 60 MIL WHITE TPO FULLY ADHERED ROOF SYSTEM, 20 YEAR WARRANTY, BY CARLISLE SYNTEC, CARLISLE, PA, OR EQUIVALENT.
 - NEW ROOF ACCESS HATCH. INSTALL PER MANUF'S INSTRUCTIONS. BASIS OF DESIGN = BILCO ES07B, 36"x36". SEE STRUCTURAL DWGS FOR OPENING FRAMING.
 - PROVIDE 10 MIL POLYETHYLENE CLASS 1 VAPOR BARRIER AT FLOOR OF CRAWL SPACE. OVERLAP SEAMS. TURN UP WALL TO UNDERSIDE OF JOISTS - ATTACH TO WALL EDGE WITH TERMINATION BAR.
 - NEW DARK BRONZE ALUM CAP @ CHIMNEY.

8. OPENINGS

 - EXG HISTORIC DOOR IN EXG OPENING TO BE FIXED CLOSED. SEE DOOR SCHEDULE. IF EXG DOOR DAMAGED, REPLACE WITH OTHER EXG HISTORIC DOOR SALVAGED FROM OTHER PART OF BUILDING.
 - PROVIDE NEW FLUSH ALUMINUM FLOOR ACCESS PANEL.
 - NEW STOREFRONT CONSTRUCTION. SEE EXTERIOR ELEVATIONS AND STOREFRONT DETAIL SHEET A6.13.
 - BULKHEAD.
 - SIGNAGE BOARD.
 - PROVIDE NEW ATTIC ACCESS PANEL (27"x30" MIN) ADHERE RIGID INSULATION TO BACK OF ATTIC HATCH PANEL TO MATCH R-V-VALUE OF FLOOR-CEILING ASSEMBLY CIP. 80. RETURN AT JAMB.
 - THIS DOOR IS A RELOCATED HISTORIC DOOR. SEE EXG DENONATION PLANS FOR ORIGINAL LOCATION & DOOR SCHEDULE FOR MORE INFORMATION.
 - RELOCATED HISTORIC TRIM INSTALLED IN THIS LOCATION. SEE EXG PLANS FOR ORIGINAL LOCATION.
 - NEW EXTERIOR BUILDING ENTRY DOOR AND FRAME - SEE DOOR SCHEDULE.

- PROVIDE NEW WALL ACCESS PANEL FOR CRAWL SPACE. CONTRACTOR TO FIELD VERIFY HEIGHT OF PANEL SILL TO MAKE SURE ACCESS POINT IS ABOVE FLOOR OF CRAWL SPACE.
 - NOT USED.
 - FIRE-RATING TO BE CONTINUOUS BEHIND PLUMBING/CHASE/ FURRING WALL. FIRE RATING TO BE CONTINUOUS AT INTERSECTION W/ NON-RATED WALL.
 - EXG WAINSCOT - CAREFULLY REMOVE AND REINSTALL OVER NEW FURRED WALL.
- 9. FINISHES**
- NOT USED.
 - GROUND-MOUNTED MAILBOXES, LOCKABLE. BOXES TO MEET UPS-4C STANDARDS & ACCESSIBILITY REQUIREMENTS.
 - NOT USED.
 - ENTRY SYSTEM CALLBOX B.O.D. = "2N ACCESS CONTROL" PARTIAL HEIGHT WALL - SEE DTL 41A/5.00.
 - CLOSETS W/ BLOCKING AT RODS & BRACKETS.
 - TYP ENCLOSED CLOSET, 12" DEEP MELAMINE SHELF & CLOTHES ROD AT 66" AFF. TYP UNO.
 - ABOVE WID.
 - ADJUSTABLE SHELVES ON STANDARD MOUNT.
 - PROVIDE DRAIN PAN BENEATH WASHING MACHINE/ WATER HEATER. SEE PLUMBING DWGS.
 - PROVIDE "NO SHOKING" SIGN AT EXTERIOR WALL.
 - NOT USED.
 - SHOWER NICHE. SEE ENLARGED PLANS, INTERIOR ELEVATIONS AND DETAIL 11A/5.00.
 - APPROXIMATE LOCATION OF CHASE WALL FOR PLUMBING AND MECH VENTILATION RISERS. WRAP IN GYP BD AS REQ'D. SEE PLUMBING AND MECH DWGS.
 - PROVIDE BLOCKING FOR WALL-MOUNTED CHANGING STATION. SEE INTERIOR ELEVATIONS.
 - FIRE EXTINGUISHER. COORDINATE FINAL LOCATION WITH LOCAL FIRE MARSHAL.
 - SURFACE MOUNTED.
 - NEW 2HR FIRE-RATED SHAFT FOR 18" DUCT. PROVIDE "CH" CHANNELS 6" WIDE. SEE STRUCTURAL DWGS.
 - NEW EXTERIOR COUNTERTOP SUPPORT BRACKET AT 21"

- OVERHANG. B.O.D. = "THE ORIGINAL GRANITE BRACKET - T BRACE COUNTERTOP SUPPORT BRACKET, 20" LENGTH" HATCHED AREA SHOWS APPROXIMATE LOCATION OF NEW FIXED ROOF WALKWAY PADS.
- 21. FIRE SUPPRESSION**
- APPROX LOCATION OF FDC CONNECTION - COORDINATE W/ FIRE DEPT.
 - SPRINKLER RISER. SEE PLUMBING DWGS.
 - PROVIDE 2-HR FIRE-RATING AT STRUCTURE. SEE SHEET A6.02.
 - PROVIDE 2-HR FIRE-RATING AT BASE OF COLUMN AT TOP CONCRETE PERK. SEE SHEET A6.02.
 - PROVIDE WATERFLOW ALARM DEVICE. CONFIRM LOCATION WITH BUILDING INSPECTOR AND FIRE DEPARTMENT. COORDINATE WITH ELECTRICAL AND FIRE SUPPRESSION CONTRACTOR.
- 22. PLUMBING**
- PROVIDE RADON RISER, AS REQUIRED BY OWNER'S CONSULTANT. RISER TO EXTEND FROM BASEMENT TO ATTIC. SEE CONSULTANT DESIGN FOR LOCATIONS OF RISERS. SEE NOTE 3.2. COORDINATE WITH PLUMBING CONTRACTOR.
 - PLUMBING CHASE (OR WALL) - VERIFY LOCATIONS IN FIELD TO ALIGN CONCEALMENT BETWEEN FLOORS.
 - NEW HOSE BIB LOCATION. SEE PLUMBING.
- 23. HEATING, VENTILATING, AND AIR CONDITIONING**
- MECHANICAL UNITS - WALLING PADS TO & AROUND EQUIPMENT. GUARDRAIL REQUIRED IF EQUIPMENT <10" FROM ROOF EDGE. PROVIDE OVER-FRAMED PLATFORM PER 11A/5.00. SEE HVAC. SEE STRUCTURAL DWGS. SOUND ISOLATION MECHANICAL PLATFORM AND PROVIDE SOUND ISOLATION PADS AT BASE OF MECHANICAL UNITS. USE MANUFACTURER'S INSTALLATION INSTRUCTIONS TO CONFIRM CLEARANCES.
 - PROVIDE NEW VENT WITH OPERABLE DAMPERS. SUN OF VENTILATION AREA SERVING CRAWL SPACE TO BE 72" MIN. PER 1203.42, EX. 2 OF CBC 2017.
 - FUTURE KITCHEN HOOD EXHAUST WALL-HUNG MECHANICAL UNIT. SEE STRUCTURAL DWGS. SEE HVAC. USE MANUFACTURER'S INSTALLATION

- INSTRUCTIONS TO CONFIRM SIDEREAR CLEARANCES.
- 26. ELECTRICAL**
- ELECTRIC PANEL RECESSED IN WALL W/ 30"W X 36"D CLEAR IN FRONT. PAINT TO MATCH ADJACENT WALL W/ FIXED ROOF WALKWAY PADS.
 - APPROPRIATE PAINT TYPE FOR PANEL.
 - NEW EXTERIOR LIGHTING. NO EXPOSED CONDUIT ON FACE OF BUILDING.
- EXTERIOR IMPROVEMENTS**
- NEW W/D FENCE - SEE 16A/5.00 AND CIVIL DWGS.
 - NEW 6'-0" BLACK METAL PICKET FENCE. B.O.D. = "REFERENCE UPGRADE STANDARD" WITH PICKET OR SUMMIT PICKETS. COORD. FINAL SPEC W/ ARCHITECT.

NEW WORK GRAPHIC KEY:

2 PARTITION TYPE - SEE A6.00

4 KEYNOTE

EXISTING WALL

NEW PARTITION WALL

NEW MASONRY WALL

OBJECT OVERHEAD

1-HR FIRE RATING

2-HR FIRE RATING

NEW FLOOR & FRAMING TO MATCH ADJ - SEE STRUCT DWGS.

NEW GYP BD SOFFIT/ BULKHEAD/ DROPPED CLG - SEE RCPS.

AREA OF ATYPICAL FIRE-RATED ASSEMBLY ABOVE. SEE A6.01 & A6.01.

AREA OF TUCKPOINTING - SEE ELEVS & STRUCT DWGS.

100A DOOR TAG. SEE SCHEDULE / A6.10-13.

A WINDOW DESIGNATION. SEE A6.20-25.

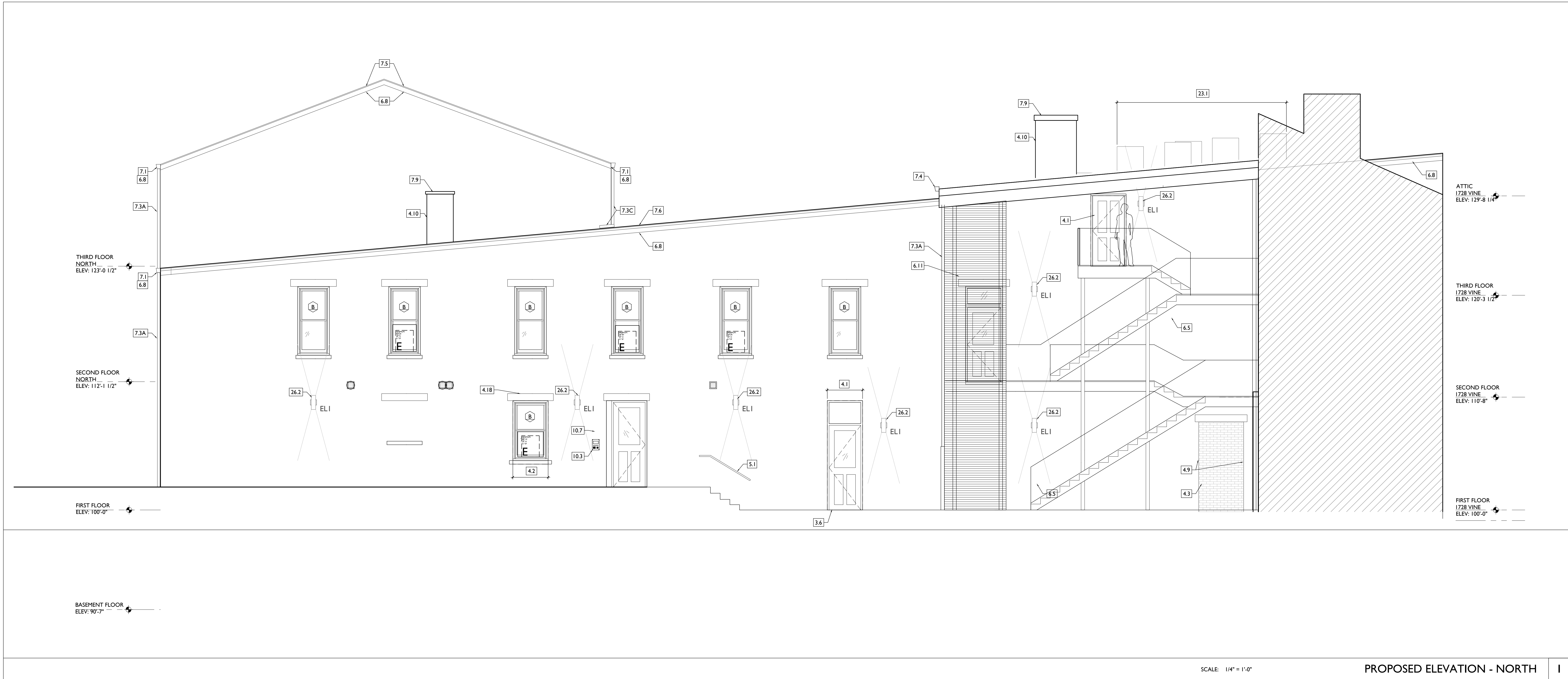
SFA STOREFRONT DESIGNATION. SEE A6.13.

EMERGENCY EGRESS EXIT.

SG OPG CONTAINS SAFETY GLAZING.

SH SINGLE HUNG OPG - UPPER SASH TO BE FIXED WITHIN 3'-0" OF EXHAUST.

4'-X'-X' ELEVATION TAG.



NOT FOR CONSTRUCTION

PROPOSED PROJECT

Job No: 08/30/2024

A2.11

Progress Dates

Revisions

Design Team:

Drawn by:

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PLATTE
 architecture + design

NEW WORK PLANS & ELEVATIONS # KEYED NOTES:

- IMPORTANT #1** HISTORIC TRIM PRESENT IN THIS BUILDING THROUGHOUT THIS BUILDING. HISTORIC TRIM, DOORS, AND WINDOWS ARE PRESENT. PRESERVE HISTORIC ELEMENTS UNLESS AREAS OF MISSING HISTORIC TRIM ON HISTORIC WALLS SHALL BE PATCHED TO MATCH ADJ. HISTORIC TRIM EXACTLY.
- HISTORIC EXTERIOR WALLS TO RECEIVE FURRING. CAREFULLY REMOVE EXG HISTORIC INTERIOR TRIM, REPAIR, AND REINSTALL ON NEWLY-FURRED OUT WALLS TO PRESERVE HISTORIC APPEARANCE.
 - HISTORIC INTERIOR WALLS - PRESERVE, REPAIR, AND PATCH HISTORIC TRIM AT EXG HISTORIC INTERIOR WALLS AND DOOR OPENINGS.
- 3. CONCRETE**
- SLAB TO REMAIN. SCOPE & VERIFY FLOOR DRAINS CONNECT TO SEWER. REPAIR AS REQUIRED.
 - NEW CONCRETE SLAB W/ NEW FLOOR DRAINS PER PLUMBING DRAWINGS. SLOPE 1/4" / 12" MIN TO DRAIN. VAPOR MITIGATION SYSTEM BELOW SLAB AS REQUIRED BY OWNER'S CONSULTANT. SEE CONSULTANT DESIGN FOR SYSTEM DETAILS AND LOCATIONS OF VERTICAL VENTS. SEE NOTE 22.1.
 - NEW CONCRETE SLOPED ENTRY. SEE STRUCTURAL DWGS. NEW CONCRETE (STEPS), MAX RISER 7", MIN TREAD 11". SEE CIVIL DETAILS.
 - PROVIDE CONCRETE POUR-THROUGH AT SILL/THRESHOLD.
 - NEW CONCRETE SLAB ON GRADE. SLOPE 1:20 MAX. SEE CIVIL DRAWINGS.
 - EXG CONCRETE STAIR TO REMAIN.
 - NEW FOOTINGS FOR COLUMNS. SEE STRUCTURAL DWGS.
 - NEW STRIP FOOTINGS FOR BEARING WALL. SEE STRUCTURAL DWGS.
- 4. MASONRY**
- NEW OR EXPANDED OPENING IN EXG MASONRY WALL (SEE STRUCTURAL DWGS). TOOTH OUT AND KEY IN BRICK AS REQ'D TO PROVIDE EXPOSED BRICK RETURNS. PROVIDE NEW STEEL LINTEL. SEE STRUCTURAL DWGS.
 - NEW WINDOW OPENING IN PREVIOUSLY INFILLED OPENING. PROVIDE NEW CAST STONE SILL, TOOTH OUT

- AND KEY IN BRICK AT JAMBS TO MATCH ADJACENT. USE EXG STONE LINTEL. SEE STRUCTURAL DWGS.
- EXG MASONRY OPENING TO BE INFILLED W/ BRICK TO MATCH EXG HISTORIC. INSERT NEW BRICK 1" BACK FROM FACE OF ADJACENT WALL. SEE DETAIL 13A5.00.
- BRICK TO BE LEFT EXPOSED. SCRAPE LOOSE PAINT, CLEAN EXISTING DOORWAY OPENING TO BECOME WINDOW OPENING. INFILL LOWER OPENING WITH BRICK TO MATCH EXISTING HISTORIC ADJACENT - INSERT NEW BRICK 1" BACK FROM FACE OF ADJACENT WALL. PROVIDE NEW CAST STONE SILL, TOOTH OUT & KEY IN BRICK AS REQ'D TO REPAIR JAMBS, ALLOW BRICK RETURN, AND ALLOW NEW SILL TO BE INSERTED AT SAME A.F.F. ELEVATION AS ADJACENT WINDOWS. UNO. SEE DETAIL 23A5.00.
- REPLACE DAMAGED/MISSING BRICK AS SHOWN ON EXTERIOR ELEVATIONS & PER SHPO NARRATIVE.
- NEW CAST STONE SILL/THRESHOLD.
- PARKING:
 - REMOVE LOOSE AND/OR CRACKED AS SHOWN ON THE ELEVATIONS & REPAIR TO MATCH FINISH OF EXG PARKING.
 - ADD NEW PARKING IN AREAS ON SHOWN ON EXTERIOR ELEVATIONS - MATCH FINISH OF EXISTING PARKING.
 - EXPOSED BRICK JAMB, TOOTH IN BRICK TO MATCH ADJACENT BRICK.
 - REPAIR DAMAGED MASONRY AT BASE OF WALL. SEE STRUCTURAL.
 - INFILL EXG OPENING SALVAGED BRICK AND STUD BACKUP WALL PER WALL TYPE SHOWN IN PLAN, TOOTH OUT AND KEY IN BRICK FOR SEAMLESS EXTERIOR APPEARANCE.
 - REPLACEMENT BRICK & MORTAR TO MATCH EXG.
 - NEW CMU FOUNDATION WALL. SEE STRUCTURAL DWGS.
 - FOUNDATION REPAIR. SEE STRUCTURAL DWGS.
 - BUILD UP FOUNDATION WALL WITH CMU TO UNDERSIDE OF SUBFLOOR. SEE STRUCTURAL DWGS.
 - BRICK REPAIR AT JAMBS. SEE STRUCTURAL DWGS.
 - INFILL COAL CHUTE AT T.O. FOUNDATION WALL. SEE STRUCTURAL DWGS.
 - KEY IN REPLACEMENT CAST STONE LINTEL. SEE STRUCTURAL DWGS.

- NEW LINTEL AT NEW OPENING IN MASONRY WALL FOR HVAC DUCT. SEE STRUCTURAL & MECH DWGS.
 - NEW CONTINUOUS STEEL PIPE HANDRAIL. SEE DTL 21A5.00.
 - NEW STEEL GUARDRAIL. SEE DTL 21A5.00.
 - EXG STEEL STRUCTURE TO REMAIN. SEE STRUCTURAL DWGS.
 - NEW METAL BREEZEWAY GATE - SEE DOOR SCHEDULE.
 - NEW STEEL BEAM. SEE STRUCTURAL DWGS.
 - REPAIR/RELOCATE EXG VERTICAL DECORATIVE PANEL AS REQ'D.
 - NEW STEEL COLUMN. SEE STRUCTURAL DWGS.
 - NEW BLACK METAL PICKET FENCE. B.O.D. = REFERENCE "UPGRADE" STEEL FENCE. 6" Ø TALL 3 RAIL W/ SUMMIT PICKETS AND STANDARD BOTTOM. COORD. FINAL SPEC W/ ARCHITECT. SEE CIVIL FOR TOTAL SCOPE BETWEEN 1732-34 VINE AND 1726-1730 VINE / 1675 HAMER.
- 6. WOOD, PLASTICS, AND COMPOSITES**
- TREADS & RISERS
 - BALLUSTRADE
 - ADD TREADS/RISERS PER PLAN.
 - RELOCATE EXG STAR STRINGERS/TREADS/RISERS WESTWARD.
 - SEE STRUCTURAL DWGS FOR REINFORCEMENT OF STAIR OPENING.
 - NEW INTERIOR WOOD STAIR. TREAD DEPTH PER PLANS. RISER HEIGHT = 7" MAX. PROVIDE 9"Ø CLEAR HEAD HEIGHT.
 - NEW FLOOR FRAMING - SEE STRUCT DWGS.
 - NEW CASED OPENING IF APPLICABLE. JAMB EXTENSIONS TO MATCH DEPTH OF OPENING. SEE FINISH SCHEDULE FOR TRIM SIZES.
 - MATCH HEIGHT TO ADJACENT DOOR HEADS.
 - MATCH HEIGHT TO ADJACENT TRANSOM HEADS.
 - NEW EXTERIOR STAIR. SEE SHEET A3.00.
 - HISTORIC INTERIOR MANTEL TRIM.
 - RETAIN & REPAIR.
 - MANTEL FROM ADJACENT TO BE INSTALLED AT THIS LOCATION.
 - RETAIN & REPAIR STOREFRONT ELEMENTS. MATCH EXG IF ANY REMAINS. SEE EXTERIOR ELEVATIONS.

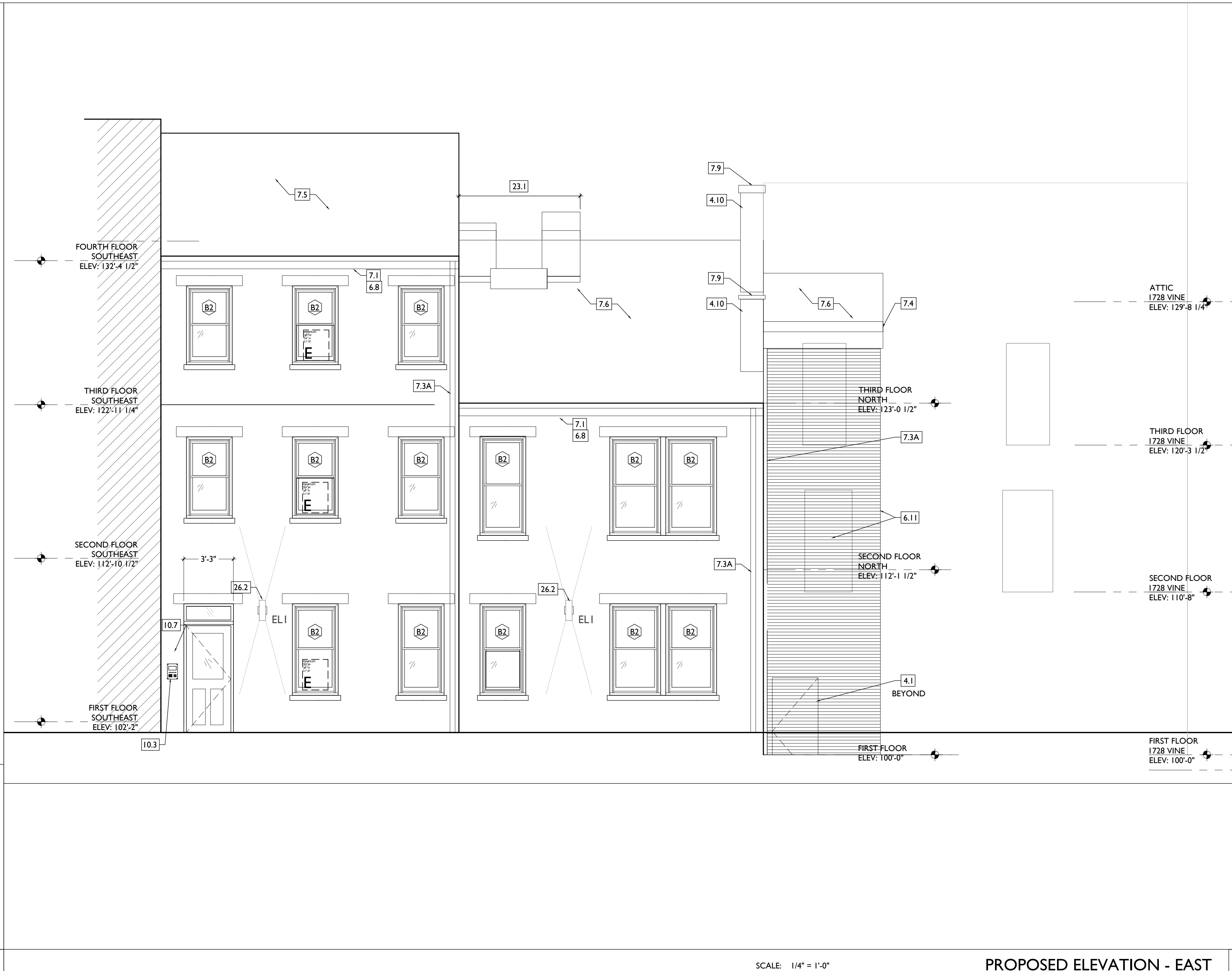
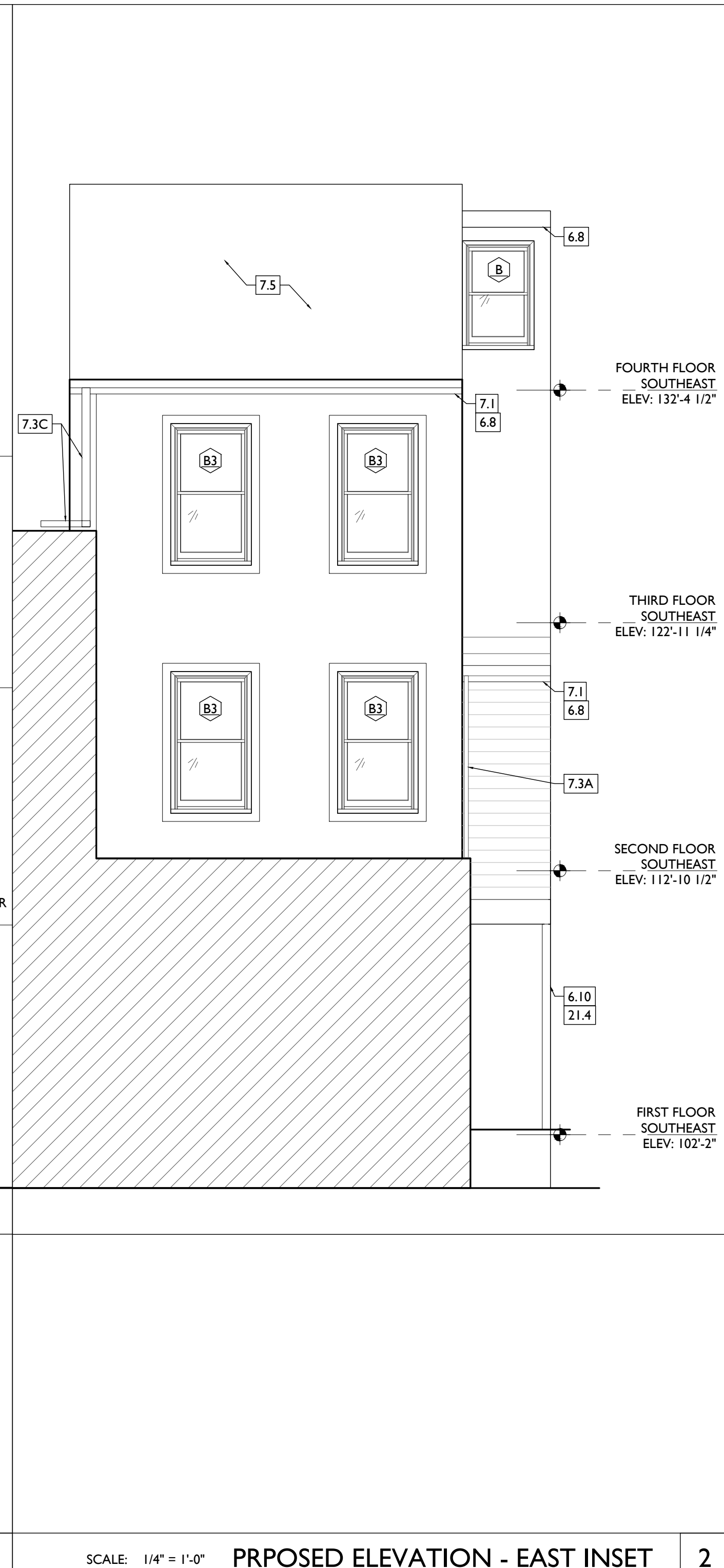
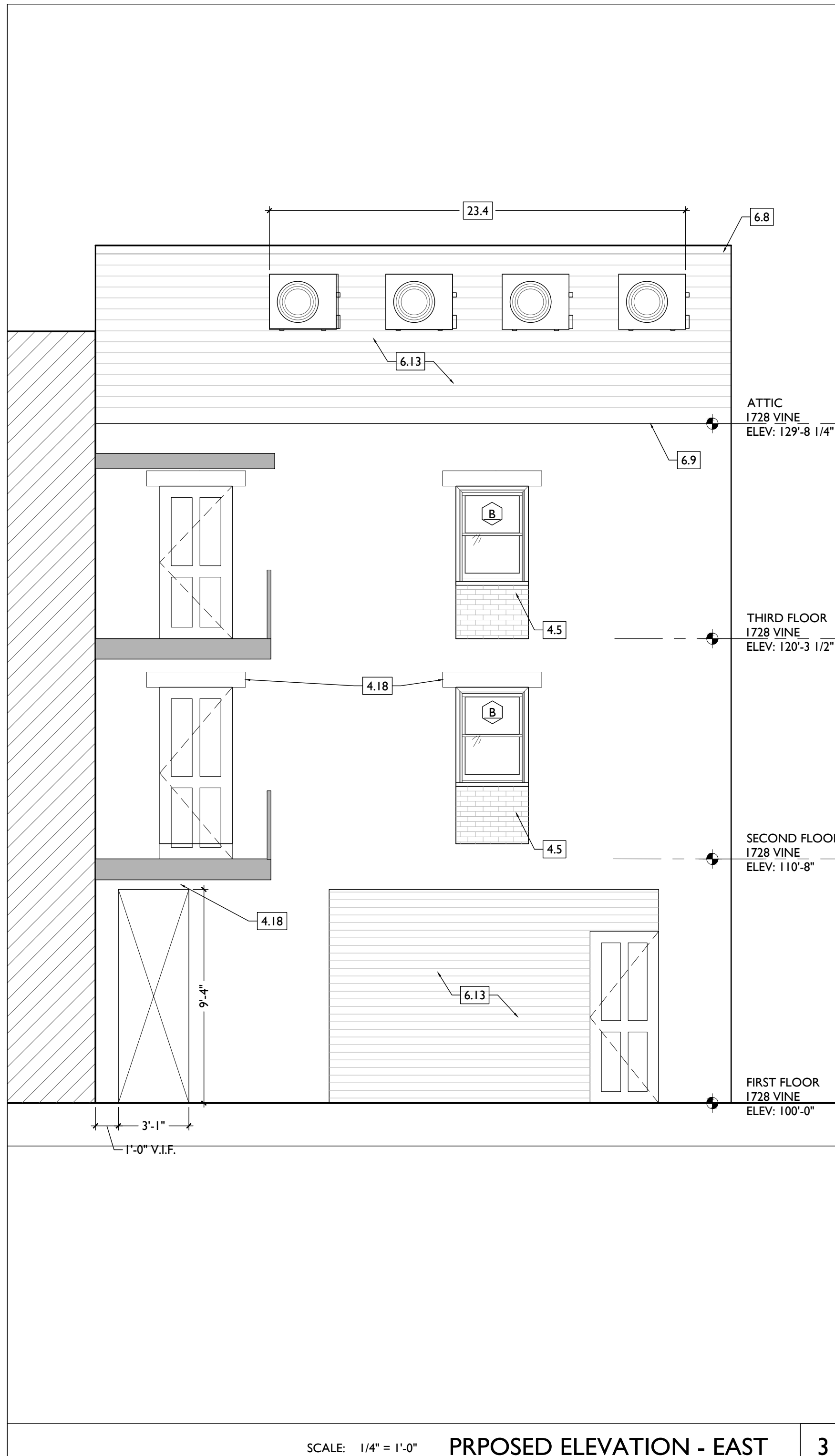
- 7. THERMAL AND MOISTURE PROTECTION**
- NEW PRE-FINISHED K-STYLE ALUMINUM GUTTER. SEE EXTERIOR ELEVATIONS.
 - REPAIR AND RELINE EXG BOX GUTTER. NEW PRE-FINISHED ALUMINUM DOWNSPOUT.
 - NEW ROUND ALUMINUM DOWNSPOUT PAINTED TO MATCH ADJACENT WALL SURFACE. SEE EXTERIOR ELEVATIONS.
 - TIE INTO EXISTING SEWER SYSTEM. NEW PVC AT LOWER 6"Ø DOWNSPOUT. PAINT TO MATCH DOWNSPOUT.
 - PROVIDE EXTENSION TO ADJACENT ROOF.
 - PROVIDE EXTENSION TO ADJACENT ROOF.
 - NEW RECTANGULAR-PROFILE ALUMINUM GUTTER. SEE EXTERIOR ELEVATIONS AND STAIR DETAILS SHEET A3.00.
 - NEW SLATE GRAY ROOF SHINGLES. B.O.D. OWENS CORNING TRI-DURATION DURATION SHINGLES. WITH 30 YEAR MIN. WARRANTY. PROVIDE ICE AND WATER SHIELD WHERE REQUIRED.
 - NEW FULLY ADHERED WHITE TPO MEMBRANE ROOF W/ CRICKETS WHERE REQUIRED FOR POSITIVE DRAINAGE AND TRIM TERMINATION BARS & METAL COUNTERTOP FLASHING - SEE

- 8. OPENINGS**
- EXG HISTORIC DOOR IN EXG OPENING TO BE FIXED CLOSED. SEE DOOR SCHEDULE. IF EXG DOOR DAMAGED, REPLACE WITH OTHER EXG HISTORIC DOOR SALVAGED FROM OTHER PART OF BUILDING.
 - PROVIDE NEW FLUSH ALUMINUM FLOOR ACCESS PANEL (24"x36" MIN).
 - INSTALL NEW CLEAR INSULATED GLAZING IN EXG STOREFRONT FRAMING AND TRANSOM ABOVE ENTRY DOOR. INSTALL NEW DOOR IN EXG ENTRY OPENING - SEE DOOR SCHEDULE.
 - NEW CHASE OPENING IN FLOOR. SEE STRUCTURAL DWGS FOR FRAMING.
 - NOT USED.
 - NEW STOREFRONT CONSTRUCTION. SEE EXTERIOR ELEVATIONS AND STOREFRONT DETAIL SHEET A6.13.
 - BULKHEAD.
 - SIGNAGE BOARD.
 - PROVIDE NEW ATTIC ACCESS PANEL (22"x30" MIN) ADHERE RIGID INSULATION TO BACK OF ATTIC HATCH PANEL TO MATCH R-V-VALUE OF FLOOR-CEILING ASSEMBLY.
 - ØØ. RETURN AT JAMB.
 - THIS DOOR IS A RELOCATED HISTORIC DOOR. SEE EXG DEMOLITION PLANS FOR ORIGINAL LOCATION & DOOR SCHEDULE FOR MORE INFORMATION.
 - RELOCATED HISTORIC TRIM INSTALLED IN THIS LOCATION. SEE EXG PLANS FOR ORIGINAL LOCATION.
 - NEW EXTERIOR BUILDING ENTRY DOOR AND FRAME - SEE DOOR SCHEDULE.

- 9. FINISHES**
- NOT USED.
 - FIRE-RATING TO BE CONTINUOUS BEHIND PLUMBING/CHASE/ FURRING WALL. FIRE RATING TO BE CONTINUOUS AT INTERSECTION W/ NON-RATED WALL.
 - EXG WAINCOT - CAREFULLY REMOVE AND REINSTALL OVER NEW FURRED WALL.
- 10. SPECIALTIES**
- GROUND-MOUNTED MAILBOXES. LOCKABLE. BOXES TO MEET UPS-4C STANDARDS & ACCESSIBILITY REQUIREMENTS.
 - NOT USED.
 - ENTRY SYSTEM CALLBOX B.O.D. = "2N ACCESS CONTROL" PARTIAL HEIGHT WALL - SEE DTL 4A5.00.
 - CLOSETS W/ BLOCKING AT RODS & BRACKETS.
 - TYP. ENCLOSED CLOSET. 12" DEEP MELAMINE SHELF & CLOTHES ROD AT 66" AFF. TYP. UNO.
 - ABOVE WID.
 - ADJUSTABLE SHELVES ON STANDARD MOUNT.
 - PROVIDE DRAIN PAN BENEATH WASHING MACHINE/ WATER HEATER. SEE PLUMBING DWGS.
 - PROVIDE "NO SMOKING" SIGN AT EXTERIOR WALL.
 - NOT USED.
 - SHOWER NICHE. SEE ENLARGED PLANS, INTERIOR ELEVATIONS AND DETAIL 11A5.00.
 - APPROXIMATE LOCATION OF CHASE WALL FOR PLUMBING AND MECH VENT/EXHAUST RISERS. WRAP IN GYP BD AS REQ'D. SEE PLUMBING AND MECH DWGS.
 - PROVIDE BLOCKING FOR WALL-MOUNTED CHANGING STATION. SEE INTERIOR ELEVATIONS.
 - FIRE EXTINGUISHER. COORDINATE FINAL LOCATION WITH LOCAL FIRE MARSHAL.
 - SURFACE MOUNTED.
 - IN SINK CABINET IN RESIDENTIAL UNIT. TYPICAL.
 - NEW 2HR FIRE-RATED SHAFT FOR 18" DUCT. PROVIDE "CH" CHANNELS 6" WIDE. SEE STRUCTURAL DWGS.
 - NEW EXTERIOR COUNTERTOP SUPPORT BRACKET AT 21"

- 11. FIRE SUPPRESSION**
- APPROX LOCATION OF FDC CONNECTION - COORDINATE W/ FIRE DEPT.
 - SPRINKLER RISER. SEE PLUMBING DWGS.
 - PROVIDE 2-HR FIRE-RATING AT STRUCTURE. SEE SHEET A6.02.
 - PROVIDE 2-HR FIRE-RATING AT BASE OF COLUMN AT TOP CONCRETE PER. SEE SHEET A6.02.
 - PROVIDE WATERFLOW ALARM DEVICE. CONFIRM LOCATION WITH BUILDING INSPECTOR AND FIRE DEPARTMENT. COORDINATE WITH ELECTRICAL AND FIRE SUPPRESSION CONTRACTOR.
- 22. PLUMBING**
- PROVIDE RADON RISER, AS REQUIRED BY OWNER'S CONSULTANT. RISER TO EXTEND FROM BASEMENT TO ATTIC. SEE CONSULTANT DESIGN FOR LOCATIONS OF RISERS. SEE NOTE 3.2. COORDINATE WITH PLUMBING, PLUMBING CHASE (OR WALL) - VERIFY LOCATIONS IN FIELD TO ALIGN CONCEALMENT BETWEEN FLOORS.
 - NEW HOSE BIB LOCATION. SEE PLUMBING.
- 23. HEATING, VENTILATING, AND AIR CONDITIONING**
- MECHANICAL UNITS - WALLING PADS TO & AROUND EQUIPMENT. GUARDRAIL REQUIRED IF EQUIPMENT <10" FROM ROOF EDGE. PROVIDE OVER-FRAMED PLATFORM PER 11A5.00. SEE HVAC. SEE STRUCTURAL DWGS. SOUND ISOLATE MECHANICAL PLATFORM AND PROVIDE SOUND ISOLATION PADS AT BASE OF MECHANICAL UNITS. USE MANUFACTURER'S INSTALLATION INSTRUCTIONS TO CONFIRM CLEARANCES.
 - PROVIDE NEW VENT WITH OPERABLE DAMPERS. SUN OF VENTILATION AREA SERVING CRAWL SPACE TO BE 72" MIN. PER 1203.42, EX. 2 OF OBC 2017.
 - FUTURE KITCHEN HOOD EXHAUST WALL-HUNG MECHANICAL UNIT. SEE STRUCTURAL DWGS. SEE HVAC. USE MANUFACTURER'S INSTALLATION

- 26. ELECTRICAL**
- ELECTRIC PANEL RECESSED IN WALL W/ 30"W X 36"D CLEAR IN FRONT. PAINT TO MATCH ADJACENT WALL W/ APPROPRIATE PAINT TYPE FOR PANEL.
 - NEW EXTERIOR LIGHTING. NO EXPOSED CONDUIT ON FACE OF BUILDING.
- EXTERIOR IMPROVEMENTS**
- NEW VFD FENCE - SEE 16A5.00 AND CIVIL DWGS.
 - NEW 6"Ø BLACK METAL PICKET FENCE. B.O.D. = REFERENCE UPGRADE STANDARD. WITH RINNACLE OR SUMMIT PICKETS. COORD. FINAL SPEC W/ ARCHITECT.



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PROPOSED PROJECT

Job No: 08/30/2024

A2.12

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Progress Dates

Revisions

Design Team:

Drawn by:

NEW WORK PLANS & ELEVATIONS # KEYED NOTES:

- IMPORTANT:** HISTORIC TRIM PRESENT IN THIS BUILDING THROUGHOUT THIS BUILDING. HISTORIC TRIM, DOORS, AND WINDOWS ARE PRESENT. PRESERVE HISTORIC ELEMENTS UNLESS AREAS OF MISSING HISTORIC TRIM ON HISTORIC WALLS SHALL BE PATCHED TO MATCH ADJ. HISTORIC TRIM EXACTLY.
- HISTORIC EXTERIOR WALLS TO RECEIVE FURRING - CAREFULLY REMOVE EXG HISTORIC INTERIOR TRIM, REPAIR, AND REINSTALL ON NEWLY-FURRED OUT WALLS TO PRESERVE HISTORIC APPEARANCE.
 - HISTORIC INTERIOR WALLS - PRESERVE, REPAIR, AND PATCH HISTORIC TRIM AT EXG HISTORIC INTERIOR WALLS AND DOOR OPENINGS.
- 3. CONCRETE**
- SLAB TO REMAIN. SCOPE & VERIFY FLOOR DRAINS CONNECT TO SEWER. REPAIR AS REQUIRED.
 - NEW CONCRETE SLAB W/ NEW FLOOR DRAINS PER PLUMBING DRAWINGS. SLOPE 1/4" = 12 MIN TO DRAIN. VAPOR MITIGATION SYSTEM BELOW SLAB AS REQUIRED BY OWNER'S CONSULTANT. SEE CONSULTANT DESIGN FOR SYSTEM DETAILS AND LOCATIONS OF VERTICAL VENTS. SEE NOTE 22.1.
 - NEW CONCRETE SLOPED ENTRY. SEE STRUCTURAL DWGS. NEW CONCRETE (STEPS), MAX RISE 7", MIN TREAD 11". SEE CIVIL DETAILS.
 - PROVIDE CONCRETE POUR-THROUGH AT SILL THRESHOLD. NEW CONCRETE SLAB ON GRADE. SLOPE 1:20 MAX. SEE CIVIL DRAWINGS.
 - EXG CONCRETE STAR TO REMAIN.
 - NEW FOOTINGS FOR COLUMNS. SEE STRUCTURAL DWGS. NEW STRIP FOOTINGS FOR BEARING WALL. SEE STRUCTURAL DWGS.
- 4. MASONRY**
- NEW OR EXPANDED OPENING IN EXG MASONRY WALL (SEE STRUCTURAL DWGS). TOOTH OUT AND KEY IN BRICK AS REQ'D TO PROVIDE EXPOSED BRICK RETURNS. PROVIDE NEW STEEL LINTEL. SEE STRUCTURAL DWGS.
 - NEW WINDOW OPENING IN PREVIOUSLY INFILLED OPENING. PROVIDE NEW CAST STONE SILL, TOOTH OUT

- AND KEY IN BRICK AT JAMBS TO MATCH ADJACENT. USE EXG STONE LINTEL. SEE STRUCTURAL DWGS.
- EXG MASONRY OPENING TO BE INFILLED W/ BRICK TO MATCH EXG HISTORIC. INSERT NEW BRICK 1" BACK FROM FACE OF ADJACENT WALL. SEE DETAIL 13A/5.00.
- BRICK TO BE LEFT EXPOSED. SCRAPE LOOSE PAINT, CLEAN EXISTING DOORWAY OPENING TO BECOME WINDOW OPENING. INFILL LOWER OPENING WITH BRICK TO MATCH EXISTING HISTORIC ADJACENT - INSERT NEW BRICK 1" BACK FROM FACE OF ADJACENT WALL. PROVIDE NEW CAST STONE SILL, TOOTH OUT & KEY IN BRICK AS REQ'D TO REPAIR JAMBS, ALLOW BRICK RETURN, AND ALLOW NEW SILL TO BE INSERTED AT SAME A.F.F. ELEVATION AS ADJACENT WINDOWS. UNO. SEE DETAIL 23A/5.00.
- REPLACE DAMAGED/MISSING BRICK AS SHOWN ON EXTERIOR ELEVATIONS & PER SPO NARRATIVE.
- NEW CAST STONE SILL/THRESHOLD.
- PARQUING:
 - REMOVE LOOSE AND/OR CRACKED AS SHOWN ON THE ELEVATIONS & REPAIR TO MATCH FINISH OF EXG PARKING.
 - ADD NEW PARKING IN AREAS ON SHOWN ON EXTERIOR ELEVATIONS - MATCH FINISH OF EXISTING PARKING.
- EXPOSED BRICK JAMB, TOOTH IN BRICK TO MATCH ADJACENT BRICK.
- EXG CHIMNEY TO REMAIN - REPOINT AND REPAIR AS REQ'D. REPAIR DAMAGED MASONRY AT BASE OF WALL. SEE STRUCTURAL.
- INFILL EXG OPENING SALVAGED BRICK AND STUD BACKUP WALL PER WALL TYPE SHOWN IN PLAN, TOOTH OUT AND KEY IN BRICK FOR SEAMLESS EXTERIOR APPEARANCE.
- NEW CMU FOUNDATION WALL. SEE STRUCTURAL DWGS.
- FOUNDATION REPAIR. SEE STRUCTURAL DWGS.
- BUILD UP FOUNDATION WALL WITH CMU TO UNDERSIDE OF SUBFLOOR. SEE STRUCTURAL DWGS.
- BRICK REPAIR AT JAMBS. SEE STRUCTURAL DWGS.
- INFILL COAL CHUTE AT T.O. FOUNDATION WALL. SEE STRUCTURAL DWGS.
- KEY IN REPLACEMENT CAST STONE LINTEL. SEE STRUCTURAL DWGS.

- NEW LINTEL AT NEW OPENING IN MASONRY WALL FOR HVAC DUCT. SEE STRUCTURAL & MECH DWGS.
- NEW CONTINUOUS STEEL PIPE HANDRAIL. SEE DTL 3/AS.00.
- NEW STEEL GUARDRAIL. SEE DTL 3/AS.00.
- EXG STEEL STRUCTURE TO REMAIN. SEE STRUCTURAL DWGS.
- NEW METAL BREEZEWAY GATE. SEE DOOR SCHEDULE.
- NEW STEEL BEAM. SEE STRUCTURAL DWGS.
- REPAIR/RELOCATE EXG VERTICAL DECORATIVE PANEL AS REQ'D.
- NEW STEEL COLUMN. SEE STRUCTURAL DWGS.
- NEW BLACK METAL PICKET FENCE. B.O.D. = REFERENCE "UPGRADE" STEEL FENCE. 6'-0" TALL, 3 RAIL, W/ SUMMIT PICKETS AND STANDARD BOTTOM. COORD. FINAL SPEC W/ ARCHITECT. SEE CIVIL FOR TOTAL SCOPE BETWEEN 1732-34 VINE AND 1726-1730 VINE / 1675 HAMER.
- WOOD, PLASTICS, AND COMPOSITES
 - TREADS & RISERS
 - BALLUSTRADE
 - ADD TREADS/RISERS PER PLAN.
 - RELOCATE EXG STAR STRINGERS/TREADS/RISERS WESTWARD.
 - SEE STRUCTURAL DWGS FOR REINFORCEMENT OF STAR OPENING.
 - NEW INTERIOR WOOD STAIR. TREAD DEPTH PER PLANS. RISER HEIGHT = 7" MAX. PROVIDE 9"-8" CLEAR HEAD HEIGHT.
 - NEW FLOOR FRAMING - SEE STRUCT DWGS.
 - NEW CASED OPENING IF APPLICABLE. JAMB EXTENSIONS TO MATCH DEPTH OF OPENING. SEE FINISH SCHEDULE FOR TRIM SIZES.
 - MATCH HEIGHT TO ADJACENT DOOR HEADS.
 - MATCH HEIGHT TO ADJACENT TRANSOM HEADS.
 - NEW EXTERIOR STAIR. SEE SHEET A3.00.
 - HISTORIC INTERIOR MANTEL TRIM.
 - RETAIN & REPAIR.
 - MANTEL FROM ADJACENT TO BE INSTALLED AT THIS LOCATION.
 - RETAIN & REPAIR STOREFRONT ELEMENTS. MATCH EXG IF ANY REMAINS. SEE EXTERIOR ELEVATIONS.
- THERMAL AND MOISTURE PROTECTION
 - NEW PRE-FINISHED K-STYLE ALUMINUM GUTTER. SEE EXTERIOR ELEVATIONS.
 - REPAIR AND RELINE EXG BOX GUTTER. NEW PRE-FINISHED ALUMINUM DOWNSPOUT.
 - NEW ROUND ALUMINUM DOWNSPOUT PAINTED TO MATCH ADJACENT WALL SURFACE. SEE EXTERIOR ELEVATIONS.
 - TIE INTO EXISTING SEWER SYSTEM. NEW PVC AT LOWER 6" OF DOWNSPOUT. PAINT TO MATCH DOWNSPOUT.
 - PROVIDE EXTENSION TO LOWER ROOF.
 - PROVIDE EXTENSION TO ADJACENT ROOF.
 - NEW RECTANGULAR-PROFILE ALUMINUM GUTTER. SEE EXTERIOR ELEVATIONS AND STAR DETAILS SHEET A3.00.
 - NEW SLATE GRAY ROOF SHINGLES. B.O.D. OWENS CORNING TRIU DEFINITION DURATION SHINGLES. WITH 30 YEAR MIN. WARRANTY. PROVIDE ICE AND WATER SHIELD WHERE REQUIRED.
 - MANTLE FROM ADJACENT TO BE INSTALLED AT THIS LOCATION.
 - NEW FULLY ADHERED WHITE TPO MEMBRANE ROOF W/ CRICKETS WHERE REQUIRED FOR POSITIVE DRAINAGE AND W/ TERMINATION BARS & METAL COUNTERTOP FLASHING - SEE
- ROOF DETAILS: INSULATION PER SCHEDULE B.O.D. - 60 MIL WHITE TPO FULLY ADHERED ROOF SYSTEM. 20 YEAR WARRANTY. BY CARLISLE SYNTEC, CARLISLE, PA. OR EQUIVALENT.
- NEW ROOF ACCESS HATCH. INSTALL PER MANUF'S INSTRUCTIONS. BASIS OF DESIGN = BILCO ES07B, 36"x36". SEE STRUCTURAL DWGS FOR OPENING FRAMING.
- PROVIDE 10 MIL POLYETHYLENE CLASS 1 VAPOR BARRIER AT FLOOR OF CRAWL SPACE. OVERLAP SEAMS. TURN UP WALL TO UNDERSIDE OF JOISTS - ATTACH TO WALL EDGE WITH TERMINATION BAR.
- NEW DARK BRONZE ALUM CAP @ CHIMNEY.

- 8. OPENINGS**
- EXG HISTORIC DOOR IN EXG OPENING TO BE FIXED CLOSED. SEE DOOR SCHEDULE. IF EXG DOOR DAMAGED, REPLACE WITH OTHER EXG HISTORIC DOOR SALVAGED FROM OTHER PART OF BUILDING.
 - PROVIDE NEW FLUSH ALUMINUM FLOOR ACCESS PANEL.
 - NEW STOREFRONT CONSTRUCTION. SEE EXTERIOR ELEVATIONS AND STOREFRONT DETAIL SHEET A6.13.
 - BULKHEAD.
 - SIGNAGE BOARD.
 - PROVIDE NEW ATTIC ACCESS PANEL (27"x30" MIN) ADHERE RIGID INSULATION TO BACK OF ATTIC HATCH PANEL TO MATCH R-V-VALUE OF FLOOR-CEILING ASSEMBLY.
 - NEW SLATE GRAY ROOF SHINGLES. B.O.D. OWENS CORNING TRIU DEFINITION DURATION SHINGLES. WITH 30 YEAR MIN. WARRANTY. PROVIDE ICE AND WATER SHIELD WHERE REQUIRED.
 - RELOCATED HISTORIC TRIM INSTALLED IN THIS LOCATION. SEE EXG PLANS FOR ORIGINAL LOCATION.
 - NEW EXTERIOR BUILDING ENTRY DOOR AND FRAME - SEE DOOR SCHEDULE.
- 9. FINISHES**
- NOT USED.
 - FIRE-RATING TO BE CONTINUOUS BEHIND PLUMBING/CHASE/ FURRING WALL. FIRE RATING TO BE CONTINUOUS AT INTERSECTION W/ NON-RATED WALL.
 - EXG WAINCOT - CAREFULLY REMOVE AND REINSTALL OVER NEW FURRED WALL.
- 10. SPECIALTIES**
- GROUND-MOUNTED MAILBOXES. LOCKABLE. BOXES TO MEET UPS-4C STANDARDS & ACCESSIBILITY REQUIREMENTS.
 - NOT USED.
 - ENTRY SYSTEM CALLBOX. B.O.D. = "2N ACCESS CONTROL" PARTIAL HEIGHT WALL - SEE DTL 4/AS.00.
 - CLOSETS W/ BLOCKING AT RODS & BRACKETS.
 - TYP. ENCLOSED CLOSET. 12" DEEP MELAMINE SHELF & CLOTHES ROD AT 66" AFF. TYP. UNO.
 - ABOVE W/D.
 - ADJUSTABLE SHELVES ON STANDARD MOUNT.
 - PROVIDE DRAIN PAN BENEATH WASHING MACHINE/ WATER HEATER. SEE PLUMBING DWGS.
 - PROVIDE "NO SMOKING" SIGN AT EXTERIOR WALL.
 - NOT USED.
 - SHOWER NICHE. SEE ENLARGED PLANS. INTERIOR ELEVATIONS AND DETAIL 1/AS.00.
 - APPROXIMATE LOCATION OF CHASE WALL FOR PLUMBING AND MECH VENTILATION RISERS. WRAP IN GYP BD AS REQ'D. SEE PLUMBING AND MECH DWGS.
 - PROVIDE BLOCKING FOR WALL-MOUNTED CHANGING STATION. SEE INTERIOR ELEVATIONS.
 - FIRE EXTINGUISHER. COORDINATE FINAL LOCATION WITH LOCAL FIRE MARSHAL.
 - SURFACE MOUNTED.
 - IN SINK CABINET IN RESIDENTIAL UNIT. TYPICAL.
 - NEW 2HR FIRE-RATED SHAFT FOR 18" DUCT. PROVIDE "CH" CHANNELS 6" WIDE. SEE STRUCTURAL DWGS.
 - NEW EXTERIOR BUILDING ENTRY DOOR AND FRAME - SEE DOOR SCHEDULE.

- OVERHANG. B.O.D. = "THE ORIGINAL GRANITE BRACKET - T BRACE COUNTERTOP SUPPORT BRACKET. 20" LENGTH" HATCHED AREA SHOWS APPROXIMATE LOCATION OF NEW FIXED ROOF WALKWAY PADS.
- 21. FIRE SUPPRESSION**
- APPROX LOCATION OF FDC CONNECTION - COORDINATE W/ FIRE DEPT.
 - SPRINKLER RISER. SEE PLUMBING DWGS.
 - PROVIDE 2-HR FIRE-RATING AT STRUCTURE. SEE SHEET A6.02.
 - PROVIDE 2-HR FIRE-RATING AT BASE OF COLUMN AT TOP CONCRETE FIBR. SEE SHEET A6.02.
 - PROVIDE WATERFLOW ALARM DEVICE. CONFIRM LOCATION WITH BUILDING INSPECTOR AND FIRE DEPARTMENT. COORDINATE WITH ELECTRICAL AND FIRE SUPPRESSION CONTRACTOR.
- 22. PLUMBING**
- PROVIDE RADON RISER, AS REQUIRED BY OWNER'S CONSULTANT. RISER TO EXTEND FROM BASEMENT TO ATTIC. SEE CONSULTANT DESIGN FOR LOCATIONS OF RISERS. SEE NOTE 3.2. COORDINATE WITH PLUMBING.
 - PLUMBING CHASE (OR WALL) - VERIFY LOCATIONS IN FIELD TO ALIGN CONCEALMENT BETWEEN FLOORS.
 - NEW HOSE BIB LOCATION. SEE PLUMBING.
- 23. HEATING, VENTILATING, AND AIR CONDITIONING**
- MECHANICAL UNITS - WALLING PADS TO & AROUND EQUIPMENT. GUARDRAIL REQUIRED IF EQUIPMENT <10' FROM ROOF EDGE. PROVIDE OVER-FRAMED PLATFORM PER 1/AS.00. SEE HVAC. SEE STRUCTURAL DWGS. SOUND ISOLATE MECHANICAL PLATFORM AND PROVIDE SOUND ISOLATION PADS AT BASE OF MECHANICAL UNITS. USE MANUFACTURER'S INSTALLATION INSTRUCTIONS TO CONFIRM CLEARANCES.
 - PROVIDE NEW VENT WITH OPERABLE DAMPERS. SUM OF VENTILATION AREA SERVING CRAWL SPACE TO BE 72" MIN. PER 1203.42, EX. 2 OF OBC 2017.
 - FUTURE KITCHEN HOOD EXHAUST WALL-HUNG MECHANICAL UNIT. SEE STRUCTURAL DWGS. SEE HVAC. USE MANUFACTURER'S INSTALLATION
- INSTRUCTIONS TO CONFIRM SIDEREAR CLEARANCES.
- 26. ELECTRICAL**
- ELECTRIC PANEL RECESSED IN WALL W/ 30"W X 36"D CLEAR IN FRONT. PAINT TO MATCH ADJACENT WALL W/ APPROPRIATE PAINT TYPE FOR PANEL.
 - NEW EXTERIOR LIGHTING. NO EXPOSED CONDUIT ON FACE OF BUILDING.
- EXTERIOR IMPROVEMENTS**
- NEW W/D FENCE - SEE 16/AS.00 AND CIVIL DWGS.
 - NEW 6'-0" BLACK METAL PICKET FENCE. B.O.D. = "REFERENCE UPGRADE STANDARD" WITH Pinnacle OR SUMMIT PICKETS. COORD. FINAL SPEC W/ ARCHITECT.

NEW WORK GRAPHIC KEY:

- PARTITION TYPE - SEE A6.00
- KEYNOTE
- EXISTING WALL
- NEW PARTITION WALL
- NEW MASONRY WALL
- OBJECT OVERHEAD
- 1-HR FIRE RATING
- 2-HR FIRE RATING
- NEW FLOOR & FRAMING TO MATCH ADJ - SEE STRUCT DWGS.
- NEW GYP BD SOFFIT/ BULKHEAD/ DROPPED CLG - SEE RCPS.
- AREA OF ATYPICAL FIRE-RATED ASSEMBLY ABOVE. SEE A6.01 & A6.01.
- AREA OF TUCKPOINTING - SEE ELEVS & STRUCT DWGS.
- DOOR TAG. SEE SCHEDULE / A6.10-13.
- WINDOW DESIGNATION. SEE A6.20-25.
- STOREFRONT DESIGNATION. SEE A6.13.
- EMERGENCY EGRESS EXIT.
- OPG CONTAINS SAFETY GLAZING.
- SINGLE HUNG OPG - UPPER SASH TO BE FIXED WITHIN 3'-0" OF EXHAUST.
- ELEVATION TAG.



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Progress Dates

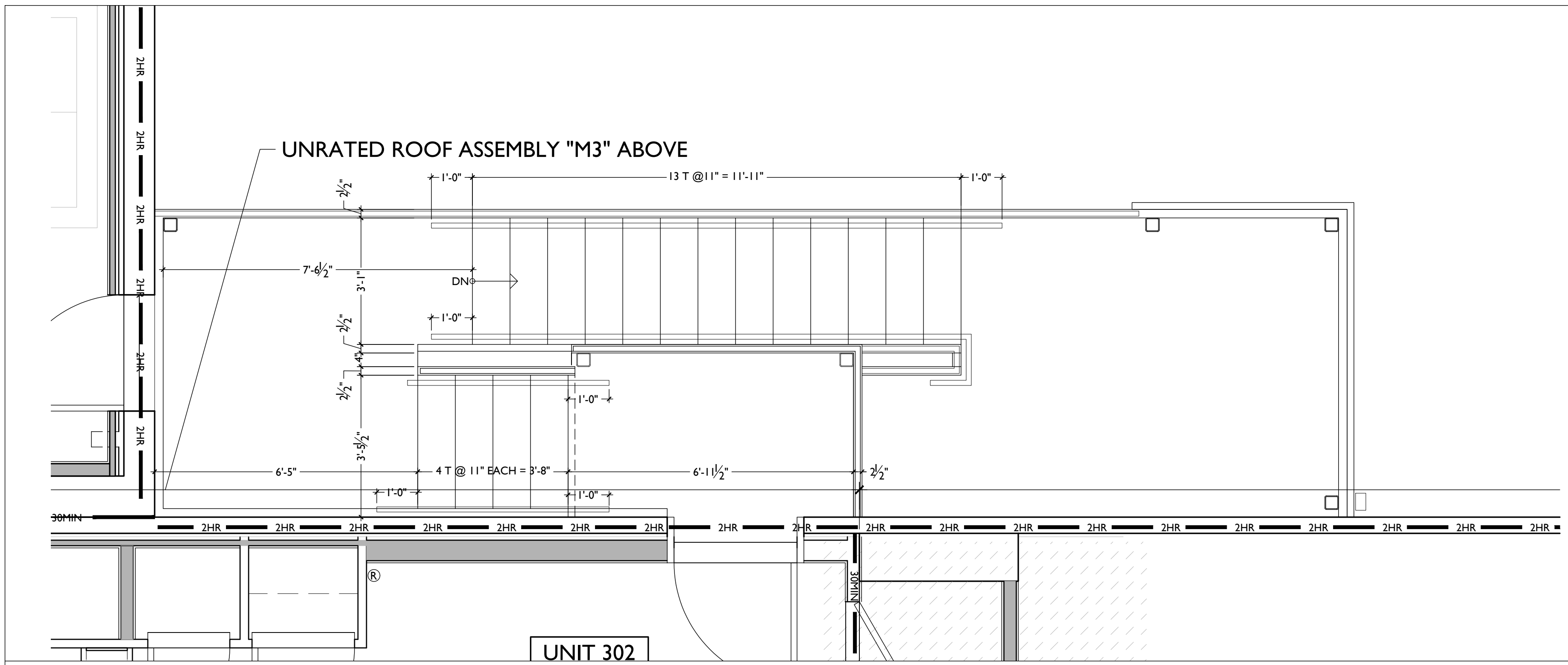
Revisions

Design Team:

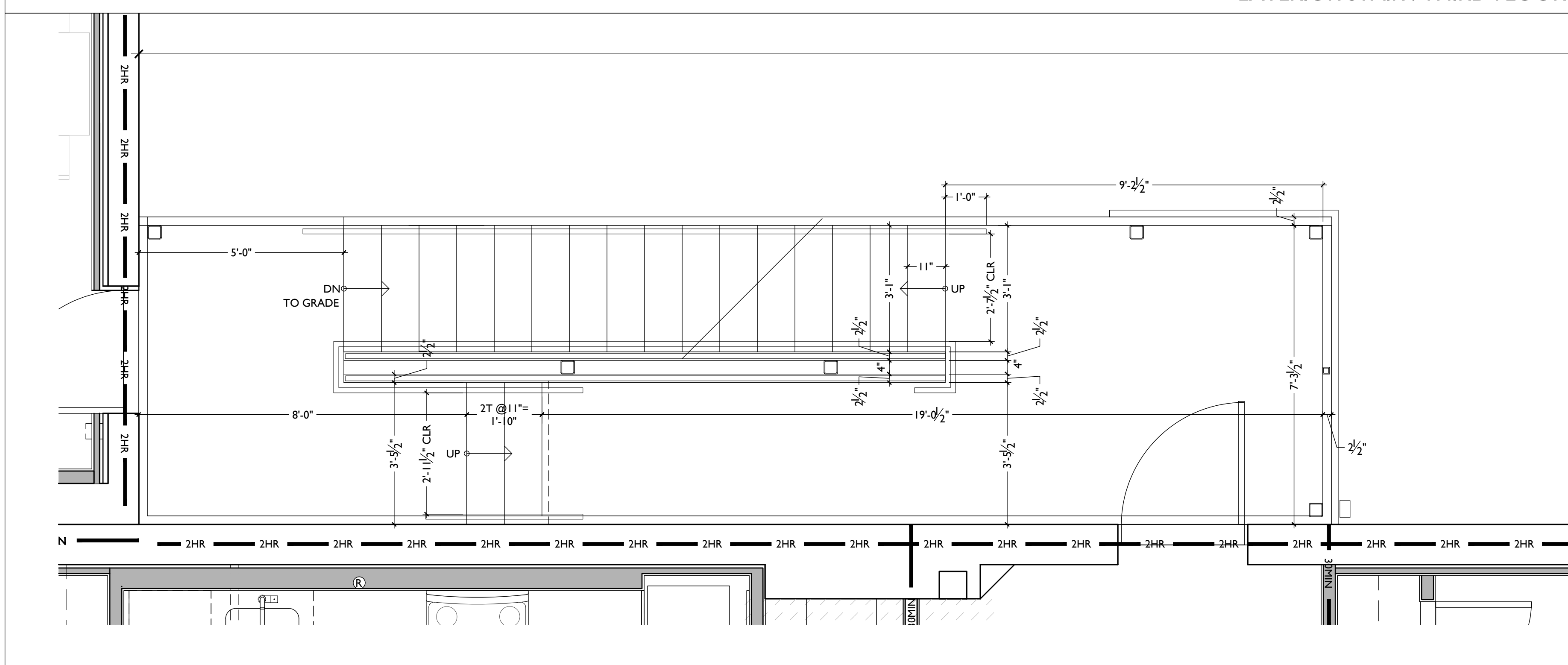
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 SCALE: 1/4" = 1'-0"
 PROPOSED ELEVATION - SOUTH | 1

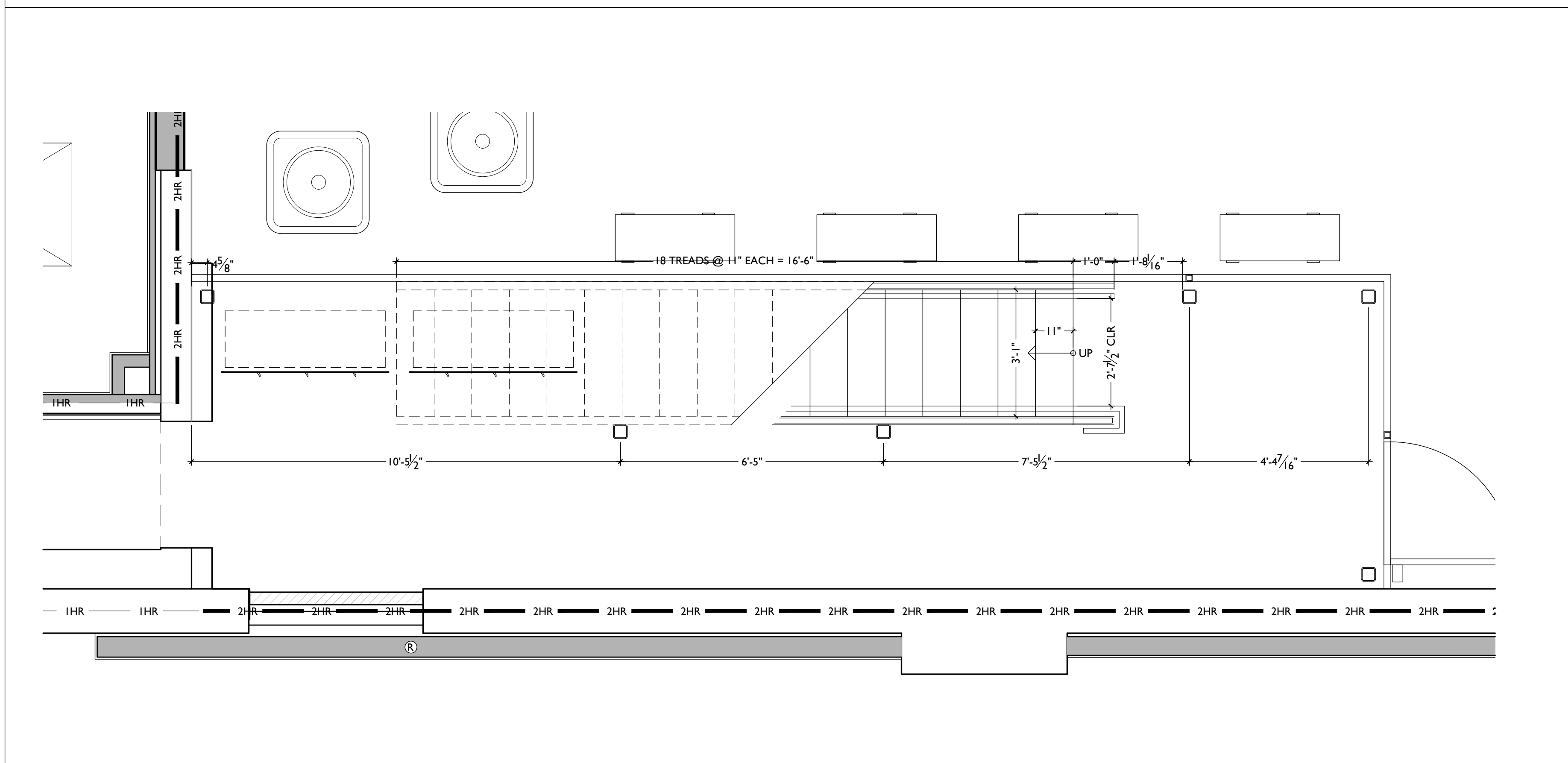
A2.13



SCALE: 1/2" = 1'-0" EXTERIOR STAIR : THIRD FLOOR PLAN 3



SCALE: 1/2" = 1'-0" EXTERIOR STAIR : SECOND FLOOR PLAN 2



SCALE: 1/2" = 1'-0" EXTERIOR STAIR : FIRST FLOOR PLAN 1

STAIR SECTIONS & DETAILS

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PROPOSED PROJECT

Job No: 08/30/2024

Progress Dates

Revisions

Design Team:

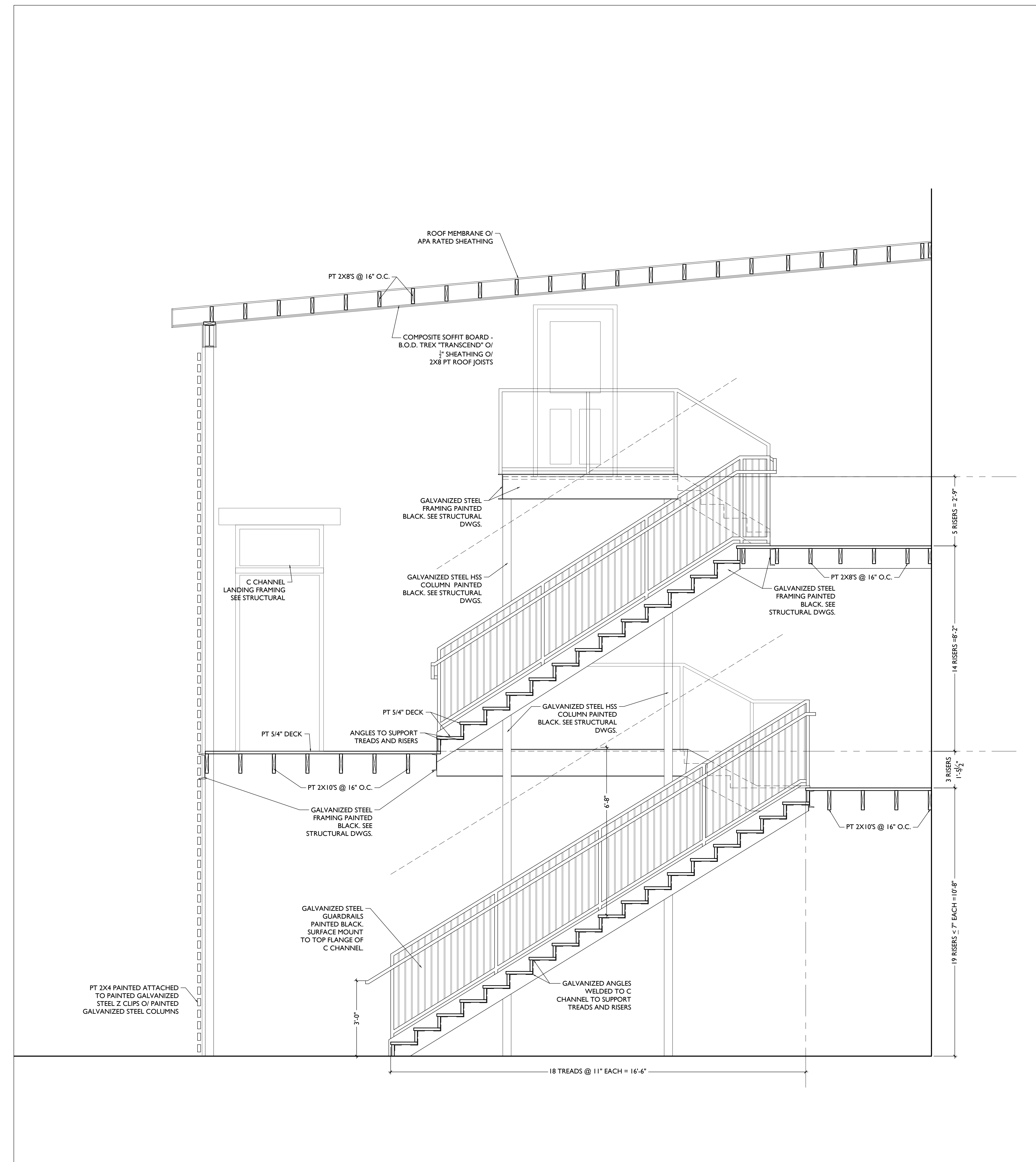
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Revisions

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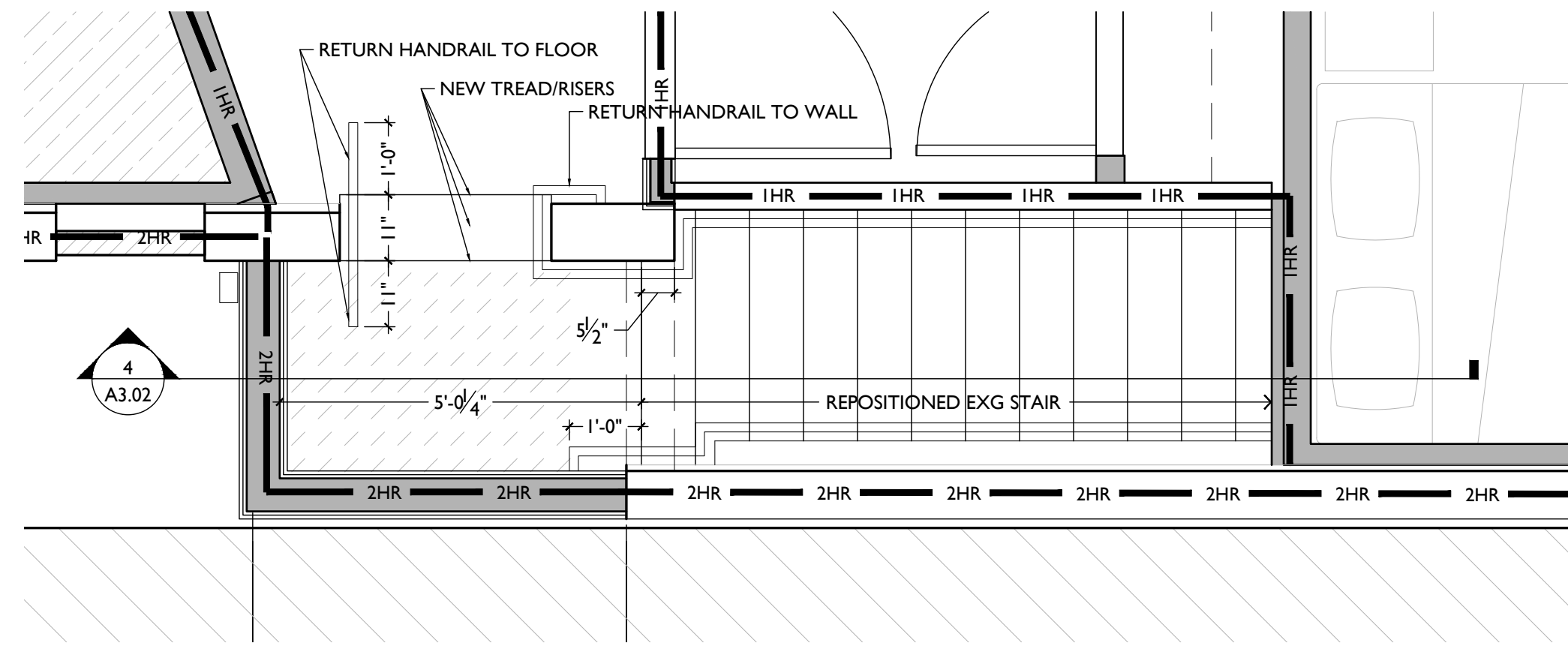
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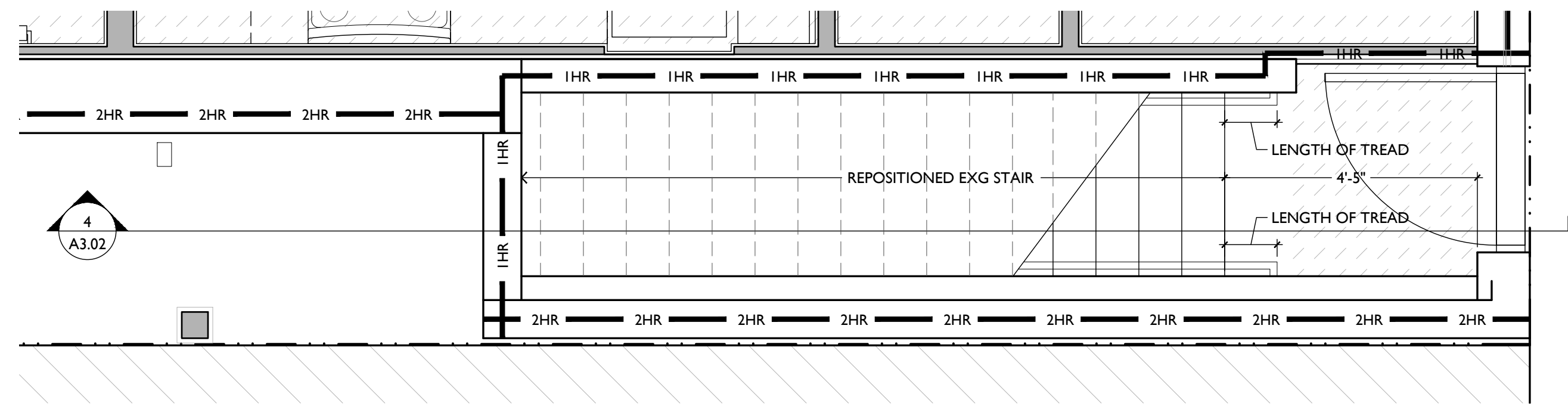
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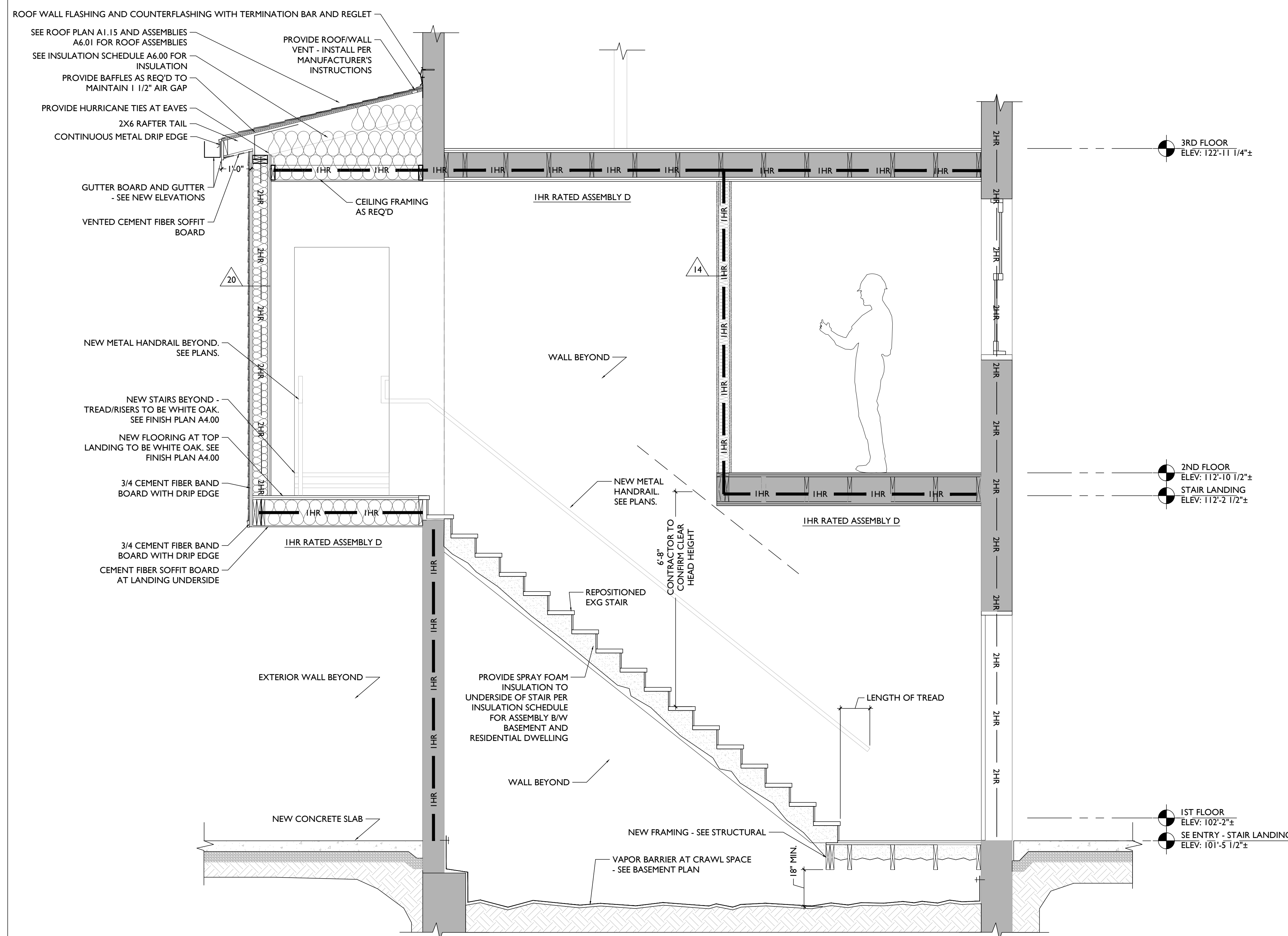
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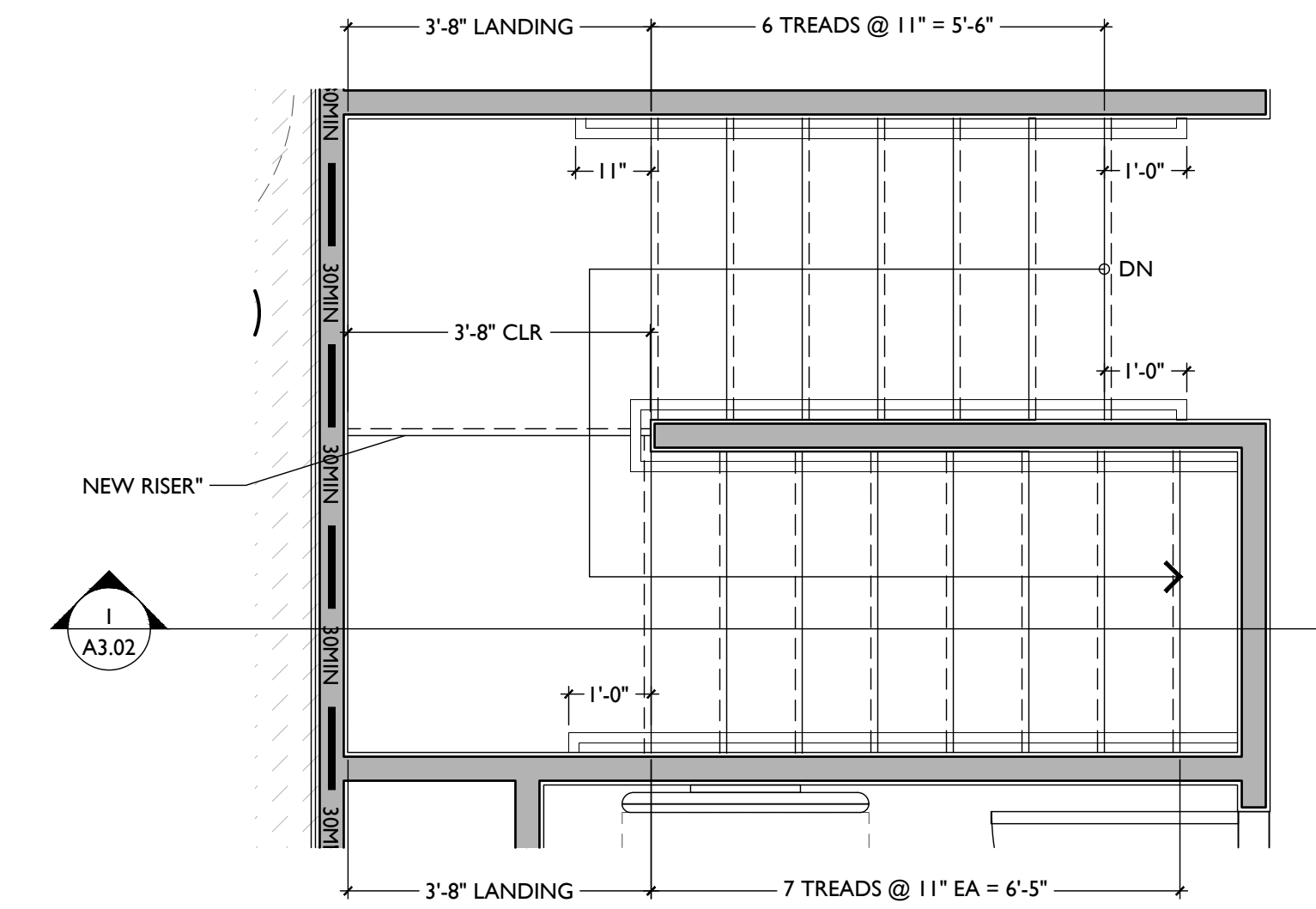
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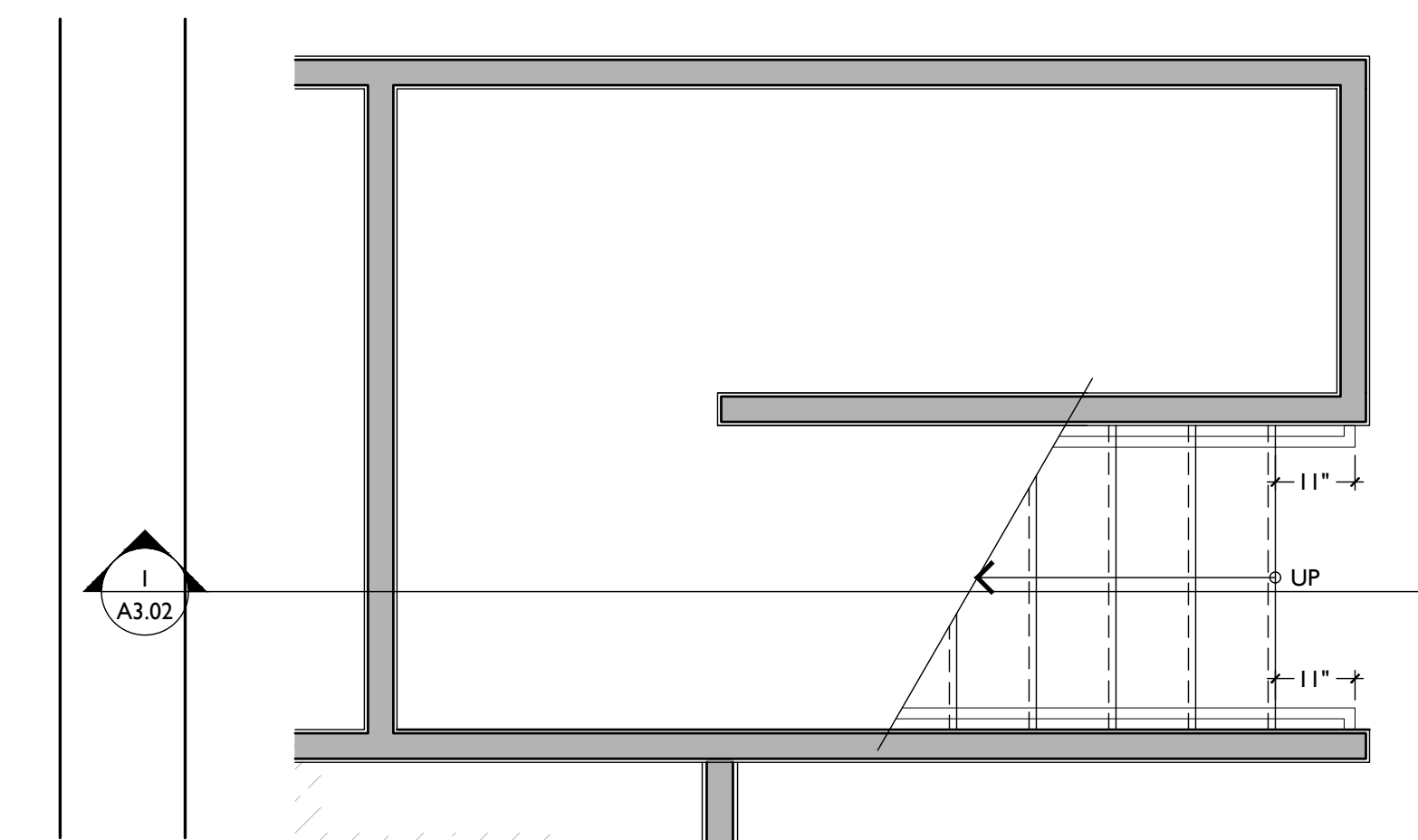
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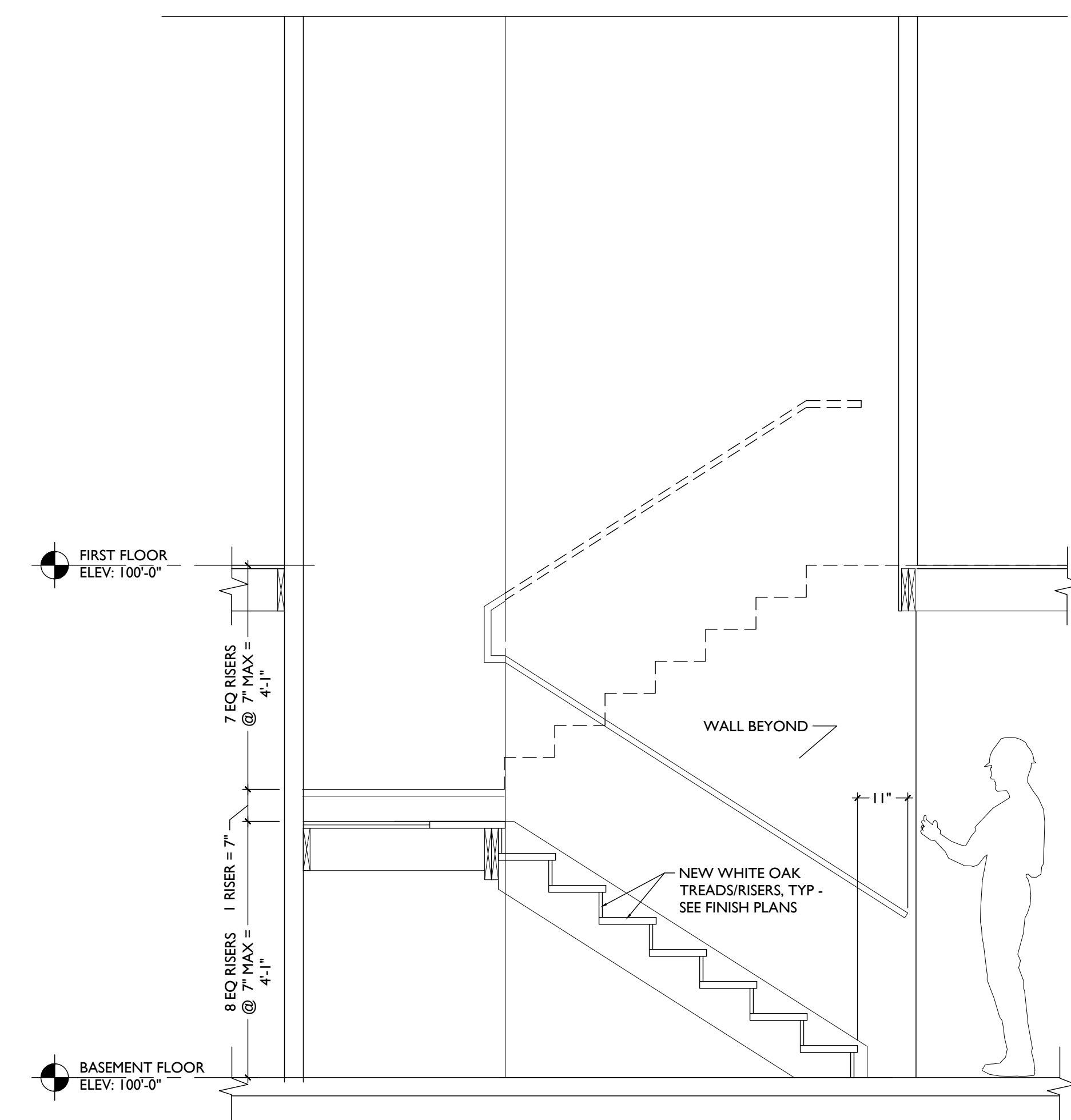
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SCALE: 1/2" = 1'-0" NEW INTERIOR STAIR : 1ST FLOOR PLAN 3



SCALE: 1/2" = 1'-0" NEW INTERIOR STAIR : BASEMENT PLAN 2



SCALE: 1/2" = 1'-0" INTERIOR STAIR SECTION 1
STAIR SECTIONS & DETAILS

Progress Dates

Revisions


Design Team:

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PROPOSED PROJECT

Job No: 08/30/2024

| | |
|--|---|
|  | FL-3 RESTROOMS |
|  | FL-4 RESIDENTIAL LAUNDRY/ MECH ROOMS BUILDING STORAGE ROOMS |

| ITEM/ LOCATION | CODE | DESCRIPTION | FINISH | NOTES |
|---|-------|---|---------------------------------|----------------------------------|
| MICROWAVE HOOD, RESIDENTIAL KITCHENS | EQ-1 | MANU: GE - 17" CU.FT. OVER-THE-OVEN MICROWAVE OVEN OUTSIDE EXHAUST - VERTICAL VENT MODEL: VM162RJS | STAINLESS | MOUNTING HEIGHT, SEE ELEVATIONS. |
| RANGE/OVEN, RESIDENTIAL KITCHENS | EQ-2 | MANU: GE PROFILE 30" WIDE 5.3 CU.FT. FREE STANDING ELECTRIC FINGERPRINT RESISTANT RANGE WITH CONVECTION OVEN MODEL: PB935TPFS | STAINLESS | MOUNTING HEIGHT, SEE ELEVATIONS. |
| DISHWASHER, RESIDENTIAL KITCHENS | EQ-3 | MANU: GE 24" WIDE DISHWASHER WITH FRONT CONTROLS MODEL: GDF50P9RS5 | STAINLESS | MOUNTING HEIGHT, SEE ELEVATIONS. |
| REFRIGERATOR, 1 BEDROOM & EFFICIENCY UNITS | EQ-4 | MANU: GE - 24" WIDE SMALL SPACE TOP-FREEZER REFRIGERATOR - 11.6 CU.FT. MODEL: GPE12F5K5B | STAINLESS WITH BLACK HANDLES | MOUNTING HEIGHT, SEE ELEVATIONS. |
| REFRIGERATOR 2&3 BEDROOM UNITS | EQ-5 | MANU: GE - 30" WIDE TOP-FREEZER REFRIGERATOR - 19.2 CU.FT. MODEL: GPE12F5K5B | FINGERPRINT RESISTANT STAINLESS | MOUNTING HEIGHT, SEE ELEVATIONS. |
| WASHER, RESIDENTIAL UNITS | EQ-6 | MANU: GE - 27" WIDE FRONT LOAD WASHER 4.5 DOE CU.FT. MODEL: GFW4305SMWW | WHITE | MOUNTING HEIGHT, SEE PLANS |
| DRYER, RESIDENTIAL UNITS | EQ-7 | MANU: GE - 27" WIDE FRONT LOAD DRYER 7.5 CU.FT. CAPACITY | WHITE | MOUNTING HEIGHT, SEE PLANS |
| WASHER, SHARED LAUNDRY FACILITIES | EQ-8 | MANU: SPEED QUEEN QUANTUM GOLD FRONT CONTROL FRONT LOAD WASHER | WHITE | MOUNTING HEIGHT, SEE PLANS |
| DRYER, SHARED LAUNDRY FACILITIES | EQ-9 | MANU: SPEED QUEEN QUANTUM GOLD PRO FRONT CONTROL SINGLE DRYER | WHITE | MOUNTING HEIGHT, SEE PLANS |
| MICROWAVE ACCESSIBLE RESIDENTIAL KITCHENS | EQ-10 | MANU: FRIGIDAIRE GALLERY - 2.2 CU.FT. BELOW COUNTER TOP BUILT-IN MICROWAVE OVEN (#GMB53068AF) W/ 27" TRIM KIT | STAINLESS | MOUNTING HEIGHT, SEE ELEVATIONS. |
| RANGE HOOD, ACCESSIBLE RESIDENTIAL KITCHENS | EQ-11 | MANU: GE - 30" WIDE OVER THE RANGE CONVERTIBLE HOOD | FINGERPRINT RESISTANT STAINLESS | MOUNTING HEIGHT, SEE ELEVATIONS. |

| MATERIAL / LOCATION | CODE | DESCRIPTION | NOTES | SOURCE |
|---|------|--|---|---|
| FLOORING | | | | |
| EXISTING WOOD FLOORING - WHERE MAINTAINED | FL-1 | EXISTING WOOD FLOORING FINISH: MINWAX STAIN COLOR: HERLOOM OAK MW441 | STRIP, SAND AND STAIN PER MANUFACTURER'S SPECIFICATIONS | |
| NEW WOOD FLOORING - WHERE REQUIRED | FL-2 | MANU: WOODWARD FLOORING FINISH: NATURAL WHITE OAK PLANK WIDTH: 3.25" | SEE FINISH PLANS FOR INSTALL DIRECTION | |
| FLOOR TILE - BATHROOMS AND ADJACENT MEPLAUNDRY ROOMS | FL-3 | MANU: FLORIDA TILE COLLECTION: AURA COLOR: EARTH BEIGE SIZE: 12 X 24 - 3/8" THICKNESS GROUT: LATICRETE, COLOR: 97 IRON INSTALL: RUNNING BOND WITH 1/3 OFFSET | PROVIDE LIQUID APPLIED WATERPROOF MEMBRANE BELOW TILE AND FIRESTOP SEALANT AT FLOOR PENETRATIONS | FLORIDA TILE EMILY FISCHER EMILY.FISCHER@FLORIDATILE.COM 513.824.1791 |
| VCT - MEPLAUNDRY ROOM FLOORS | FL-4 | MANU: ARMSTRONG COLLECTION: EXCELON VCT COLOR: S1861 SOFT WARM GRAY | USE IN LAUNDRY AND MEP ONLY IF ROOM IS NOT ADJACENT TO BATHROOM. UNDERLAYMENT AS REQ'D. | PAUL MCKAY PAMCKAY@ARMSTRONGFLOORING.COM 513.515.0228 |
| FLOOR TILE - KITCHENS WHERE REQUIRED | FL-5 | MANU: FLORIDA TILE COLLECTION: AURA COLOR: EARTH BEIGE SIZE: 12 X 24 - 3/8" THICKNESS GROUT: LATICRETE, COLOR: 97 IRON INSTALL: RUNNING BOND WITH 1/3 OFFSET | PROVIDE LIQUID APPLIED WATERPROOF MEMBRANE BELOW TILE AND FIRESTOP SEALANT AT FLOOR PENETRATIONS | FLORIDA TILE EMILY FISCHER EMILY.FISCHER@FLORIDATILE.COM 513.824.1791 |
| FLOOR TILE - RECESSED EXTERIOR ENTRY WHERE REQUIRED | FL-6 | MANU: FIRE EARTH COLOR: BLACK, PORCELAIN FINISH: MATTE SIZE: 12" X 12" GROUT: LATICRETE, COLOR: 24 NATURAL GRAY STRAIGHT JOINT | SEE FINISH PLANS FOR LOCATION. SEE DETAILS. INSTALL PER MANUFACTURER'S INSTRUCTIONS. | THE TILE SHOP ITEM# 1615819 |
| WALL TILE | | | | |
| TILE - SHOWER WALLS | WT-1 | MANU: FLORIDA TILE COLLECTION: ALUSTRA SIZE: 12X24 COLOR: MAJESTIC WHITE GROUT: MAPEI 11; COLOR: 93 WARM GREY INSTALL: HORIZONTAL RUNNING BOND | BLACK SCHLUTER EDGE | LOUISVILLE TILE ROBYN VIDIC RVIDIC@LOUISVILLE-TILE.COM 513-276-4840 |
| TILE - KITCHEN BACKSPLASH | WT-2 | MANU: MOSA COLLECTION: COLORS SIZE: 6X6 COLOR: ACCENT WHITE GROUT: MAPEI 11; COLOR: WARM GREY INSTALL: HORIZONTAL RUNNING BOND | | |
| PAINT | | | | |
| GENERAL PAINT - UNIT AND CORRIDOR WALLS AND CEILING | PT-1 | MANU: PPG ARCHITECTURAL COATINGS COLOR: SILVER FEATHER - PPG 1002-1 | WALL FINISH: SATIN CEILING FINISH: FLAT | |
| PAINT - UNIT TRIM | PT-2 | MANU: PPG ARCHITECTURAL COATINGS COLOR: IN THE CLOUD - PPG 0999-1 | BASE, TRIM, MILLWORK FINISH: SEMI-GLOSS | |
| PAINT - UNIT ENTRY DOORS | PT-3 | MANU: PPG ARCHITECTURAL COATINGS COLOR: IN THE CLOUD - PPG 0999-1 | FINISH: SEMI-GLOSS | |
| PAINT - STAIR TREADS AND/OR RISERS AND RAILING BALUSTER AS REQ'D PER BUILDING | PT-4 | MANU: PPG ARCHITECTURAL COATINGS COLOR: STONEHENGE GREIGE - PPG 1024-5 | FINISH: SEMI-GLOSS SEE FINISH FLOOR PLANS | |
| WALL BASE | | | | |
| HISTORIC WOOD BASE - WHERE ABLE TO RETAIN | WB-1 | IN-LIMIT: PT-2 STAIR HALL: PT-3 | KEEP ALL HISTORIC BASE - REPAIR/RETAIN WHEN PRESENT. PATCH TO MATCH ADJACENT, CLEAN, SAND, AND PAINT. | |
| TILE BASE - BATHROOMS | WB-2 | MANU: FLORIDA TILE COLLECTION: AURA COLOR: EARTH BEIGE SIZE: 12 X 24 - 3/8" THICKNESS GROUT: LATICRETE - 97 IRON | TILE TO ALIGN WITH WALL BASE 3 X 24" BLACK SCHLUTER EDGE | LOUISVILLE TILE ROBYN VIDIC RVIDIC@LOUISVILLE-TILE.COM 513-276-4840 |
| TYPICAL NEW PAINTED WOOD BASE - WHERE REQUIRED. | WB-3 | CONTRACTOR PROVIDED 1X6 POPLAR W/ TOE MOLDING | | |

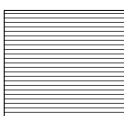
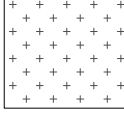
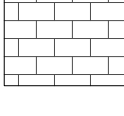

| CODE | ITEM | MANUFACTURER & PRODUCT # | MOUNTING HEIGHT | REMARKS |
|------|-------------------------|---|--|---------------------------|
| A | GRAB BARS | MANU: BOBRICK LINE-B-5806X18 SIZE: (18") X 36 (36") & 42 (42") | PER ELEVATIONS & ACCESSIBILITY REQUIREMENTS | COMMERCIAL BATHROOM |
| B | DIAPER CHANGE STATION | MANU: KOALA KARE MODEL: K800-S5 HORIZONTAL WALL MOUNTED FINISH: GREY 01 | 48" A.F.F. MAX MOUNTING HEIGHT TO T.O. STATION. WORKSURFACE WHEN OPEN TO BE 34" MAX - 38" MIN. | COMMERCIAL BATHROOM |
| C1 | MEDICINE CABINET | RECESSED: MANU: KOHLER 16"x20" SINGLE DOOR REVERSIBLE HINGE FRAMELESS MIRROR MEDICINE CABINET MODEL: K-CB-CLR1620FS | PER ELEVATIONS | UNIT BATHROOMS |
| C2 | MEDICINE CABINET | SURFACE MOUNTED: RANGAIRE SURFACE MOUNT 16"x22" SINGLE DOOR-MEDICINE CABINET WITH REVERSIBLE DOOR SWING MODEL: 4559MX | PER ELEVATIONS | UNIT BATHROOMS |
| D | PAPER TOWEL DISPENSER | AS1 TRADITIONAL PAPER TOWEL DISPENSER MULTI-C-FOLD, SURFACE MOUNTED BLACK MODEL: ASI 0210-41 | PER ACCESSIBILITY REQUIREMENTS, 48" MAX TO HIGHEST OPERABLE PART | COMMERCIAL BATHROOM |
| E1 | TOILET TISSUE DISPENSER | HARNEY HARDWARE COLLECTION: CLEARWATER TOILET PAPER HOLDER FINISH: MATTE BLACK, PRODUCT #10220 | PER ELEVATIONS & ACCESSIBILITY REQUIREMENTS | UNIT/COMMERCIAL BATHROOMS |
| E2 | TOWEL HOOK | HARNEY HARDWARE COLLECTION: CLEARWATER 24" TOWEL BAR FINISH: MATTE BLACK, PRODUCT #10222 | 48" A.F.F. | UNIT BATHROOMS |
| E3 | ROBE HOOK | HARNEY HARDWARE COLLECTION: CLEARWATER ROBE HOOK FINISH: MATTE BLACK, PRODUCT #10218F | 48" A.F.F. | UNIT/COMMERCIAL BATHROOMS |
| F | MIRROR | MANU: NUTTYPE (HOME DEPOT) COLLECTION: MEDIUM RECTANGLE BLACK SHELVES AND DRAWERS MODERN MIRROR SIZE: 24 X 36 FINISH: BLACK | PER ELEVATIONS & ACCESSIBILITY REQUIREMENTS | UNIT/COMMERCIAL BATHROOM |
| G | TOILET PARTITION | MANU: ASI ACCURATE PARTITIONS MATERIAL: SOLID PLASTIC (HDPE) | PER ELEVATIONS & ACCESSIBILITY REQUIREMENTS | COMMERCIAL BATHROOM |
| H | SHOWER CURTAIN ROD | TBD | PER ELEVATIONS | UNIT BATHROOMS |

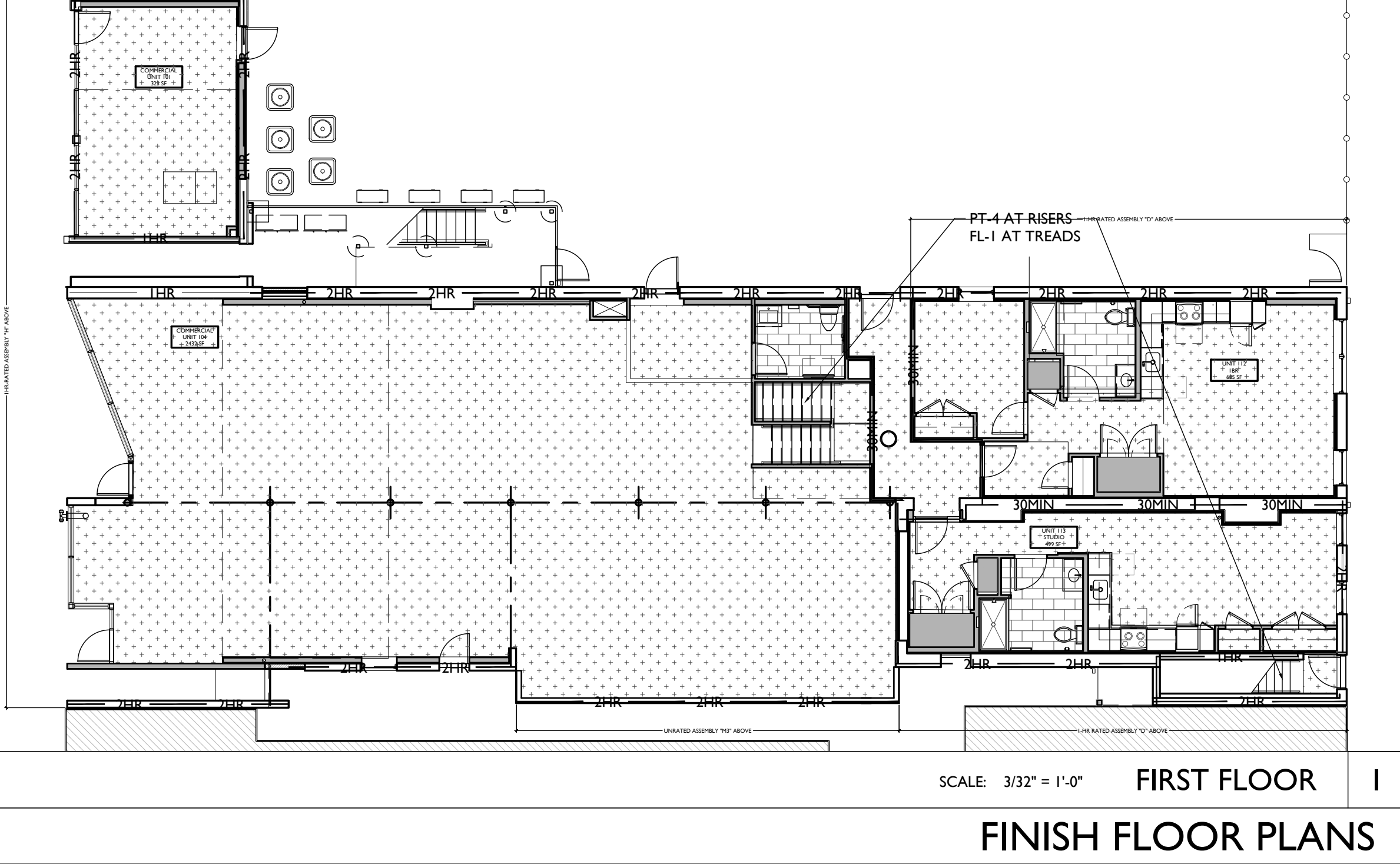
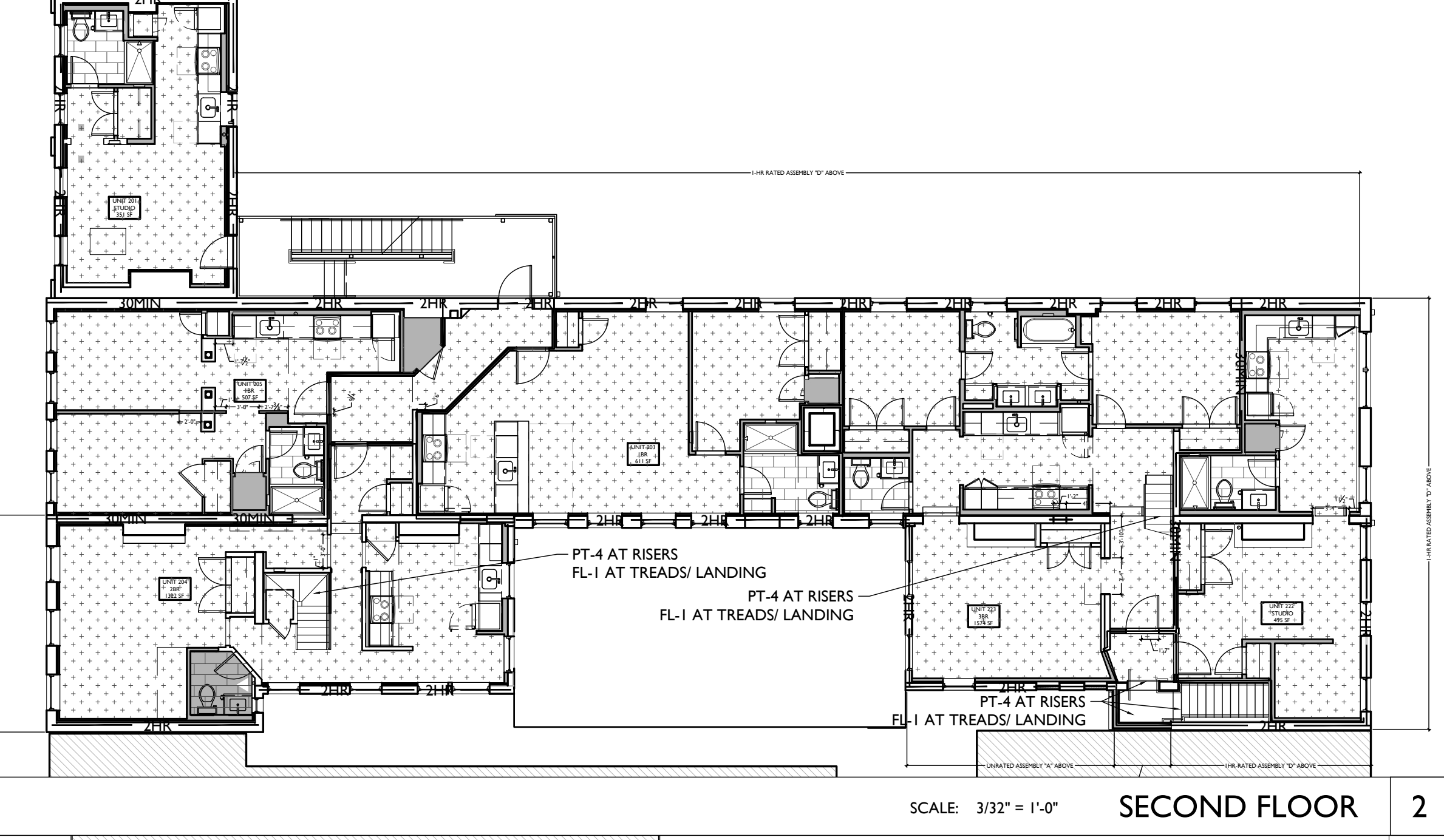
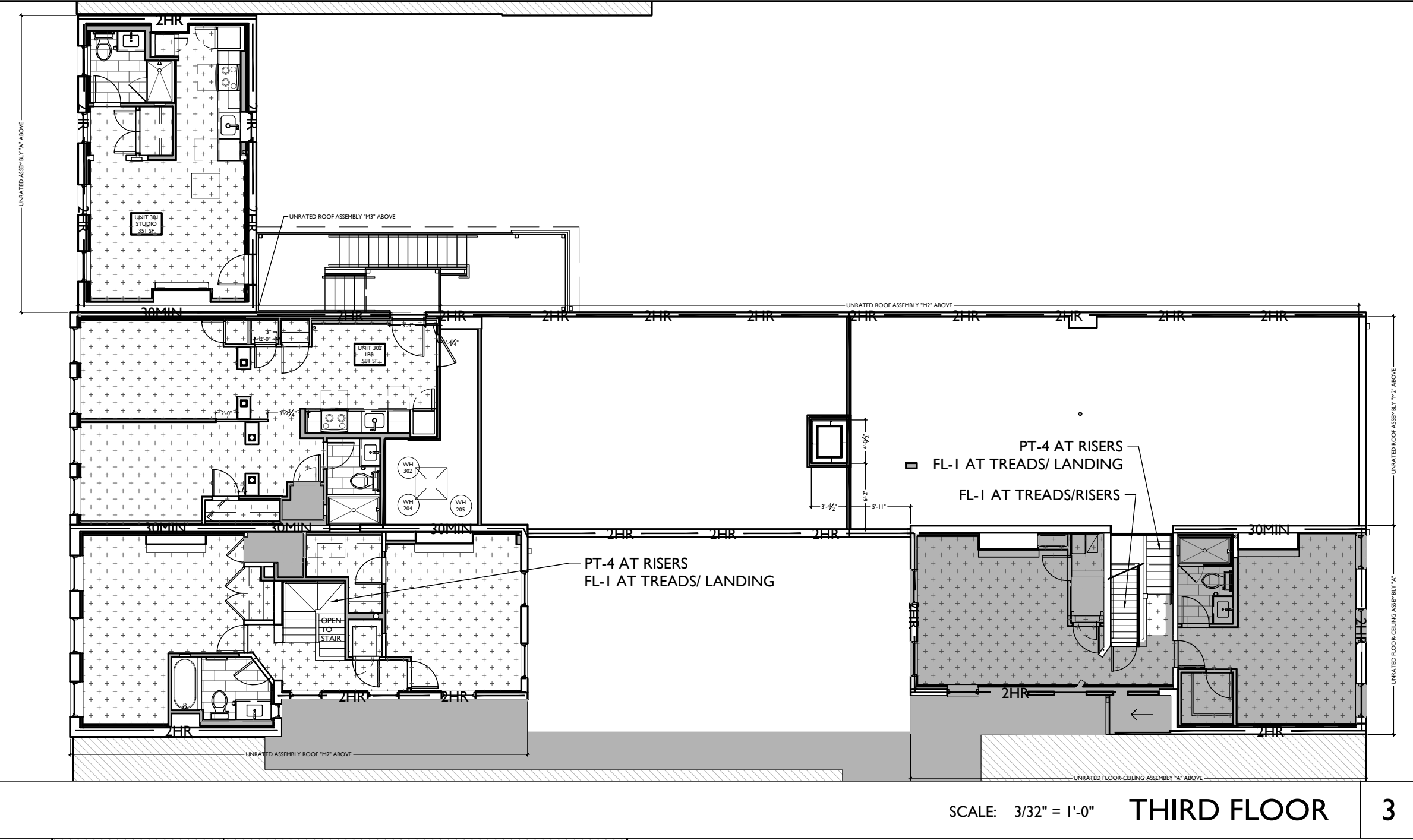
| QUARTZ - KITCHEN COUNTERTOPS & COUNTERTOPS THROUGHOUT | SS-1 | MANU: CORIAN - QUARTZ COLOR: CALCATA VILLA - 2CM | BRIAN FORTIN BRIAN.FORTIN@OVSCO.COM 513.582.2528 |
|---|------|--|--|
| CASEGOODS | | | |
| CABINETS - IN UNITS/ COMMERCIAL RR | CG-1 | MANUF: SMART CABINETS W/ PLYWOOD BOX DOOR STYLE: SUMMIT (SOLID WOOD) MAPLE FULL OVERLAY FINISH: STAIN - FAWN | DOOR PULLS - PAPER AMEROCK MONUMENT 5-1/16" CENTER TO CENTER CABINET PULL MODEL: BR76571FB FINISH: BLACK |
| GLASS | | | |
| GLASS SHOWER ENCLOSURE - UNIT BATHROOMS | GL-1 | CELESTA FRAMELESS 3/8" GLASS SWING DOOR & PANEL SHOWER DOOR MODEL: CELA-935 GLASS: AQUA GLIDE GLASS FINISH: CHROME | |
| OTHER | | | |
| BLINDS | | 2" FAUX WOOD BLINDS AT ALL RESIDENTIAL UNITS, WHITE FINISH. VERIFY ALL LOCATIONS WITH OWNER | |
| UNIT ENTRY SIGNAGE | | BEGIZY 4" X 2.5" W/ FLOATING WALL MOUNT MODERN HOUSE NUMBER, BLACK. VERIFY ALL LOCATIONS WITH OWNER. COORDINATE LOCATIONS WITH ACCESSIBILITY REQUIREMENTS A11.7.1-2009 | FINAL LOCATION TO BE DETERMINED BY OWNER AMAZON https://tinyurl.com/mr37ewxn |

FLOOR GENERAL NOTES

- WHERE EXG. HEARTH TILE IS PRESENT, PROTECT AND MAINTAIN AS IS.
- WHERE EXG. HEARTH IS CONCRETE, PATCH / PROVIDE SOME SKIM COAT. PAINT CONCRETE COLOR TBD.
- TRANSITION TYPES:
 - PROVIDE TRANSITION STRIPS WHERE CHANGES IN MATERIAL OCCUR.
 - PROVIDE NEW WOOD TRANSITIONS WHERE NEW WOOD FLOOR MEETS HISTORIC WOOD FLOOR
 - WHERE FLOOR TILE TRANSITIONS TO WOOD PROVIDE ALUMINUM TILE EDGE, B.O.D BENGARD-SHUR-TRIM. THICKNESS TO BE DETERMINED IN THE FIELD.
- INFILL WOOD TO MATCH SPECIES, WIDTH, AND STAIN OF EXISTING WOOD FLOORS. TOOTH-IN TO EXISTING WHERE POSSIBLE.

FLOOR FINISH LEGEND (SEE FINISH SCHEDULES A4.00-A4.02 FOR DETAILS)

| | |
|---|---|
|  | FL-1 EXG HISTORIC FINISH FLOORS TO REMAIN |
|  | FL-2 NEW WOOD FLOORS |
|  | FL-3 RESTROOMS |
|  | FL-4 RESIDENTIAL LAUNDRY/ MECH ROOMS BUILDING STORAGE ROOMS |



SCALE: 3/8" = 1'-0" **FINISH SCHEDULE** I

SCALE: 3/32" = 1'-0" **FINISH FLOOR PLANS**

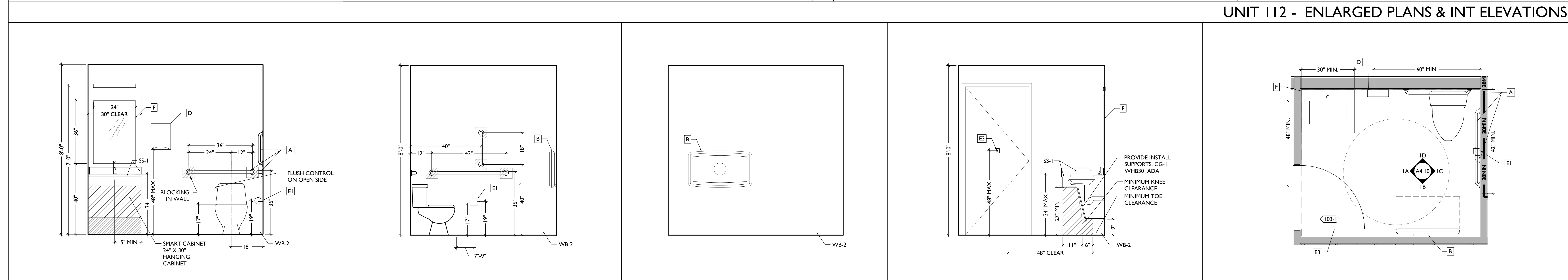
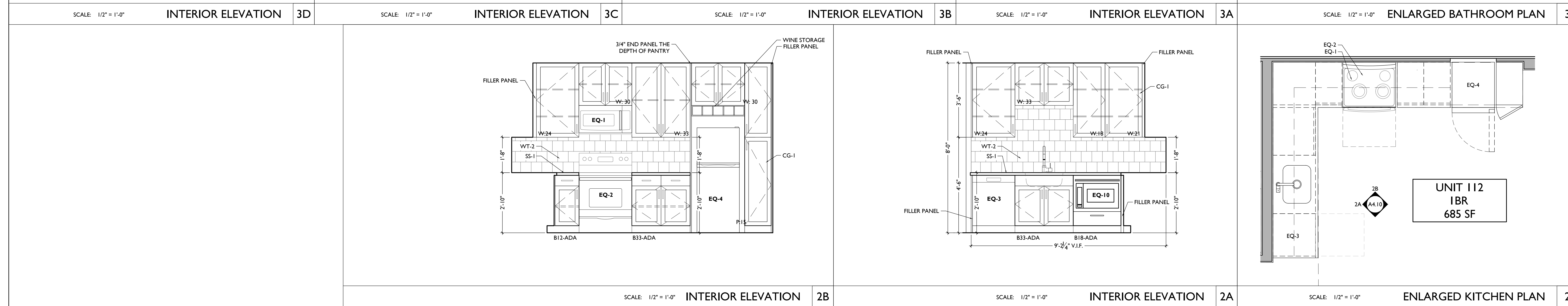
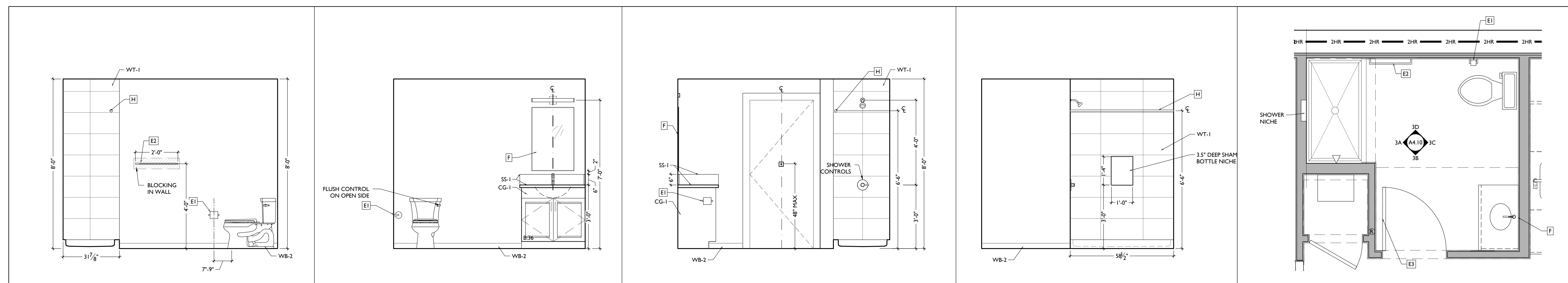
NOT FOR CONSTRUCTION

Progress Dates

Revisions

Design Team:

Drawn by:



UNIT 112 - ENLARGED PLANS & INT ELEVATIONS

UNIT 103 - ENLARGED PLANS & INT ELEVATIONS

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| |
|----------------|
| Progress Dates |
| Revisions |
| Design Team: |
| Drawn by: |

PROPOSED PROJECT
Job No: 08/30/2024

A4.10

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| <p>SCALE: 1/2" = 1'-0"</p> | <p>SCALE: 1/2" = 1'-0"</p> | <p>SCALE: 1/2" = 1'-0"</p> | <p>SCALE: 1/2" = 1'-0"</p> | <p>SCALE: 1/2" = 1'-0"</p> |
| INTERIOR ELEVATION 5D | INTERIOR ELEVATION 5C | INTERIOR ELEVATION 5B | INTERIOR ELEVATION 5A | ENLARGED BATHROOM PLAN 5 |

| | | |
|------------------------------|----------------------------|----------------------------|
| <p>SCALE: 1-1/2" = 1'-0"</p> | <p>SCALE: 1/2" = 1'-0"</p> | <p>SCALE: 1/2" = 1'-0"</p> |
| SHelf DETAIL 4 | INTERIOR ELEVATION 3A | ENLARGED KITCHEN PLAN 3 |

UNIT 201/301 - ENLARGED PLANS & INT ELEVATIONS

| | | | | |
|----------------------------|----------------------------|----------------------------|----------------------------|----------------------------|
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| INTERIOR ELEVATION 2D | INTERIOR ELEVATION 2C | INTERIOR ELEVATION 2B | INTERIOR ELEVATION 2A | ENLARGED BATHROOM PLAN 2 |

| | | |
|----------------------------|----------------------------|----------------------------|
| <p>SCALE: 1/2" = 1'-0"</p> | <p>SCALE: 1/2" = 1'-0"</p> | <p>SCALE: 1/2" = 1'-0"</p> |
| INTERIOR ELEVATION 1B | INTERIOR ELEVATION 1A | ENLARGED KITCHEN PLAN 1 |

UNIT 113 - ENLARGED PLANS & INT ELEVATIONS

NOT FOR CONSTRUCTION

Progress Dates
Revisions
Design Team:
Drawn by:

PROPOSED PROJECT
Job No: 08/30/2024

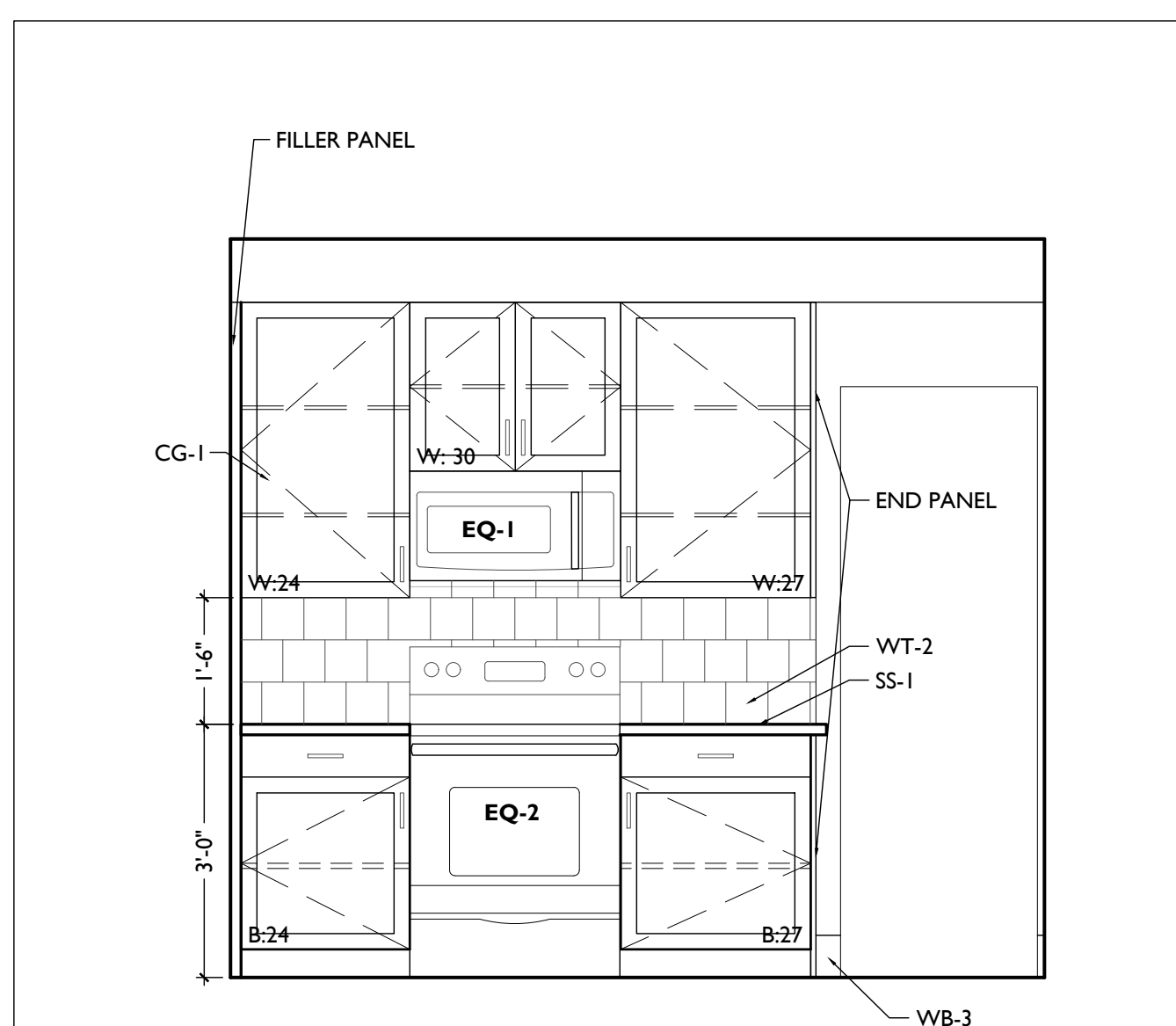
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Progress Dates

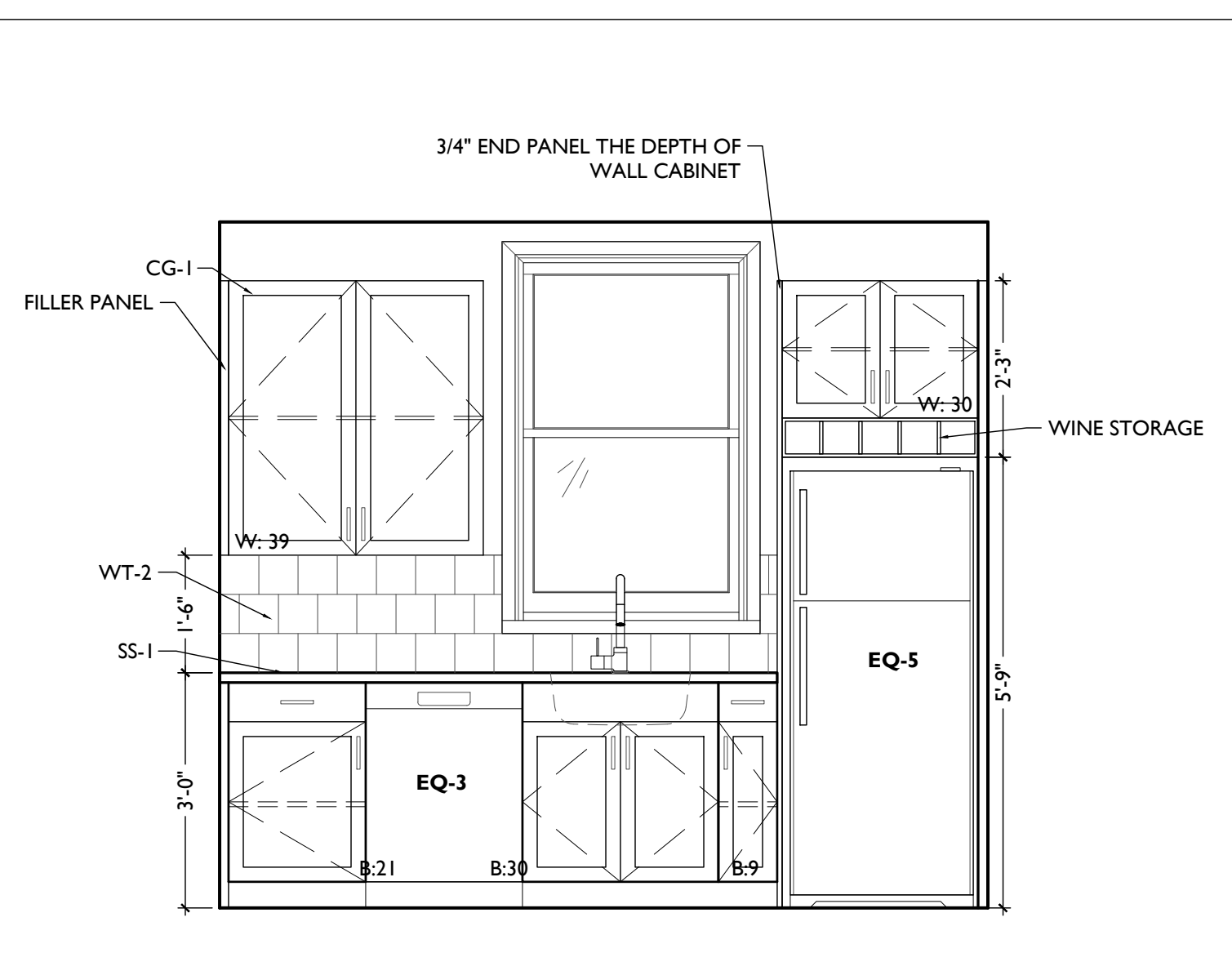
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Design Team:

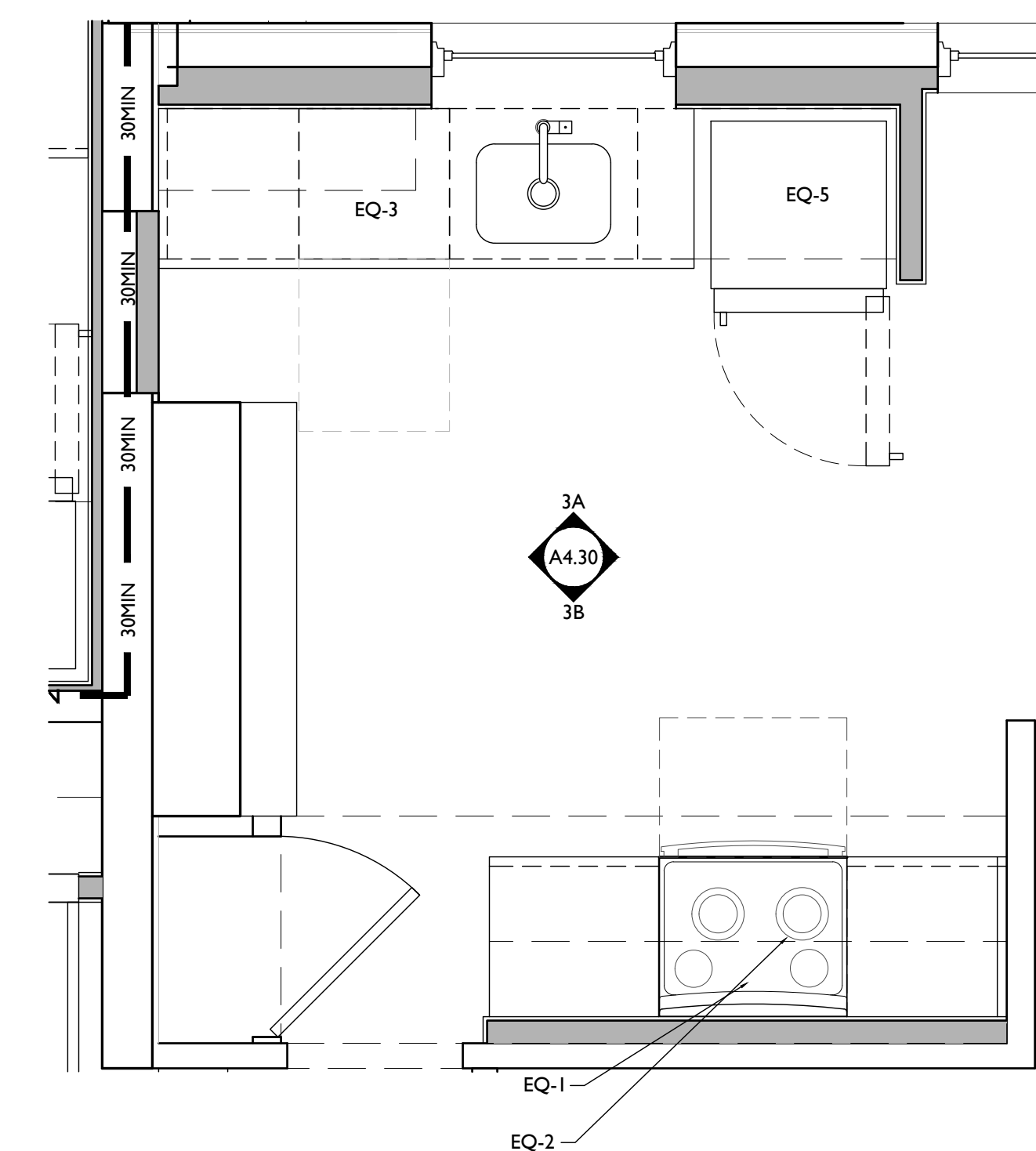
Drawn by:



SCALE: 1/2" = 1'-0" INTERIOR ELEVATION 3B

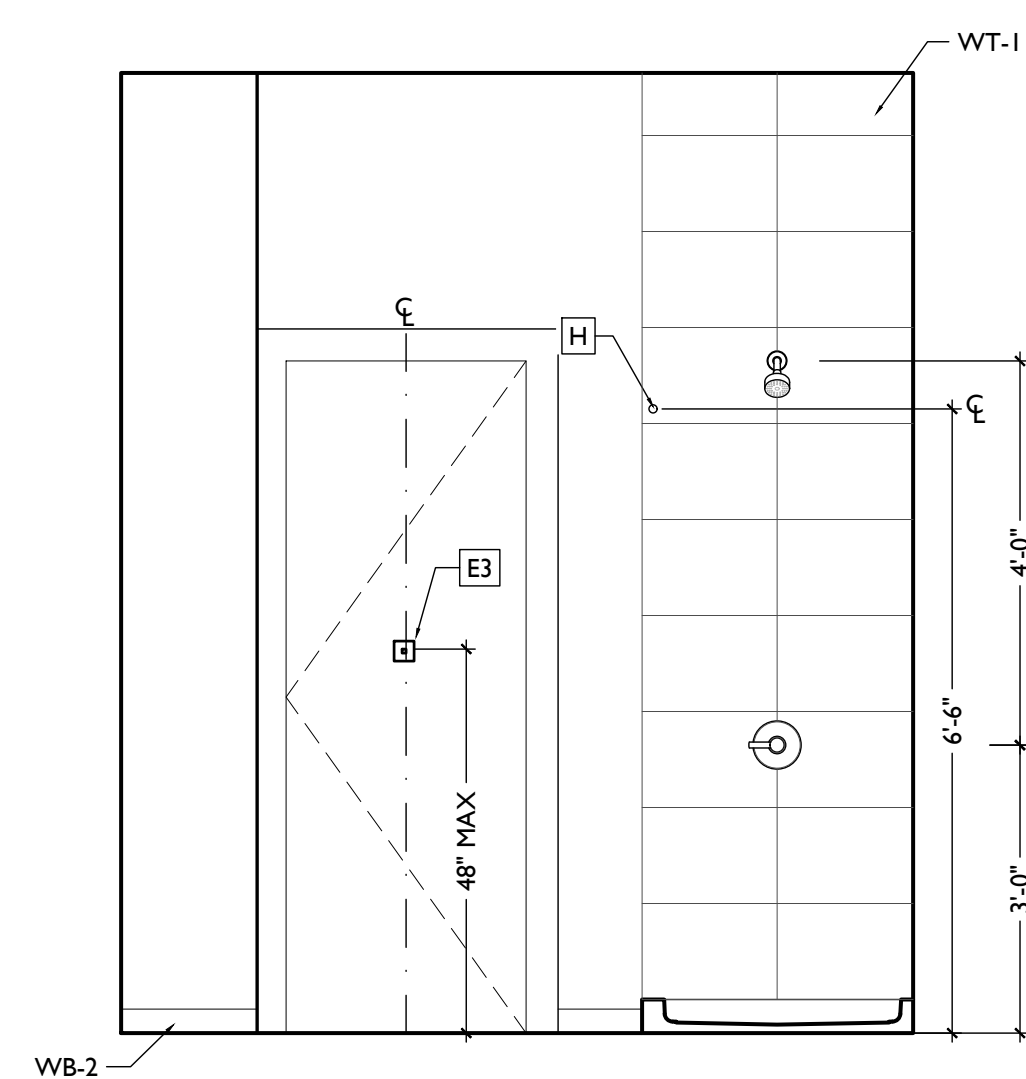


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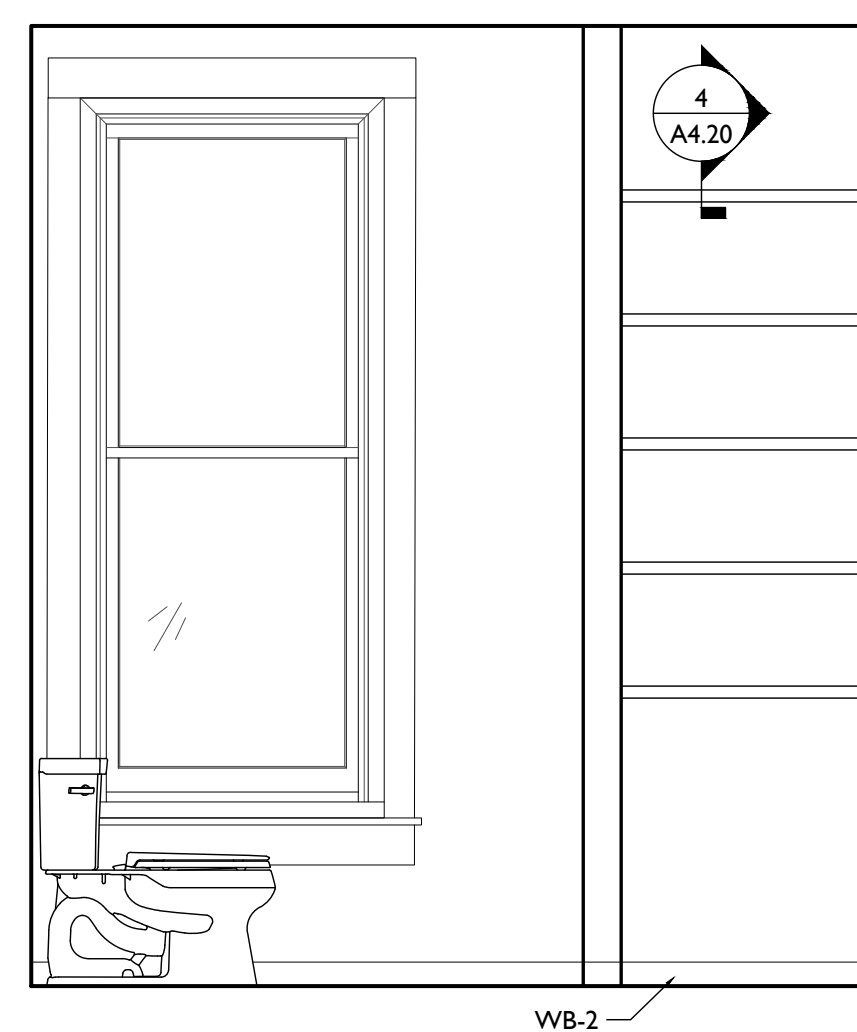


SCALE: 1/2" = 1'-0" ENLARGED KITCHEN PLAN 3

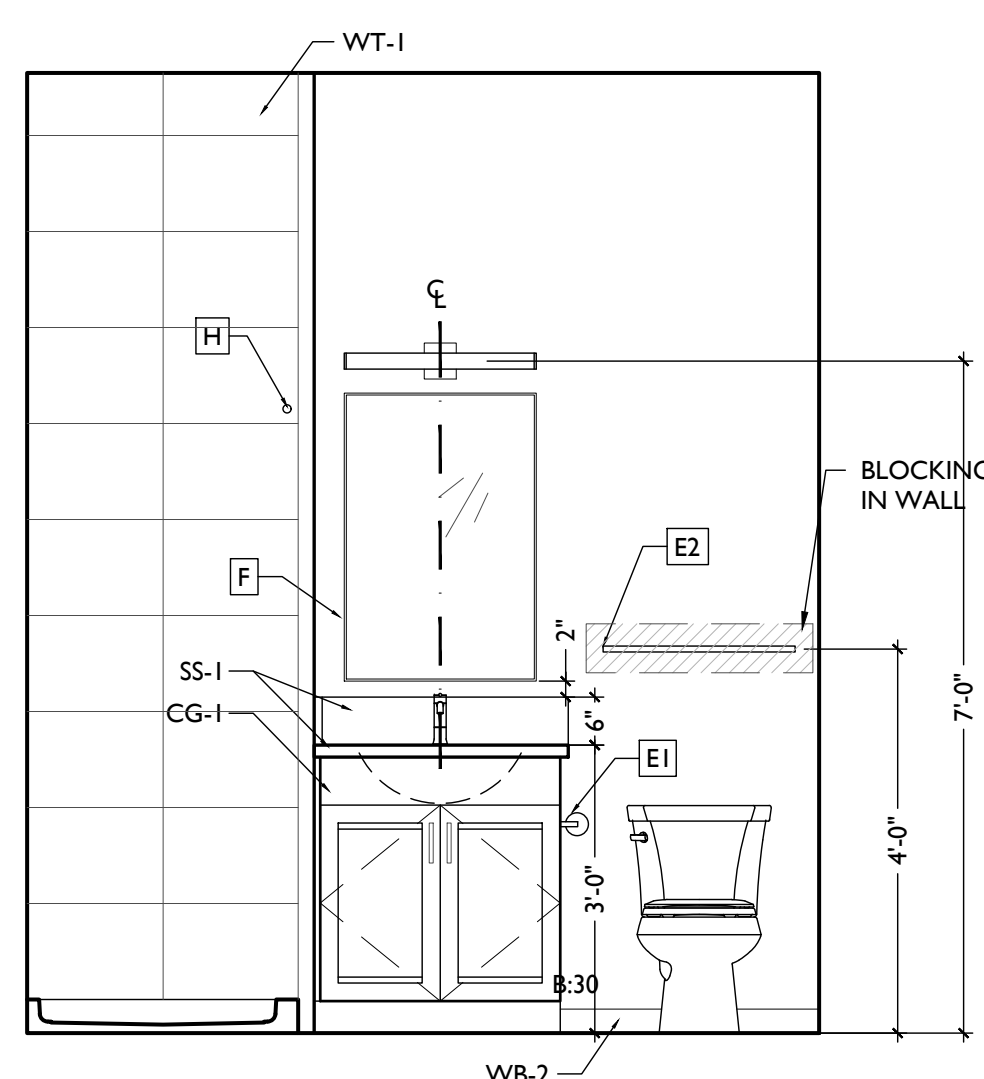
UNIT 204 - ENLARGED PLANS & INT ELEVATIONS



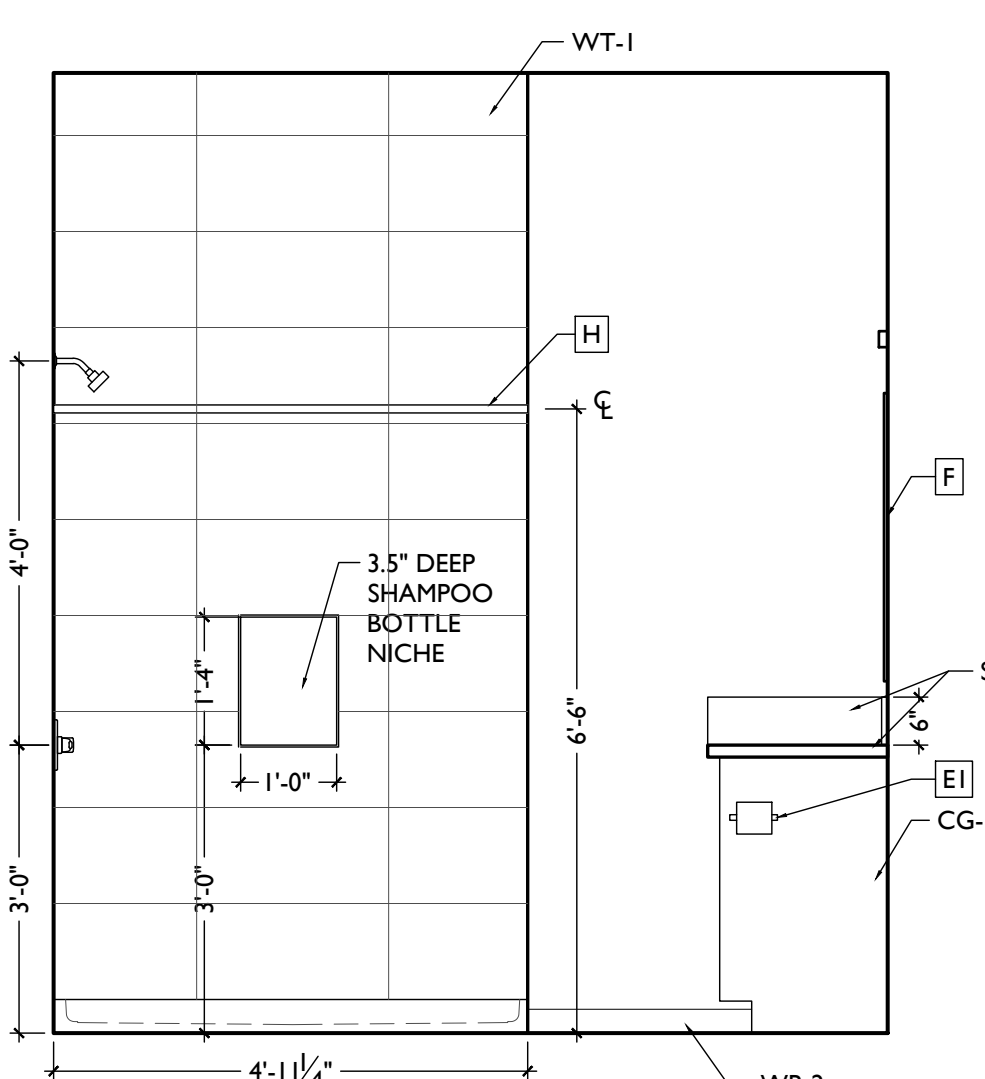
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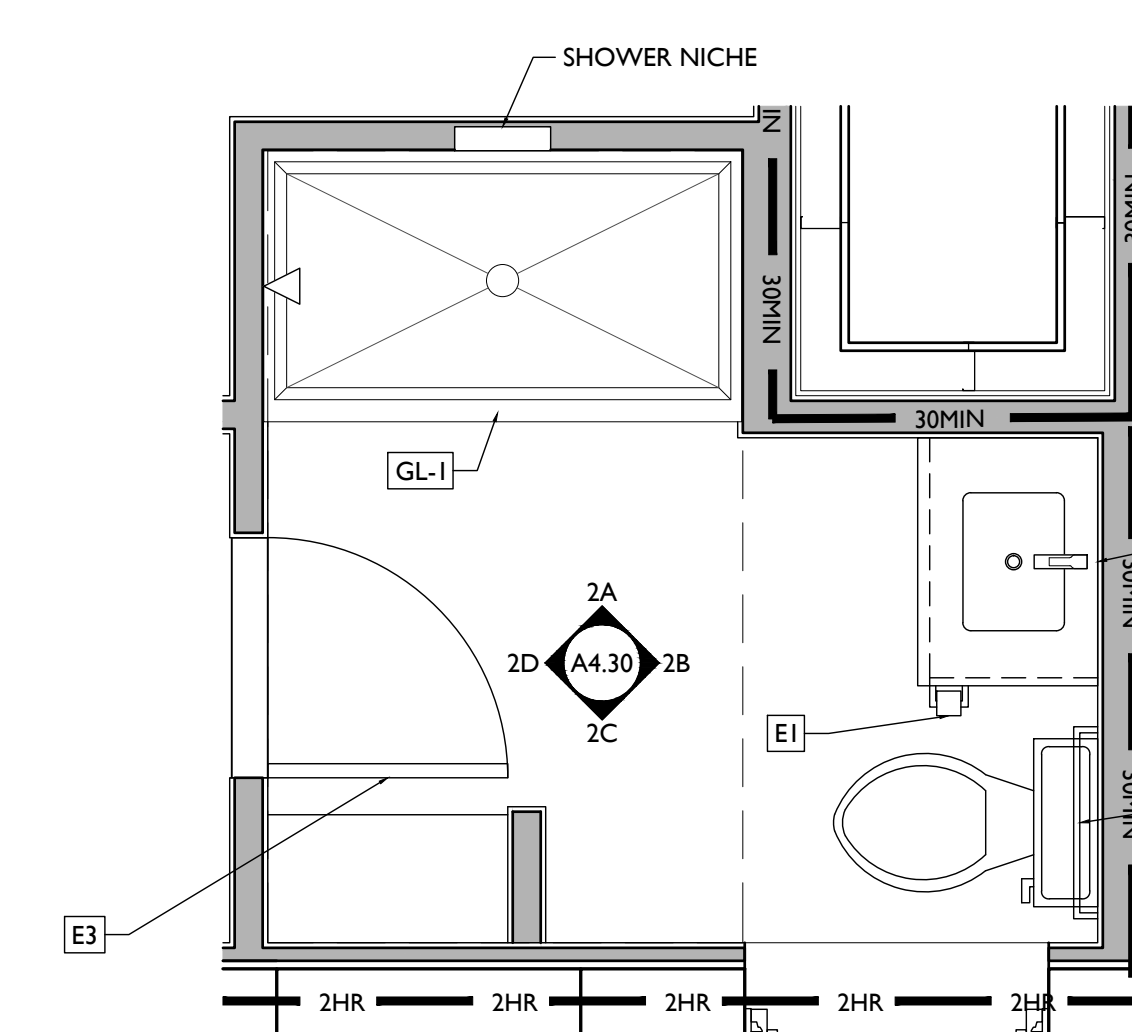
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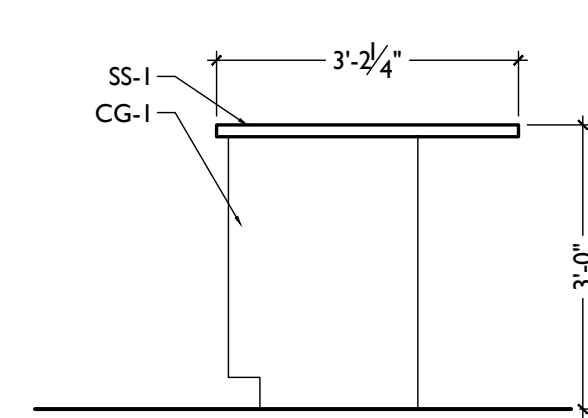
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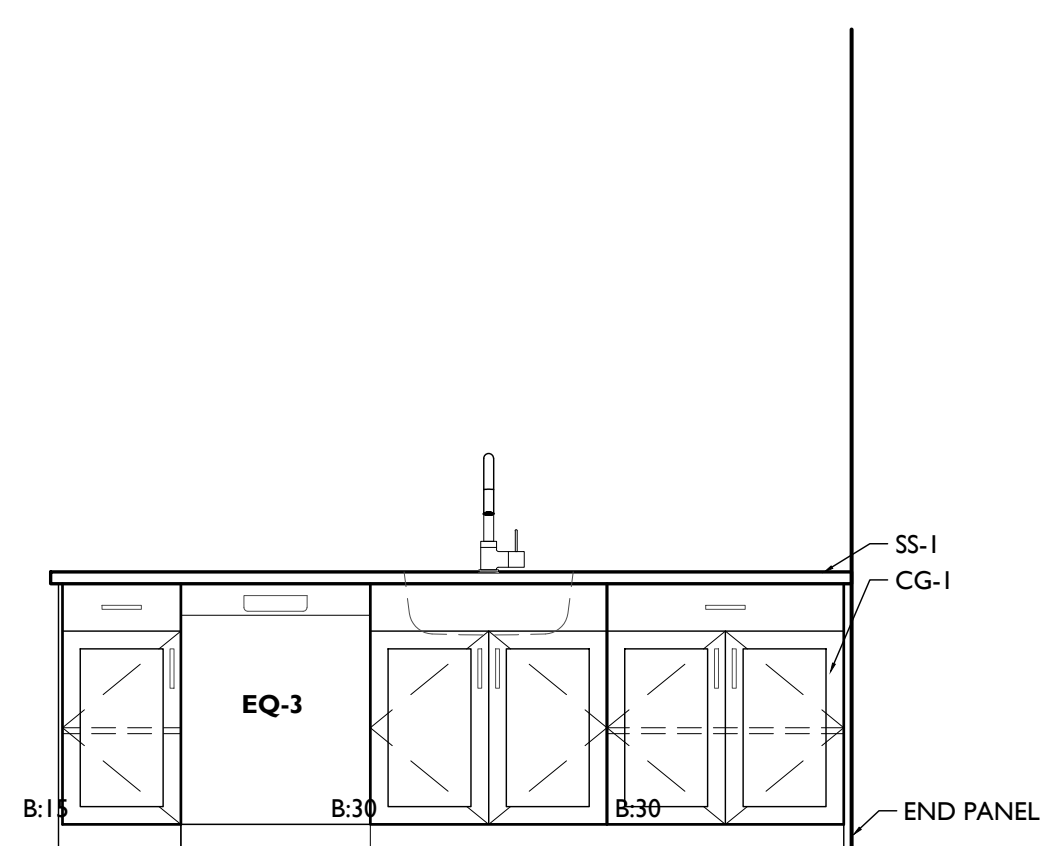
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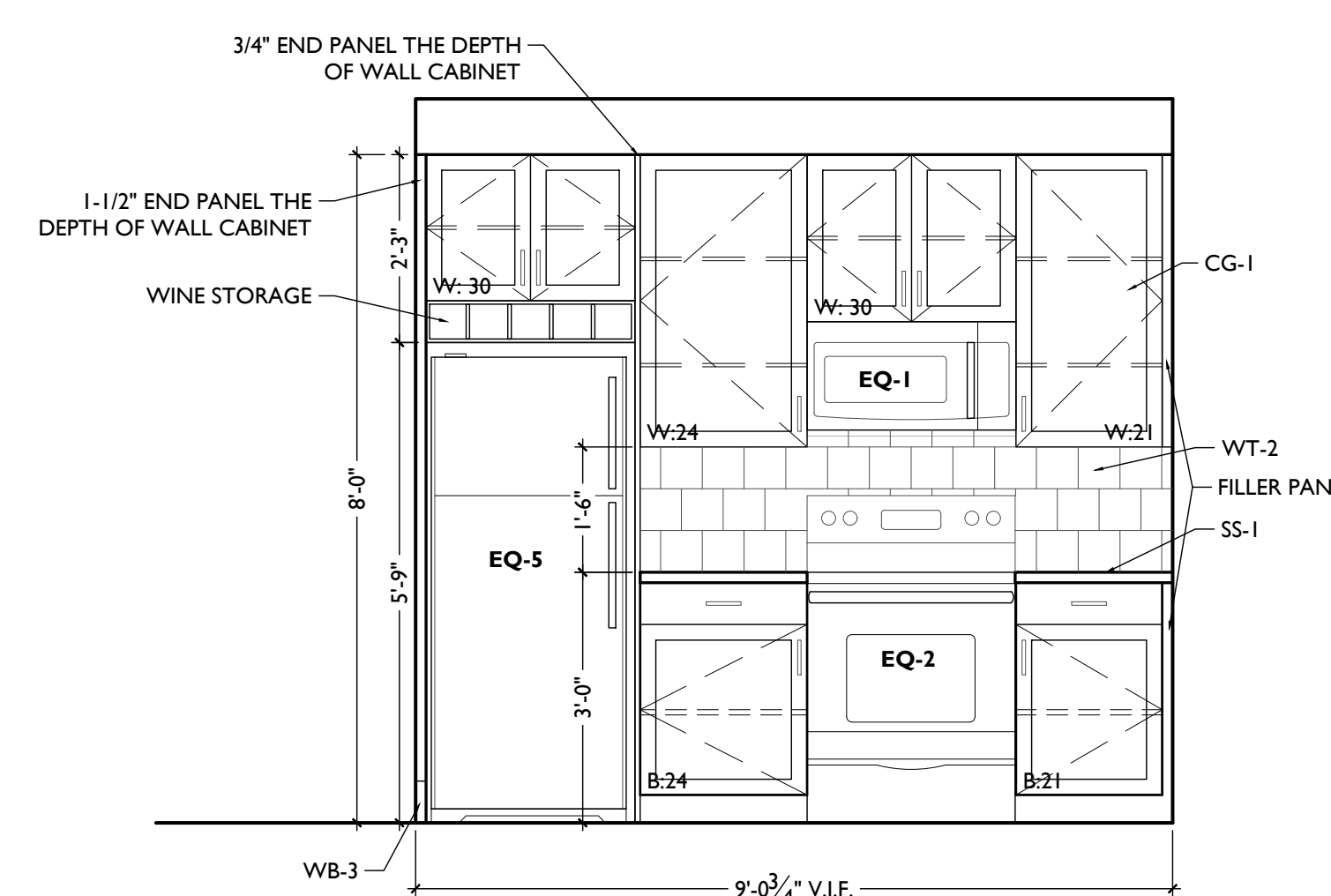
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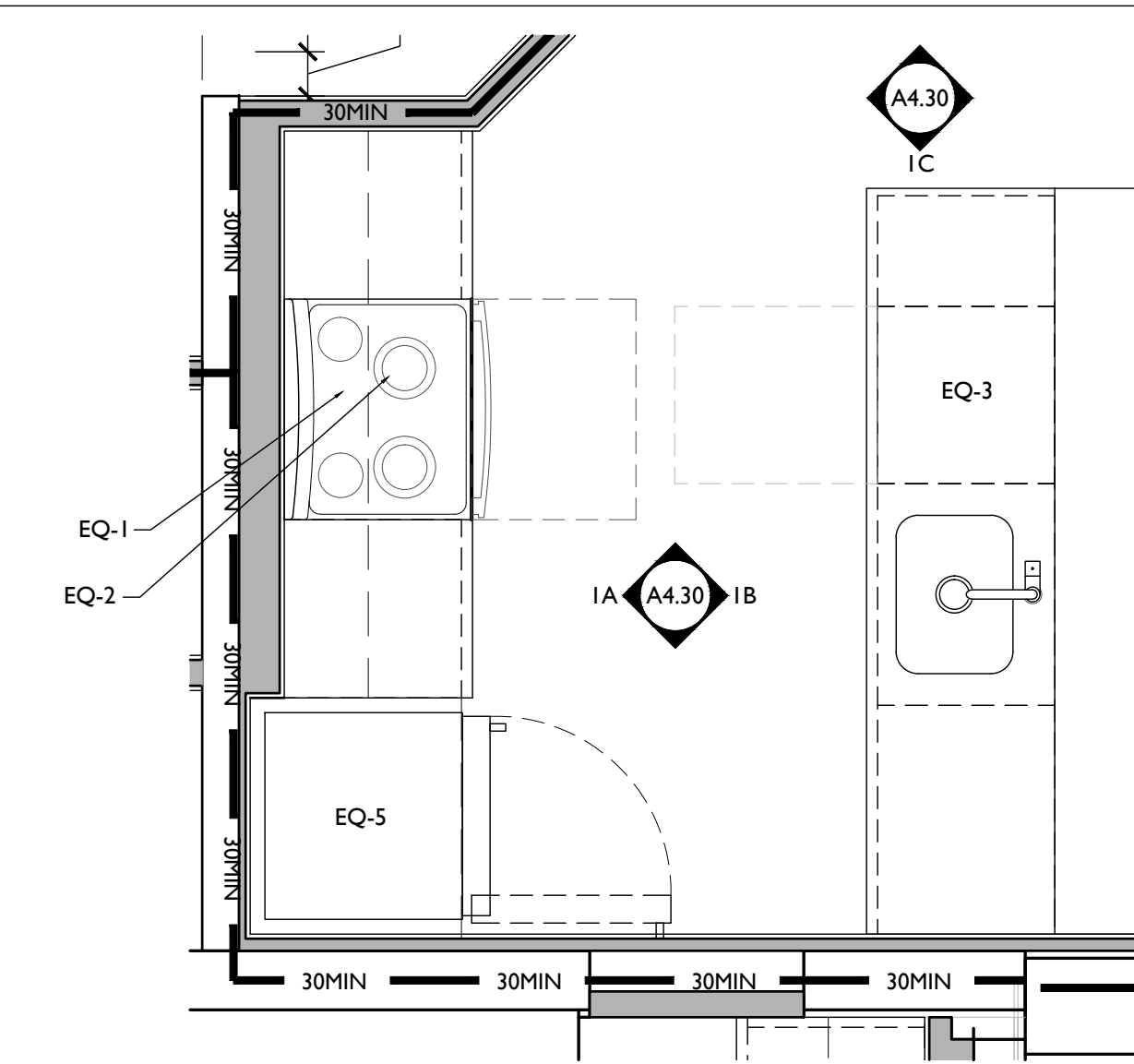
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SCALE: 1/2" = 1'-0" INTERIOR ELEVATION 1B



SCALE: 1/2" = 1'-0" INTERIOR ELEVATION 1A



SCALE: 1/2" = 1'-0" ENLARGED KITCHEN PLAN 1

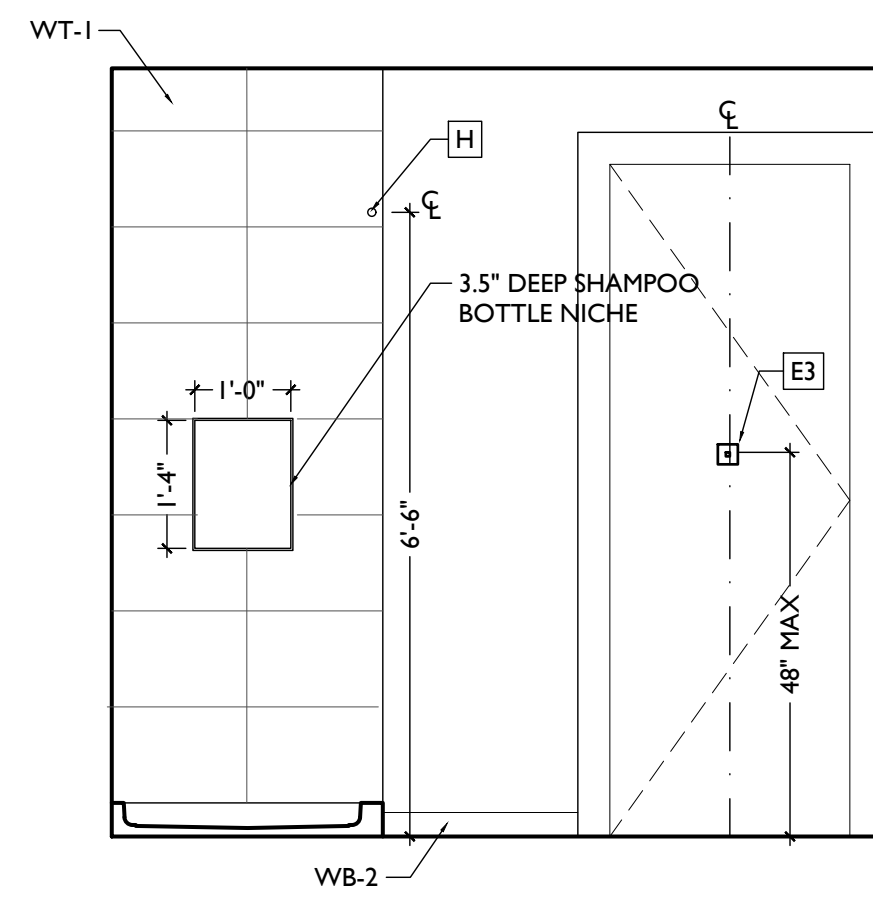
UNIT 203 - ENLARGED PLANS & INT ELEVATIONS

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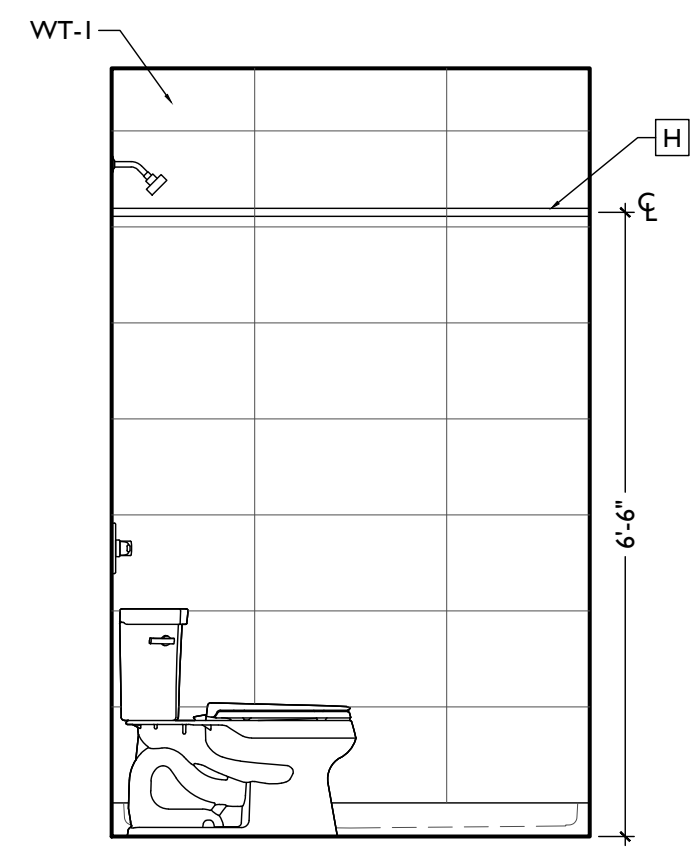
PROPOSED PROJECT:

Job No: 08/30/2024

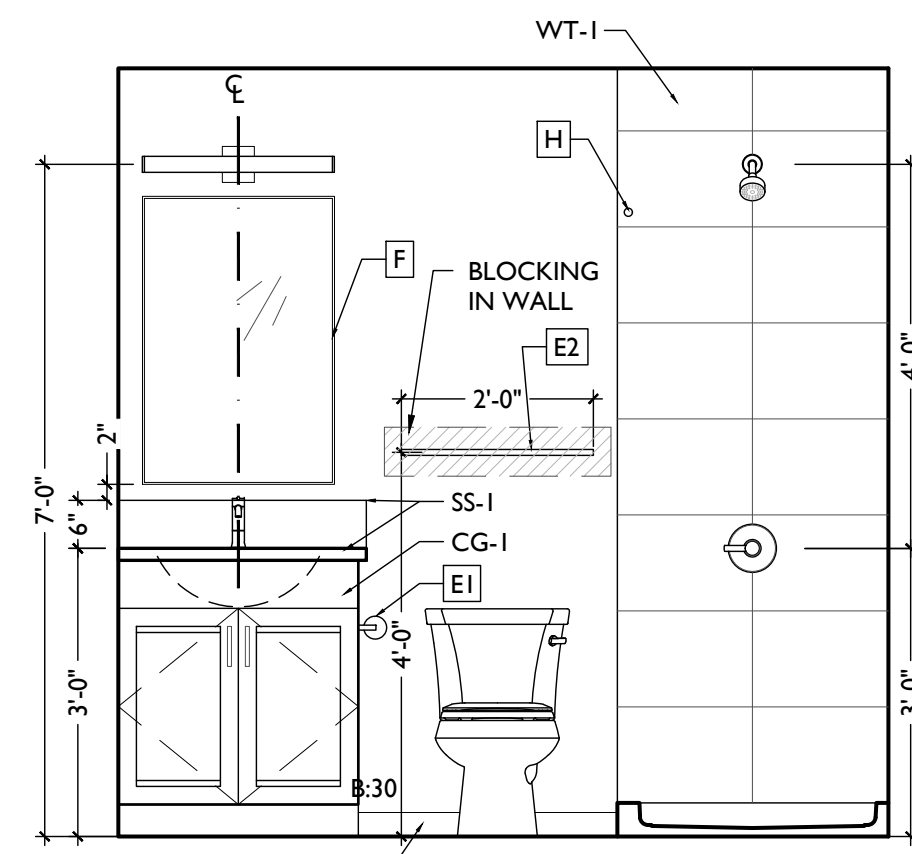
A4.30



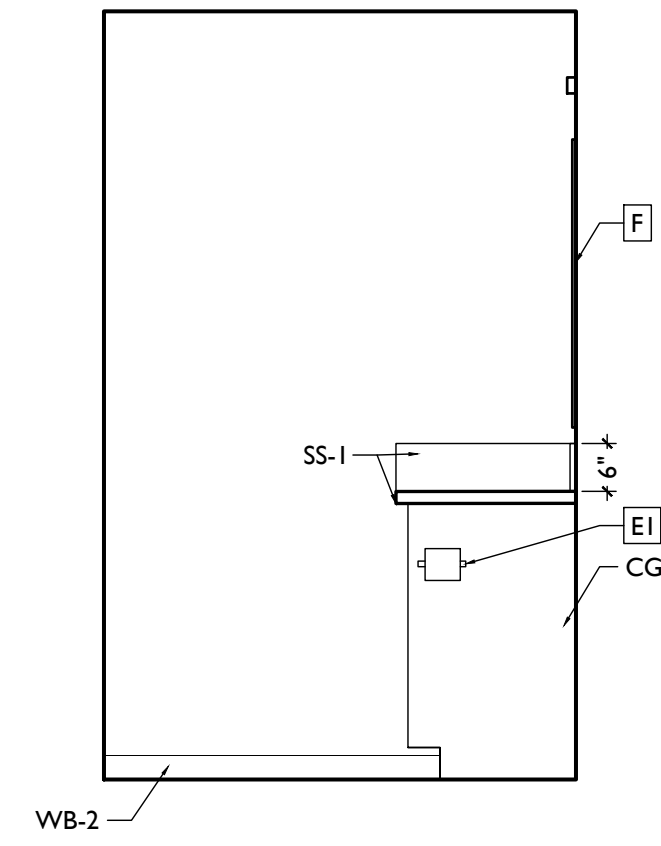
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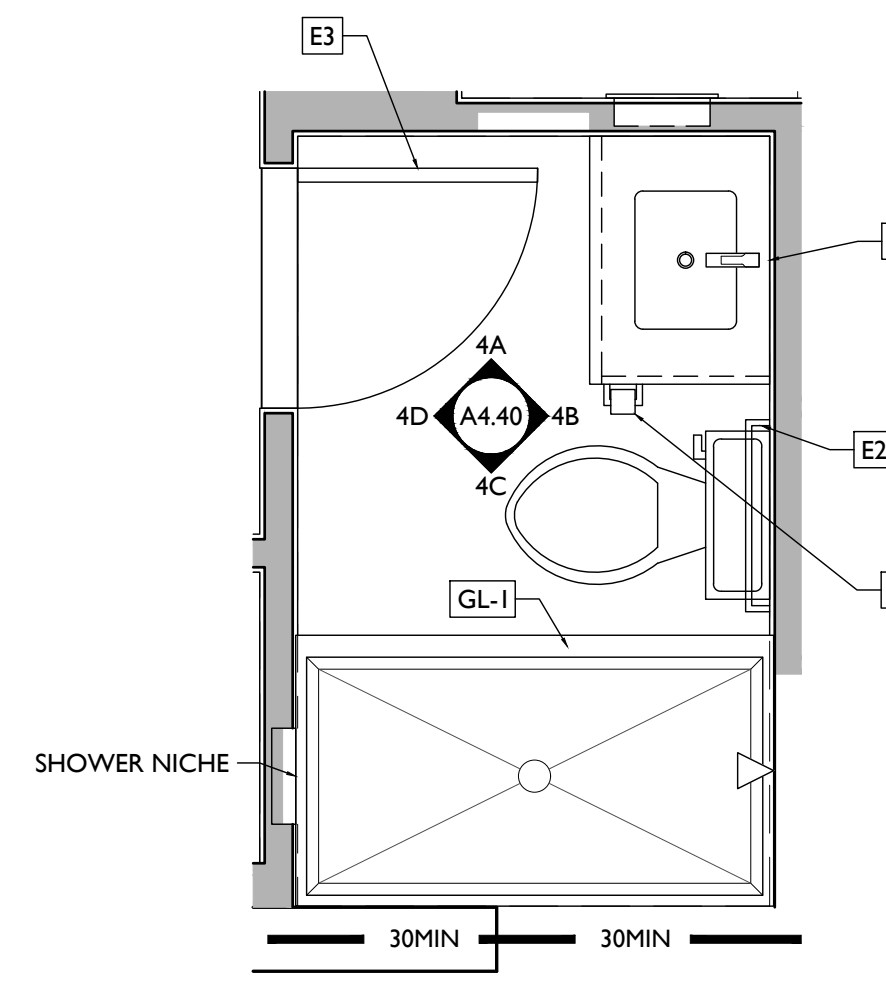
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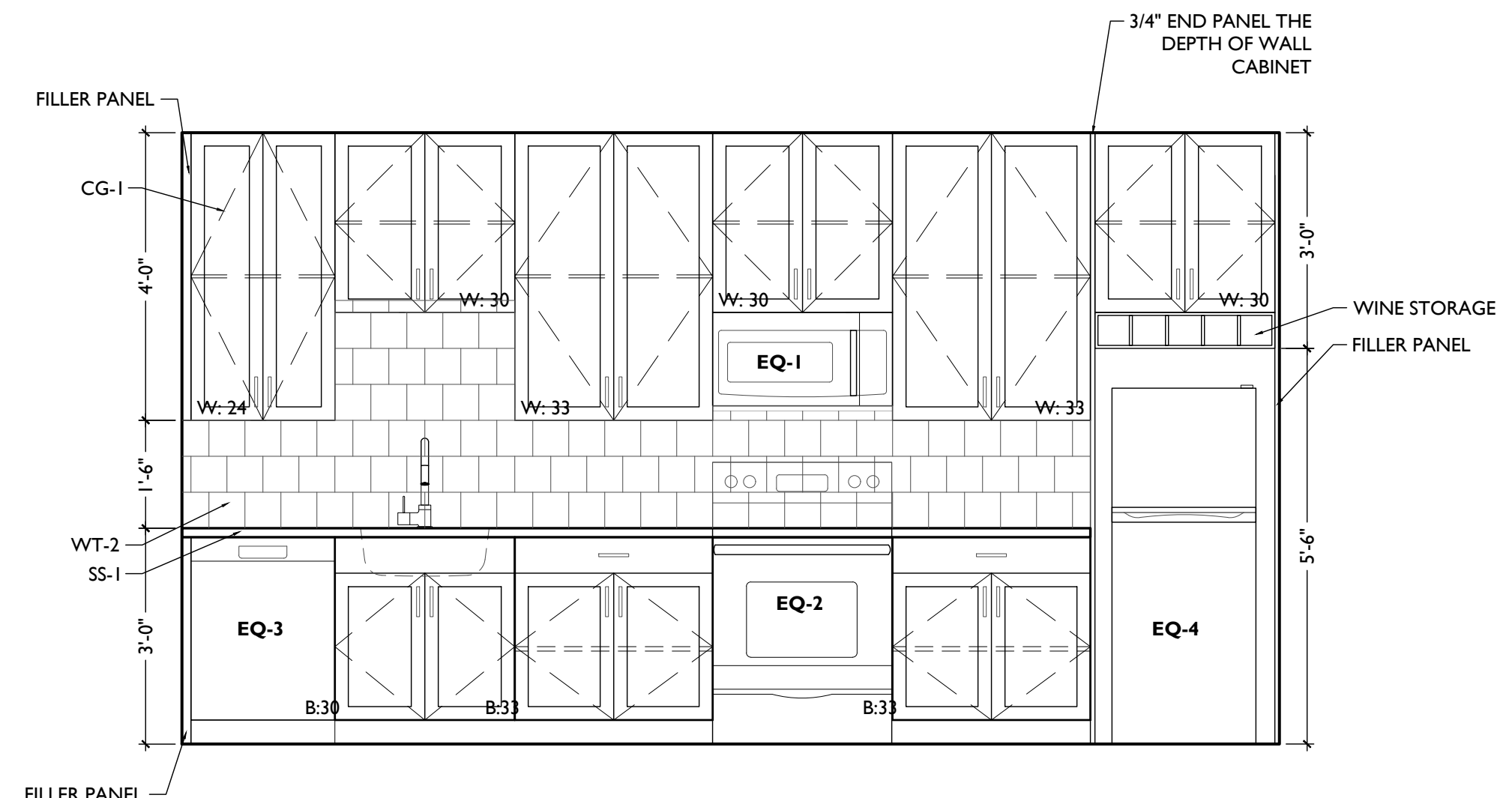
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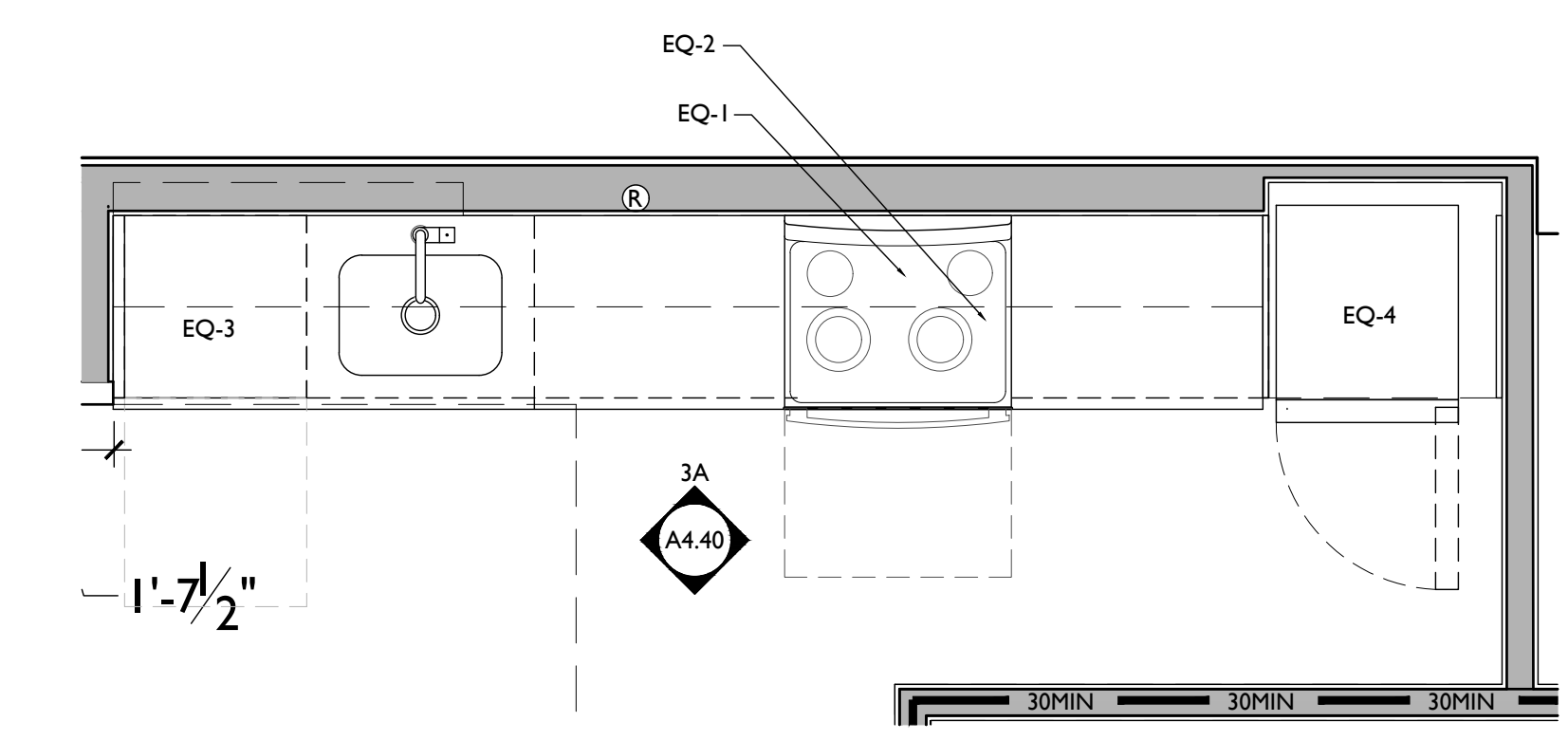
SCALE: 1/2" = 1'-0" INTERIOR ELEVATION 4A



SCALE: 1/2" = 1'-0" ENLARGED BATHROOM PLAN 4

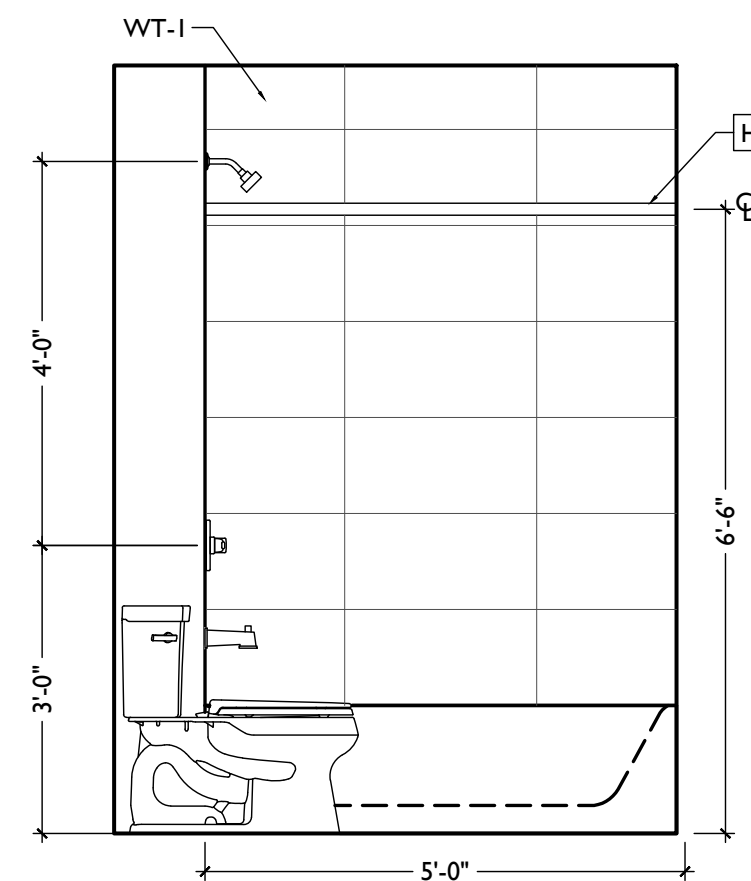


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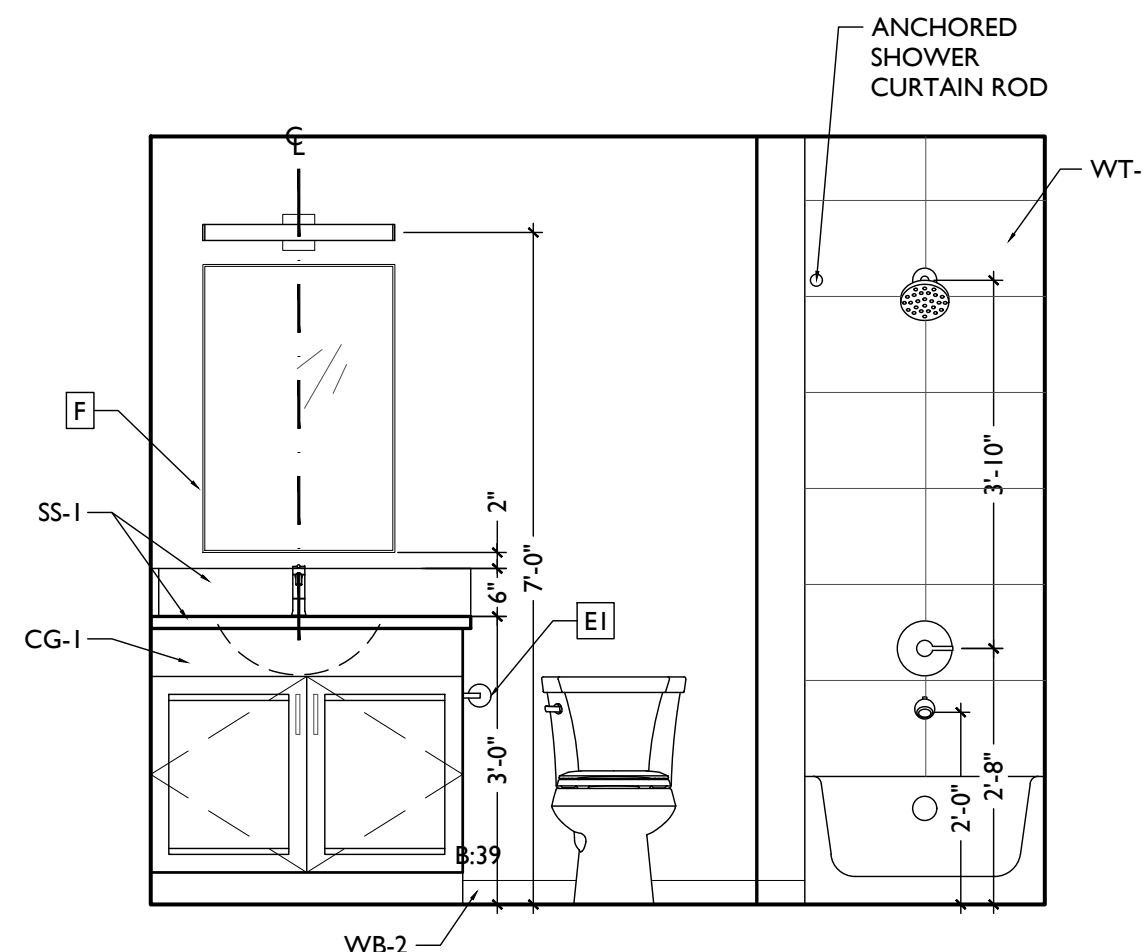


SCALE: 1/2" = 1'-0" ENLARGED KITCHEN PLAN 3

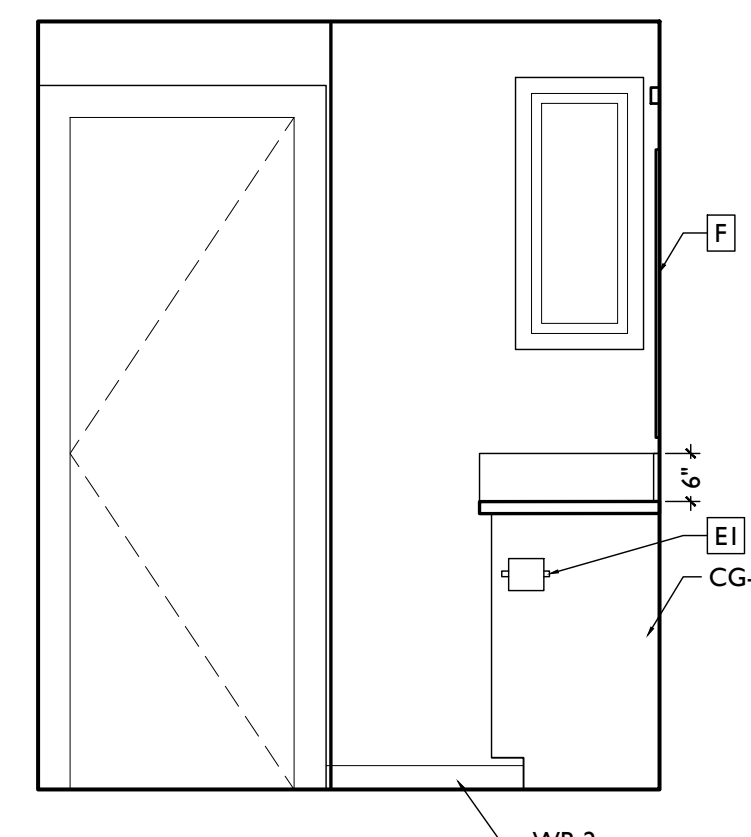
UNIT 205 - ENLARGED PLANS & INT ELEVATIONS



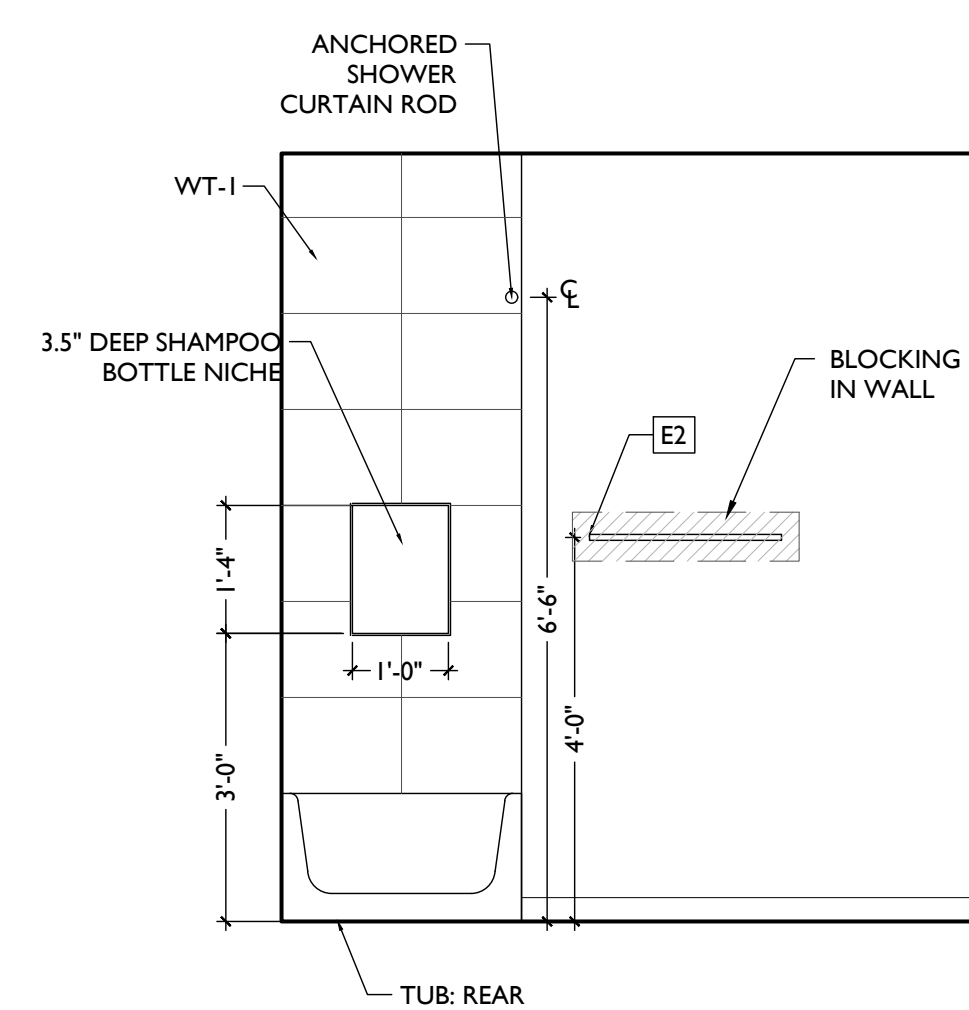
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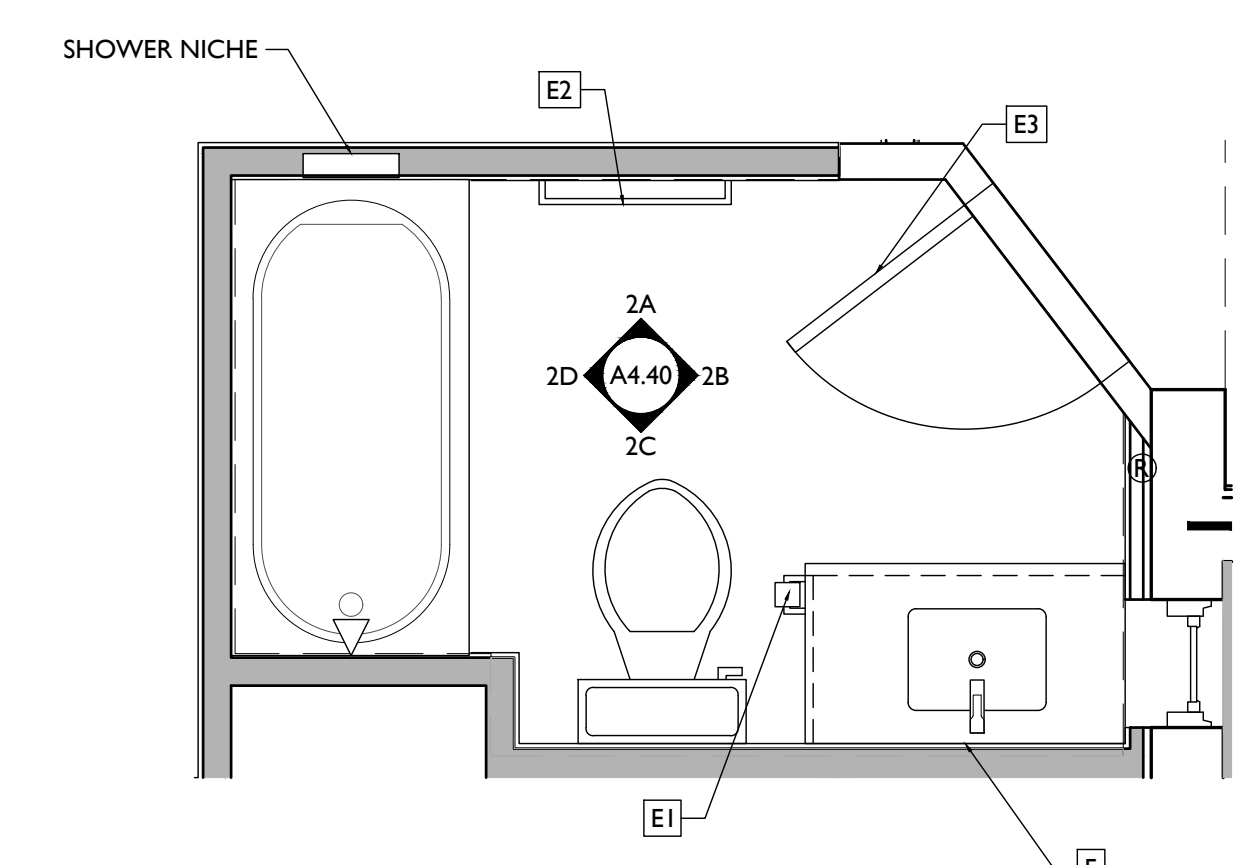
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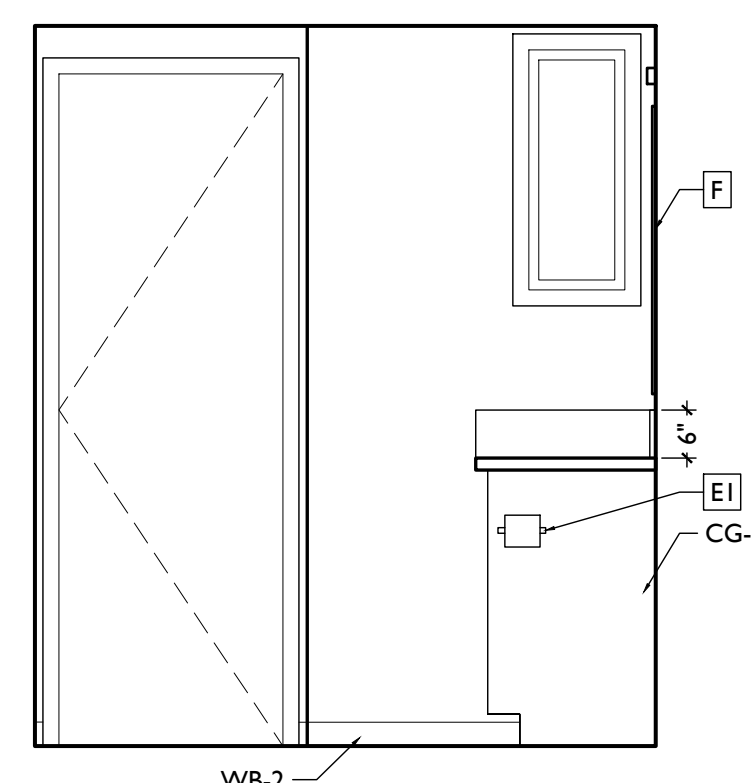
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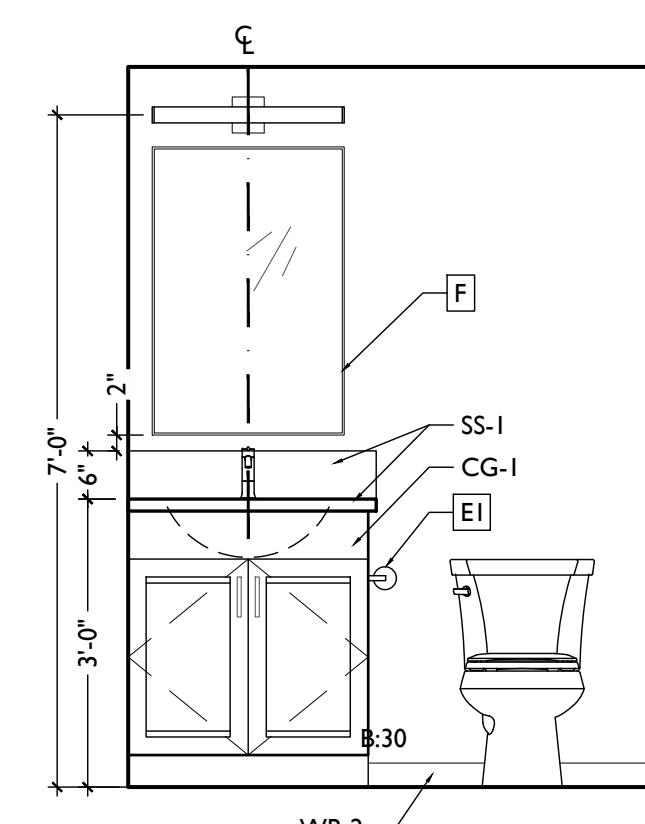
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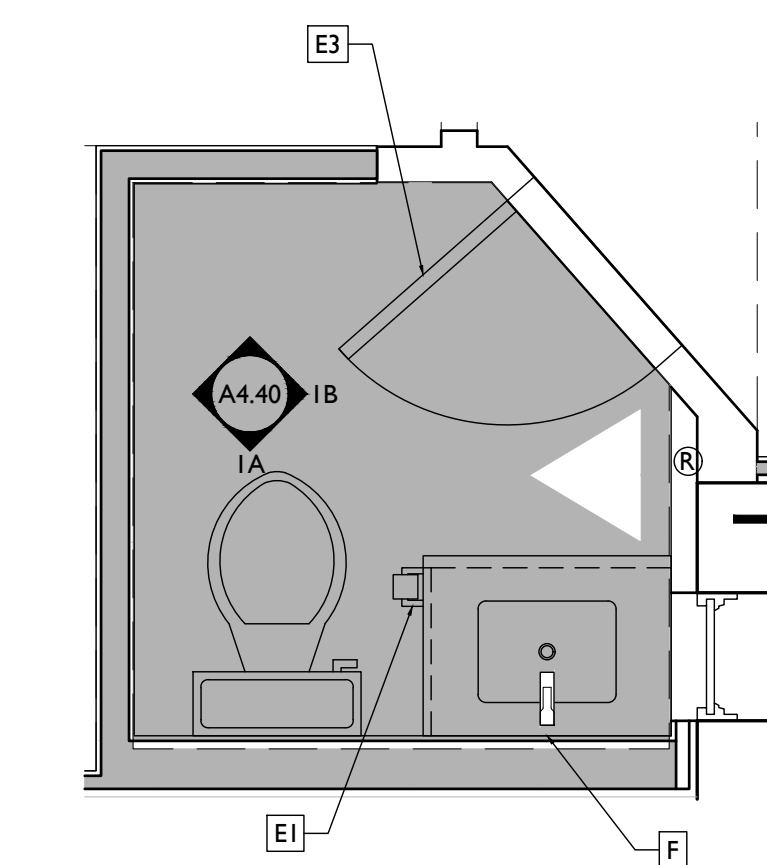
SCALE: 1/2" = 1'-0" ENLARGED BATHROOM PLAN 2



SCALE: 1/2" = 1'-0" INTERIOR ELEVATION 1B



SCALE: 1/2" = 1'-0" INTERIOR ELEVATION 1A

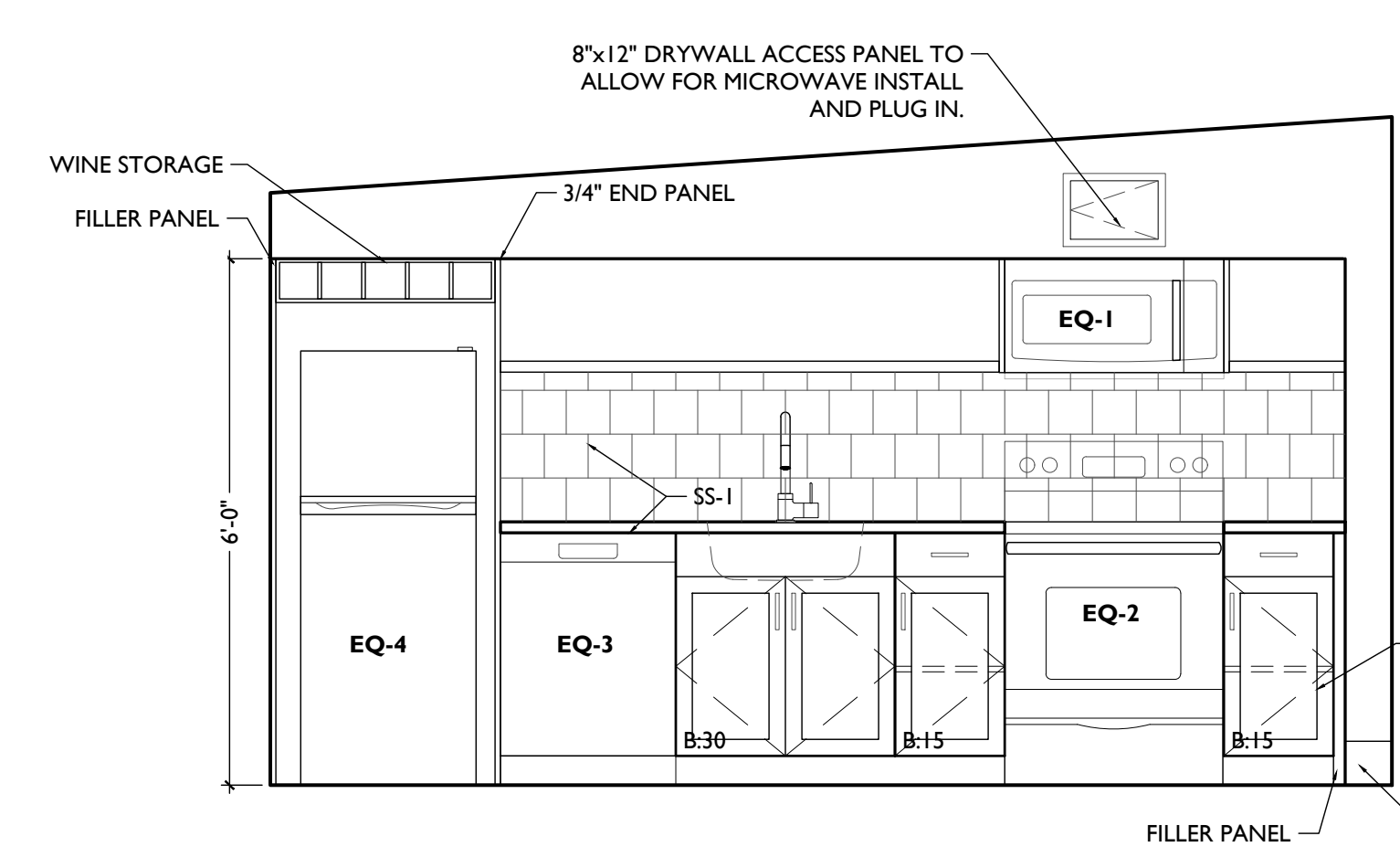


SCALE: 1/2" = 1'-0" ENLARGED BATHROOM PLAN 1

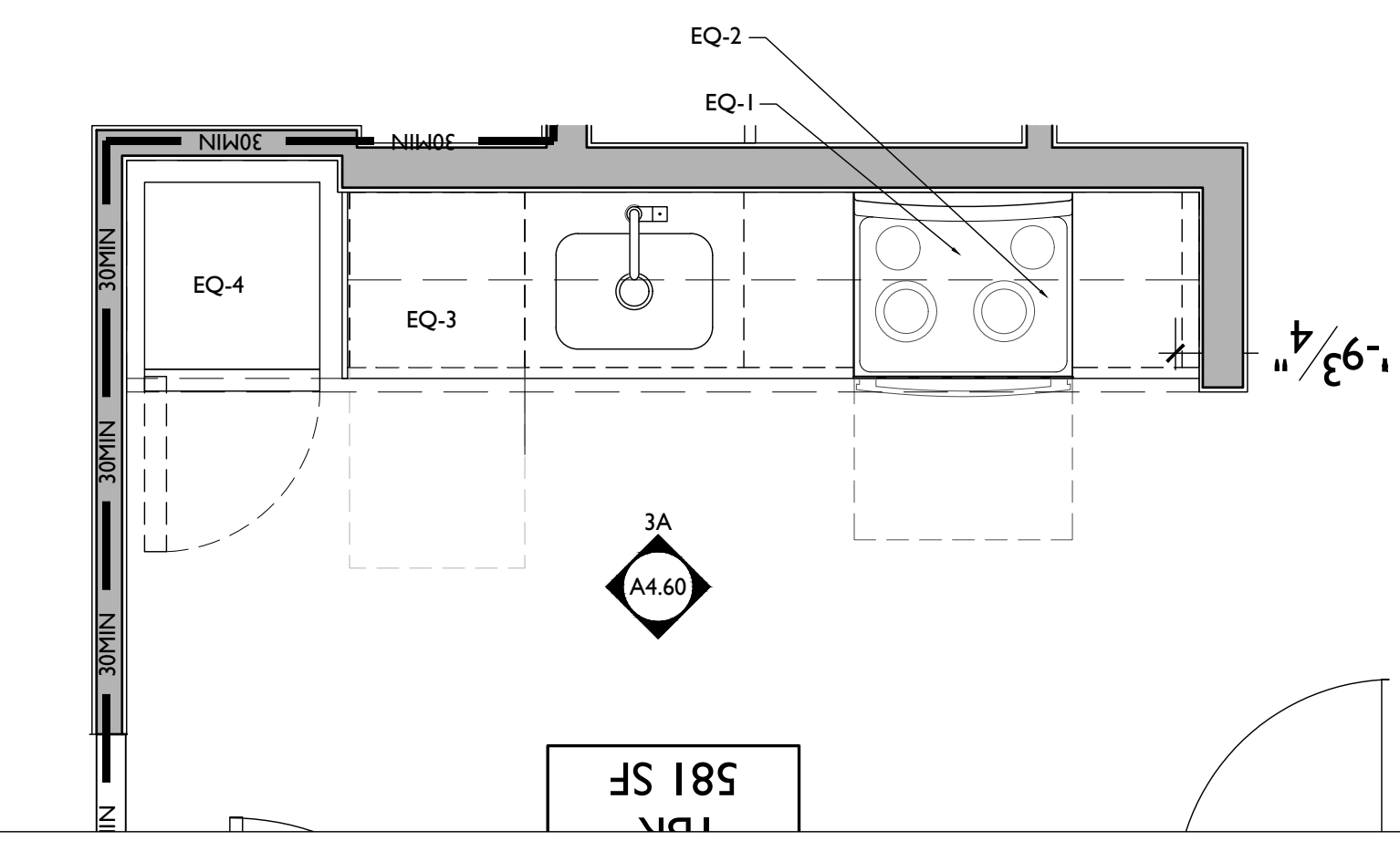
UNIT 204 - ENLARGED PLANS & INT ELEVATIONS

NOT FOR CONSTRUCTION

Progress Dates
Revisions
Design Team:
Drawn by:

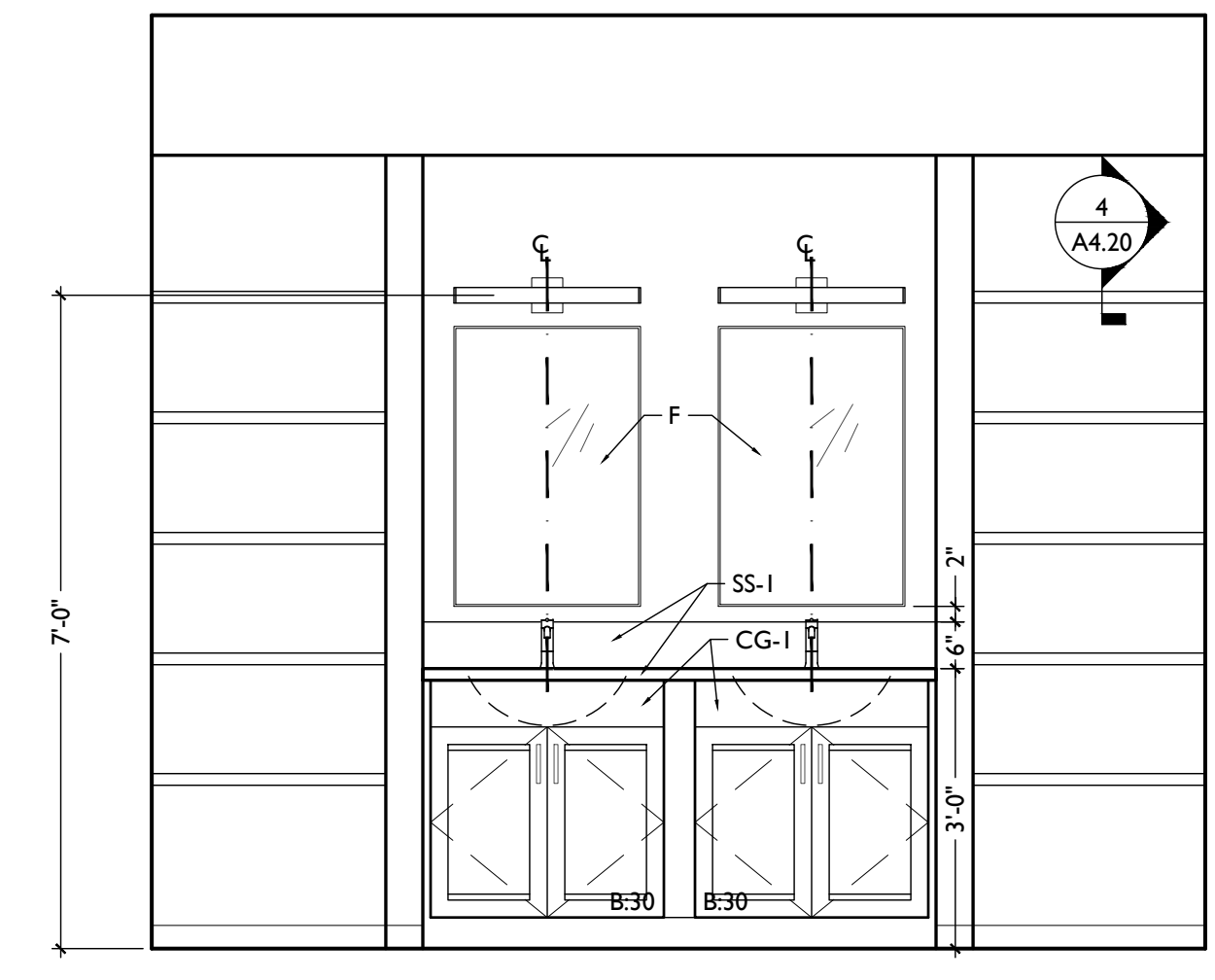


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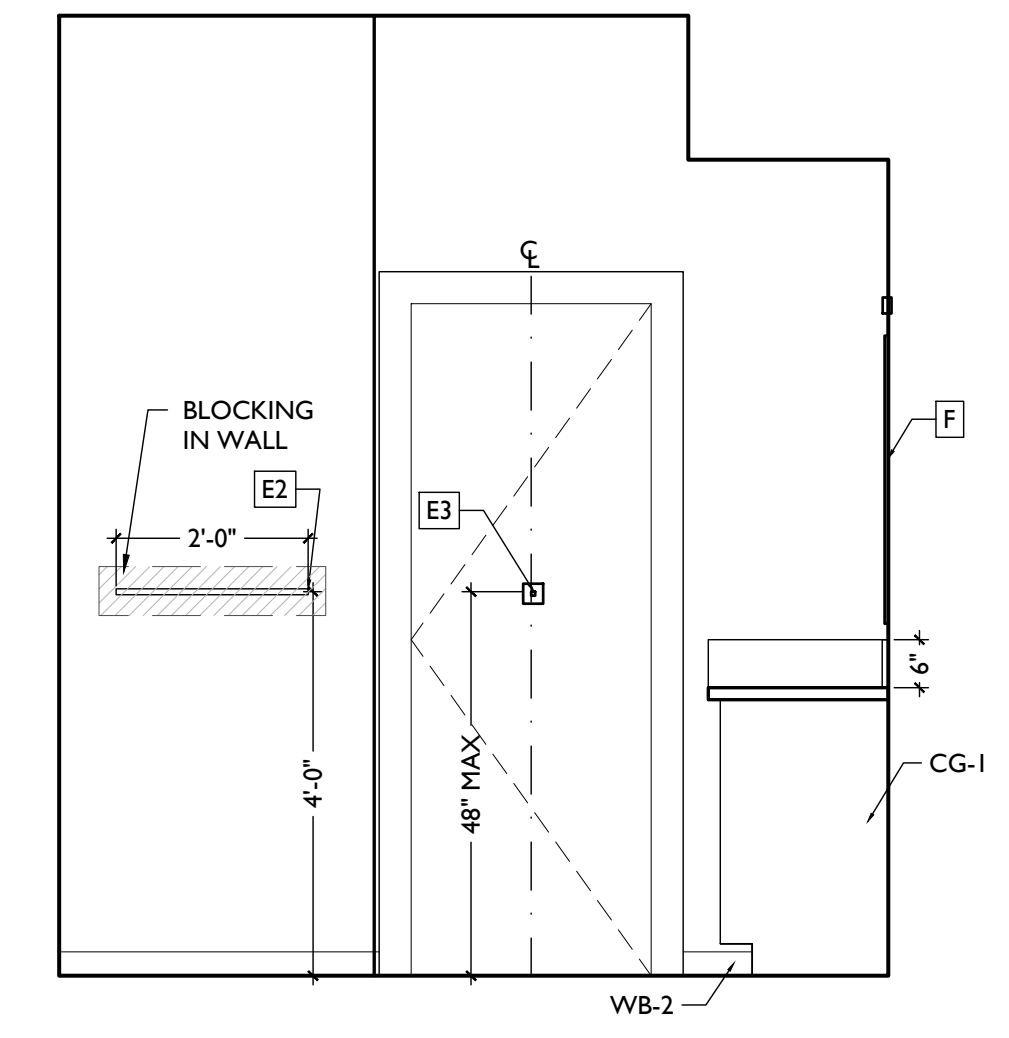


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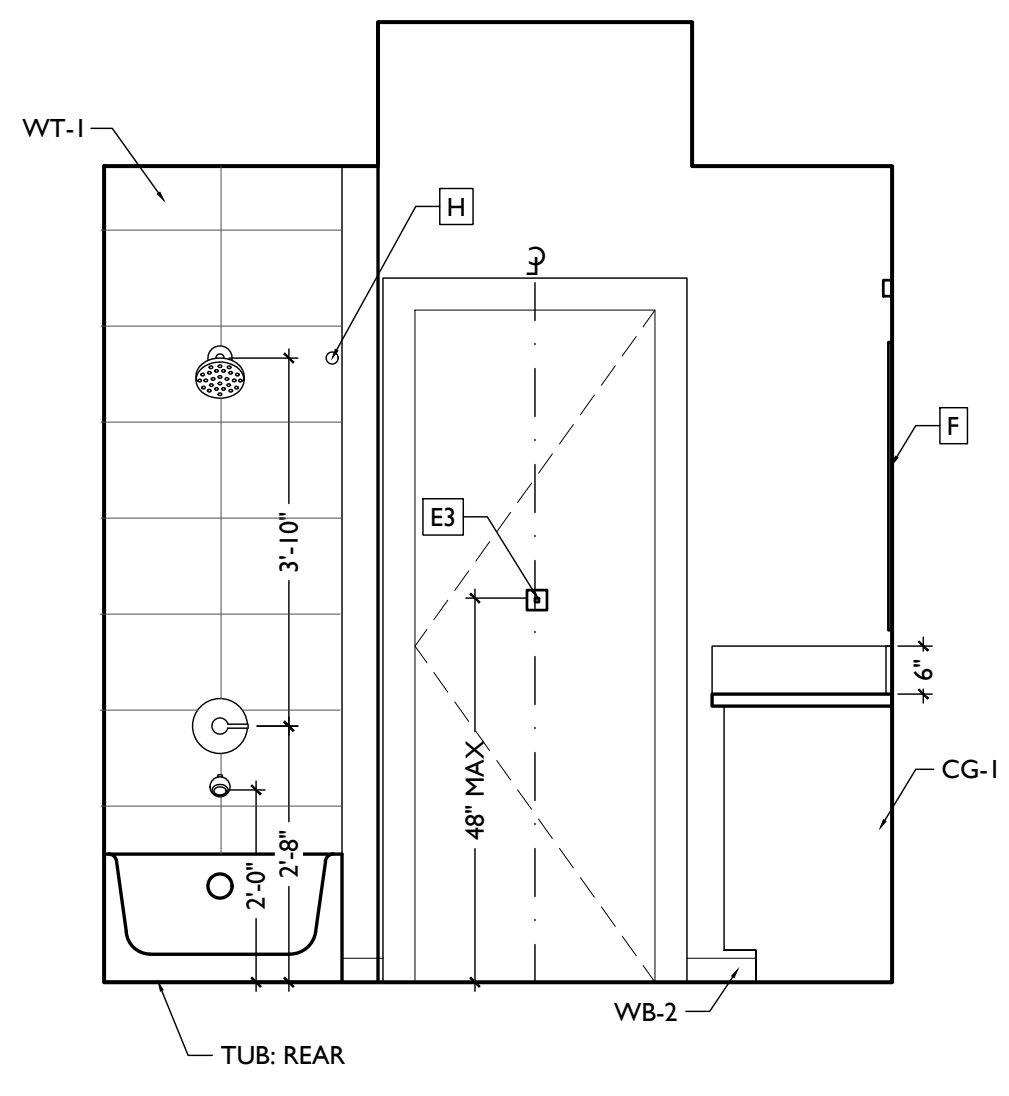
UNIT 302 - ENLARGED PLANS & INT ELEVATIONS



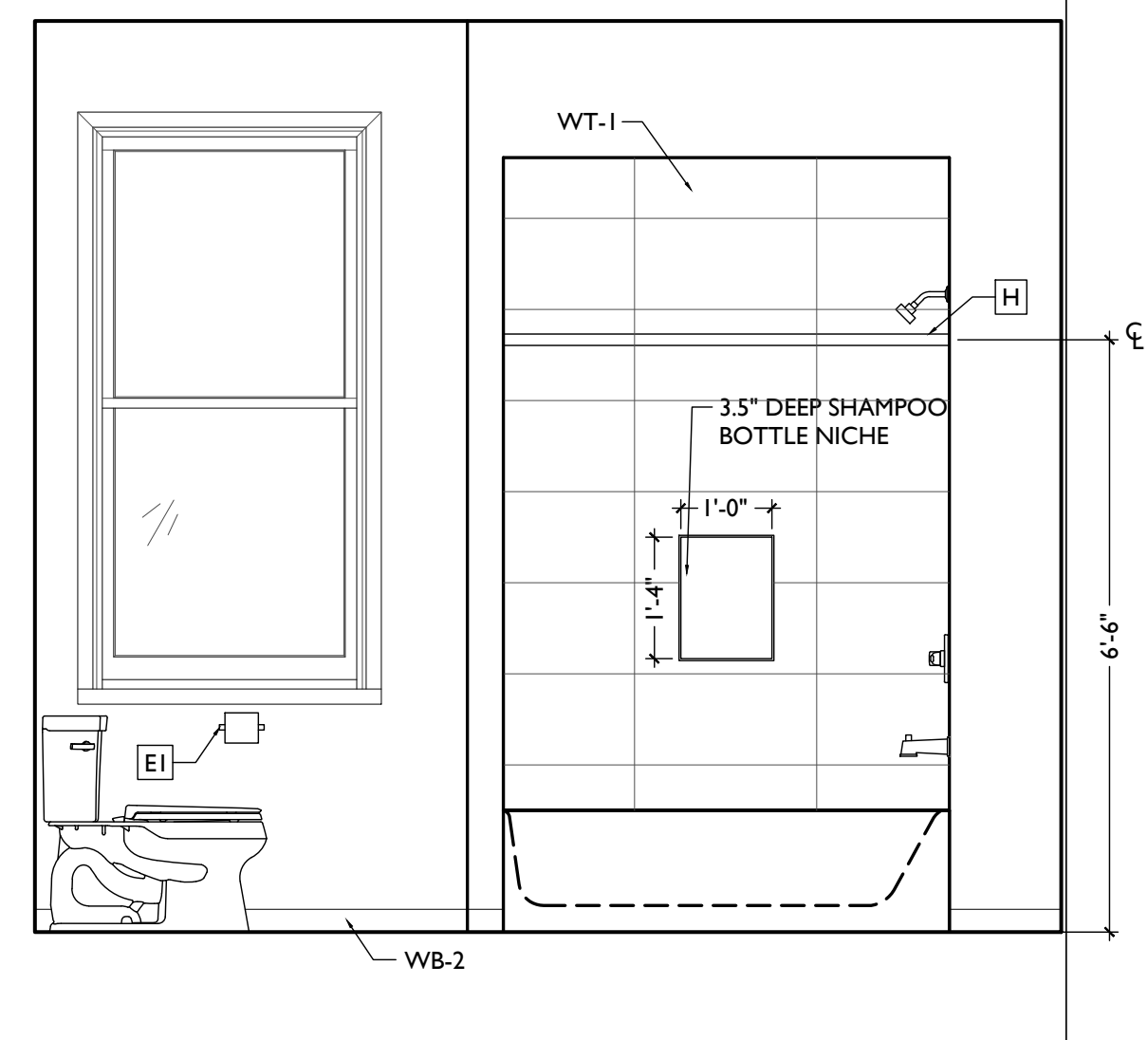
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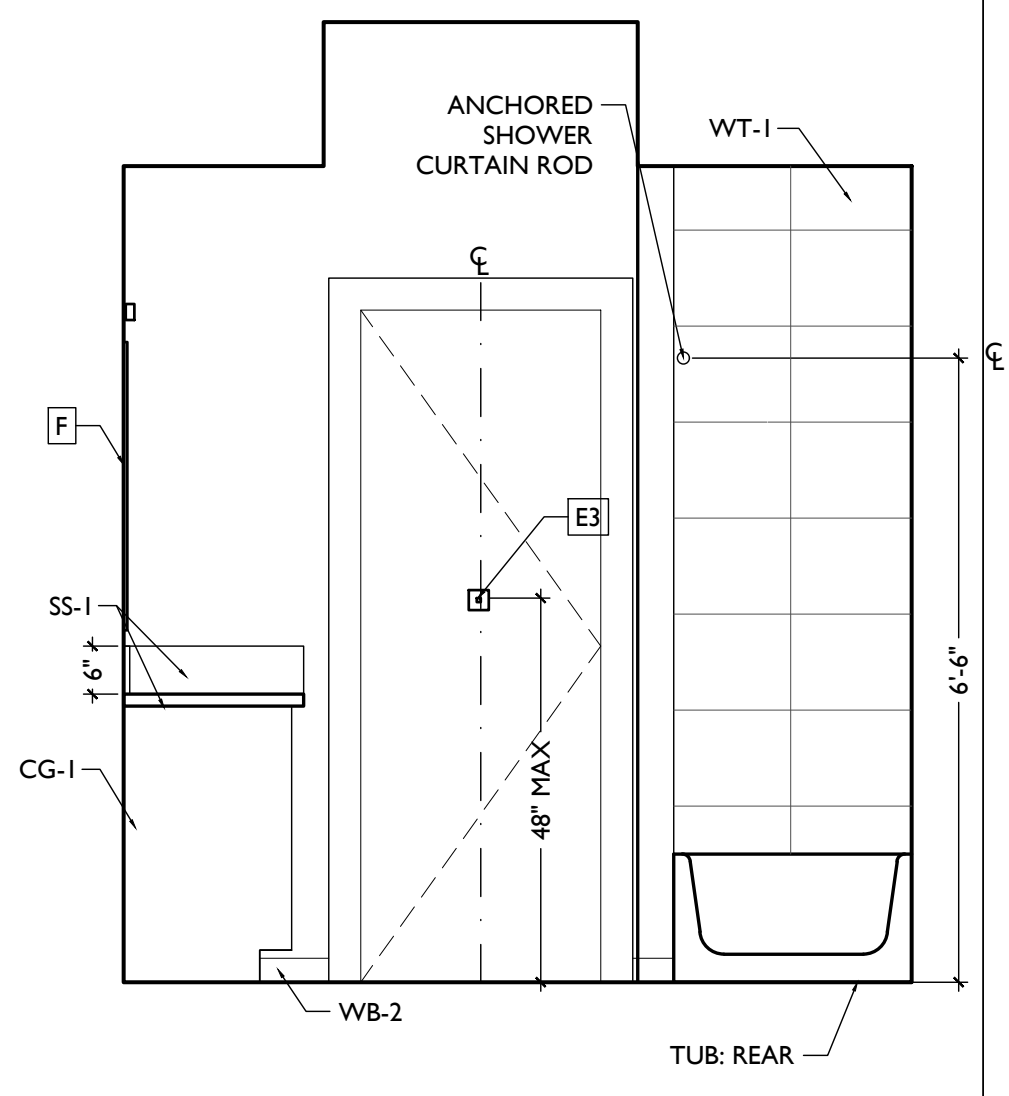
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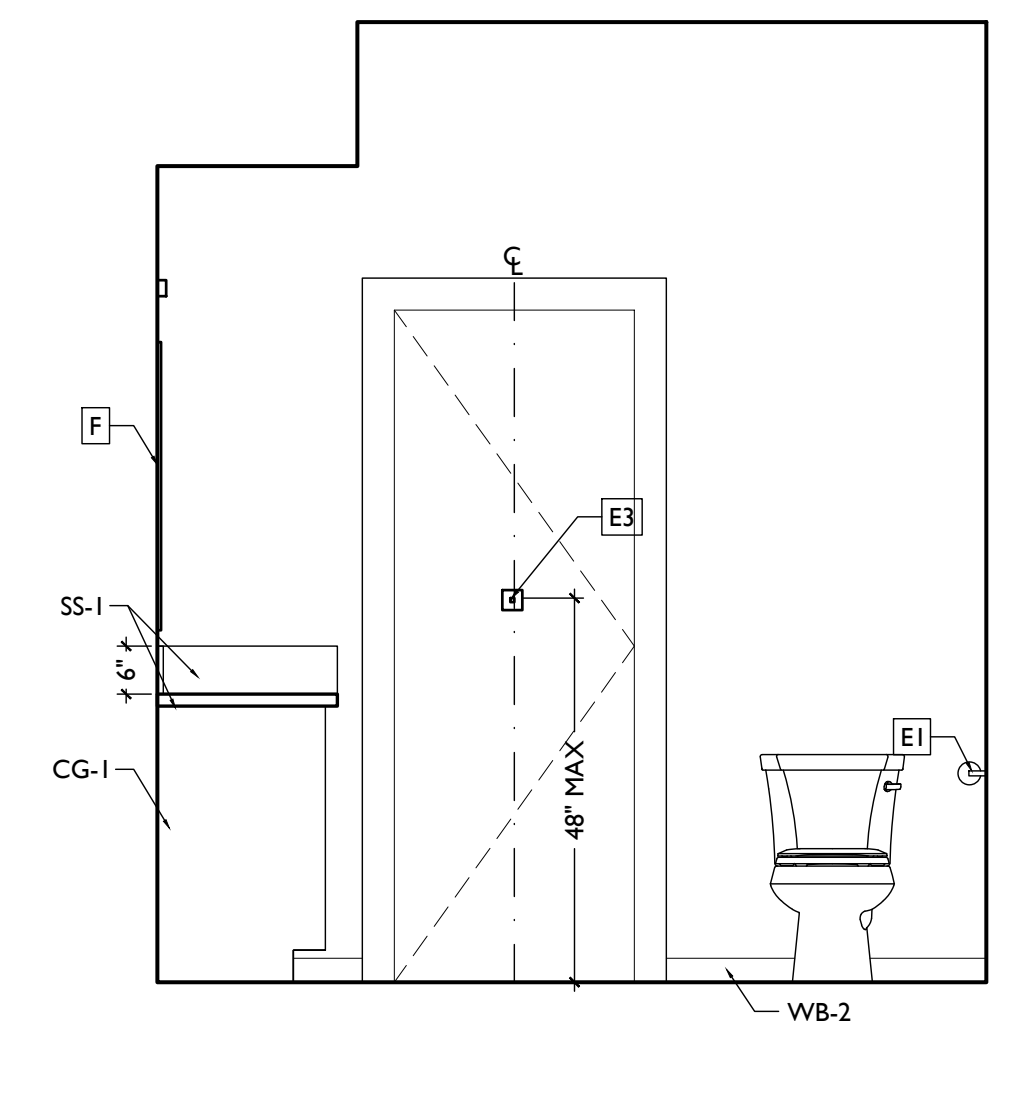
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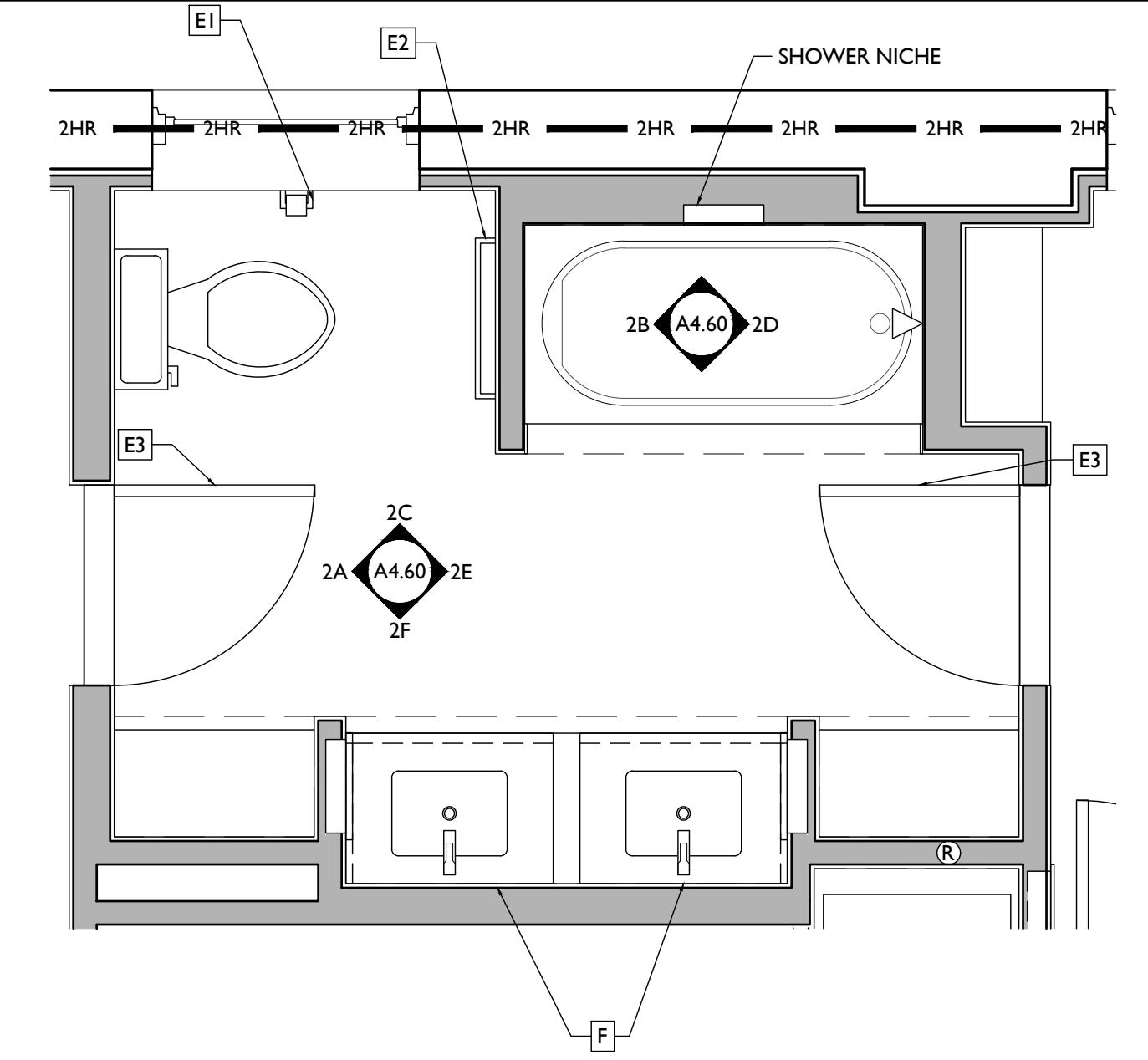
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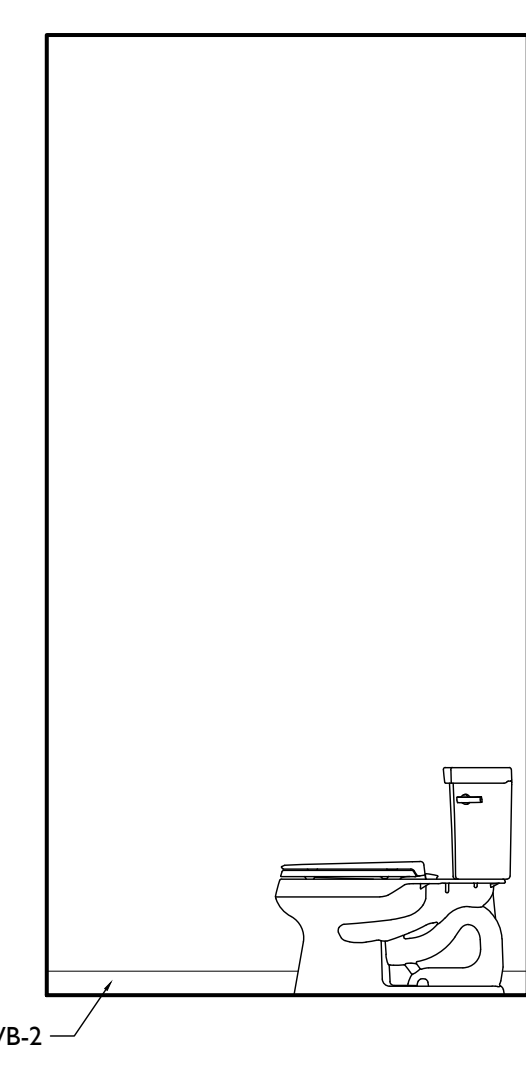
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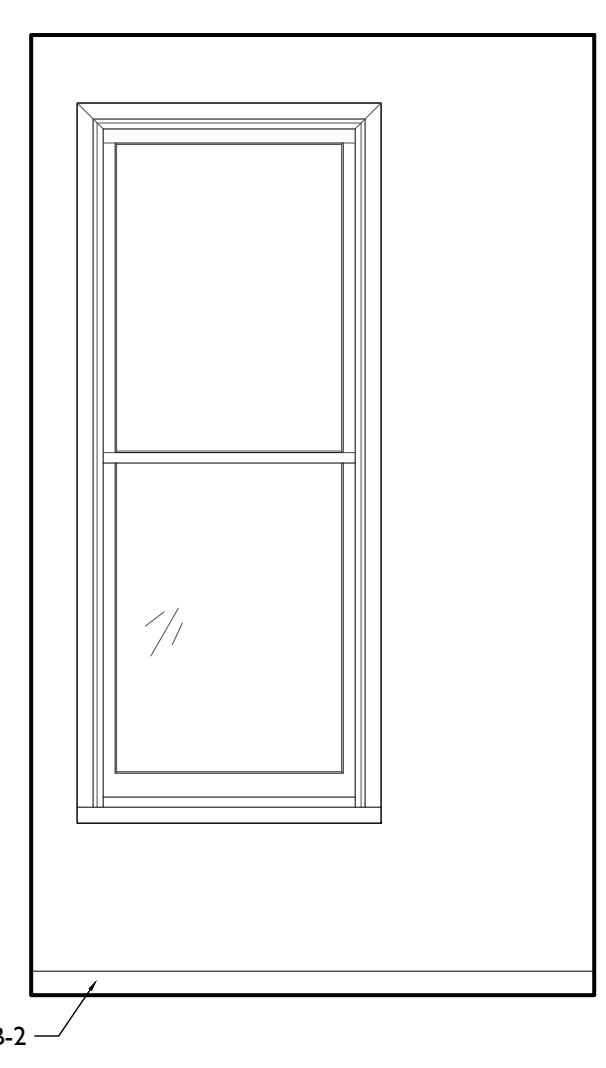
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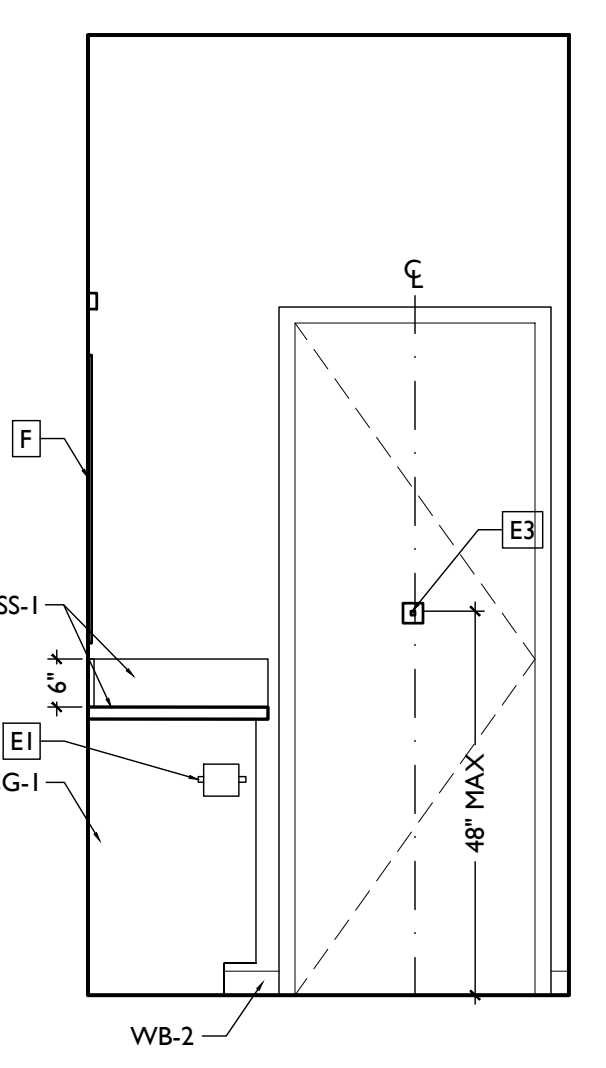
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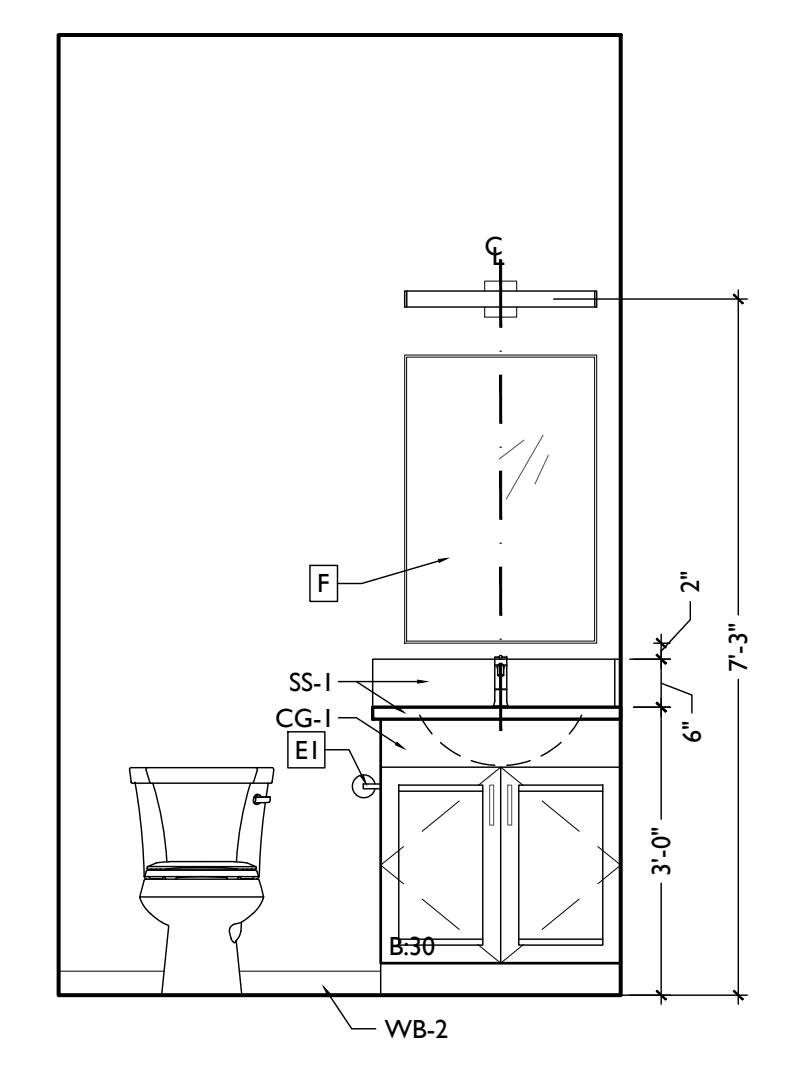
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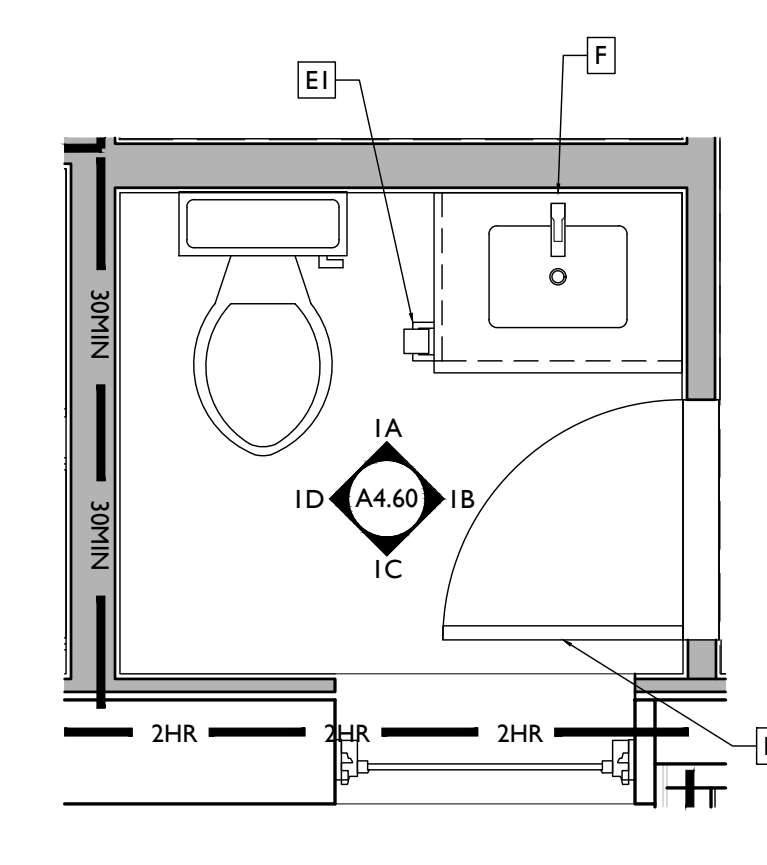
SCALE: 1/2" = 1'-0" INTERIOR ELEVATION 1C



SCALE: 1/2" = 1'-0" INTERIOR ELEVATION 1B



SCALE: 1/2" = 1'-0" INTERIOR ELEVATION 1A



SCALE: 1/2" = 1'-0" ENLARGED BATHROOM PLAN 1

UNIT 223 - ENLARGED PLANS & INT ELEVATIONS

NOT FOR CONSTRUCTION

PROPOSED PROJECT

Job No: 08/30/2024

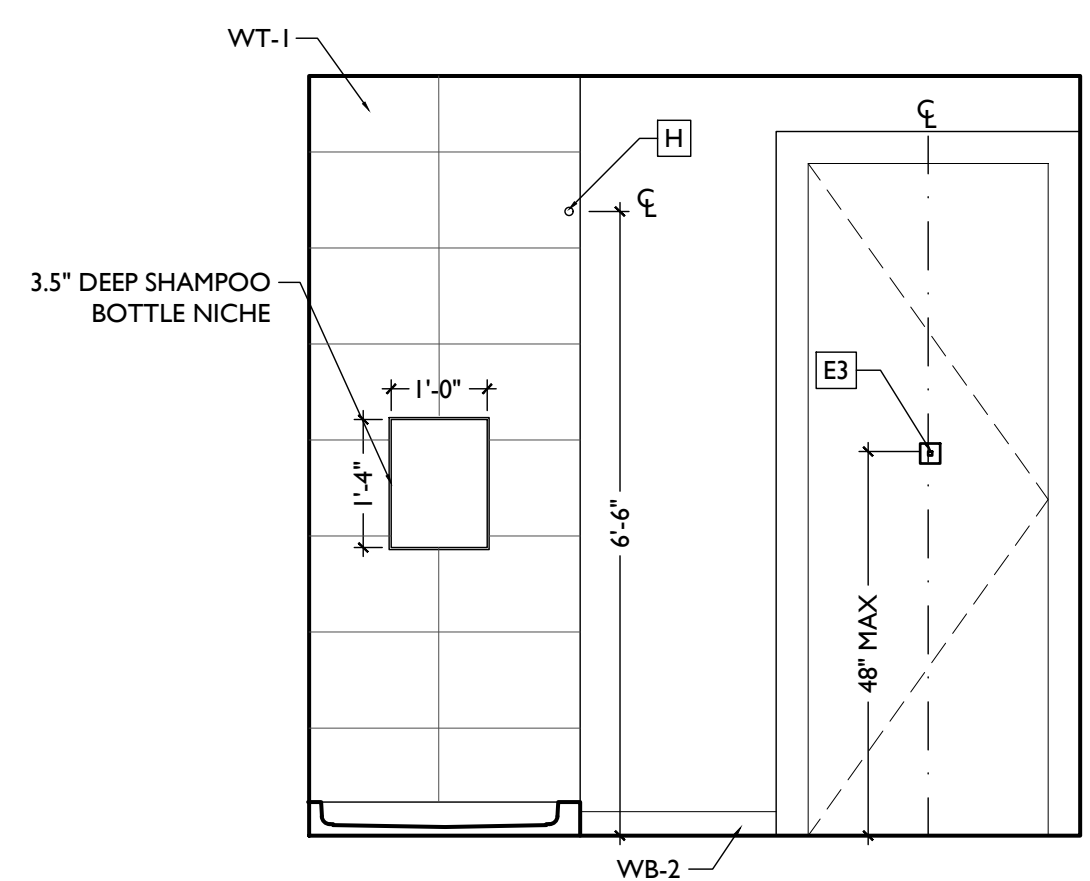
A4.60

Progress Dates

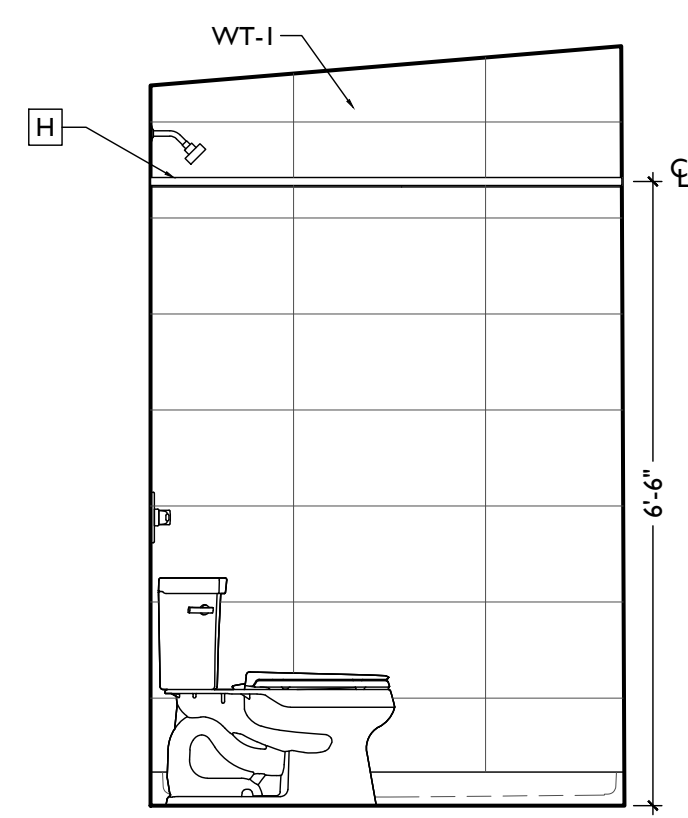
Revisions

Design Team:

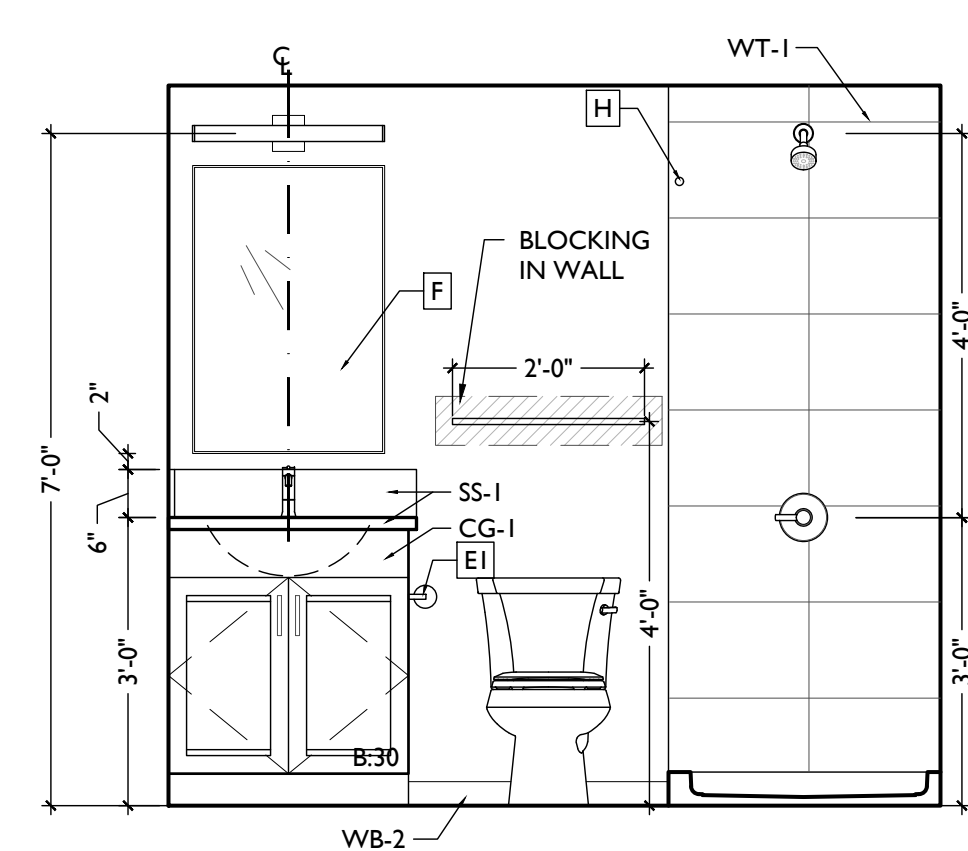
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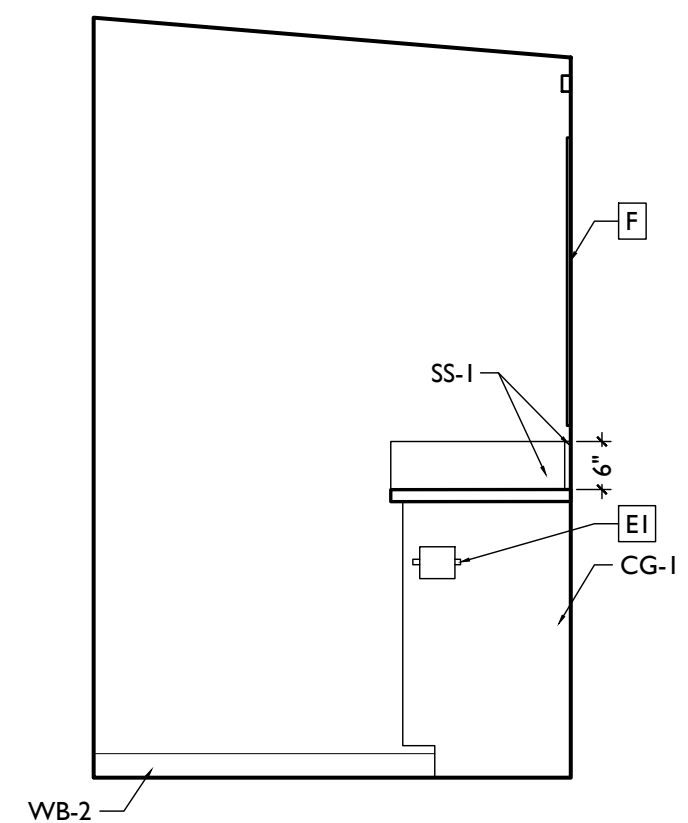
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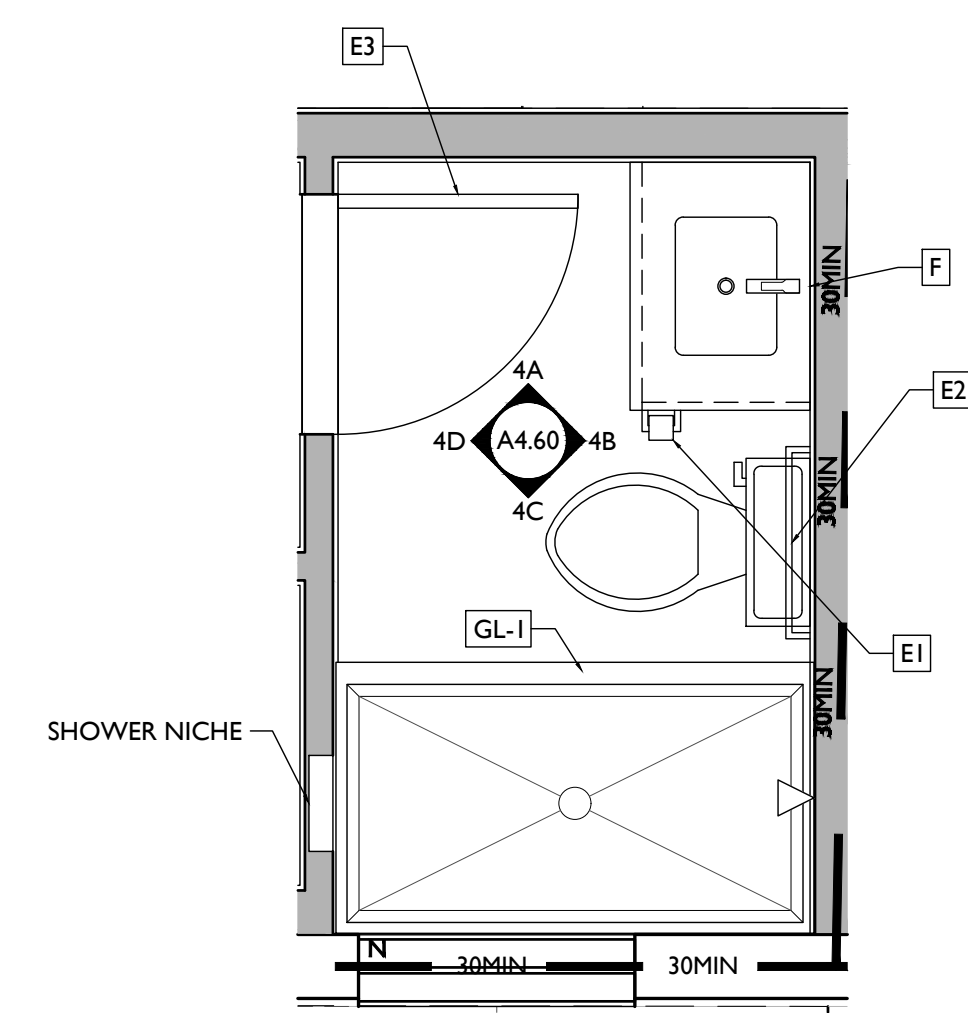
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SCALE: 1/2" = 1'-0" INTERIOR ELEVATION 4B



SCALE: 1/2" = 1'-0" INTERIOR ELEVATION 4A



SCALE: 1/2" = 1'-0" ENLARGED BATHROOM PLAN 4

UNIT 302 - ENLARGED PLANS & INT ELEVATIONS

NOT FOR CONSTRUCTION

PROPOSED PROJECT:

Job No: 08/30/2024

A4.70

Progress Dates

Revisions

Design Team:

Drawn by:

PLATTE
architecture + design

1810 CAMPBELL ALLEY, SUITE 300 | CINCINNATI, OH 45202
WWW.PLATTEDESIGN.COM | T: 513.871.1850 | F: 513.871.1829

Progress Dates

Revisions

Design Team:

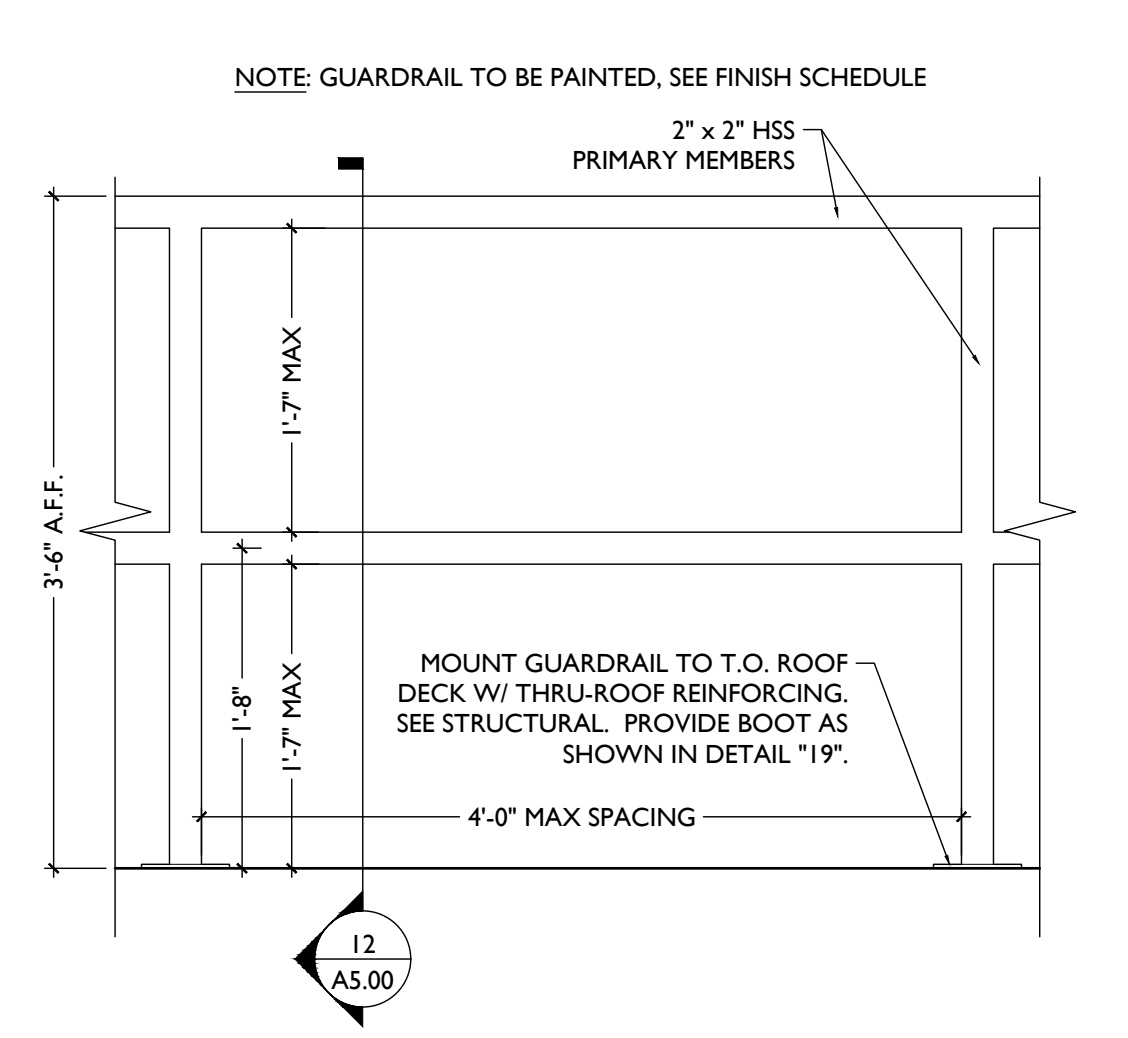
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NOT FOR CONSTRUCTION

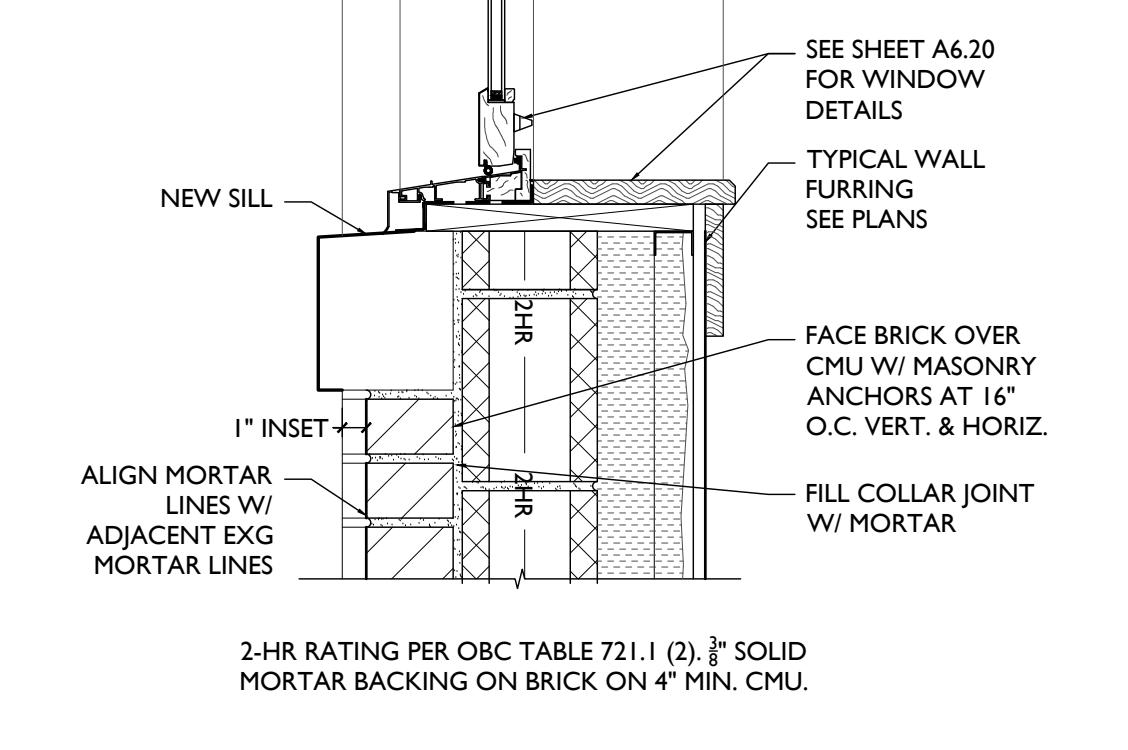
PROPOSED PROJECT:

Job No: 08/30/2024

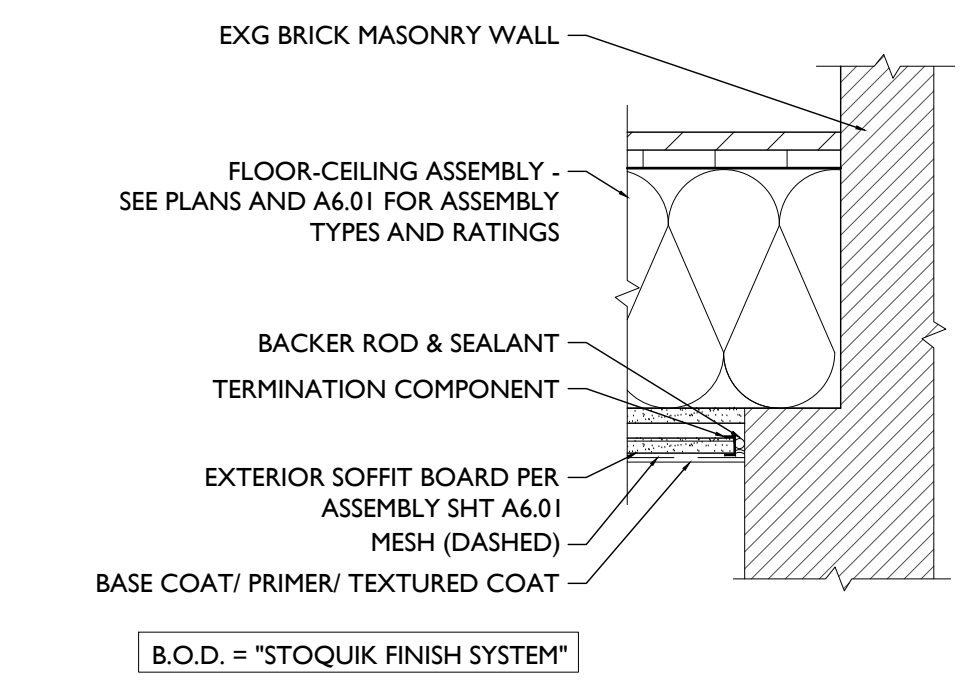
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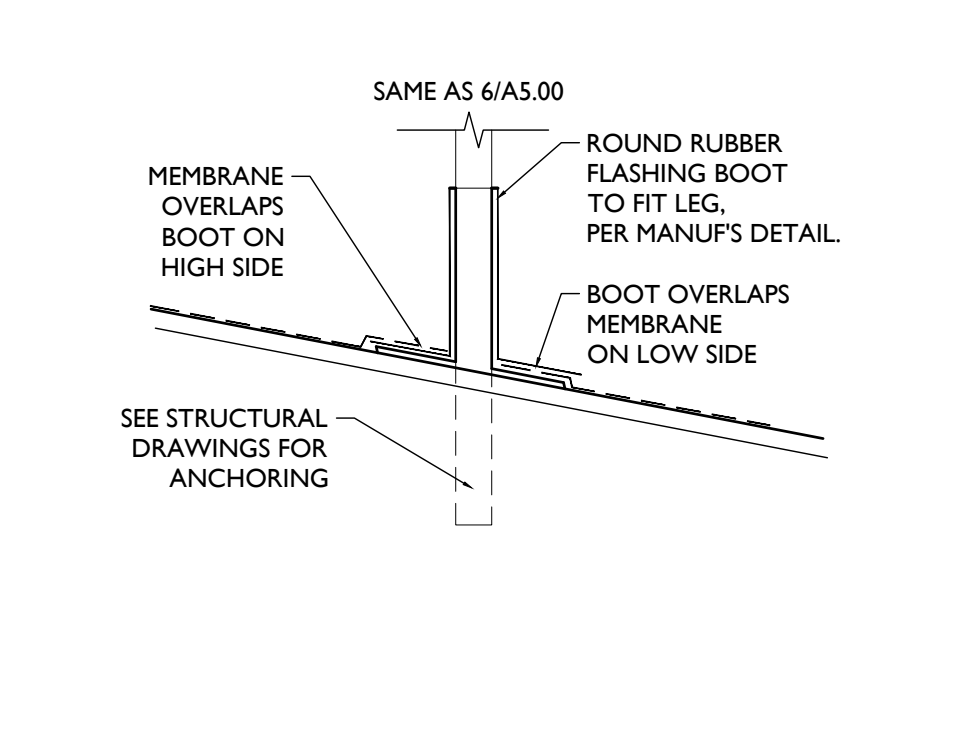
SCALE: 1" = 1'-0" **MECH PLATFORM GUARD ELEVATION** 24



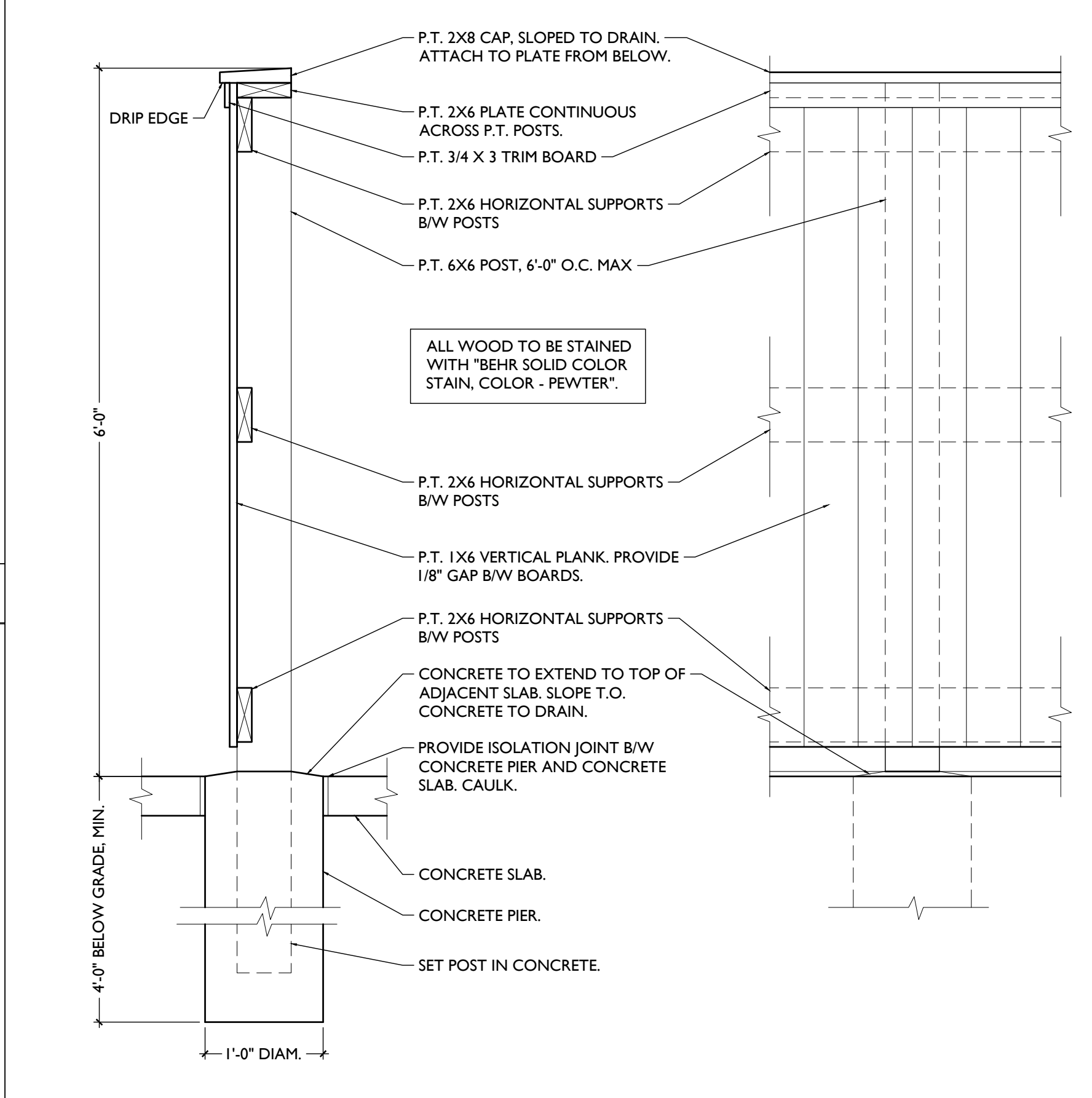
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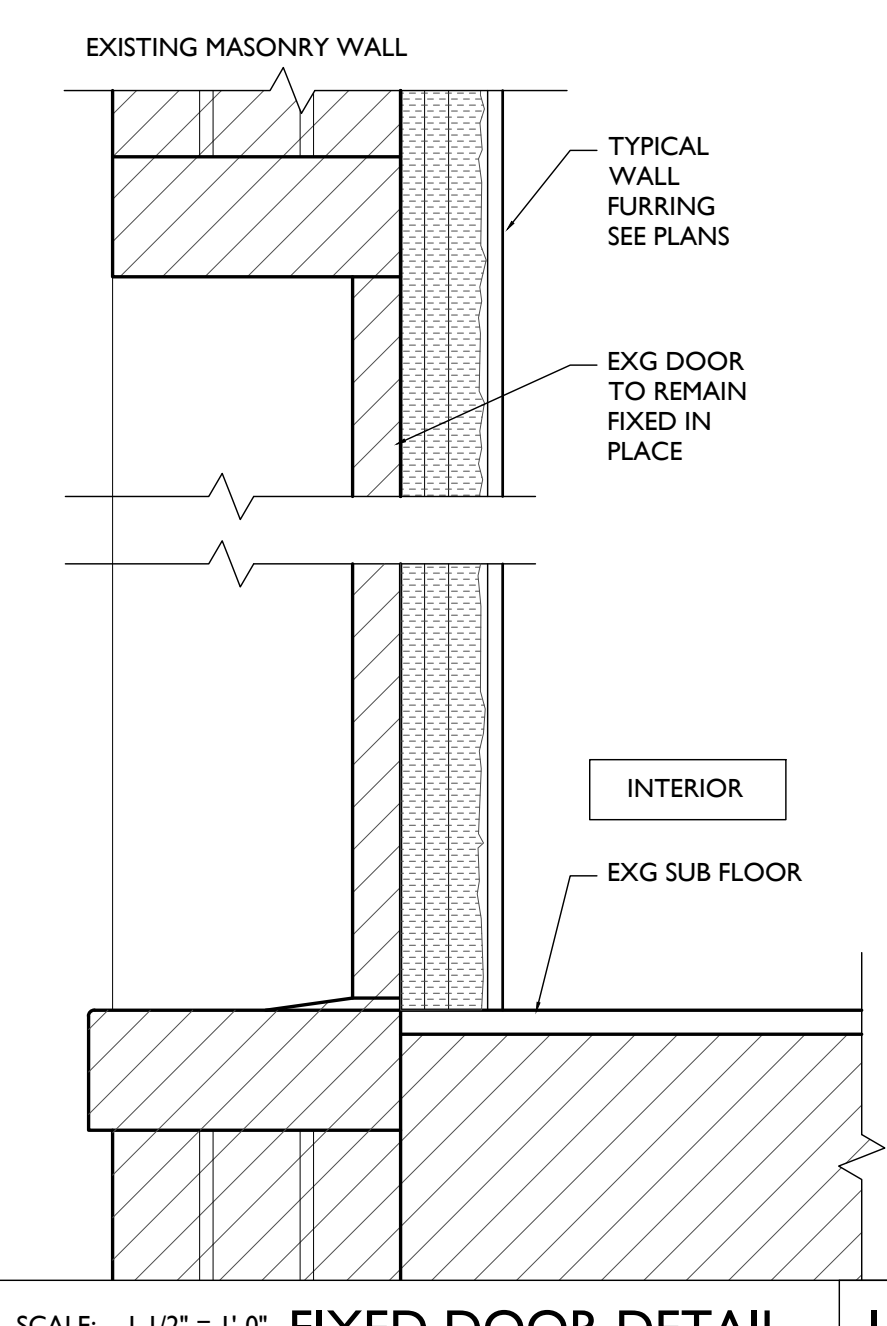
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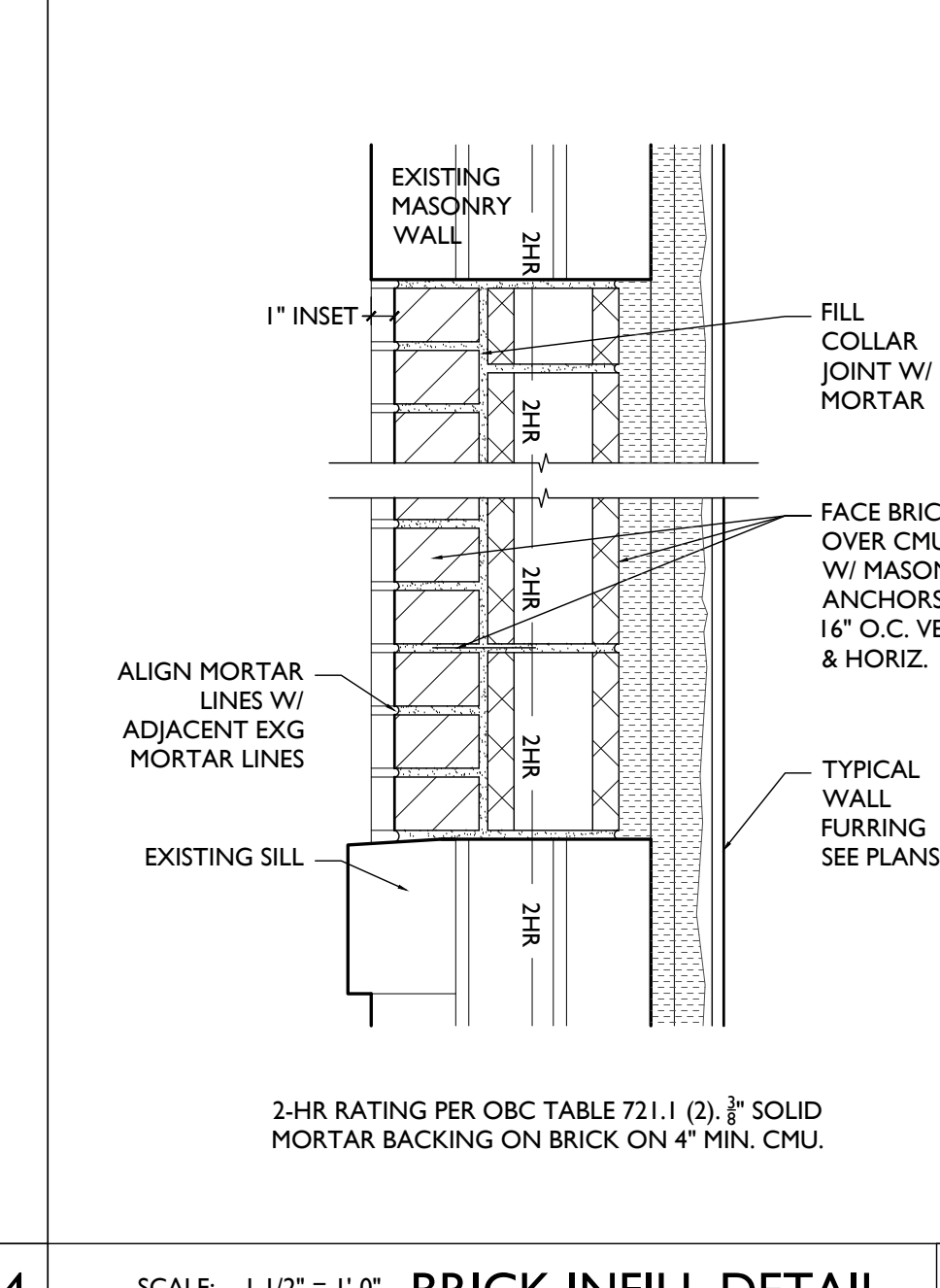
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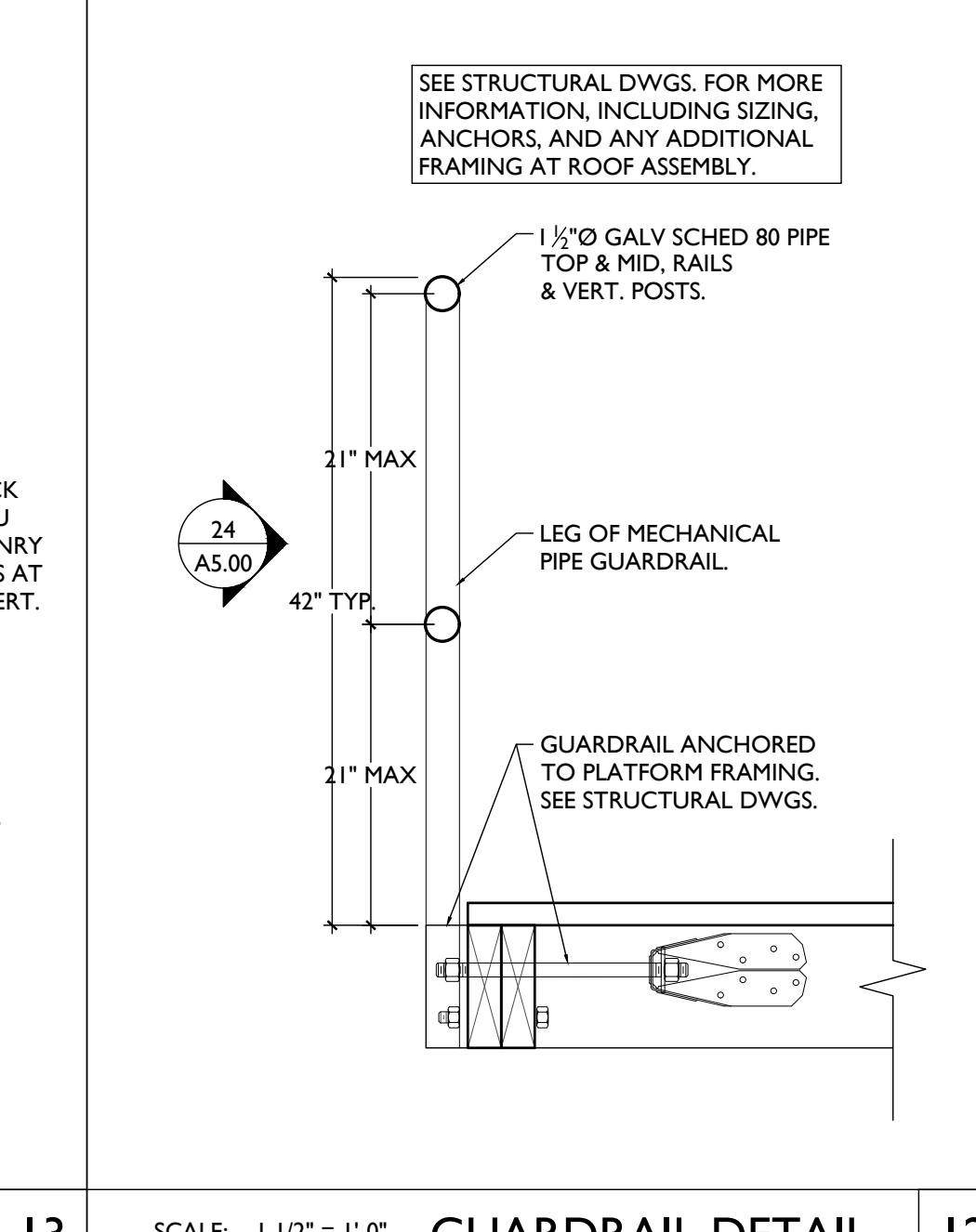
SCALE: 1" = 1'-0" **WOOD FENCE DETAIL** 16



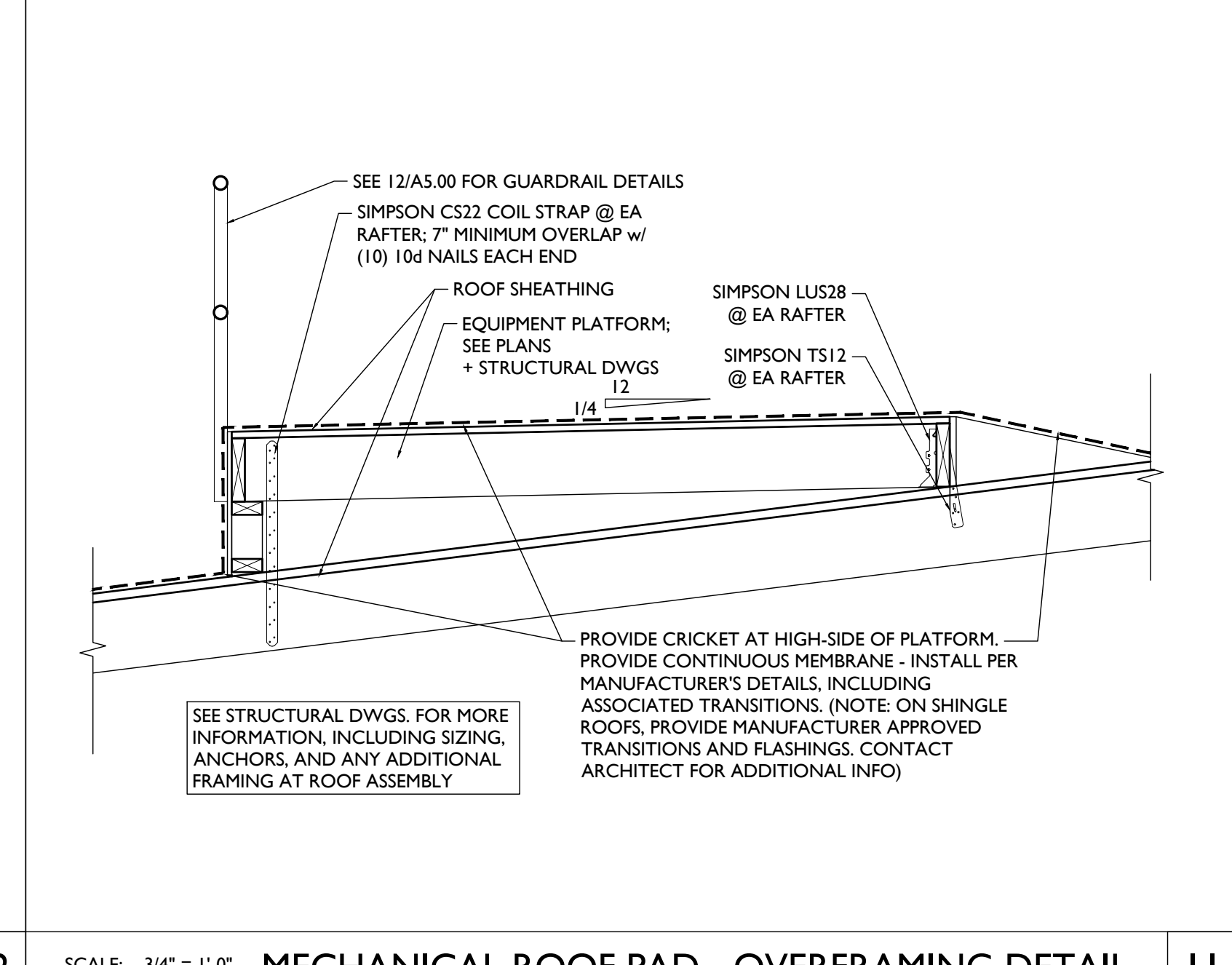
SCALE: 1 1/2" = 1'-0" **FIXED DOOR DETAIL** 14



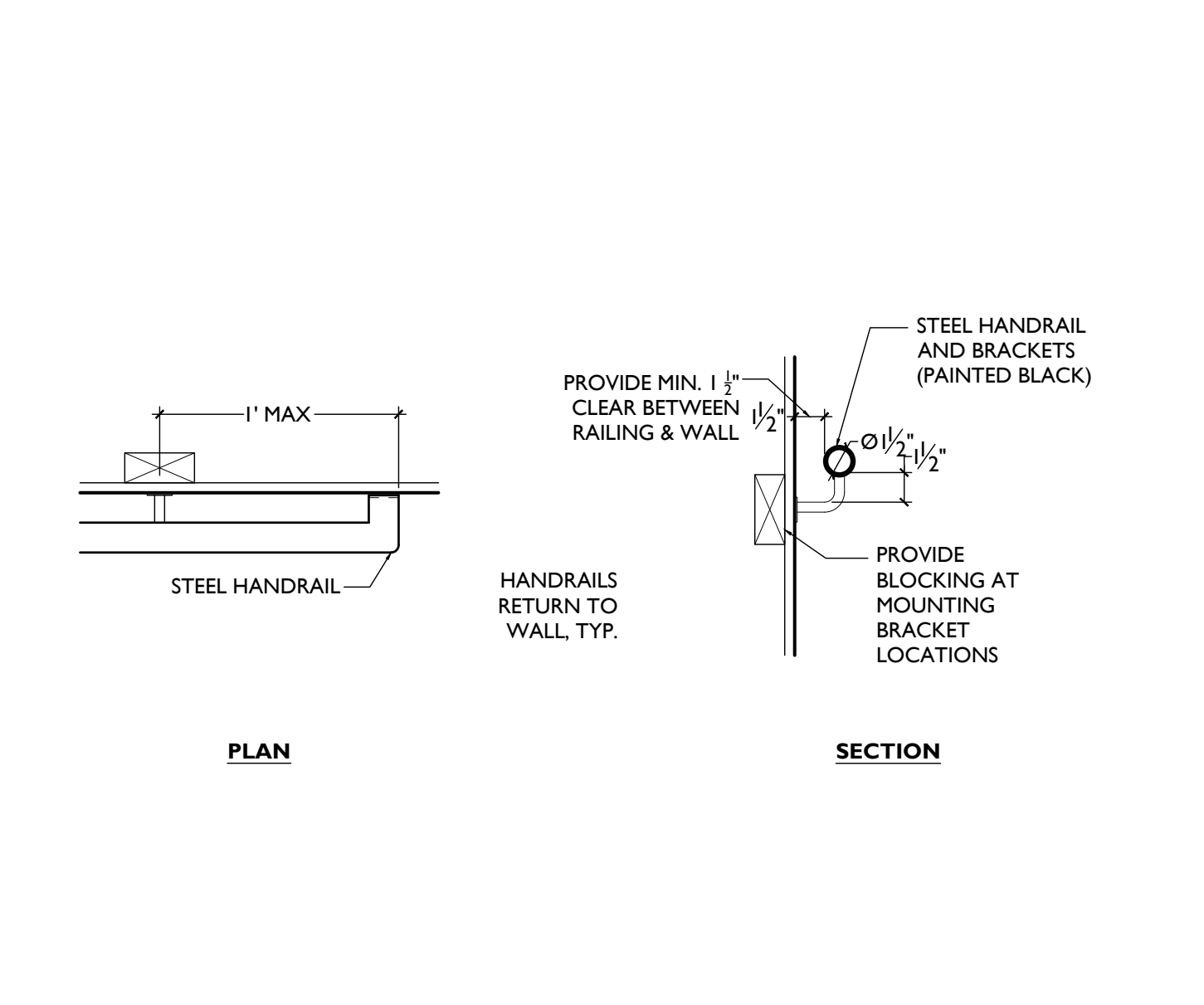
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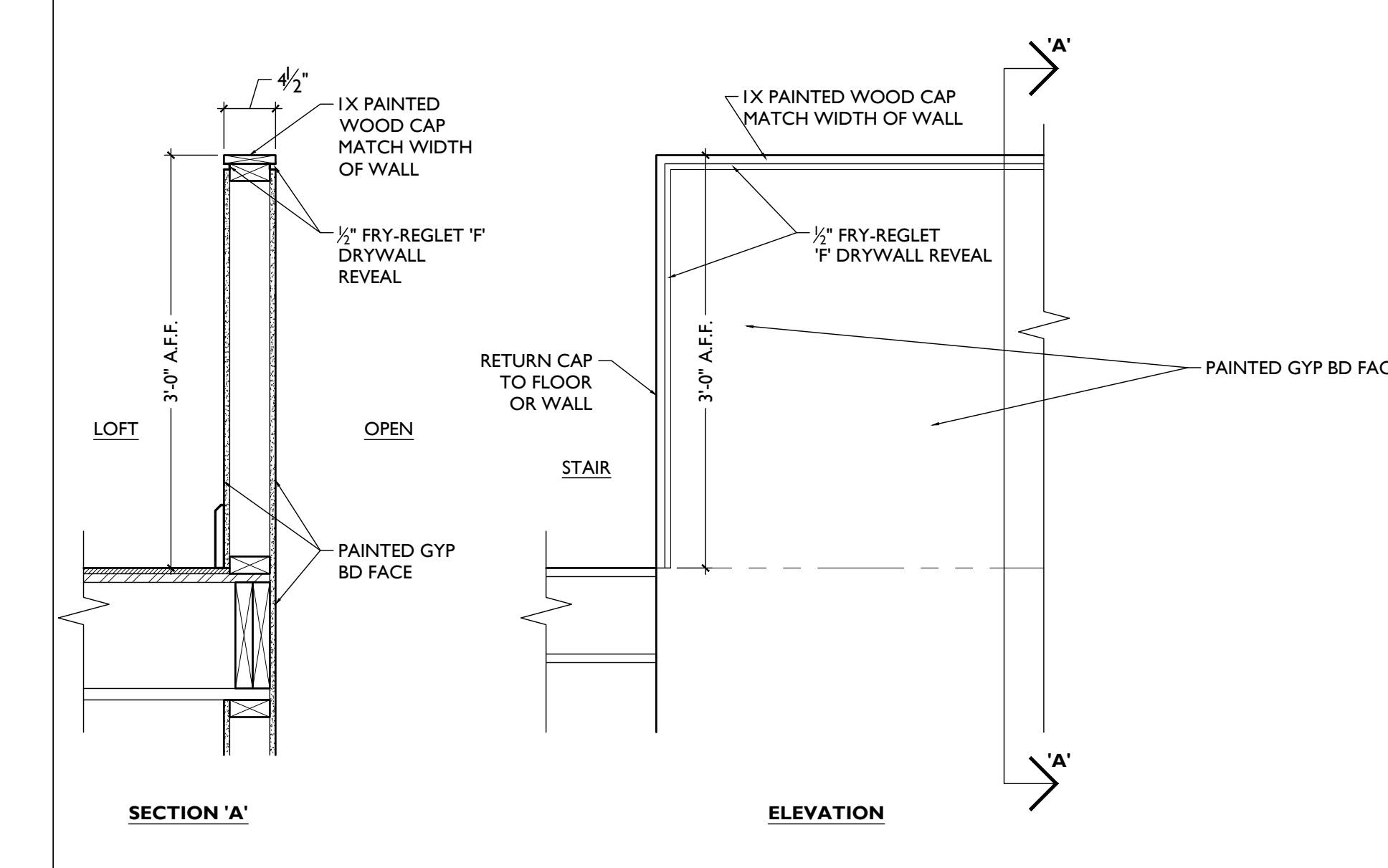
SCALE: 1 1/2" = 1'-0" **GUARDRAIL DETAIL** 12



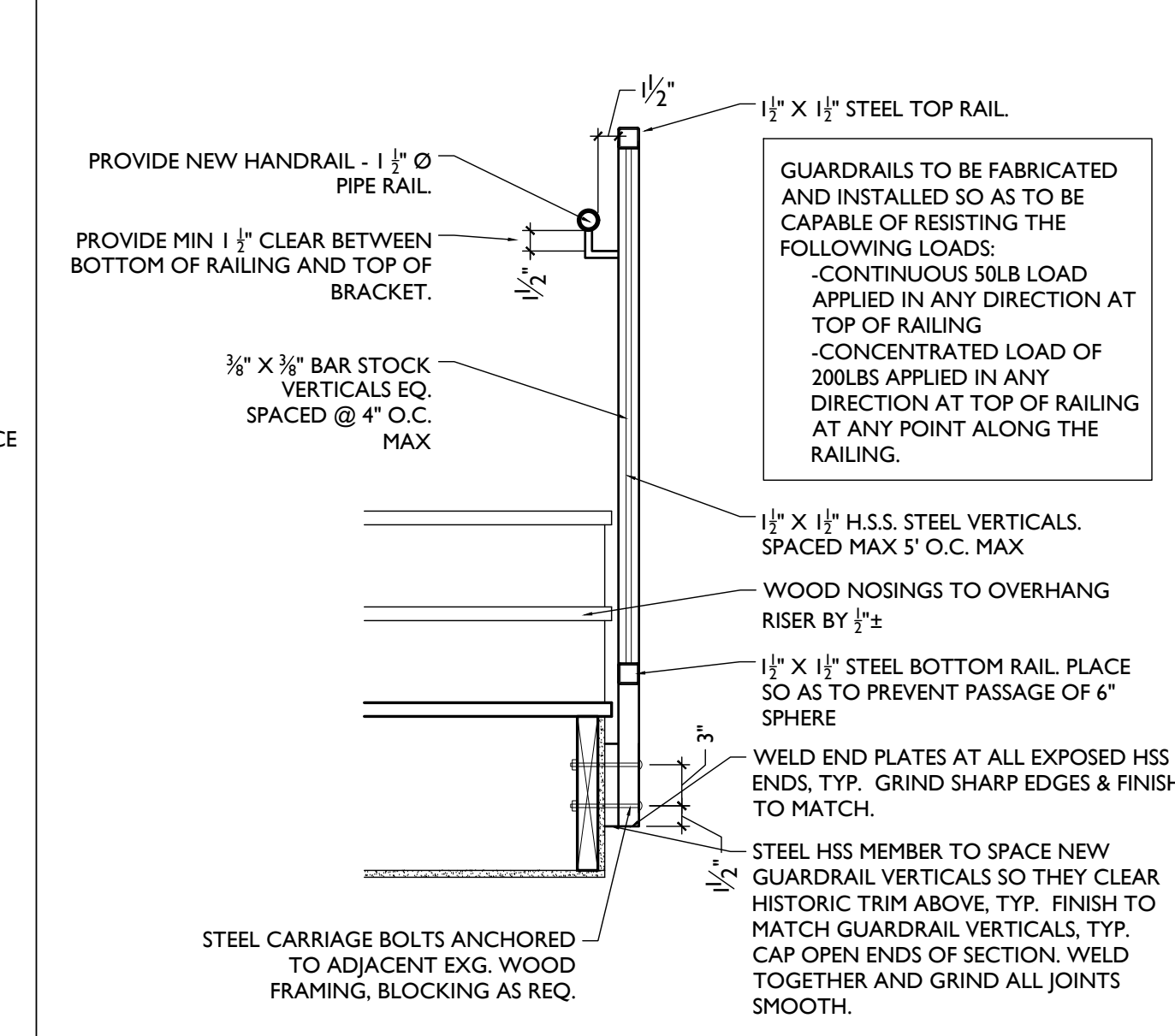
SCALE: 3/4" = 1'-0" **MECHANICAL ROOF PAD - OVERFRAMING DETAIL** 11



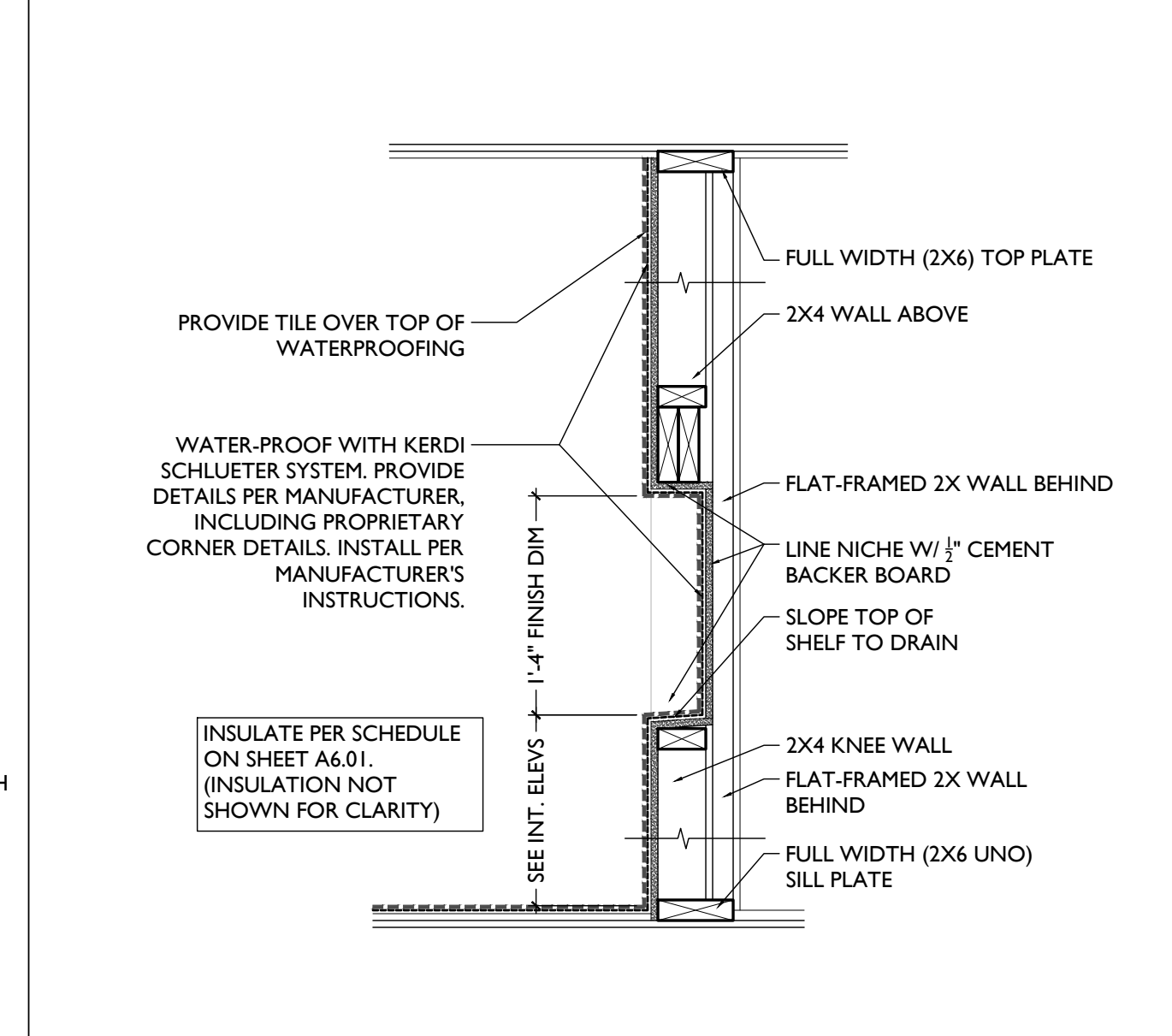
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SCALE: 1" = 1'-0" **PARTIAL HEIGHT WALL DETAILS** 4



SCALE: 1" = 1'-0" **GUARDRAIL DETAIL** 2

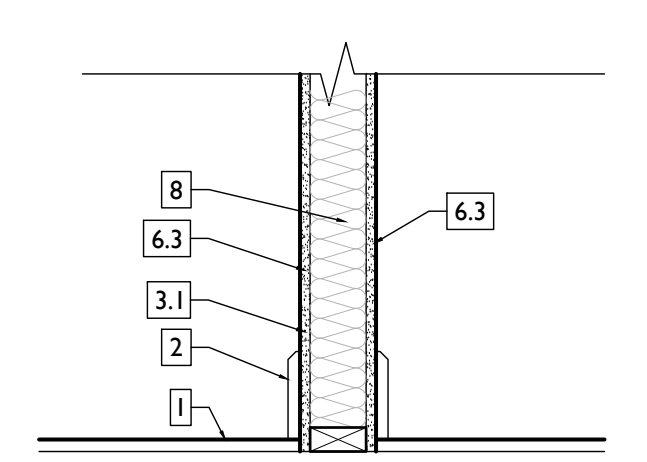
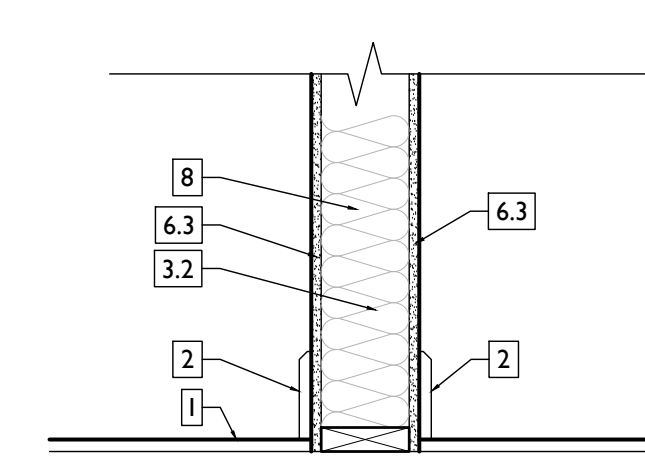
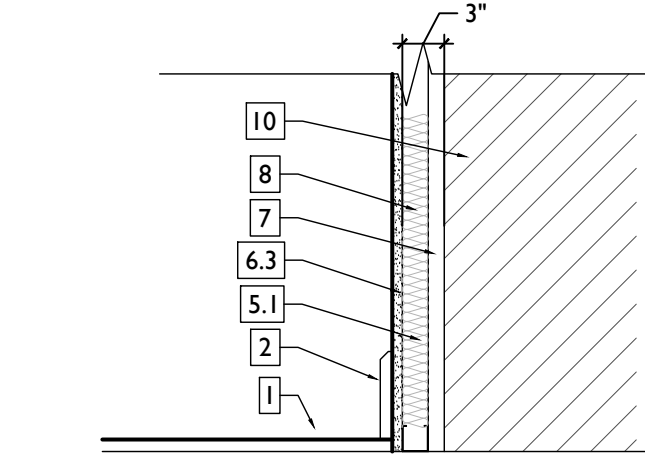
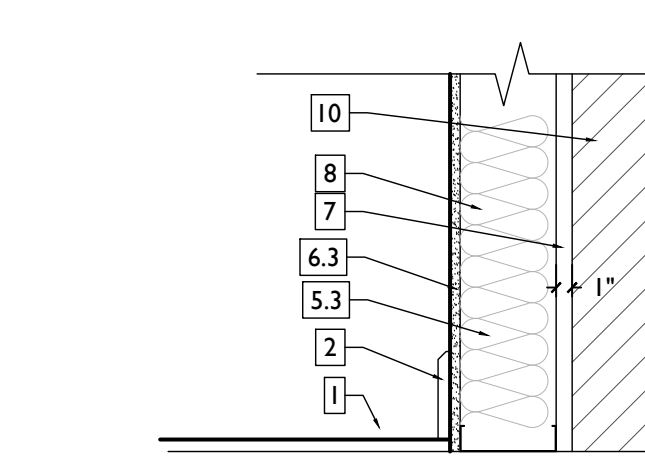
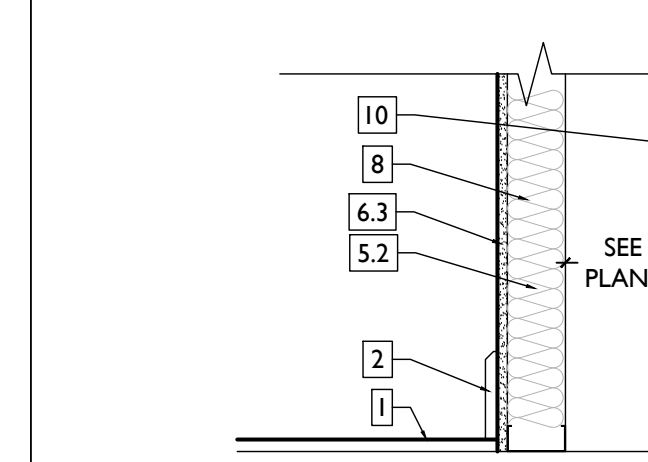
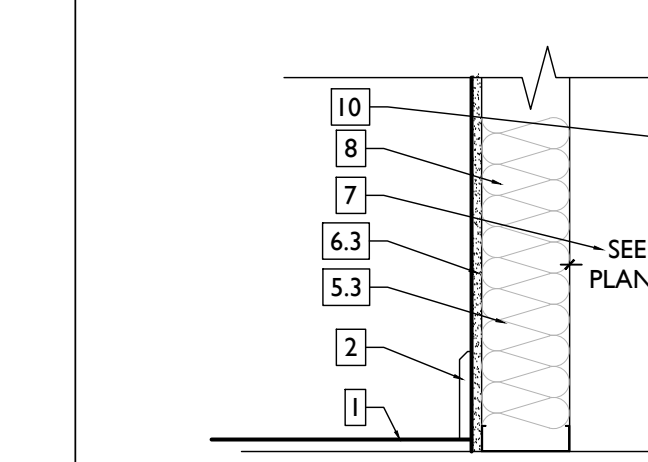
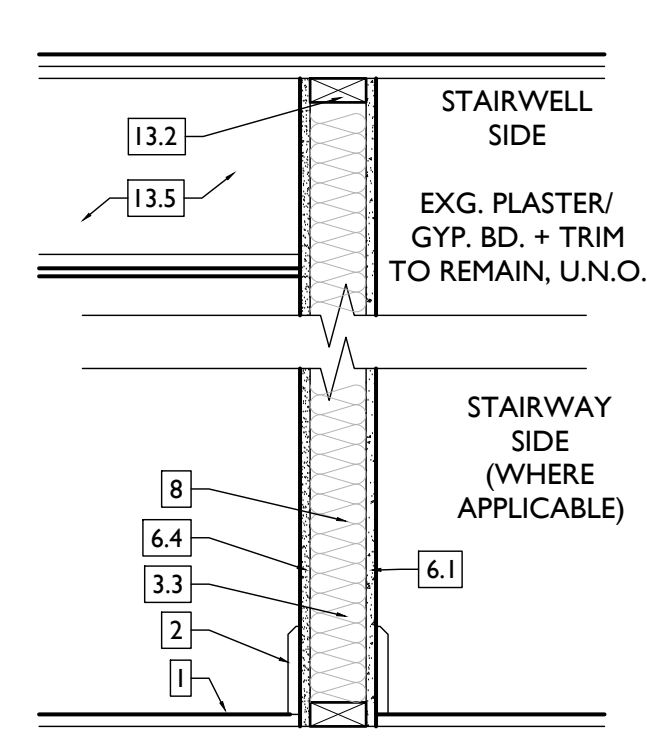
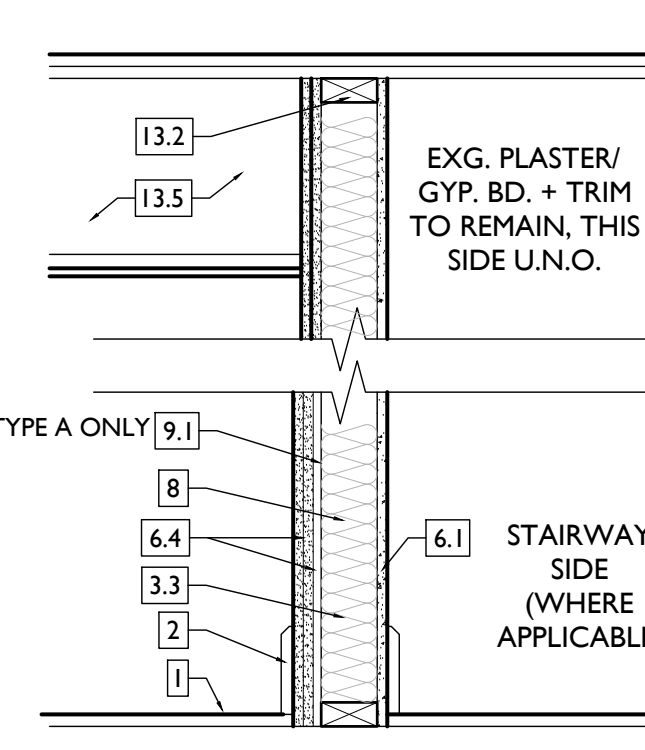
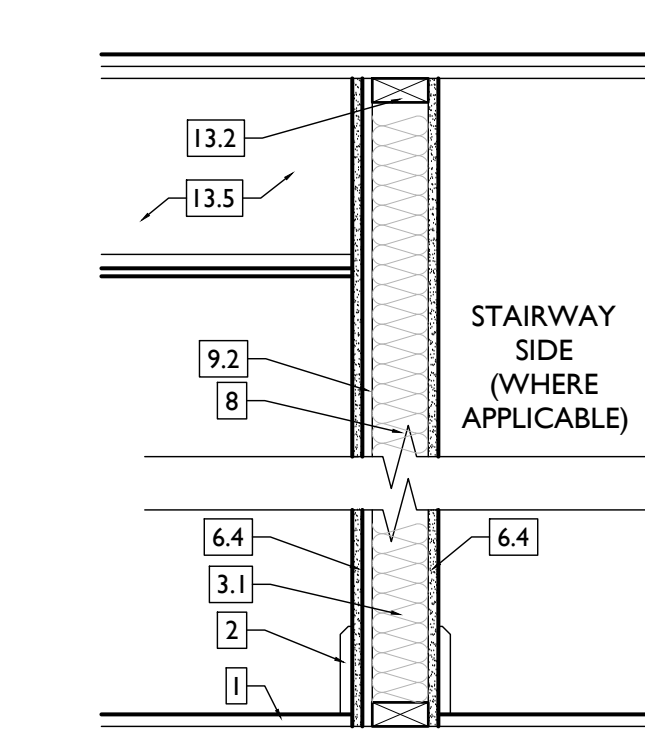
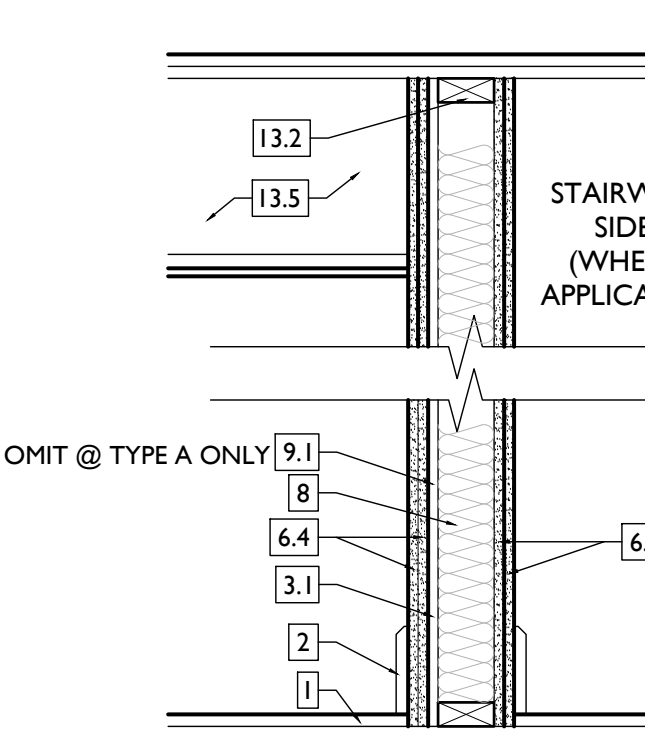
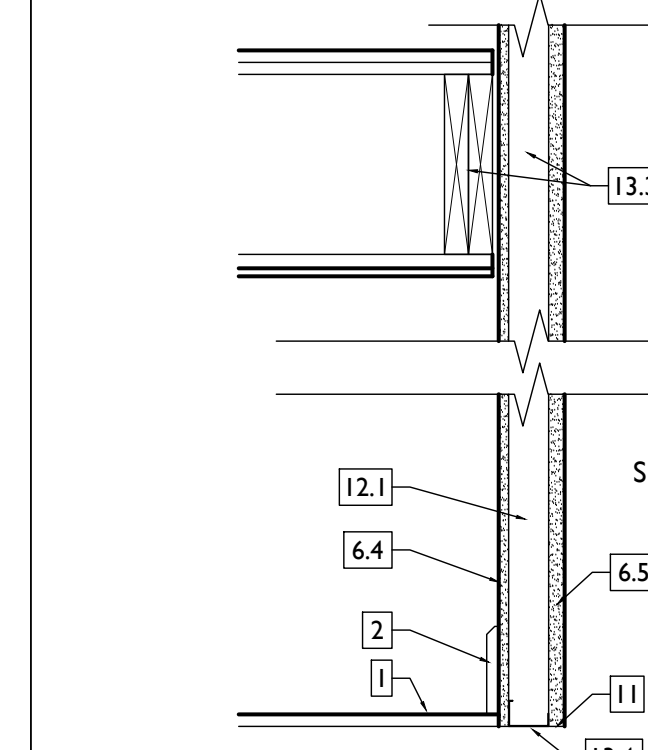
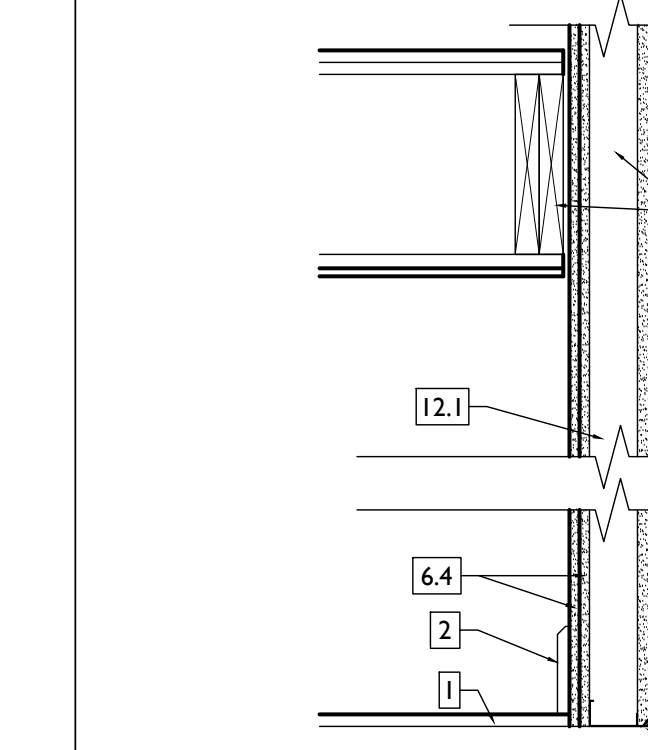
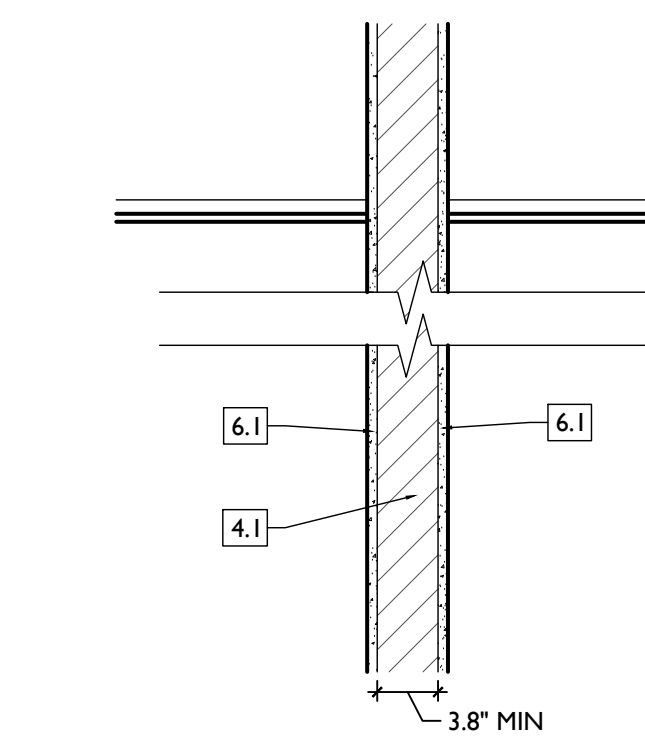
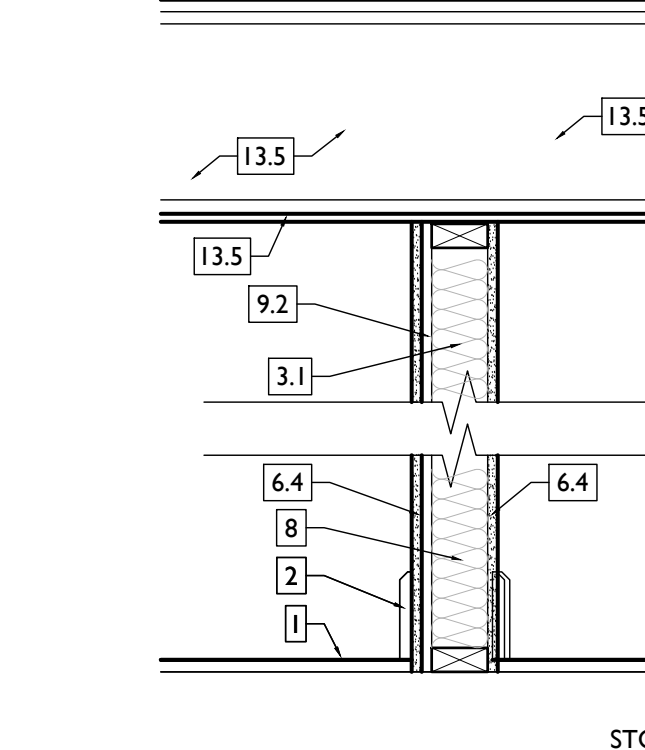
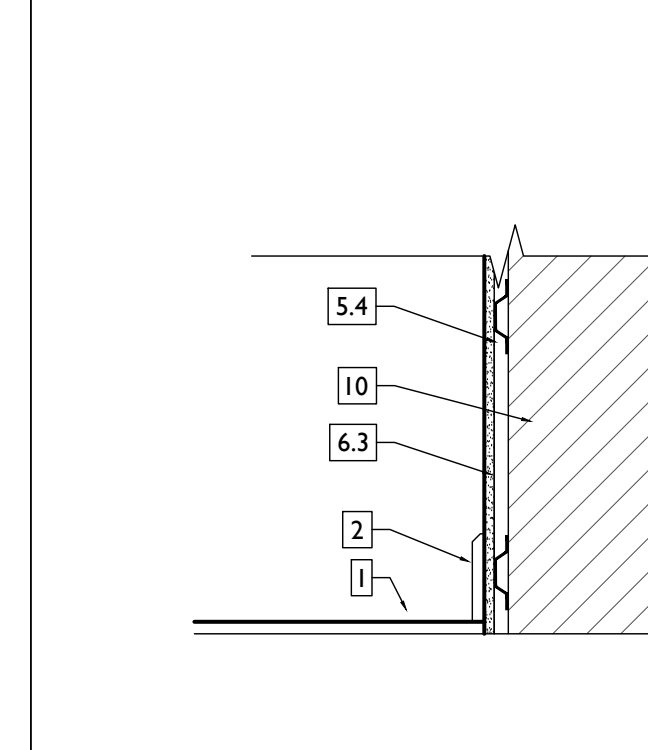
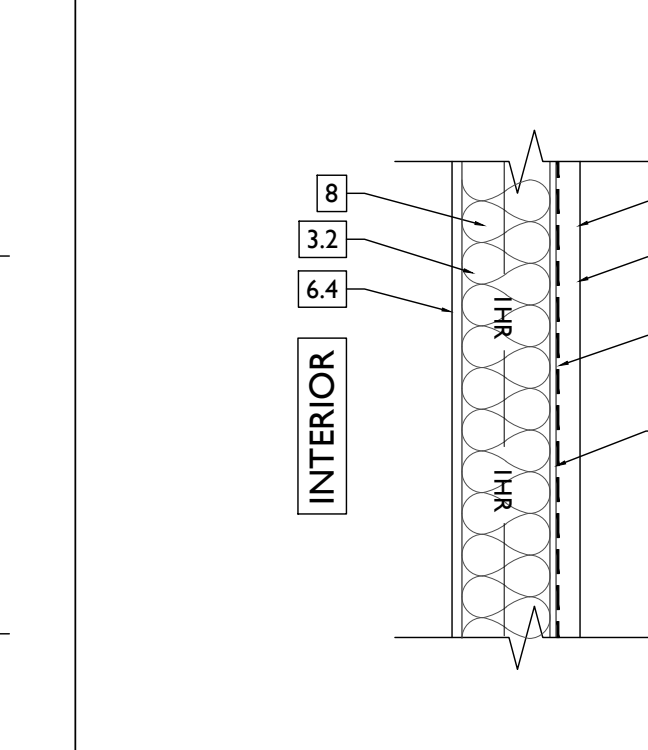
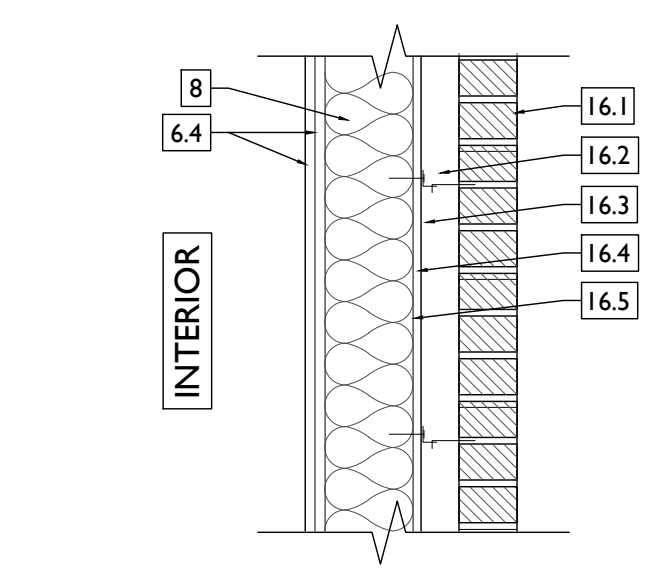
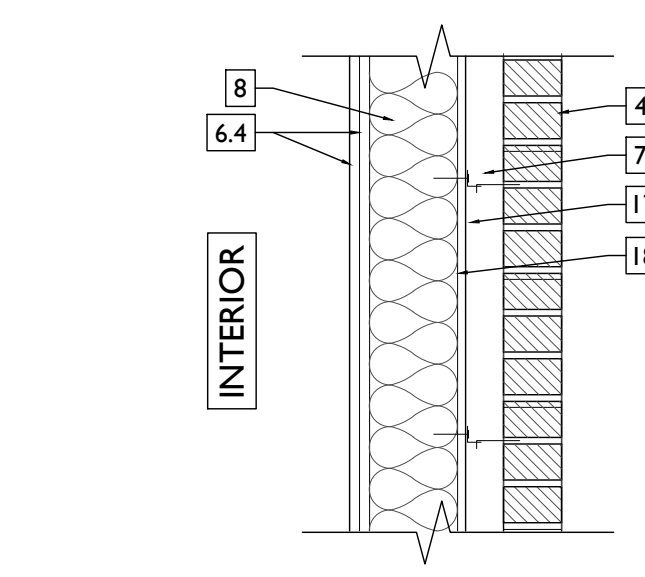
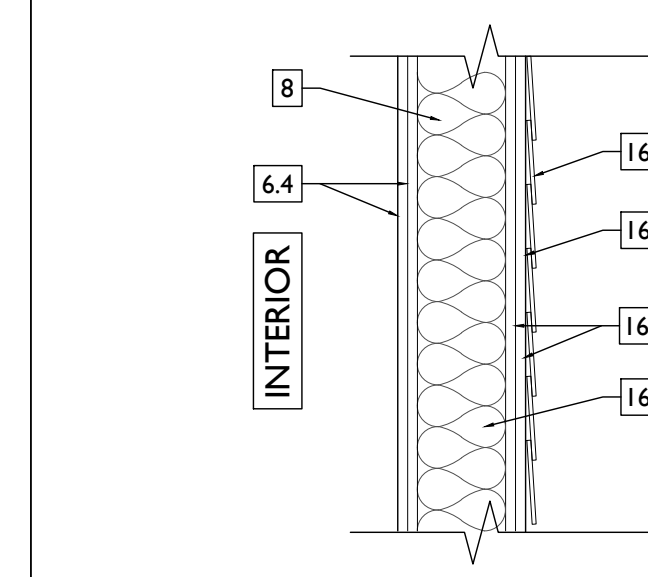
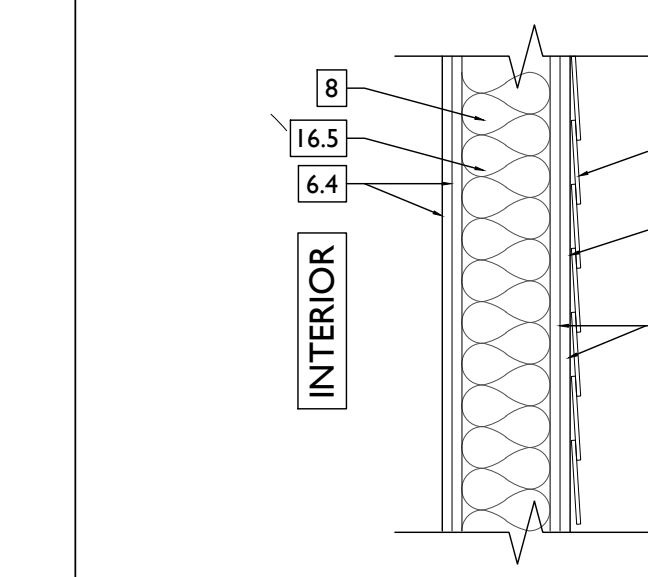
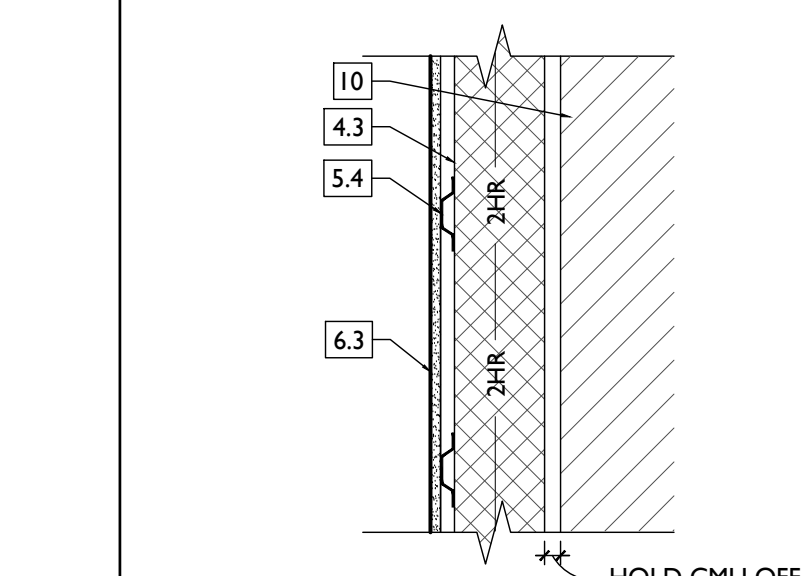


SCALE: 1" = 1'-0" **DETAIL I** 1
TYPICAL DETAILS

**WALL ASSEMBLIES/
PARTITION TYPES**

KEYED NOTES:

1. FINISHED FLOOR - SEE FINISH SCHEDULE
2. SCHEDULED BASE - SEE FINISH SCHEDULE
3. WOOD WALL FRAMING
- 3.1. 2x4 WALL FRAMING @ 16" O.C.
- 3.2. 2x6 WALL FRAMING @ 16" O.C.
- 3.3. EXG. FRAMED WALL
4. MASONRY WALL
- 4.1. EXISTING MASONRY WALL (SEAL WHERE EXPOSED)
- 4.2. 8" CMU
- 4.3. 6" CMU
- 4.4. BRICK VENEER
5. METAL WALL FRAMING (NEW OR EXG.)
- 5.1. 1 5/8" METAL STUD @ 16" O.C.
- 5.2. 3 5/8" METAL STUD @ 16" O.C.
- 5.3. 6" METAL STUD @ 16" O.C.
- 5.4. 7/8" HAT CHANNEL @ 16" O.C.
6. GYPSUM BOARD
- 6.1. EXG. GYPLASTER
- 6.2. 1/2" GYP.
- 6.3. 5/8" GYP.
- 6.4. 5/8" TYPE X
- 6.5. 1" NOMINAL GYP. LINER
- 6.6. 1/2" TYPE X
7. AIR GAP AS REQUIRED PER ASSEMBLY TYPE
8. INSULATION PER SCHEDULE
9. RESILIENT CHANNELS
- 9.1. 1/2" METAL CHANNELS @ 24" O.C. RUN HORIZONTAL
- 9.2. 3/4" METAL CHANNELS @ 16" O.C. RUN HORIZONTAL
10. EXG. WALL
11. J-TRACK
12. C-H STUD
- 12.1. 2 1/2" C-H @ 24" O.C.
- 12.2. 4" C-H @ 24" O.C.
13. FLR/CLG FRAMING
- 13.1. RATED ASSEMBLY TO BE CONTINUOUS TO RATED PARTITION OR WALL REFER TO FLR/CLG ASSEMBLIES AND RATING DIAGRAMS FOR DTLS
- 13.2. EXTEND RATED ASSEMBLY TO UNDERSIDE OF FLOOR SHEATHING ABOVE
- 13.3. WALL STRUCTURE TO BE INDEPENDENT OF AND CONTINUE THROUGH FLR/CLG ASSEMBLY. SEE STRUCTURAL FOR FRAMING OF FLR/CLG ASSEMBLY. SEE FLR/CLG ASSEMBLIES AND RATING DIAGRAMS FOR FLR/CLG ASSEMBLY DTLS.
- 13.4. FRAMING TO BEAR ON FLOOR OF EQUAL RATING. SEE FLR/CLG ASSEMBLIES AND RATING DIAGRAMS.
- 13.5. SEE FLR/CLG ASSEMBLIES AND RATING DIAGRAMS FOR HORIZONTAL ASSEMBLY DTLS.
14. HARDIE BOARD SIDING
15. 1" OSB SHEATHING WITH INTEGRAL AIR/MOISTURE BARRIER
16. EXG. WALL - CONTRACTOR TO VERIFY
- 16.1. BRICK VENEER
- 16.2. AIR CAVITY
- 16.3. AIR/MOISTURE BARRIER
- 16.4. 1/2" APA RATED GYPSUM SHEATHING
- 16.5. 2x6 FRTV STUD FRAMING
- 16.6. 5/8" TYPE X MAT GYPSUM SHEATHING
- 16.7. HARDIE BOARD SIDING
17. 1/2" APA RATED GYPSUM SHEATHING WITH INTEGRAL AIR/MOISTURE BARRIER
18. 2x6 FRTV STUD FRAMING
19. 5/8" TYPE X MAT GYPSUM SHEATHING
20. WEATHER-RESISTANT BARRIER
21. 3-COAT STUCCO SYSTEM

|  <p>TYPICAL INTERIOR PARTITION WALL 1</p> <p>N/A GYP/UL # NON RATED RATING</p> <p>NOTES: - PROVIDE PT. SILL PLATE IN BASEMENT</p> |  <p>TYPICAL PLUMBING WET WALL 2</p> <p>N/A GYP/UL # NON RATED RATING</p> <p>NOTES: - PROVIDE MOISTURE RESISTANT DRYWALL ON BATHROOM/KITCHEN SIDE - PROVIDE PT. SILL PLATE IN BASEMENT</p> |  <p>FURRING AT EXG WALLS 3</p> <p>N/A GYP/UL # NON RATED RATING</p> <p>NOTES: - PROVIDE MOISTURE RESISTANT DRYWALL ON BATHROOM/KITCHEN SIDE - PROVIDE PT. SILL PLATE IN BASEMENT</p> |  <p>PLUMBING FURRING AT EXG WALLS 4</p> <p>UL # NOTES: - PROVIDE MOISTURE RESISTANT DRYWALL ON BATHROOM/KITCHEN SIDE - PROVIDE PT. SILL PLATE IN BASEMENT</p> |  <p>CHASE WALL 5</p> <p>N/A GYP/UL # NON RATED RATING</p> <p>NOTES: - PROVIDE MOISTURE RESISTANT DRYWALL ON BATHROOM/KITCHEN SIDE - PROVIDE PT. SILL PLATE IN BASEMENT</p> |  <p>CHASE WALL 6</p> <p>N/A GYP/UL # NON RATED RATING</p> <p>NOTES: - PROVIDE MOISTURE RESISTANT DRYWALL ON BATHROOM/KITCHEN SIDE - PROVIDE PT. SILL PLATE IN BASEMENT</p> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|--|--|---|---|--|--|----------|------|---------|-------|-------------------------|------------------------|---|------------------|----------------|------------------------|---|------------------|----------------------|-----------------------------------|-----------|--|------------------------------|------------------------|---|-------------|------------------------|------------------------|---|-------------|---------------------------|-------------------------|---|-------------|----------------------------|-------------------------|---|--|---|--|-----------|-------------|---|--|------|---------------------------|--------------------------------------|------------------------|------|---|---------------|----------|-----|--|---------------------------|------------------------|------|--|--------------------------------------|------------------|-----------|--|--|------------------------|-------------------|------------------------------------|--------------------------------------|-------------------------|-------------------|--|----------|-------------|--------------------------------|-------------------------------------|-------|----------------|--------------------------|-------|----------------|
|  <p>EXG. 1HR RATED BARRIER 7</p> <p>PERSCRPTIVE_FIRE BARRIER GYP/UL # 1-HR RATING</p> <p>FIRE RATING = 50 MIN EXG (20 MIN STUD (16" O.C.) + 30 MIN EXG FINISH (5/8" EXG PLASTER) + 40 MIN NEW (5/8" TYPE X GYP BD) = 90 MIN TOTAL FIRE RATING</p> |  <p>EXG. 2HR RATED BARRIER 8</p> <p>PERSCRPTIVE_FIRE BARRIER GYP/UL # 2-HR RATING</p> <p>FIRE RATING = 50 MIN EXG (20 MIN STUD (16" O.C.) + 30 MIN EXG FINISH (5/8" EXG PLASTER) + 80 MIN NEW (2 LAYERS TYPE X GYP BD @ 40 MIN EA) = 120 MIN TOTAL FIRE RATING - 8A - ADD 1/2" RESILIENT CHANNELS 1 SIDE</p> |  <p>NEW 1HR RATED BARRIER 9</p> <p>U309 - FIRE BARRIER GYP/UL # 1-HR RATING</p> <p>TYPICAL AT STAIRS</p> |  <p>NEW 2HR RATED BARRIER 10</p> <p>U301 - FIRE BARRIER GYP/UL # 2-HR RATING</p> <p>TYPICAL AT STAIRS - 10A - NO RESILIENT CHANNELS</p> |  <p>NEW 1HR SHAFT WALL 11</p> <p>U419 A - FIRE BARRIER GYP/UL # 1-HR RATING</p> |  <p>NEW 2HR SHAFT WALL 12</p> <p>U415 B - FIRE BARRIER GYP/UL # 2-HR RATING</p> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>NOTE: SEE TABLES 721.1 (2) AND 722.6 FOR PRESCRIPTIVE FIRE RATINGS. PER 721.1 (2) EXCEPTION "E", PLASTER MAY BE SUBSTITUTED FOR GYPSUM WALLBOARD PROVIDED IT IS THE SAME SIZE/THICKNESS/CORE TYPE.</p> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>INSULATION SCHEDULE</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>LOCATION</th> <th>TYPE</th> <th>R-VALUE</th> <th>NOTES</th> </tr> </thead> <tbody> <tr> <td>MECHANICAL CLOSET WALLS</td> <td>SOUND ATTENUATION BATT</td> <td>-</td> <td>FILL STUD CAVITY</td> </tr> <tr> <td>BATHROOM WALLS</td> <td>SOUND ATTENUATION BATT</td> <td>-</td> <td>FILL STUD CAVITY</td> </tr> <tr> <td>PLUMBING CHASE WALLS</td> <td>FIBERGLASS BATTS STAPLED TO STUDS</td> <td>R-13 MIN.</td> <td>CONTINUOUS PIPE INSULATION AT ALL PLUMBING LINES</td> </tr> <tr> <td>BETWEEN OFFICE TENANT SPACES</td> <td>SOUND ATTENUATION BATT</td> <td>-</td> <td>FILL CAVITY</td> </tr> <tr> <td>BETWEEN DWELLING UNITS</td> <td>SOUND ATTENUATION BATT</td> <td>-</td> <td>FILL CAVITY</td> </tr> <tr> <td>FURRING AT EXTERIOR WALLS</td> <td>SPRAY-APPLIED CELLULOSE</td> <td>-</td> <td>FILL CAVITY</td> </tr> <tr> <td>STAIR HALL ENCLOSURE WALLS</td> <td>SOUND ATTENUATION BATTS</td> <td>-</td> <td>FILL CAVITY & COORD W/ FIRE-RATING & UL ASSEMBLY</td> </tr> <tr> <td>STAIR HALL ENCLOSURE WALLS AT UNCONDITIONED ATTIC</td> <td>BLOWN-IN CELLULOSE OR FIBERGLASS BATTS</td> <td>R-19 MIN.</td> <td>FILL CAVITY</td> </tr> <tr> <td>CLG BETWEEN ATTIC FLOOR AND OCCUPIED UNIT BELOW</td> <td>BLOWN-IN CELLULOSE OR FIBERGLASS BATTS</td> <td>R-38</td> <td>INSULATION BETWEEN JOISTS</td> </tr> <tr> <td>CEILING BETWEEN BASEMENT/RESIDENTIAL</td> <td>CLOSED CELL SPRAY FOAM</td> <td>R-30</td> <td>COORD W/ UL ASSEMBLY & FIRE RATING REQ INSULATION PROVIDED @ ATTIC FLOOR</td> </tr> <tr> <td>ATTIC CEILING</td> <td>NONE REQ</td> <td>---</td> <td></td> </tr> <tr> <td>CEILING OF OCCUPIED ATTIC</td> <td>CLOSED CELL SPRAY FOAM</td> <td>R-38</td> <td></td> </tr> <tr> <td>CEILING B/W BREEZEWAY/OCCUPIED SPACE</td> <td>FIBERGLASS BATTS</td> <td>R-30 MIN.</td> <td>FILL CAVITY & COORD W/ FIRE-RATING & UL ASSEMBLY</td> </tr> <tr> <td>CEILING B/W TWO SEPARATE OCCUPIED RESIDENCES</td> <td>SOUND ATTENUATION BATT</td> <td>6" MIN SOUND BATT</td> <td>COORD W/ UL ASSEMBLY & FIRE RATING</td> </tr> <tr> <td>CEILING B/W FLOORS OF SAME RESIDENCE</td> <td>SOUND ATTENUATION BATTS</td> <td>6" MIN SOUND BATT</td> <td></td> </tr> </tbody> </table> <p>NOTES: COORDINATE ALL W/ FIRE RATING & UL ASSEMBLY.</p> <p>2017 OHIO BUILDING CODE 721 PRESCRIPTIVE FIRE RESISTANCE - TABLE 721.1 (2) RATED FIRE-RESISTANCE FOR WALLS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>MATERIAL</th> <th>ITEM NUMBER</th> <th>MIN. EQUIV. THICKNESS / RATING</th> </tr> </thead> <tbody> <tr> <td>1. CLAY OR SHALE BRICK; SOLID BRICK</td> <td>1-1.1</td> <td>4.5" 3.8" 2.7"</td> </tr> <tr> <td>2. CONCRETE MASONRY UNIT</td> <td>3-1.2</td> <td>4.4" 3.6" 2.6"</td> </tr> </tbody> </table> | | | | | | LOCATION | TYPE | R-VALUE | NOTES | MECHANICAL CLOSET WALLS | SOUND ATTENUATION BATT | - | FILL STUD CAVITY | BATHROOM WALLS | SOUND ATTENUATION BATT | - | FILL STUD CAVITY | PLUMBING CHASE WALLS | FIBERGLASS BATTS STAPLED TO STUDS | R-13 MIN. | CONTINUOUS PIPE INSULATION AT ALL PLUMBING LINES | BETWEEN OFFICE TENANT SPACES | SOUND ATTENUATION BATT | - | FILL CAVITY | BETWEEN DWELLING UNITS | SOUND ATTENUATION BATT | - | FILL CAVITY | FURRING AT EXTERIOR WALLS | SPRAY-APPLIED CELLULOSE | - | FILL CAVITY | STAIR HALL ENCLOSURE WALLS | SOUND ATTENUATION BATTS | - | FILL CAVITY & COORD W/ FIRE-RATING & UL ASSEMBLY | STAIR HALL ENCLOSURE WALLS AT UNCONDITIONED ATTIC | BLOWN-IN CELLULOSE OR FIBERGLASS BATTS | R-19 MIN. | FILL CAVITY | CLG BETWEEN ATTIC FLOOR AND OCCUPIED UNIT BELOW | BLOWN-IN CELLULOSE OR FIBERGLASS BATTS | R-38 | INSULATION BETWEEN JOISTS | CEILING BETWEEN BASEMENT/RESIDENTIAL | CLOSED CELL SPRAY FOAM | R-30 | COORD W/ UL ASSEMBLY & FIRE RATING REQ INSULATION PROVIDED @ ATTIC FLOOR | ATTIC CEILING | NONE REQ | --- | | CEILING OF OCCUPIED ATTIC | CLOSED CELL SPRAY FOAM | R-38 | | CEILING B/W BREEZEWAY/OCCUPIED SPACE | FIBERGLASS BATTS | R-30 MIN. | FILL CAVITY & COORD W/ FIRE-RATING & UL ASSEMBLY | CEILING B/W TWO SEPARATE OCCUPIED RESIDENCES | SOUND ATTENUATION BATT | 6" MIN SOUND BATT | COORD W/ UL ASSEMBLY & FIRE RATING | CEILING B/W FLOORS OF SAME RESIDENCE | SOUND ATTENUATION BATTS | 6" MIN SOUND BATT | | MATERIAL | ITEM NUMBER | MIN. EQUIV. THICKNESS / RATING | 1. CLAY OR SHALE BRICK; SOLID BRICK | 1-1.1 | 4.5" 3.8" 2.7" | 2. CONCRETE MASONRY UNIT | 3-1.2 | 4.4" 3.6" 2.6" |
| LOCATION | TYPE | R-VALUE | NOTES | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MECHANICAL CLOSET WALLS | SOUND ATTENUATION BATT | - | FILL STUD CAVITY | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| BATHROOM WALLS | SOUND ATTENUATION BATT | - | FILL STUD CAVITY | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| PLUMBING CHASE WALLS | FIBERGLASS BATTS STAPLED TO STUDS | R-13 MIN. | CONTINUOUS PIPE INSULATION AT ALL PLUMBING LINES | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| BETWEEN OFFICE TENANT SPACES | SOUND ATTENUATION BATT | - | FILL CAVITY | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| BETWEEN DWELLING UNITS | SOUND ATTENUATION BATT | - | FILL CAVITY | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| FURRING AT EXTERIOR WALLS | SPRAY-APPLIED CELLULOSE | - | FILL CAVITY | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| STAIR HALL ENCLOSURE WALLS | SOUND ATTENUATION BATTS | - | FILL CAVITY & COORD W/ FIRE-RATING & UL ASSEMBLY | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| STAIR HALL ENCLOSURE WALLS AT UNCONDITIONED ATTIC | BLOWN-IN CELLULOSE OR FIBERGLASS BATTS | R-19 MIN. | FILL CAVITY | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| CLG BETWEEN ATTIC FLOOR AND OCCUPIED UNIT BELOW | BLOWN-IN CELLULOSE OR FIBERGLASS BATTS | R-38 | INSULATION BETWEEN JOISTS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| CEILING BETWEEN BASEMENT/RESIDENTIAL | CLOSED CELL SPRAY FOAM | R-30 | COORD W/ UL ASSEMBLY & FIRE RATING REQ INSULATION PROVIDED @ ATTIC FLOOR | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| ATTIC CEILING | NONE REQ | --- | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| CEILING OF OCCUPIED ATTIC | CLOSED CELL SPRAY FOAM | R-38 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| CEILING B/W BREEZEWAY/OCCUPIED SPACE | FIBERGLASS BATTS | R-30 MIN. | FILL CAVITY & COORD W/ FIRE-RATING & UL ASSEMBLY | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| CEILING B/W TWO SEPARATE OCCUPIED RESIDENCES | SOUND ATTENUATION BATT | 6" MIN SOUND BATT | COORD W/ UL ASSEMBLY & FIRE RATING | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| CEILING B/W FLOORS OF SAME RESIDENCE | SOUND ATTENUATION BATTS | 6" MIN SOUND BATT | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MATERIAL | ITEM NUMBER | MIN. EQUIV. THICKNESS / RATING | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 1. CLAY OR SHALE BRICK; SOLID BRICK | 1-1.1 | 4.5" 3.8" 2.7" | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 2. CONCRETE MASONRY UNIT | 3-1.2 | 4.4" 3.6" 2.6" | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|  <p>EXG. MASONRY WALL 13</p> <p>PERSCRPTIVE - FIRE BARRIER GYP/UL # 2-HR RATING</p> <p>FIRE RATING = 3.8" MIN EXG. SOLID BRICK = 2HR MIN</p> |  <p>NEW 1HR RATED UNIT SEPERATION 14</p> <p>U309 - FIRE PARTITIONS GYP/UL # 1-HR RATING</p> <p>TYPICAL UNIT SEPERATION/CORRIDOR WALLS</p> |  <p>FURRING AT EXG WALLS 15</p> <p>N/A GYP/UL # NON RATED RATING</p> <p>NOTES: - PROVIDE MOISTURE RESISTANT DRYWALL ON BATHROOM/KITCHEN SIDE - PROVIDE PT. SILL PLATE IN BASEMENT</p> |  <p>NEW 1HR RATED BREEZEWAY WALL 16</p> <p>U305 - FIRE BARRIER GYP/UL # 1-HR RATING</p> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|  <p>EXG. BRICK VENEER WALL W/ STUD BACKUP 17</p> <p>U302 - FIRE BARRIER GYP/UL # 2-HR RATING</p> <p>CONTRACTOR TO VERIFY EXG CONDITIONS</p> |  <p>NEW BRICK VENEER WALL W/ STUD BACKUP 18</p> <p>U302 - FIRE BARRIER GYP/UL # 2-HR RATING</p> <p>USE SALVAGED HISTORIC BRICK.</p> |  <p>EXG. STUD WALL W/ SIDING 19</p> <p>U301 - FIRE BARRIER GYP/UL # 2-HR RATING</p> <p>CONTRACTOR TO VERIFY EXG CONDITIONS.</p> |  <p>NEW STUD WALL W/ SIDING 20</p> <p>U301 - FIRE BARRIER GYP/UL # 2-HR RATING</p> <p>PROVIDE PT. SILL PLATE IN BASEMENT AND ON CONCRETE SLABS.</p> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|  <p>NEW 2HR CMU WALL 21</p> <p>TABLE 721.1 (2) OBCH 2-HR RATING</p> <p>HOLD CMU OFF ADJACENT MASONRY SURFACE AS REQ'D</p> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

GENERAL NOTES

- A. CONTRACTOR TO ASSUME WALLS NOT CALLED OUT WITH WALLTAG ARE TO BE WALLTYPE 1.

NOT FOR CONSTRUCTION

PROPOSED PROJECT

Job No: 08/30/2024

SCALE: 1" = 1'-0"

ASSEMBLY TYPES

A6.00

TYPICAL FLOOR/CEILING/SHAFT ASSEMBLIES
(LABELED ON PLANS AND SECTION DIAGRAM ON SHEET A0.01)

| | | | | | | | | | |
|---|--|--|--|--|--|--|--|---|--|
| | | | | | | | | | |
| FLR/CLG ASSEMBLY A | | FLR/CLG ASSEMBLY B | | 1-HR FLR/CLG MEMBRANE C | | 1-HR FLR/CLG DWELLING SEPERATION D | | 2 HR FLR/CLG CORRIDOR/USE GROUP SEP. E | |
| N/A GYP/UL # NON RATED RATING | | N/A GYP/UL # NON RATED RATING | | GA-FC-5406 GYP/UL # 1-HR RATING | | UL#L514 GYP/UL # 1-HR RATING | | UL#L505 -OR- L511 GYP/UL # 2-HR RATING | |
| NOTES: PROVIDE MOISTURE RESISTANT DRYWALL IN BASEMENTS | | NOTES: PROVIDE MOISTURE RESISTANT DRYWALL IN BASEMENTS | | NOTES: -PROTECTION PROVIDED FROM UNDERSIDE -PROVIDE MOISTURE RESISTANT DRYWALL IN BASEMENTS | | NOTES: PROVIDE MOISTURE RESISTANT DRYWALL IN BASEMENTS + EXTERIOR SOFFIT BOARD EXTERIOR APPLICATIONS | | NOTES: PROVIDE MOISTURE RESISTANT DRYWALL IN BASEMENTS + EXTERIOR SOFFIT BOARD IN EXTERIOR APPLICATIONS | |
| | | | | | | | | | |
| 2-HR FLR/CLG MEMBRANE F | | FLR/CLG ASSEMBLY G | | 1-HR FLR/CLG MEMBRANE H | | 2-HR FLR/CLG MEMBRANE J | | | |
| GA-FC-5725 GYP/UL # 2-HR RATING | | GYP/UL # NON RATED RATING | | UL #L514 GYP/UL # 1-HR RATING | | UL #L505 -OR- L511 GYP/UL # 2-HR RATING | | | |
| NOTES: -PROVIDES PROTECTION FROM UNDERSIDE -PROVIDE MOISTURE RESISTANT DRYWALL IN BASEMENTS | | | | NOTES: - PROVIDE MOISTURE RESISTANT DRYWALL IN BASEMENTS + EXTERIOR SOFFIT BOARD IN EXTERIOR APPLICATIONS - IF INDICATED IN PLAN KEYNOTES, REINSTALL HISTORIC TIN CEILING AT UNDERSIDE OF ASSEMBLY | | NOTES: - PROVIDE MOISTURE RESISTANT DRYWALL IN BASEMENTS + EXTERIOR SOFFIT BOARD IN EXTERIOR APPLICATIONS - IF INDICATED IN PLAN KEYNOTES, REINSTALL HISTORIC TIN CEILING AT UNDERSIDE OF ASSEMBLY | | | |

TYPICAL ROOF ASSEMBLIES
(LABELED ON PLANS AND SECTION DIAGRAM ON SHEET A0.01)

| | | | | | | | | | |
|---|--|--|--|---|--|---|--|---|--|
| | | | | | | | | | |
| INSULATED MEMBRANE ROOF M1 | | UNINSULATED MEMBRANE ROOF M2 | | OUTBOARD INSULATED MEMBRANE ROOF M3 | | INSULATED METAL ROOF MT1 | | UNINSULATED METAL ROOF MT2 | |
| N/A GYP/UL # RATING | | N/A GYP/UL # RATING | | N/A GYP/UL # RATING | | N/A GYP/UL # RATING | | N/A GYP/UL # RATING | |
| NOTES: - USED WHERE TOP FLOOR IS OCCUPIED | | NOTES: - USED WHERE ATTIC/INTERSTITIAL SPACE IS UNOCCUPIED - INSULATION TO BE PROVIDE AT CLG OF OCCUPIED SPACE BELOW | | NOTES: - USED WHERE TOP FLOOR IS OCCUPIED | | NOTES: - USED WHERE TOP FLOOR IS OCCUPIED | | NOTES: - USED WHERE TOP FLOOR IS OCCUPIED | |
| | | | | | | | | | |
| UNINSULATED SHINGLE ROOF S1 | | INSULATED SHINGLE ROOF S2 | | | | | | | |
| N/A GYP/UL # RATING | | N/A GYP/UL # RATING | | | | | | | |
| NOTES: - USED WHERE TOP FLOOR IS OCCUPIED - COORDINATE W/ INSULATION SCHEDULE | | NOTES: - USED WHERE TOP FLOOR IS OCCUPIED - COORDINATE W/ INSULATION SCHEDULE | | | | | | | |

SCALE: 1/12" = 1'-0" ASSEMBLY TYPES

NOT FOR CONSTRUCTION

PROPOSED PROJECT

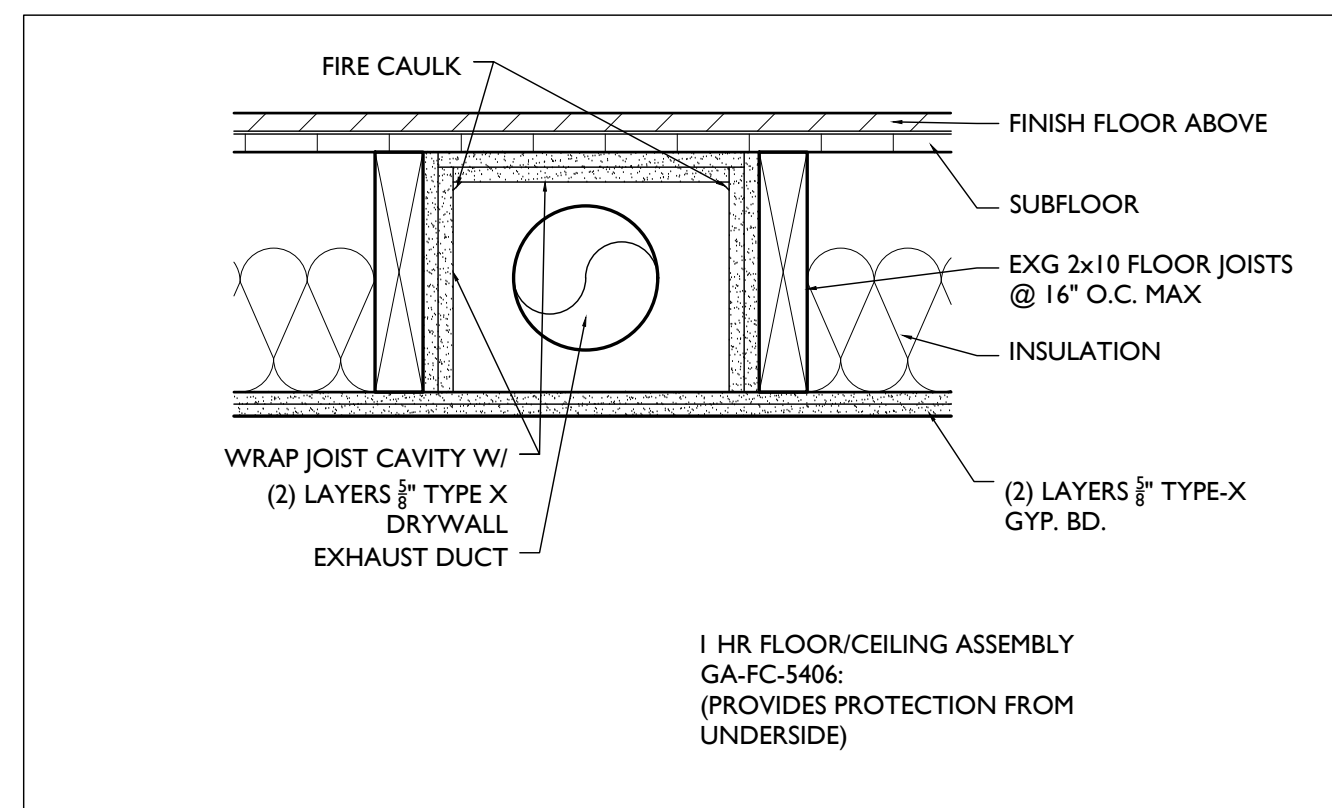
Job No: 08/30/2024

Progress Dates

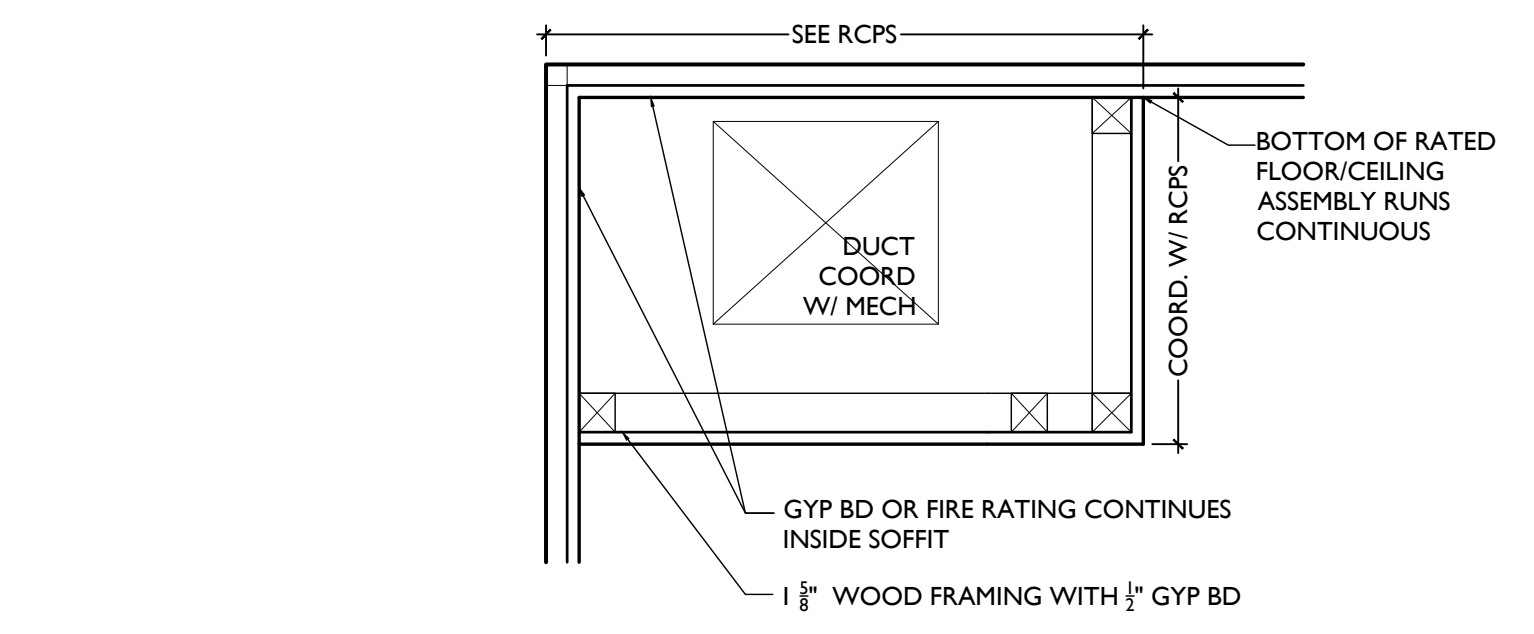
Revisions

Design Team:

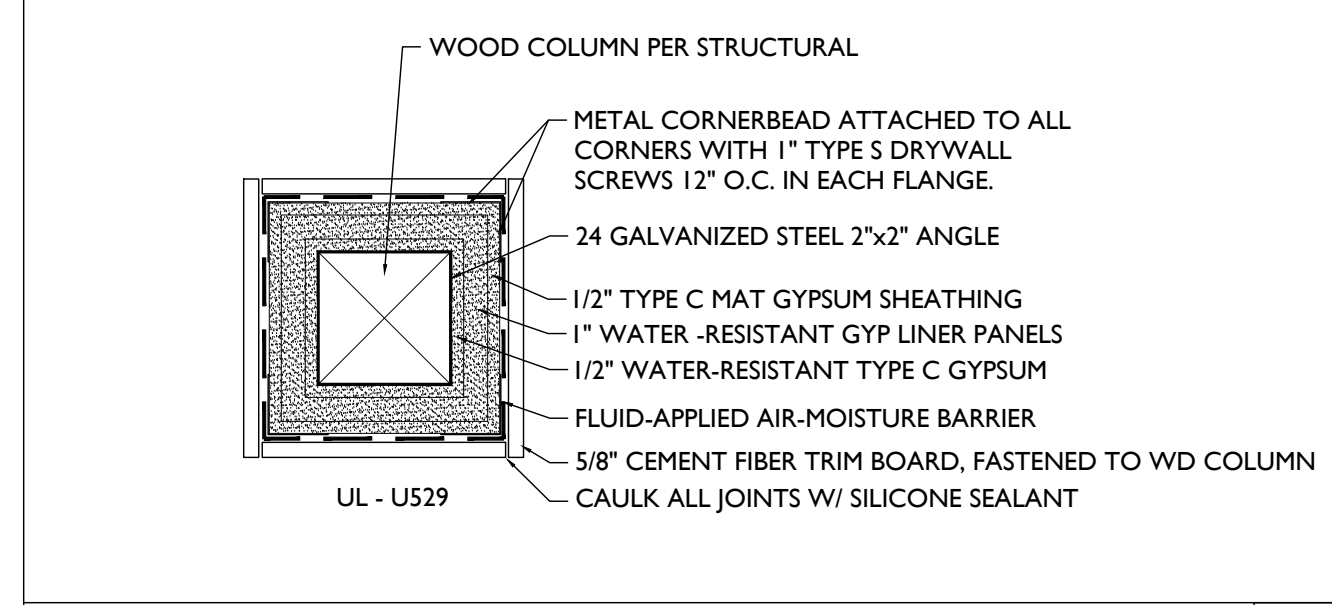
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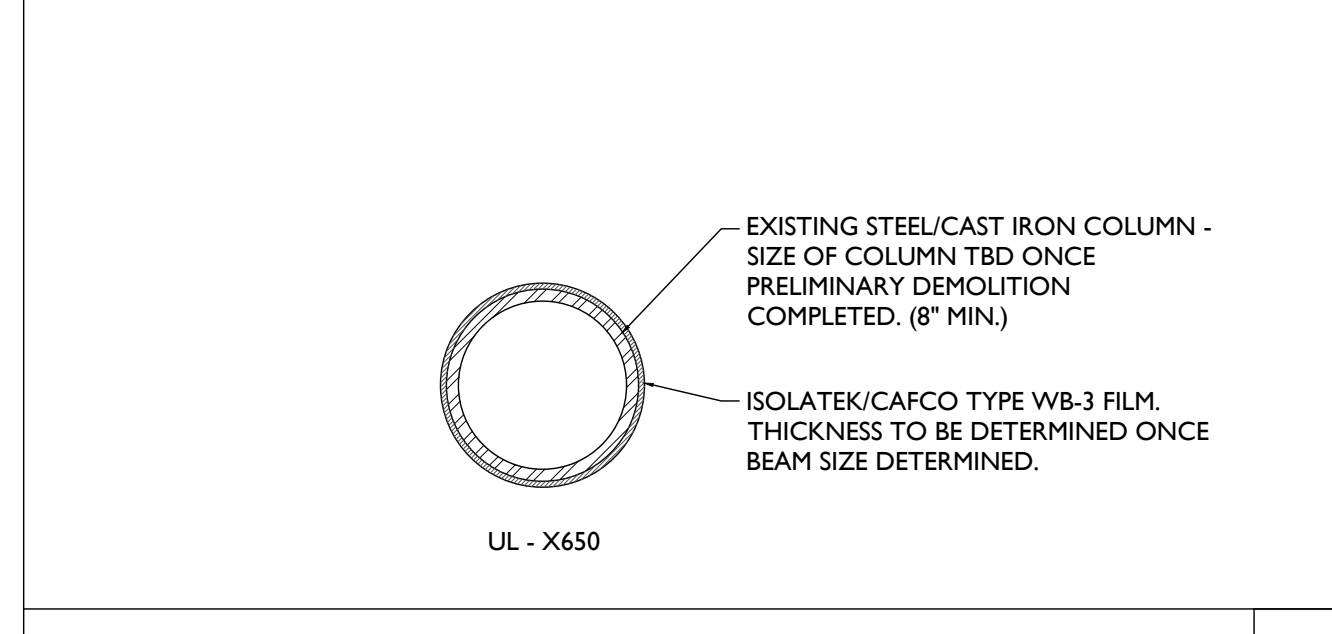
SCALE: 1-1/2" = 1'-0" **1 HR RATED JOIST POCKET** 7



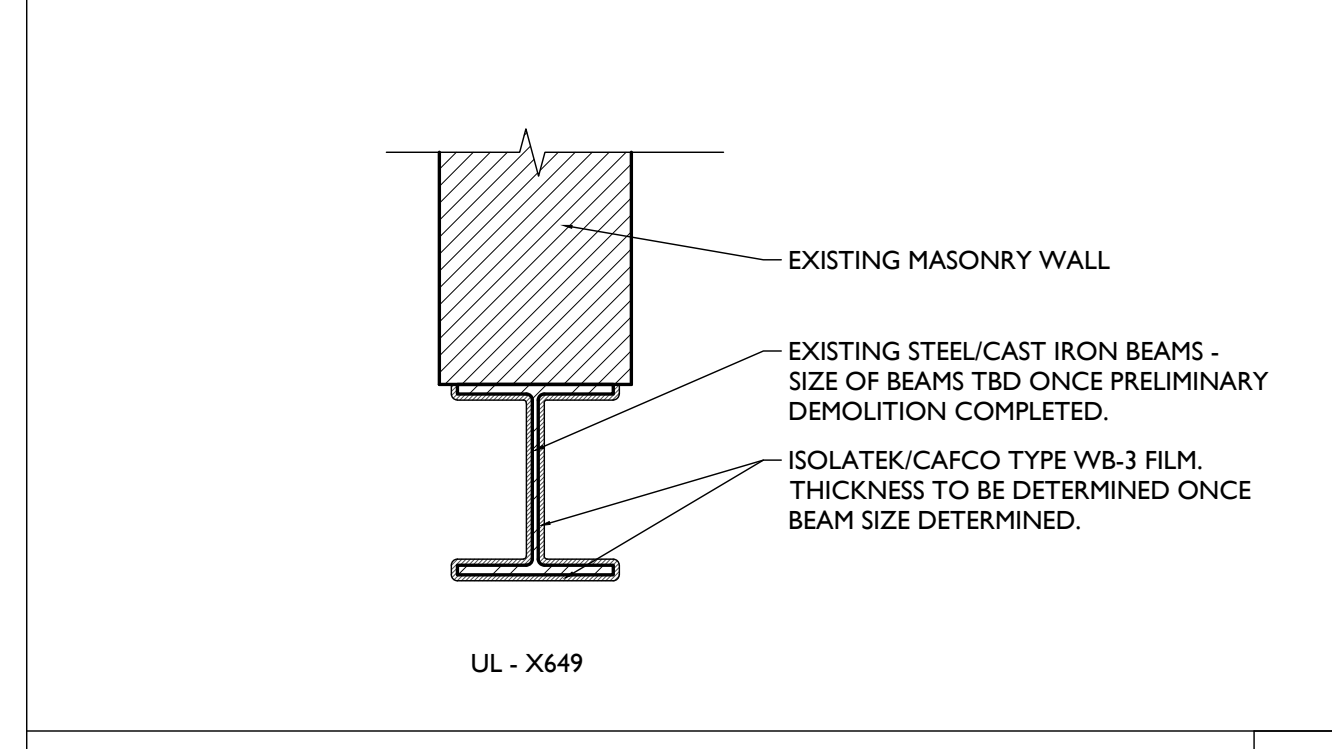
SCALE: 1-1/2" = 1'-0" **SOFFIT DETAIL IN DWELLING** 3



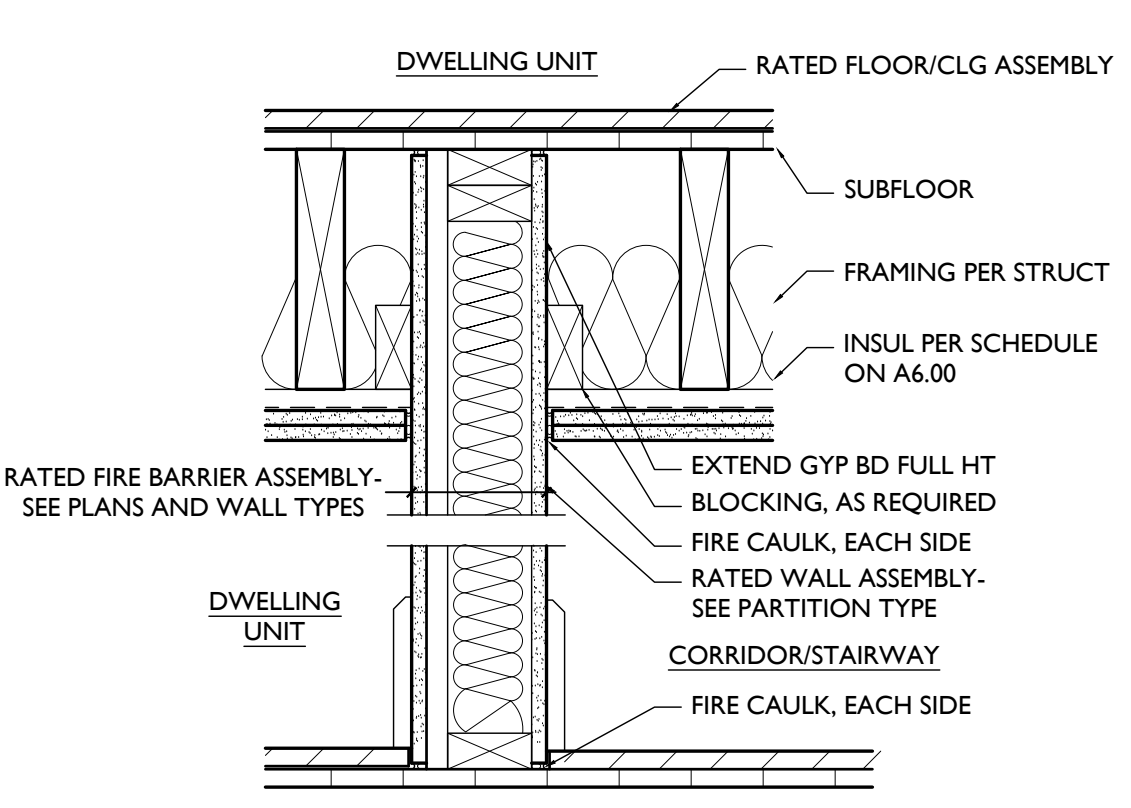
SCALE: 1-1/2" = 1'-0" **2 HR WOOD POST PROTECTION** 6



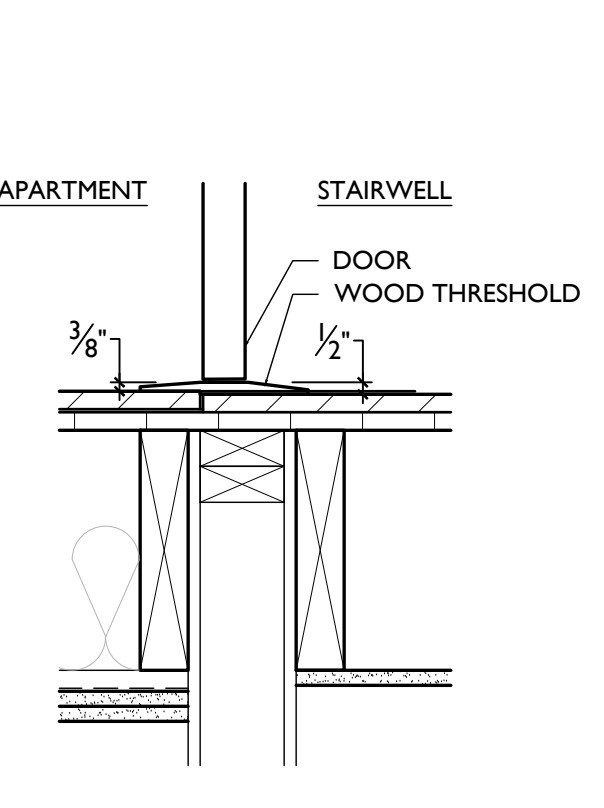
SCALE: 1-1/2" = 1'-0" **2 HR STEEL COLUMN PROTECTION** 5



SCALE: 1-1/2" = 1'-0" **2 HR STEEL BEAM PROTECTION** 4

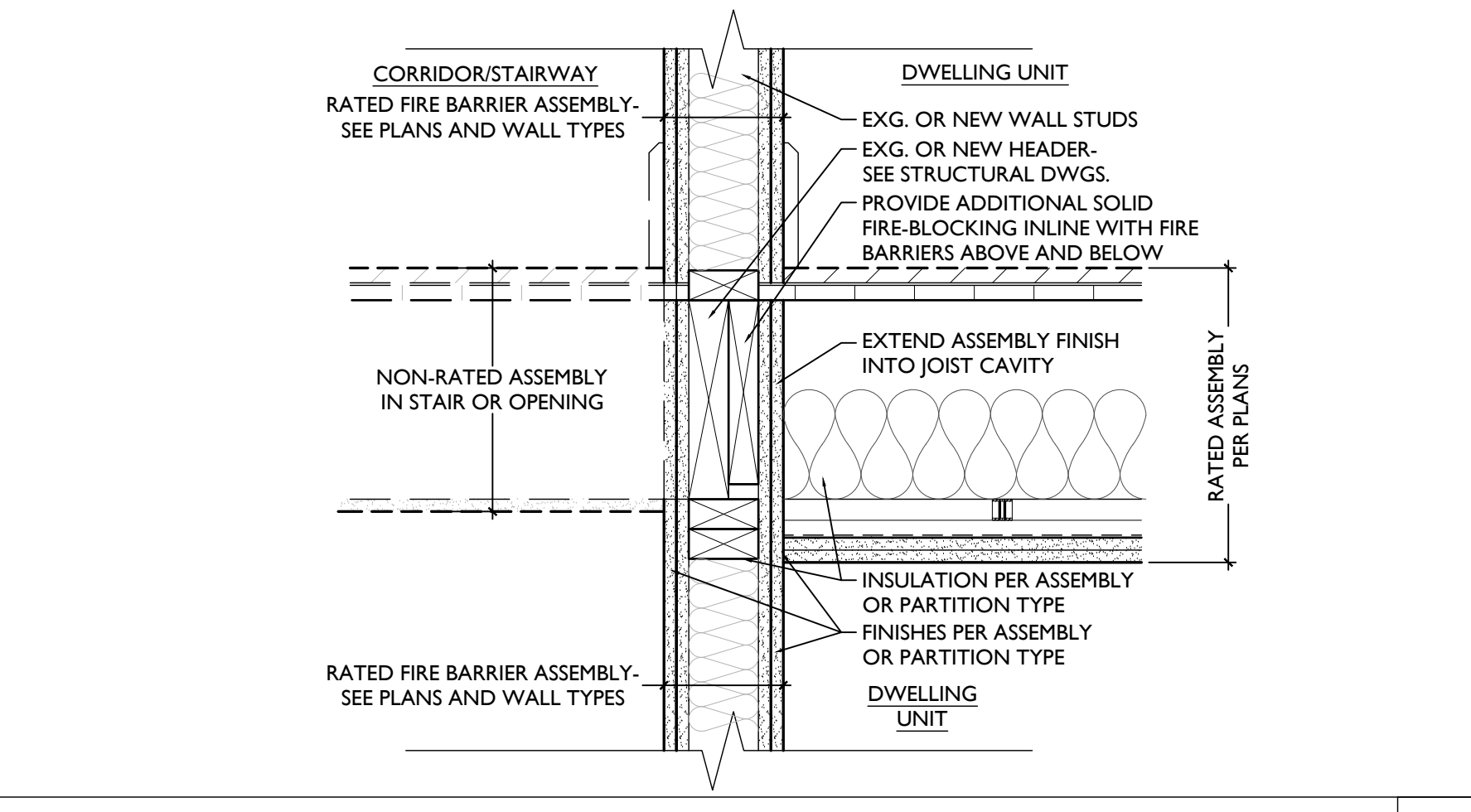


A WALL TO FLOOR/CEILING CONNECTION AT FIRE-RATED ASSEMBLIES



B TYP. DWELLING UNIT ENTRY DOOR THRESHOLD

DETAIL 2 2



SCALE: 1 1/2" = 1'-0" **TYPICAL FIRE RATING DETAILS**

NOT FOR CONSTRUCTION

PROPOSED PROJECT

Job No: 08/30/2024

HARDWARE SCHEDULE

| HDWR | M | DESCRIPTION |
|---|---|--|
| EXTERIOR DOORS / GATES | | |
| G01 | BREEZEWAY GATE | <ul style="list-style-type: none"> ENTRY LOCKSET OUTSIDE KEY LOCK (LOCKED FROM OUTSIDE) LEVER HANDLES INSIDE ALWAYS UNLOCKED; MEETS EMERGENCY EGRESS REQUIREMENT ELECTRONIC ACCESS CONTROL (INTERCOM OR KEY FOB) ELECTRIC STRIKE (3) HINGES (1) CLOSER WALL/FLOOR STOP |
| EXISTING DOORS TO REMAIN | | |
| H01 | EXISTING TO REMAIN | EXISTING HARDWARE SET TO REMAIN |
| NEW COMMERCIAL DOORS | | |
| H02 | EXTERIOR COMMERCIAL DOOR (TYPICAL) | <ul style="list-style-type: none"> ENTRY LOCKSET OUTSIDE KEY LOCK (LOCKED FROM OUTSIDE) LEVER HANDLES INSIDE KEY LOCK W/ SINGLE ACTION LEVER RELEASE MECHANISM RELEASES DEADBOLT WHEN INTERIOR HANDLE IS TURNED; MEETS EMERGENCY EGRESS REQUIREMENT. 1-1/2" PAIR HINGES (1) CLOSER WALL/FLOOR STOP WEATHER SEALS |
| H03 | INTERIOR COMMERCIAL DOOR | <ul style="list-style-type: none"> ENTRY LOCKSET OUTSIDE KEY LOCK (LOCKED FROM OUTSIDE) LEVER HANDLES INSIDE KEY LOCK W/ SINGLE ACTION LEVER RELEASE MECHANISM RELEASES DEADBOLT WHEN INTERIOR HANDLE IS TURNED; MEETS EMERGENCY EGRESS REQUIREMENT. 1-1/2" PAIR HINGES (1) CLOSER SMOKE SEAL WALL/FLOOR STOP |
| H05 | COMMERCIAL RESTROOM (SINGLE USER) | <ul style="list-style-type: none"> PRIVACY LOCKSET INSIDE THUMB LOCK LEVER HANDLES (3) HINGES KICK/MOP PLATE WALL/FLOOR STOP |
| H06 | DOOR TO BASEMENT/MECHANICAL CLOSET | <ul style="list-style-type: none"> STORAGE LOCKSET RATED HARDWARE WHERE REQUIRED OUTSIDE KEY LOCK; INSIDE ALWAYS UNLOCKED ACCESSIBLE BY LANDLORD ONLY (3) HINGES WALL/FLOOR STOP |
| H06A | COMMERCIAL TENANT STORAGE | <ul style="list-style-type: none"> STORAGE LOCKSET OUTSIDE KEY LOCK; INSIDE ALWAYS UNLOCKED ACCESSIBLE BY COMMERCIAL TENANT (3) HINGES WALL/FLOOR STOP |
| NEW COMMON RESIDENTIAL DOORS | | |
| H09 | FIXED DOOR | <ul style="list-style-type: none"> RIX DOOR CLOSED BLANK ESCUTCHEON PLATE ON EXPOSED SIDE PROVIDE WEATHER STRIPPING WHERE DOOR IS EXPOSED TO THE EXTERIOR |
| H10 | DOOR FROM STAIR/CORRIDOR TO EXTERIOR | <ul style="list-style-type: none"> EGRESS LOCKSET W/ ELECTRONIC ACCESS CONTROL OUTSIDE ALWAYS LOCKED; INSIDE ALWAYS UNLOCKED LEVER HANDLES ELECTRONIC ACCESS CONTROL (INTERCOM OR KEY FOB) ELECTRIC STRIKE LOCKSET 1-1/2" PAIR HINGES (1) CLOSER WALL/FLOOR STOP WEATHER SEALS |
| H10AB | DOOR FROM STAIR/CORRIDOR TO ATTIC | <ul style="list-style-type: none"> STORAGE LOCKSET RATED HARDWARE OUTSIDE KEY LOCK; INSIDE ALWAYS UNLOCKED (3) HINGES (1) CLOSER SMOKE SEAL WALL/FLOOR STOP |
| NEW PRIVATE RESIDENTIAL DOORS | | |
| HR01 | RESIDENTIAL UNIT ENTRY DOOR | <ul style="list-style-type: none"> ENTRY LOCKSET RATED HARDWARE LOCKSET THUMB TURN DEADBOLT (3) HINGES (1) SPRING CLOSER WIDE ANGLE VIEWER WALL/FLOOR STOP SMOKE SEAL DOOR SWEEP RUBBER THRESHOLD (LOW PROFILE) |
| HR01A | RESIDENTIAL UNIT ENTRY DOOR (EXTERIOR) | <ul style="list-style-type: none"> ENTRY LOCKSET LOCKSET THUMB TURN DEADBOLT (3) HINGES (1) SPRING CLOSER WIDE ANGLE VIEWER WALL/FLOOR STOP WEATHER SEALS DOOR SWEEP RUBBER THRESHOLD (LOW PROFILE) |
| HR02 | TYPICAL BEDROOM AND BATHROOM | <ul style="list-style-type: none"> PRIVACY LOCKSET (1) LOCKSET (3) HINGES WALL/FLOOR STOP WOOD "T" THRESHOLD |
| HR03 | DOOR TO MECHANICAL CLOSET | <ul style="list-style-type: none"> STORAGE LOCKSET OUTSIDE KEY LOCK; INSIDE ALWAYS UNLOCKED ACCESSIBLE BY LANDLORD ONLY (3) HINGES WALL/FLOOR STOP WOOD "T" THRESHOLD |
| HR04 | SINGLE DOOR TO CLOSET/STORAGE/LAUNDRY/ BEDROOM EGRESS | <ul style="list-style-type: none"> PASSAGE LOCKSET (3) HINGES WALL/FLOOR STOP |
| HR04A | DOUBLE SWINGING DOOR TO CLOSET/STORAGE | <ul style="list-style-type: none"> CLOSET RULLS DUPREY LEVER HANDLES BALL CATCHES 3 PAIR HINGES |
| GENERAL HARDWARE NOTES: | | |
| 1. ALL HARDWARE TO BE OPERABLE IN THE DIRECTION OF EGRESS ALWAYS WITHOUT KNOWLEDGE, KEY OR TIGHT PINCHING OR GRABBING THE DEVICE. | | |
| 2. ALL HARDWARE TO BE SATIN CHROME, STAINLESS STEEL AND POWDER COAT TO MATCH. EXIT DEVICES, EXTERIOR HINGES, KICK PLATES TO BE US3D. INTERIOR HINGES, LOCKSETS, WALL STOPS US24D. DOOR CLOSERS TO BE POWDER COAT TO MATCH. | | |
| 3. ALL HARDWARE TO BE AS SPECIFIED OR APPROVED EQUAL. | | |
| A. LOCKSETS ARE BASED ON BEST CYLINDRICAL GRADE I (PRIORITY LOCK FOR TOILETS WITH INDICATOR). | | |
| B. COORDINATE KEYING REQUIREMENTS WITH OWNER. APPROVED MANUFACTURERS: BEST (N3 SERIES), SCHLAGE (IND SERIES), SARGENT (10 LINE), KEY SYSTEM - PROVIDE MASTER SYSTEM (KEY INTO OWNER'S EXISTING SMALL FORMAT KEY SYSTEM), 3 MASTER KEYS, 3 CHANGE KEYS PER CYLINDER. | | |
| C. EXIT DEVICES ARE BASED ON PRECISION 2100 SERIES GRADE 1, APPROVED MANUFACTURERS: PRECISION (2100 SERIES), VON DUPRIN (98 SERIES). | | |
| D. DOOR CLOSERS ARE BASED ON DORMA 8900 SERIES GRADE 1. PROVIDE WITH FULL COVER, APPROVED MANUFACTURERS: DORMA (8900 SERIES), LCN (404XP SERIES). | | |
| 4. HINGES | | |
| A. HINGE SIZE, DOORS UP TO 3 FEET WIDE 4'-1/2" X 4'-1/2"; DOORS WIDER THAN 3 FEET TO BE 5" X 4'-1/2". | | |
| B. HINGE QUANTITY - 3 HINGES PER DOOR LEAF FOR DOORS UP TO 76"; PROVIDE 4 HINGES FOR DOORS TALLER THAN 76". | | |
| 5. COORDINATE KEYING REQUIREMENTS WITH OWNER. | | |
| 6. COORDINATE ELECTRONIC ACCESS CONTROL REQUIREMENTS WITH OWNER. | | |
| 7. PROVIDE INTERCHANGABLE CORES. | | |

CALL OUT LEGENDS

| DOOR FINISHES (ALSO SEE A4.00 AND A8.00-8.01) | |
|---|--|
| FF | DOOR TO BE FACTORY FINISHED AS PART OF NEW STOREFRONT SYSTEM. SEE STOREFRONT TYPES ON A6.12. |
| PT | AT EXTERIOR DOORS: SEE EXTERIOR PAINT SCHEDULE ON A8.00-A8.01. |
| WL | AT INTERIOR DOORS: SEE FINISH SCHEDULE ON A4.00. |
| ST | WOOD LOOK STAINED |

| FRAME TYPES (ALSO SEE A6.11) | |
|------------------------------|---|
| F1 | HISTORIC FRAME/TRIM TO REMAIN - REPAIR/REPLICATE MISSING PIECES AS REQ |
| F2 | NEW METAL FRAME - SEE DTLS 1-5/A6.11 AND TYPICAL TRIM DTLS A6.11 |
| F3 | NEW METAL FRAME - SEE DTLS 1-5/A6.11 - TRIM TO MATCH EXG ADJ. HISTORIC TRIM |
| F4 | NEW WOOD FRAME - SEE DTLS 7.8/A6.11 AND TYPICAL DOOR TRIM DTLS A6.11 |
| F5 | NEW WOOD FRAME - SEE DTLS 7.8/A6.11 - TRIM TO MATCH EXG ADJ. HISTORIC TRIM |
| SF | PART OF STOREFRONT SYSTEM - SEE A6.12 |

NOTE: FRAMES TO BE PAINTED, UNJO. SEE FINISH SCHEDULE AND EXTERIOR PAINT SCHEDULE FOR MORE INFORMATION.

| TRANSOM TYPES | |
|---------------|--|
| TR1 | NEW HOLLOW METAL FRAMED TRANSOM |
| TR2 | HISTORIC TRANSOM TRIM & GLAZING TO REMAIN. REPAIR/REPLICATE MISSING PIECES AS REQ |
| TR3 | NEW WOOD TRANSOM TRIM TO MATCH EXG ADJACENT HISTORIC TRIM OF DOOR - WITH NEW TEMPERED GLAZING |
| TR4 | HISTORIC TRANSOM TRIM TO REMAIN. REPAIR/REPLICATE MISSING PIECES AS REQ'D. INSTALL NEW CLEAR GLAZING |
| SF | NEW TRANSOM TO BE PART OF STOREFRONT SYSTEM. SEE STOREFRONT TYPES. |
| GA | NEW TRANSOM TO BE PART OF METAL BREEZEWAY GATE. SEE A6.11 |

SCHEDULE NOTES

- EXISTING HISTORIC OPENING:
 - EXISTING HISTORIC DOOR (& TRANSOM, IF APPLICABLE) TO REMAIN IN SITU. REPAIR AS REQ. CONTRACTOR TO PROVIDE ALLOWANCE FOR DOOR REPAIR FOR ALL EXG. DOORS TO REMAIN.
 - EXISTING HISTORIC DOOR IS TO BE FIXED IN PLACE. SEE PLANS.
 - OPENING TO HAVE RELOCATED HISTORIC DOOR. SEE EXISTING PLANS FOR PREVIOUS LOCATION AND NEW WORK PLANS FOR NEW LOCATION.
- OPENING TO HAVE RELOCATED HISTORIC FRAME/TRIM. SEE EXISTING PLANS FOR PREVIOUS LOCATION AND NEW WORK PLANS FOR NEW LOCATION.
- NEW OPERABLE DOOR IN HISTORIC OPENING.
- HISTORIC POCKET DOORS TO BE RESTORED TO ORIGINAL FUNCTION AND OPERATION.
- EXISTING TRANSOM TO BE INFILLED BEHIND WITH GYP. BD. TO MAINTAIN FIRE RATING. SEE DETAILS ON A6.02.
- PROVIDE HOLD OPEN FOR THIS DOOR. - SEE HARDWARE SCHEDULE.
- PROVIDE HINGES THAT ALLOW FOR EASY DOOR REMOVAL DURING LAUNDRY UNIT INSTALLATION & MAINTENANCE.
- DOOR TO BE UNDERCUT. SEE MECHANICAL DRAWINGS.
- DOOR(S) TO BE FIXED IN PLACE AND INOPERABLE.
- PROVIDE VIEW HOLE AT 48" A.F.F., CENTERED IN DOOR.
- TIME DELAY FOR ELECTRIC STRIKE TRIGGERED BY INTERCOM OR KEY FOB AT EXTERIOR ENTRY.
- GATE TO BE PART OF SPECIFIED FENCE SYSTEM. SEE PLANS FOR KEYNOTE WITH B.O.D.

GENERAL NOTES

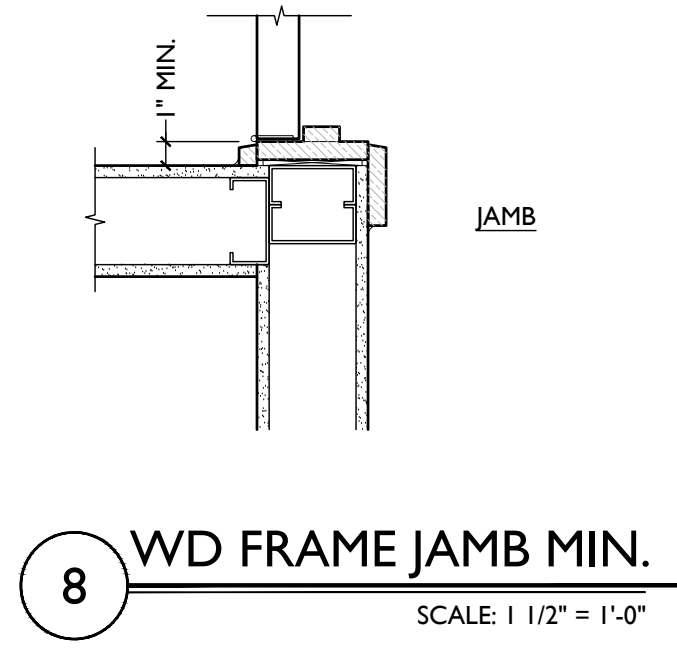
- THIS IS A HISTORIC TAX CREDIT PROJECT WITH SENSITIVE HISTORIC MATERIALS, INCLUDING DOORS & TRIM. DO NOT REMOVE ANY HISTORIC DOORS OR TRIM UNLESS INDICATED IN THESE DRAWINGS & IN THE SHPO NARRATIVE.**
- DOOR FRAMES**
- FURNISH AND INSTALL ALL DOOR FRAMES AS SHOWN ON THE DRAWINGS AND IN ACCORDANCE WITH FINAL SHOP DRAWINGS AND MANUFACTURER'S DATA AND INSTRUCTIONS.
 - SUBMIT SHOP DRAWINGS FOR FABRICATION AND INSTALLATION OF FRAMES. INCLUDE DETAILS OF EACH FRAME TYPE, CONDITIONS AT OPENINGS, DETAILS OF CONSTRUCTION, LOCATION, AND INSTALLATION REQUIREMENTS OF FINISH HARDWARE AND REINFORCEMENTS, AND DETAILS OF JOINTS AND CONNECTIONS. SHOW ANCHORAGE AND ACCESSORY ITEMS. PROVIDE SCHEDULE OF FRAMES USING SAME REFERENCE FOR DETAILS AND OPENINGS AS THOSE ON CONTRACT DRAWINGS.
 - NEW FRAMES SHALL HAVE UL LABELS TO MATCH RATING NOTED IN DOOR SCHEDULE.
 - SET AND BRACE ALL DOOR FRAMES. FRAMES SHALL BE PREPARED FOR HARDWARE PER TEMPLATES FURNISHED BY HARDWARE SUPPLIER.
 - COORDINATE LOCATIONS FOR OTHER TRADES TO BUILD IN THEIR WORK AS REQUIRED.
- DOORS**
- FURNISH AND INSTALL ALL DOORS AS SHOWN ON THE DRAWINGS AND IN ACCORDANCE WITH FINAL SHOP DRAWINGS AND MANUFACTURER'S DATA AND INSTRUCTIONS.
 - SUBMIT DOOR MANUFACTURER'S PRODUCT DATA SPECIFICATIONS AND INSTALLATION INSTRUCTIONS FOR EACH TYPE OF DOOR. PROVIDE SCHEDULE OF DOORS USING SAME REFERENCE FOR DETAILS AND OPENINGS AS THOSE ON CONTRACT DRAWINGS.
 - EXTERIOR DOORS TO BE INSULATED, WITH WEATHERSTRIPPING, AND PROVIDED WITH ACCESSIBLE THRESHOLD. ALL EXTERIOR STOREFRONT DOORS TO BE INSULATED, THERMALLY BROKEN AND WITH WEATHER STRIPPING AND PROVIDED WITH ACCESSIBLE THRESHOLD.
 - GLAZING IN DOOR LITES AND SIDE LITES SHALL BE CLEAR TEMPERED GLASS, 1/4" THICKNESS, UNLESS OTHERWISE NOTED. WIRED GLASS IS NOT ALLOWED. GLASS FRAMES IN DOORS SHALL HAVE FLUSH STOPS.
 - SEE DOOR SCHEDULE FOR REQUIRED FIRE RATINGS.
 - FIT DOORS TO FRAMES WITH MINIMUM UNIFORM CLEARANCES AND BEVELS. DOORS SHALL BE PREPARED FOR HARDWARE AS REQUIRED BY HARDWARE SCHEDULE. SEAL DOOR EDGE SURFACES AFFECTED BY FITTING AND MACHINING. PROVIDE DOOR CLEARANCES SO THAT DOOR MAY FREELY MOVE ABOVE FINISH FLOOR MATERIAL.
 - VERIFY SIZE OF ALL EXISTING DOORS AND DOOR OPENINGS IN FIELD. WHERE HISTORIC DOORS ARE BEING RELOCATED, VERIFY DOOR FITS IN NEW LOCATION. IF DOOR DOES NOT FIT, CONTACT ARCHITECT.
 - ALL MECHANICAL CLOSERS ARE TO BE LOCKED AT ALL TIMES WITH MECHANICAL ACCESS BY LANDLORD ONLY. CLOSET SHALL BE USED FOR MECHANICAL WATER HEATING EQUIPMENT ONLY. NO STORAGE OF ANY KIND IS TO BE PERMITTED WITHIN.

DOOR SCHEDULE

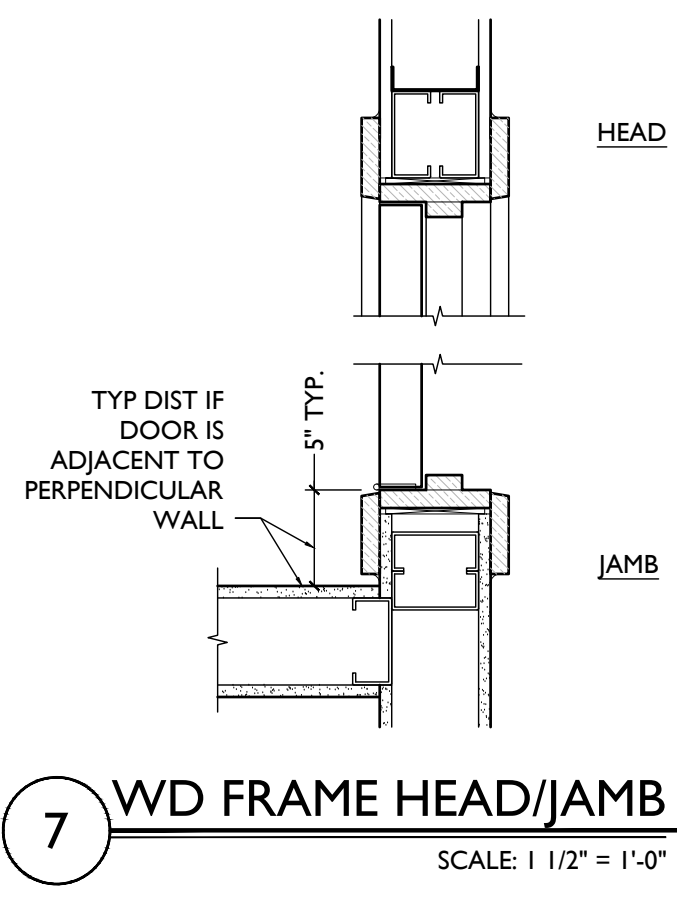
| DOOR NO. | LOCATION | DOOR | | | | FRAME | | HARDWARE | | REMARKS | |
|---------------------|----------------------------|------------------|------------------|------|--------|-------|---------|----------|-------|---------|-------|
| | | WIDTH | HEIGHT | TYPE | FINISH | TYPE | TRANSPI | FINISH | TYPE | RATING | NOTES |
| BASEMENT | | | | | | | | | | | |
| 01-1 | MECHANICAL | 3'-0" | 6'-8" | DM6 | PT | F2 | - | PT | H06 | - | 5 |
| 01-2 | MECHANICAL | 3'-0" | 6'-8" | DM4 | PT | F2 | - | PT | H06 | - | 5 |
| 01-3 | MECHANICAL | 3'-0" | 6'-8" | DM4 | PT | F2 | - | PT | H06 | - | 5 |
| FIRST FLOOR | | | | | | | | | | | |
| E01-1 | EXTERIOR | 3'-0" | 8'-0" | --- | --- | --- | --- | --- | G02 | --- | 9 |
| 100-1 | S BREEZEWAY | 2'-8" | 7'-8" | GA | PT | GA | GA | PT | G01 | | |
| 100-2 | N BREEZEWAY | 2'-10" | 7'-0" | GA | PT | GA | GA | PT | G01 | | |
| 100-4 | GATE ENTRY | 3'-0" | 8'-0" | GA | PT | GA | - | PT | G01 | | |
| 101-1 | STOREFRONT ENTRY | 3'-0" | 7'-0" | DA2 | FF | SF | SF | FF | H02 | - | |
| 101-2 | REAR COMMERCIAL ENTRY | 3'-0" | 7'-6" | DM4 | PT | F2 | - | PT | H02 | - | 7 |
| 102-1 | SHARED VESTIBULE ENTRY | 3'-0" | 8'-0" | DM3 | PT | F2 | TR1 | PT | H02 | - | |
| 103-1 | RESTROOM | 3'-0" | 7'-0" | DW1 | PT | F4 | - | PT | H05 | - | |
| 104-1 | STOREFRONT ENTRY | 3'-0" | 8'-0" | DA2 | FF | SF | FF | FF | H02 | - | |
| 104-2 | STOREFRONT ENTRY | 3'-0" | 8'-0" | DA1 | FF | SF | SF | FF | H02 | - | |
| 104-3 | SIDE COMMERCIAL ENTRY | EXG. OPG. V.I.F. | EXG. OPG. V.I.F. | DM3 | PT | F2 | TR1 | PT | H02 | - | |
| 104-4 | - | - | - | - | - | - | - | - | - | - | |
| 111-1 | RESIDENTIAL CORRIDOR ENTRY | 3'-0" | EXG. OPG. V.I.F. | DM3 | PT | F2 | TR1 | PT | H10 | - | |
| 112-1 | UNIT ENTRY | 3'-0" | 6'-8" | DM4 | PT | F2 | - | PT | HR01 | 20 MIN | |
| 112-2 | BEDROOM | 3'-0" | 6'-8" | DW1 | PT | F4 | - | PT | HR02 | - | 5 |
| 112-3 | CLOSET | 5'-0" | 6'-8" | DW1 | PT | F4 | - | PT | HR04A | - | |
| 112-4 | MECHANICAL | 2'-6" | 6'-8" | DW1 | PT | F4 | - | PT | HR03 | - | 5 |
| 112-5 | BATHROOM | 3'-0" | 6'-8" | DW1 | PT | F4 | - | PT | HR02 | - | 5 |
| 112-6 | LAUNDRY | 5'-4" | 6'-8" | DW1 | PT | F4 | - | PT | HR04A | - | 5 |
| 112-7 | COAT CLOSET | 2'-6" | 6'-8" | DW1 | PT | F4 | - | PT | HR04 | - | |
| 113-1 | UNIT ENTRY | 3'-0" | 6'-8" | DM4 | PT | F2 | - | PT | HR01 | 20 MIN | |
| 113-2 | LAUNDRY | 5'-4" | 6'-8" | DW1 | PT | F4 | - | PT | HR04A | - | 5 |
| 113-3 | MECHANICAL | 2'-6" | 6'-8" | DW1 | PT | F4 | - | PT | HR03 | - | 5 |
| 113-4 | BATHROOM | 3'-0" | 6'-8" | DW1 | PT | F4 | - | PT | HR02 | - | 5 |
| 113-5 | COAT CLOSET | 2'-6" | 6'-8" | DW1 | PT | F4 | - | PT | HR04 | - | |
| 113-6 | COAT CLOSET | 5'-0" | 6'-8" | DW1 | PT | F4 | - | PT | HR04 | - | |
| 113-7 | EXTERIOR ENTRY | EXG. EXG | - | PT | F1 | - | PT | H09 | - | 1C, 6 | |
| 121-1 | RESIDENTIAL CORRIDOR ENTRY | EXG. OPG. V.I.F. | 7'-0" | DM3 | PT | F2 | TR1 | PT | H10 | - | |
| SECOND FLOOR | | | | | | | | | | | |
| 201-1 | UNIT ENTRY | EXG. OPG. V.I.F. | EXG. OPG. V.I.F. | DM4 | PT | F2 | - | PT | HR01A | 90 MIN | 7 |
| 201-2 | CLOSET | 4'-0" | 6'-8" | DW1 | PT | F4 | - | PT | HR04A | | |
| 201-3 | BATHROOM | 2'-6" | 6'-8" | DW1 | PT | F4 | - | PT | HR02 | | |
| 202-1 | RESIDENTIAL CORRIDOR ENTRY | EXG. OPG. V.I.F. | 7'-0" | DM3 | PT | F2 | TR1 | PT | H10 | | |
| 202-2 | MECH. | 3'-0" | 6'-8" | DM4 | PT | F2 | - | PT | H06 | 20 MIN | |
| 203-1 | UNIT ENTRY | 3'-0" | 6'-8" | DM4 | PT | F2 | - | PT | HR01 | 20 MIN | |
| 203-2 | CLOSET | 2'-4" | 6'-8" | DW1 | PT | F4 | - | PT | HR04 | | |
| 203-3 | BEDROOM | 2'-8" | 6'-8" | DW1 | PT | F4 | - | PT | HR02 | | |
| 203-4 | LAUNDRY | 2'-4" | 6'-8" | DW1 | PT | F4 | - | PT | HR04 | | |
| 203-5 | CLOSET | 4'-8" | 6'-8" | DW1 | PT | F4 | - | PT | HR04 | | |
| 203-6 | BATHROOM | 2'-6" | 6'-8" | DW1 | PT | F4 | - | PT | HR02 | | |
| 204-1 | UNIT ENTRY | 3'-0" | 6'-8" | DM4 | PT | F2 | - | PT | HR01 | 20 MIN | |
| 204-2 | COAT CLOSET | 2'-6" | 6'-8" | DW1 | PT | F4 | - | PT | HR04 | | |
| 204-3 | PANTRY CLOSET | EXG. EXG | - | PT | F1 | - | PT | HR04 | | 1A | |
| 204-4 | COAT CLOSET | EXG. OPG. V.I.F. | | DW1 | PT | F4 | - | PT | HR04 | | |
| 204-5 | POWDER | 2'-4" | 6'-8" | DW1 | PT | F4 | - | PT | HR02 | | |
| 204-6 | CLOSET | EXG. EXG | - | PT | F1 | - | PT | HR04 | | | |
| 205-1 | UNIT ENTRY | 3'-0" | 6'-8" | DM4 | PT | F2 | - | PT | HR01 | 20 MIN | |
| 205-2 | COAT CLOSET | 2'-0" | | - | PT | F1 | - | PT | HR04 | | |
| 205-3 | BATHROOM | 2'-6" | 6'-8" | DW1 | PT | F4 | - | PT | HR02 | | |
| 205-4 | LAUNDRY | 2'-6" | 6'-8" | DW1 | PT | F4 | - | PT | HR04 | | |
| 205-5 | CLOSET | EXG. EXG | - | PT | F1 | - | PT | H01 | | 1C | |
| 221-1 | UNIT ENTRY | 3'-0" | 6'-8" | DM4 | PT | F2 | - | PT | HR01 | 60 MIN | |
| 222-2 | COAT CLOSET | 2'-6" | 6'-8" | DW1 | PT | F4 | - | PT | HR04 | | |
| 222-3 | CLOSET | 5'-0" | 6'-8" | DW1 | PT | F4 | - | PT | HR04A | | |
| 222-4 | BATHROOM | 2'-6" | 6'-8" | DW1 | PT | F4 | - | PT | HR02 | | |
| 222-5 | LAUNDRY | 2'-4" | 6'-8" | DW1 | PT | F4 | - | PT | HR04 | | |
| 223-1 | UNIT ENTRY | 3'-0" | 6'-8" | DM4 | PT | F2 | - | PT | HR01 | 60 MIN | |
| 223-2 | CLOSET | EXG. OPG. V.I.F. | | DW1 | PT | F1 | - | PT | HR04A | | |
| 223-3 | POWDER | 2'-6" | 6'-8" | DW1 | PT | F4 | - | PT | HR02 | | |
| 223-4 | BEDROOM | 2'-8" | 6'-8" | DW1 | PT | F4 | - | PT | HR02 | | |
| 223-5 | CLOSET | 5'-0" | 6'-8" | DW1 | PT | F4 | - | PT | HR04A | | |
| 223-6 | BATHROOM | 2'-6" | 6'-8" | DW1 | PT | F4 | - | PT | HR02 | | |
| 223-7 | BATHROOM | 2'-6" | 6'-8" | DW1 | PT | F4 | - | PT | HR02 | | |
| 223-8 | BEDROOM | 2'-8" | 6'-8" | DW1 | PT | F4 | - | PT | HR02 | | |
| 223-9 | CLOSET | 5'-0" | 6'-8" | DW1 | PT | F4 | - | PT | HR04A | | |

DOOR DETAILS NOTE:
SEE NEW PLANS & SHEET A6.00 FOR SPECIFIC
ASSEMBLY INFO AND FIRE-RATINGS.

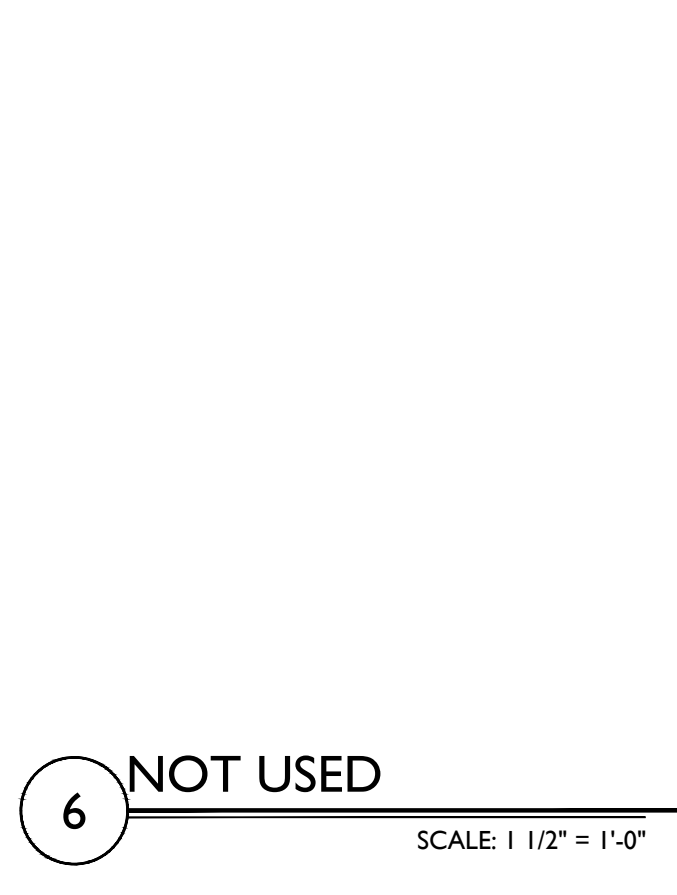
TYPICAL DOOR DETAILS



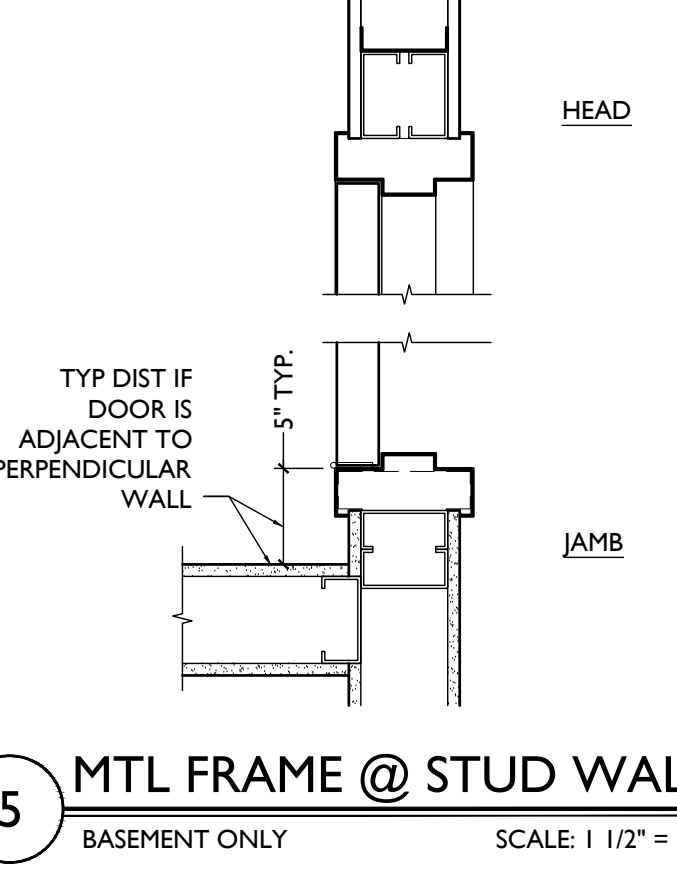
8 **WD FRAME JAMB MIN.**
SCALE: 1/12" = 1'-0"



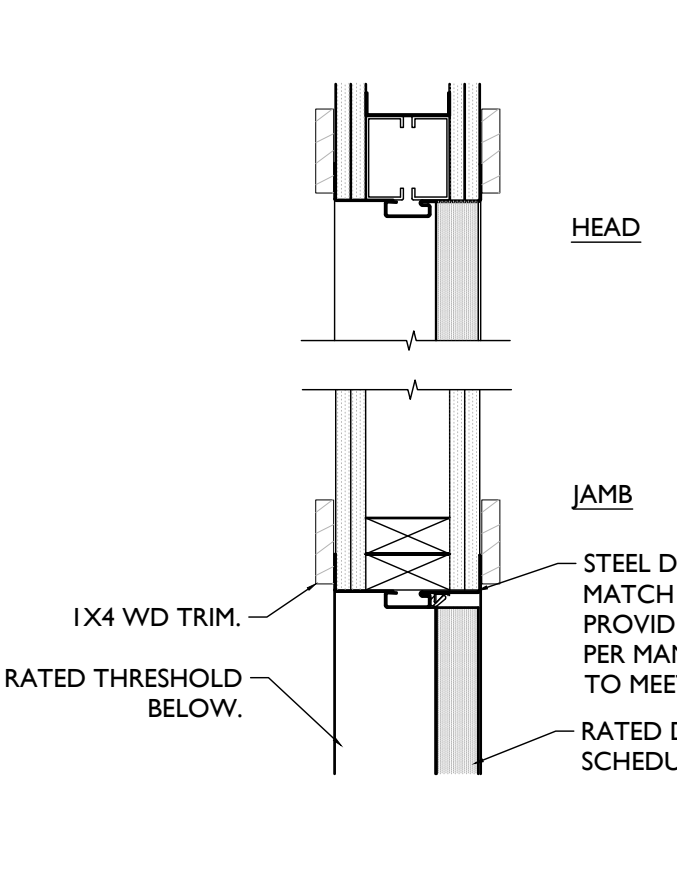
7 **WD FRAME HEAD/JAMB**
SCALE: 1/12" = 1'-0"



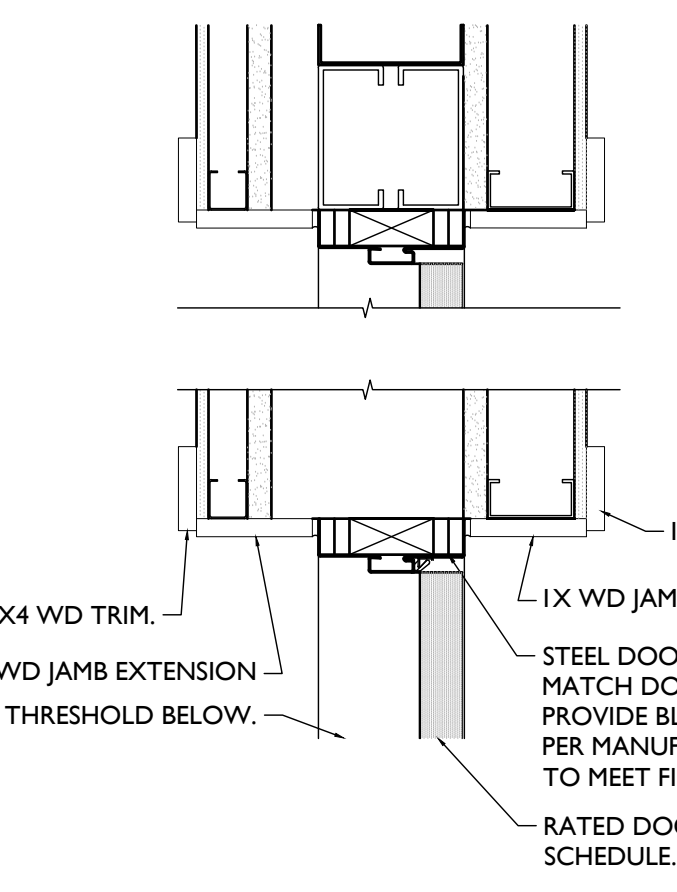
6 **NOT USED**
SCALE: 1/12" = 1'-0"



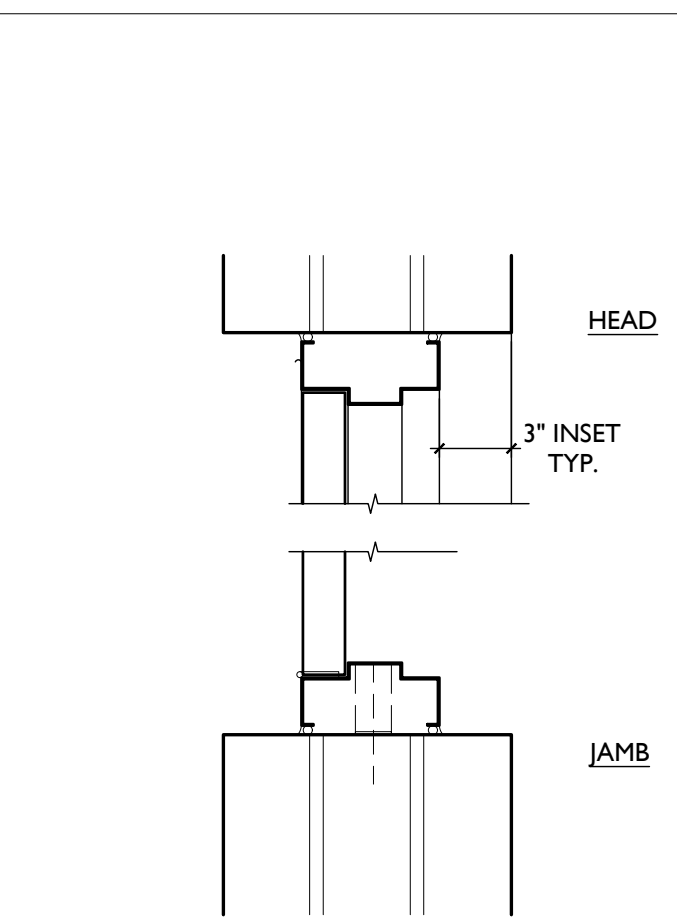
5 **MTL FRAME @ STUD WALL**
BASEMENT ONLY SCALE: 1/12" = 1'-0"



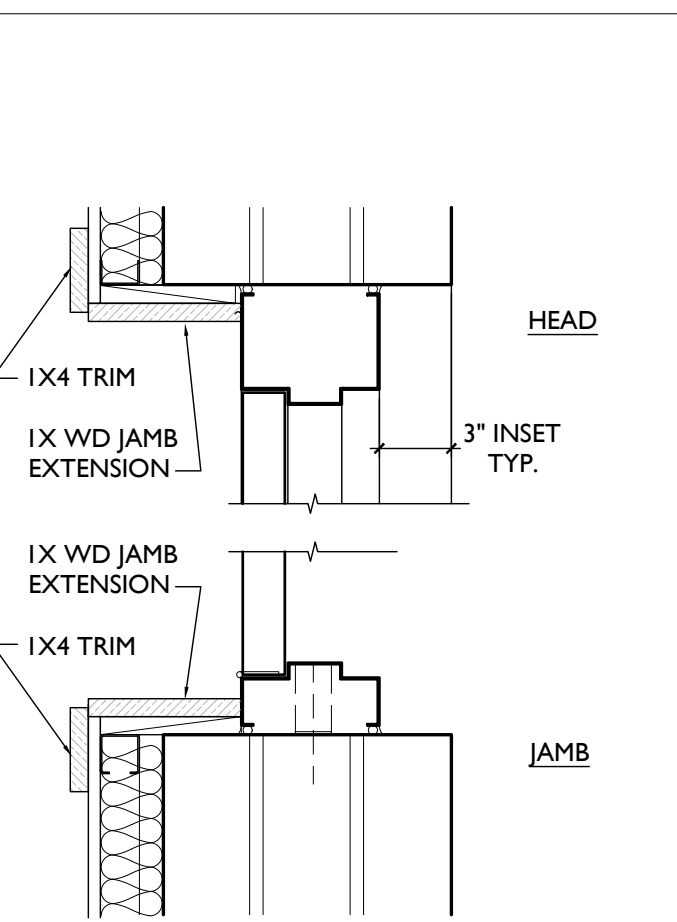
4 **MTL FRAME @ STUD WALL**
FIRE-RATED ONLY, ABOVE BASEMENT SCALE: 1/12" = 1'-0"



3 **MTL FRAME @ MSNRY - INTERIOR**
FIRE-RATED ONLY SCALE: 1/12" = 1'-0"

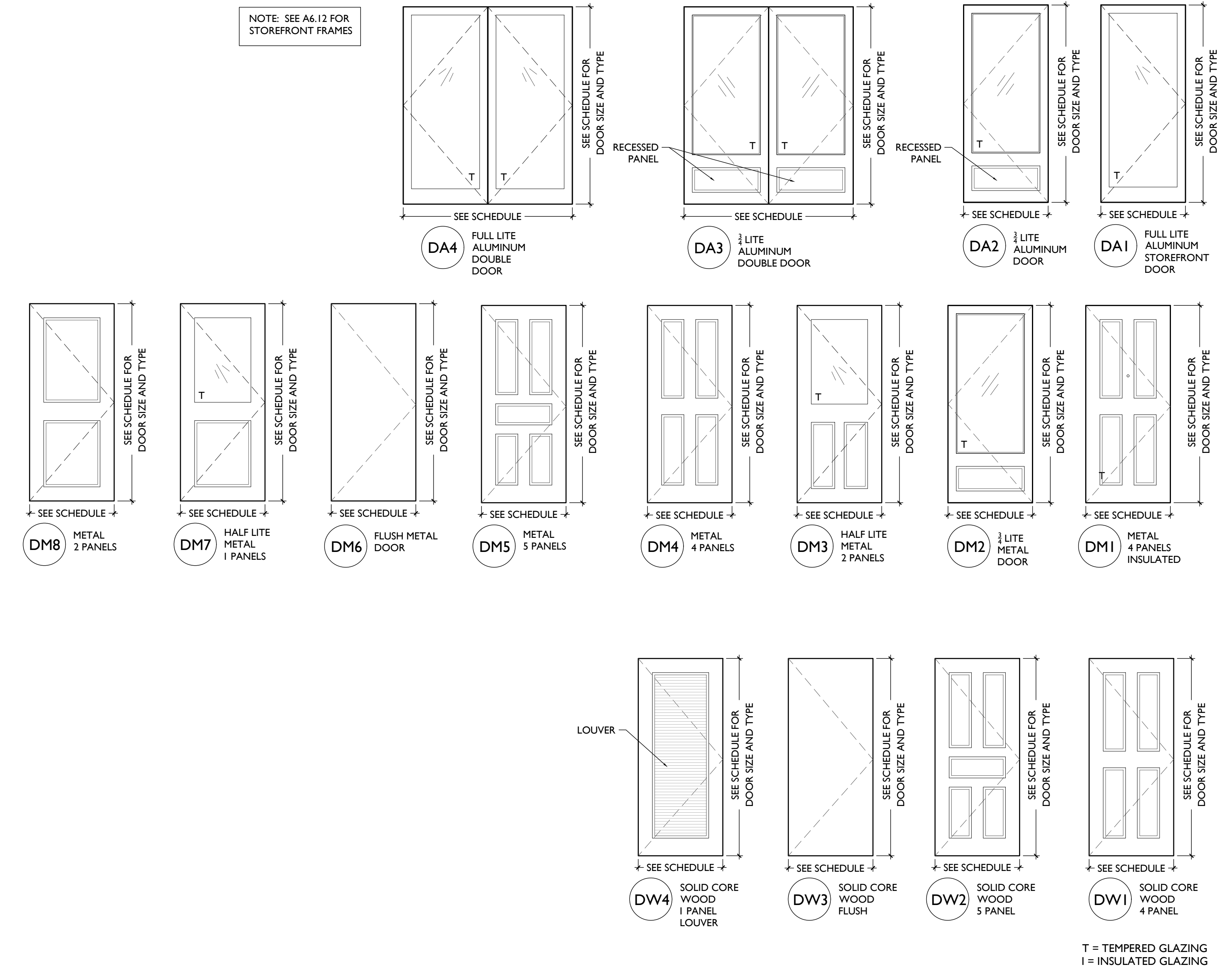


2 **MTL FRAME @ MSNRY - INTERIOR**
BASEMENT ONLY SCALE: 1/12" = 1'-0"



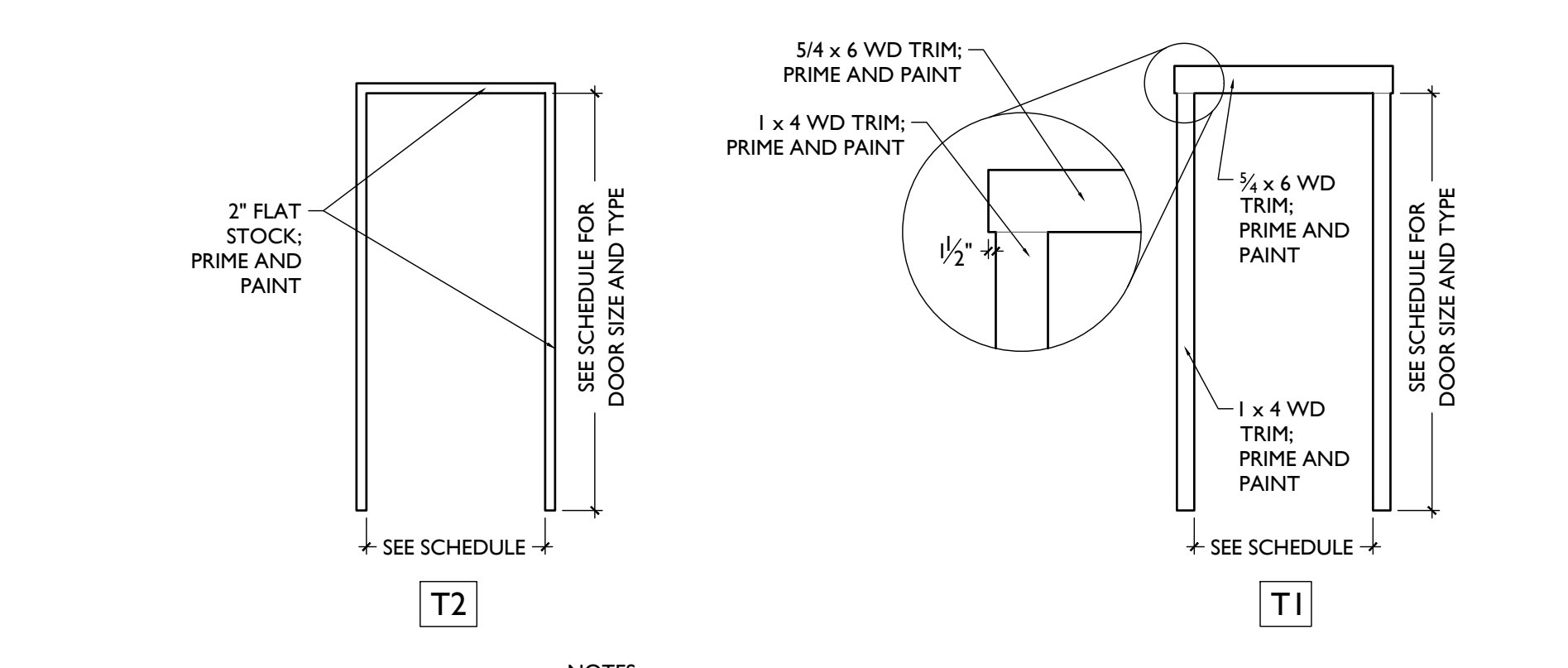
1 **MTL FRAME @ MSNRY - EXTERIOR**
SCALE: 1/12" = 1'-0"

T = TEMPERED GLAZING
TYPICAL DOOR TYPES



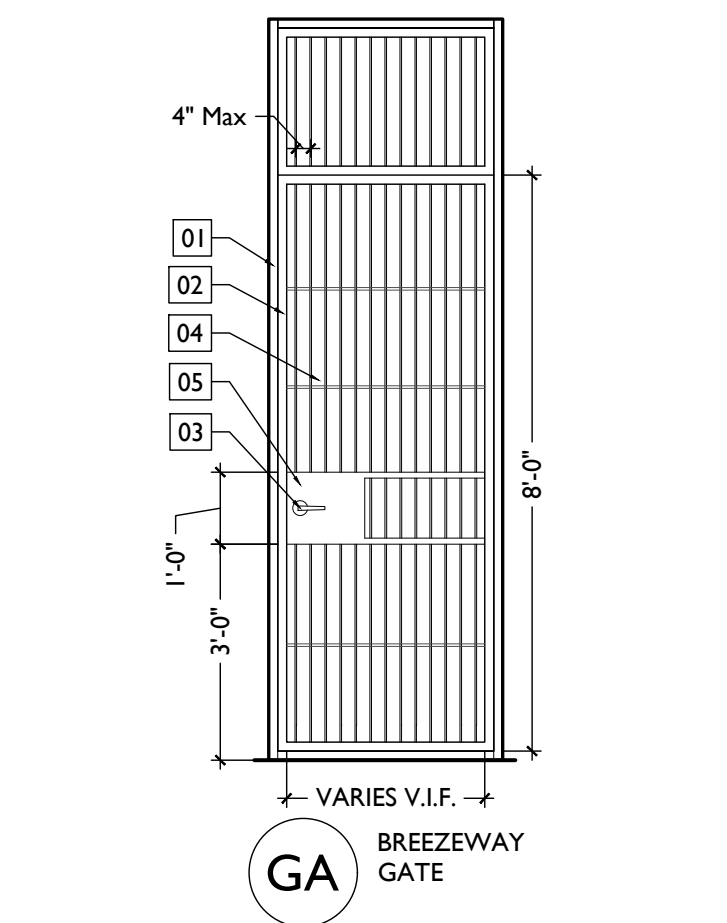
ALUMINUM
METAL
WOOD

TYPICAL NEW WD DOOR TRIM CASING



NOTES:
1. AT DOORWAYS WITH NEW TRIM CASING, INSTALL PER 'T1'. IF WALL SPACE IS CONSTRAINED AT JAMBS, INSTALL PER 'T2'.
2. NO WOOD DOOR TRIM AT BASEMENT, U.N.O.

T = TEMPERED GLAZING
TYPICAL GATE TYPES



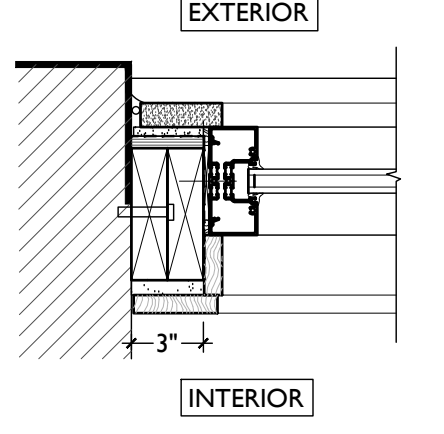
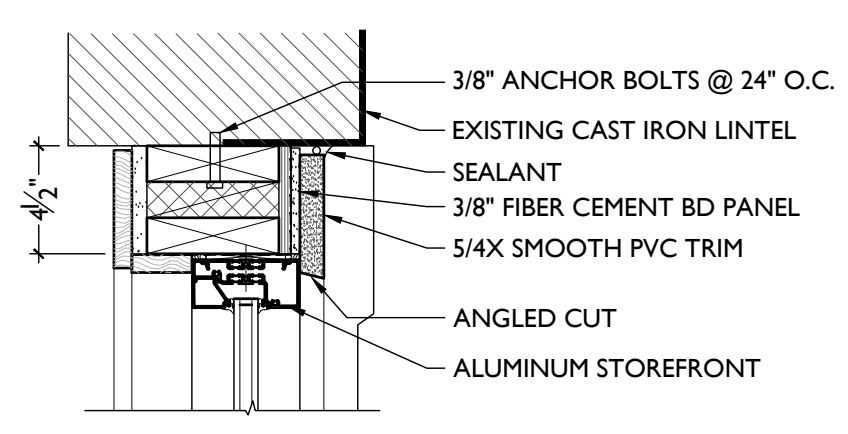
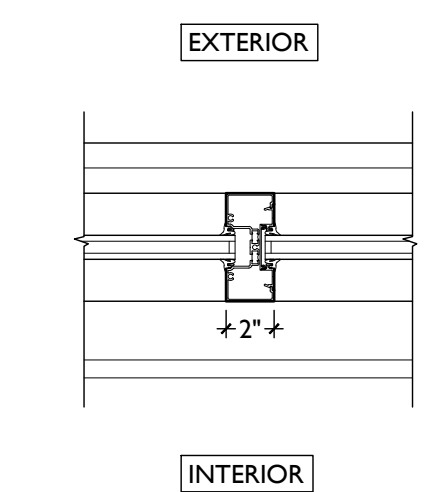
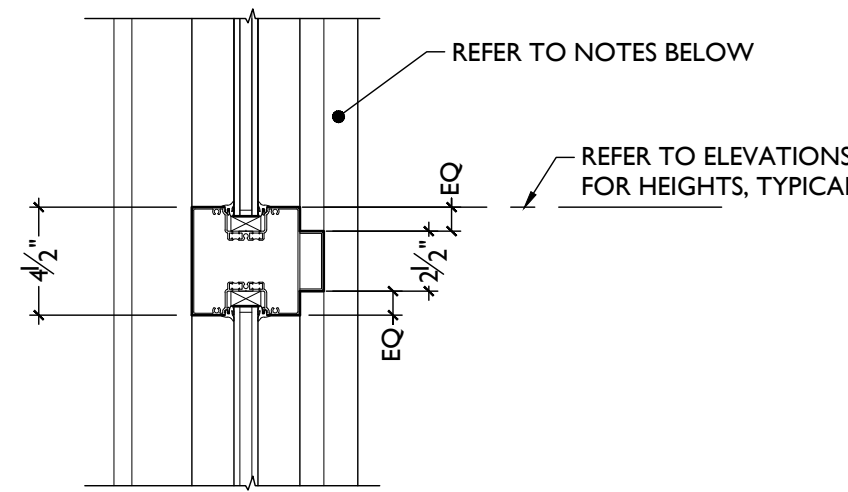
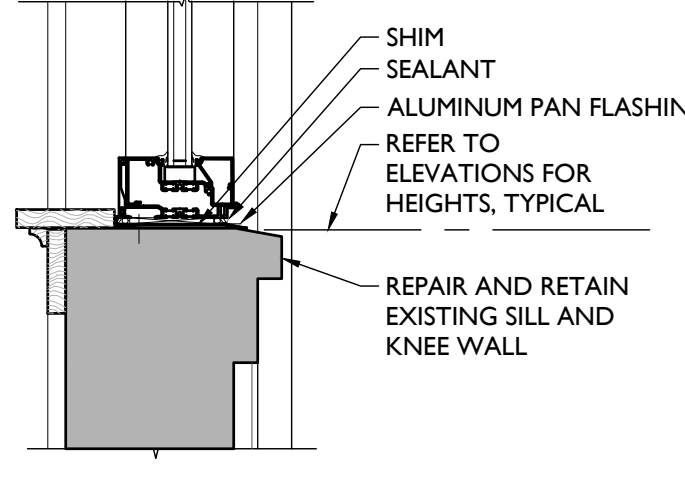
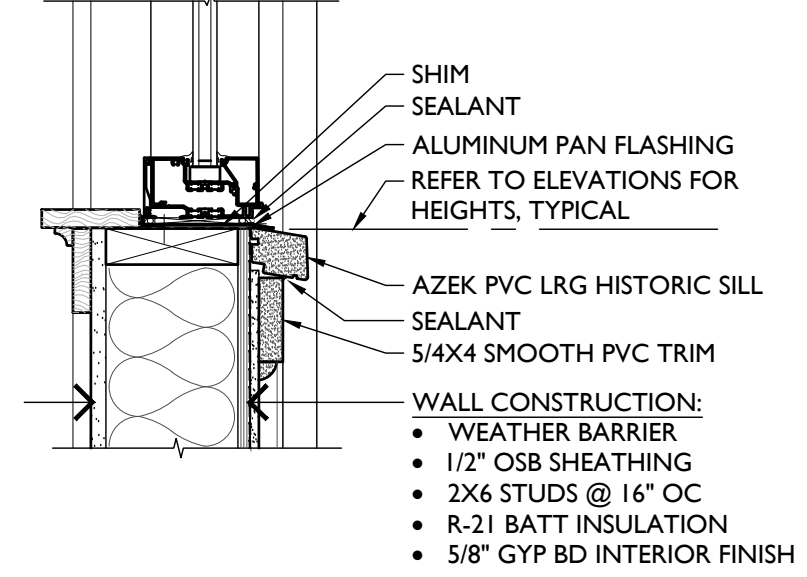
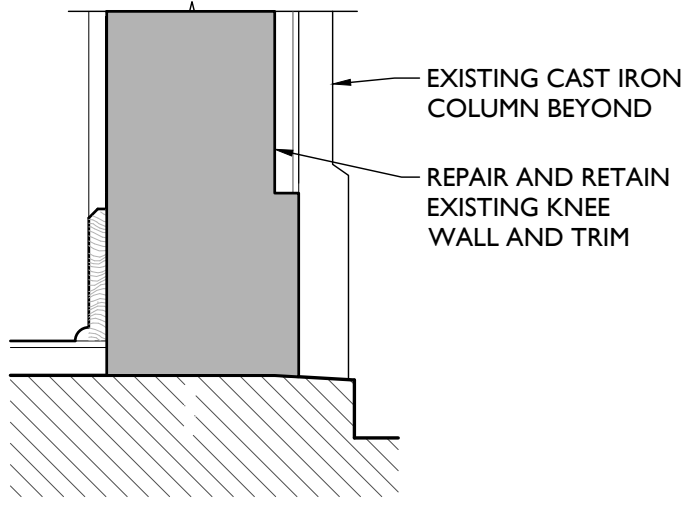
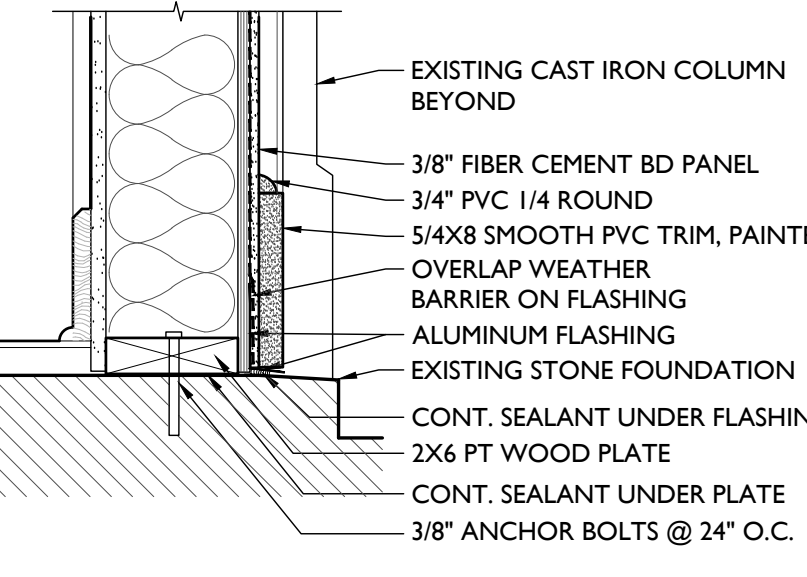
KEYED GATE NOTES:
01. 1/2" x 2" x 2" SQUARE STEEL FRAME ATTACHED TO ADJACENT EXG. MASONRY WALL
02. 1/2" x 2" x 2" POWDER-COATED STEEL TUBE DOOR FRAME MOUNTED ON HINGES
03. TYPICAL GATE HARDWARE - SEE DOOR AND DOOR HARDWARE SCHEDULE
04. STEEL BAR STOCK AT VERTICAL AND HORIZONTAL TYPICAL
05. 1/6 GA STEEL PLATE WELDED TO ADJACENT FRAME TO HOUSE HARDWARE
NOTE: EXTERIOR STEEL TO BE GALVANIZED, TYP. & PAINTED BLACK.

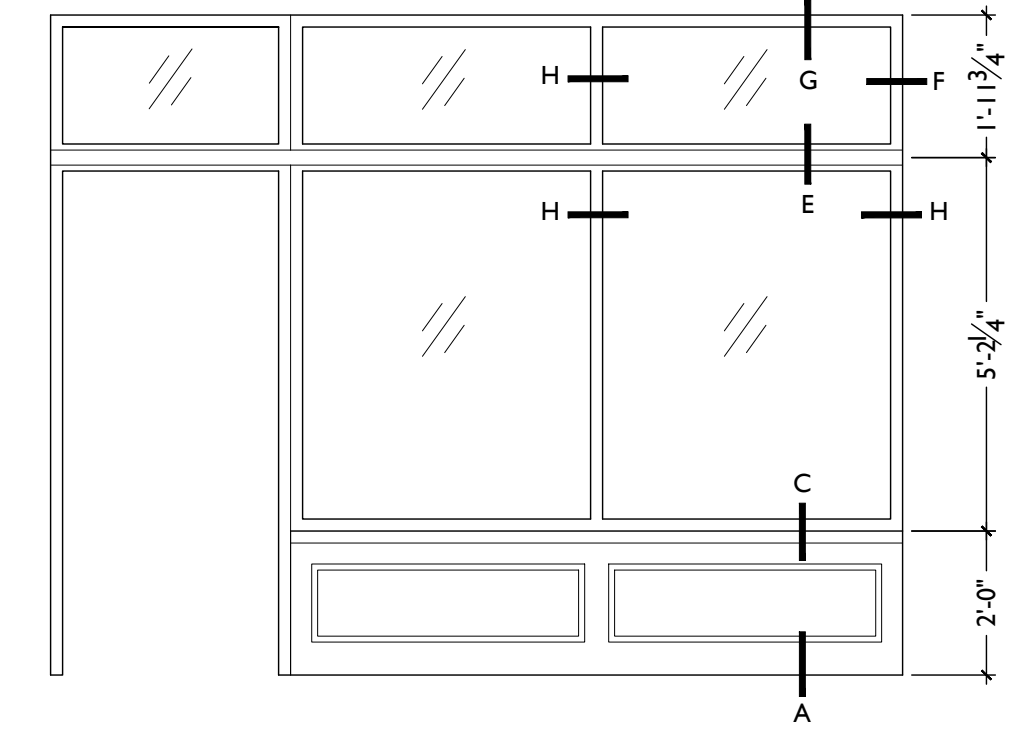
NOT FOR CONSTRUCTION

NOTES
A. EXTERIOR FINISHES:
 - ALL EXPOSED NON-ALUMINUM SURFACES PAINTED 1 COAT PRIMER + 2 COATS FINISH.
 - FOLLOW MANUFACTURER RECOMMENDATIONS FOR PAINTING OF PVC.
 - ALL CONCEALED WOOD SURFACES PAINTED 1 COAT PRIMER MINIMUM.
 - REFER TO COLORED ELEVATIONS FOR PAINT COLORS.
B. INTERIOR FINISHES:
 - REFER TO FINISH SCHEDULE FOR COMMERCIAL TURNKEY FINISHES.
 - REFER TO FUTURE TENANT IMPROVEMENT DRAWINGS FOR ADDITIONAL FINISHES.

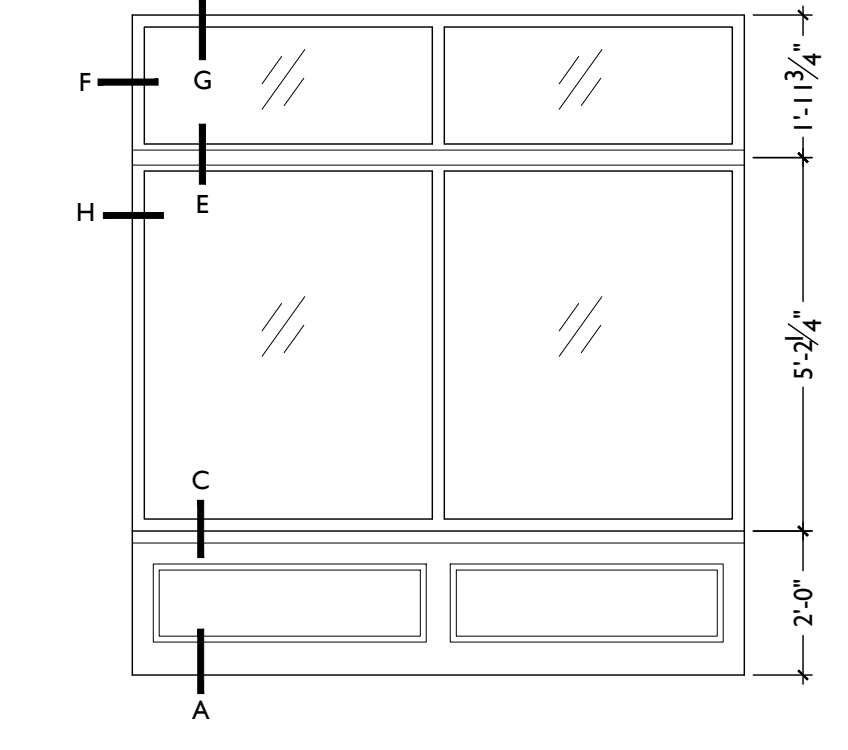
IMPORTANT: DRAWINGS IN THIS GROUPING ARE ASSOCIATED. EACH DRAWING MAY NOT BE FULLY NOTED. NOTES SHOWN APPLY TO LIKE CONDITIONS IN ALL DRAWINGS WITHIN THE GROUP.

STOREFRONT NOTES:
 1. BASIS OF DESIGN FOR NEW ALUMINUM STOREFRONT: KAWNEER 451 UT W/ LOW-E ARGON-FILLED I.G.
 2. SG = SAFETY GLAZING PER PLANS
 3. FIXED UNITS IN STOREFRONT EXCEPT FOR DOOR OR WHERE NOTED OTHERWISE
 4. HISTORIC STOREFRONTS & DOORS - SEE PLANS & DOOR SCHEDULE FOR HISTORIC TO REMAIN. REPAIR & REPLICATE PARTS AS REQUIRED.
 5. **DIMENSIONS ARE FOR BIDDING PURPOSES ONLY. CONTRACTOR TO VERIFY FINAL DIMENSIONS IN FIELD.**

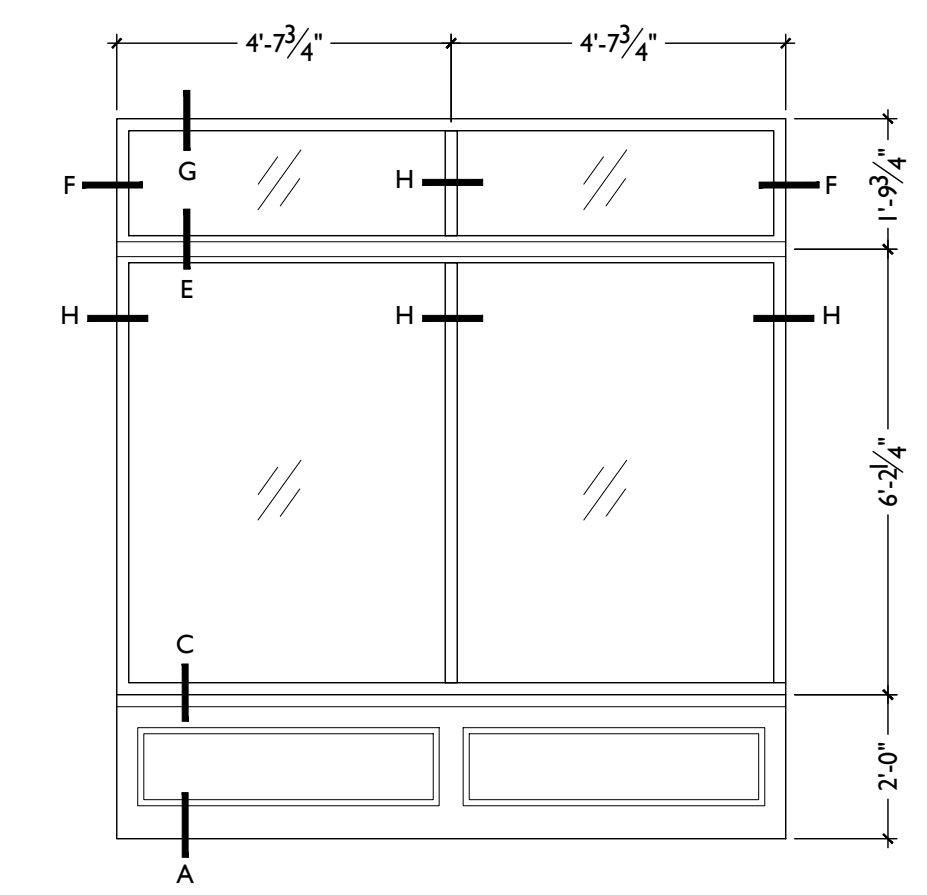
| | |
|---|---|
|  |  |
| VERTICAL END JAMB H | HEAD JAMB G |
|  |  |
| VERTICAL MULLION F | INTERMEDIATE HORIZONTAL MULLION E |
|  |  |
| SILL JAMB AT EXG KNEE WALL D | SILL JAMB C |
|  |  |
| EXG BASE AT FOUNDATION B | BASE AT FOUNDATION A |



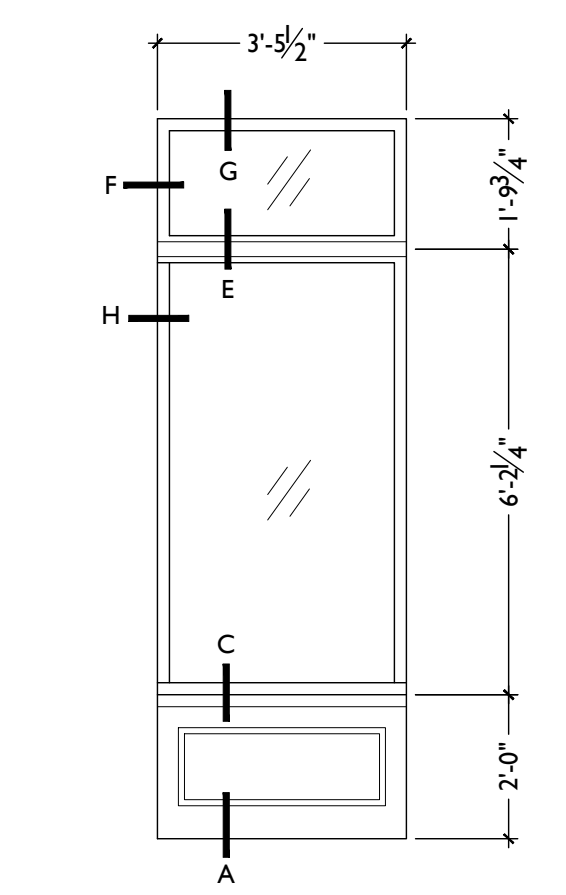
SF5 NEW STOREFRONT W/ TRANSOM; NEW WD BULKHEAD BELOW
 SCALE: 3" = 1'-0"



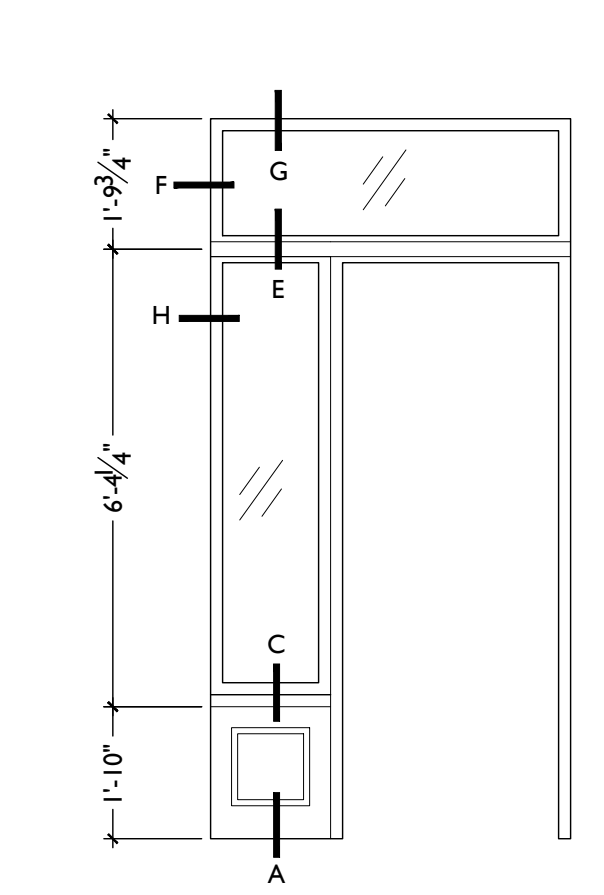
SF4 NEW STOREFRONT W/ TRANSOM; NEW WD BULKHEAD BELOW
 SCALE: 3" = 1'-0"



SF3 NEW STOREFRONT W/ TRANSOM; NEW WD BULKHEAD BELOW
 SCALE: 3" = 1'-0"

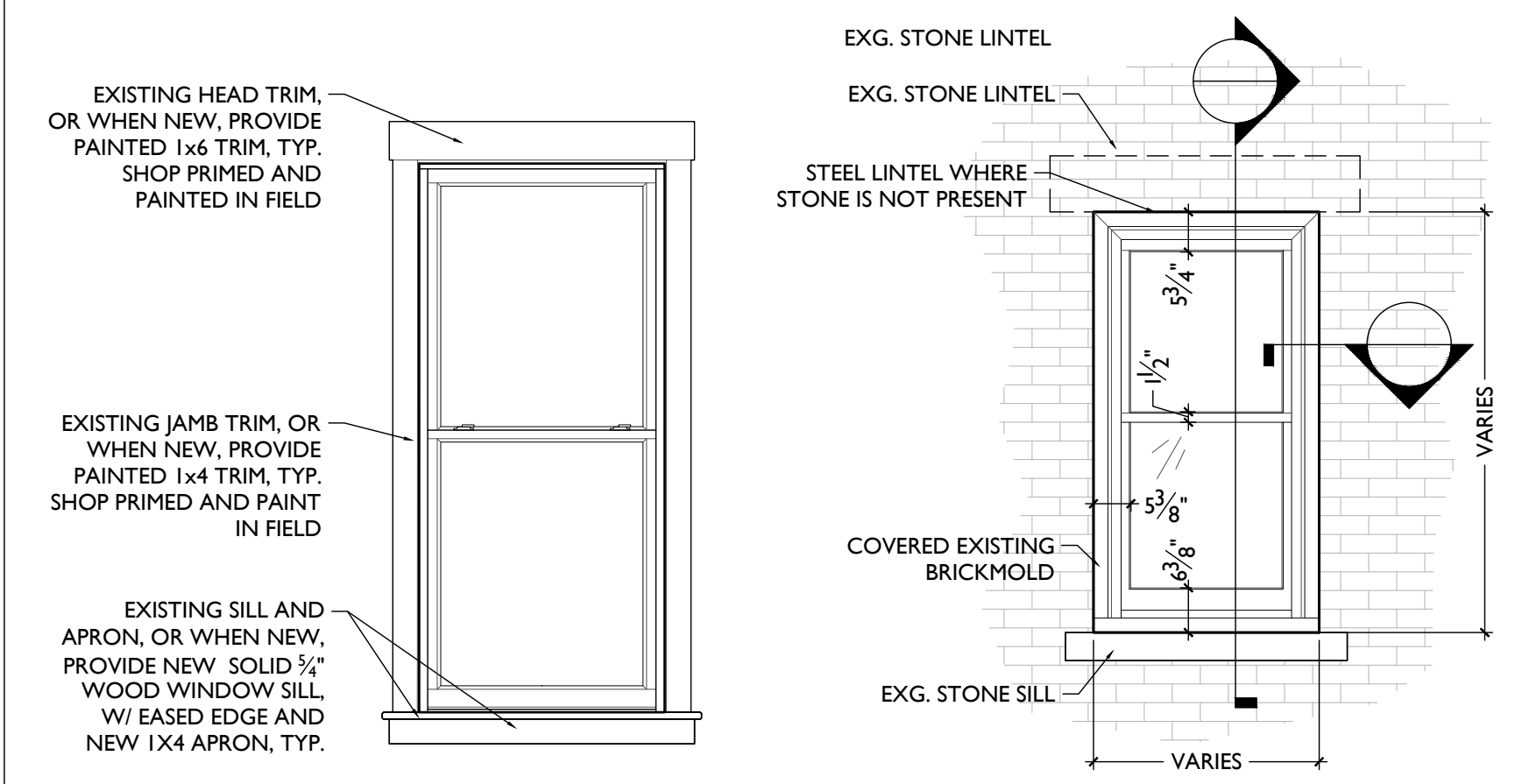


SF2 NEW STOREFRONT W/ TRANSOM; NEW WD BULKHEAD BELOW
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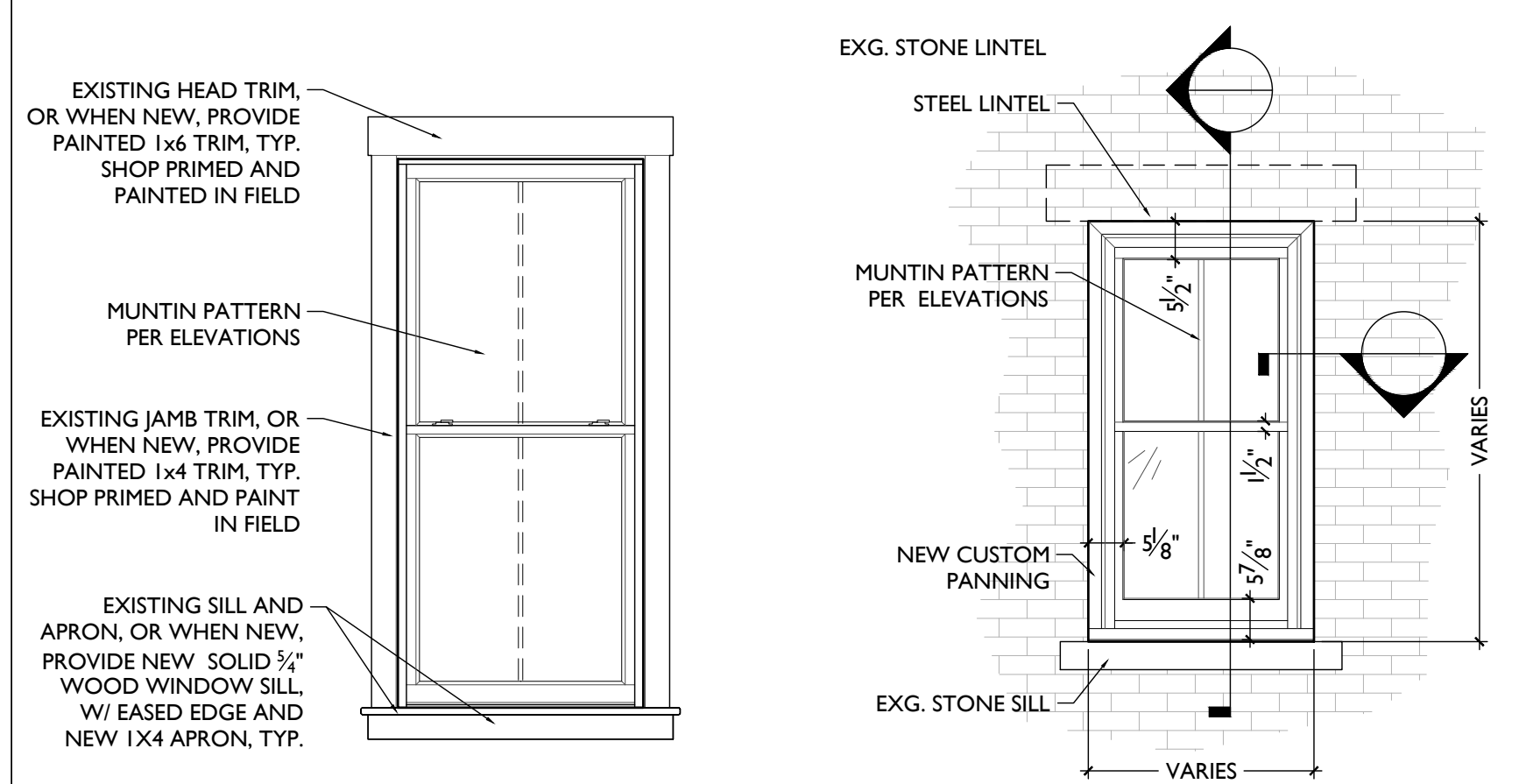


SFI NEW STOREFRONT DOORWAY W/ TRANSOM
 SCALE: 3" = 1'-0"

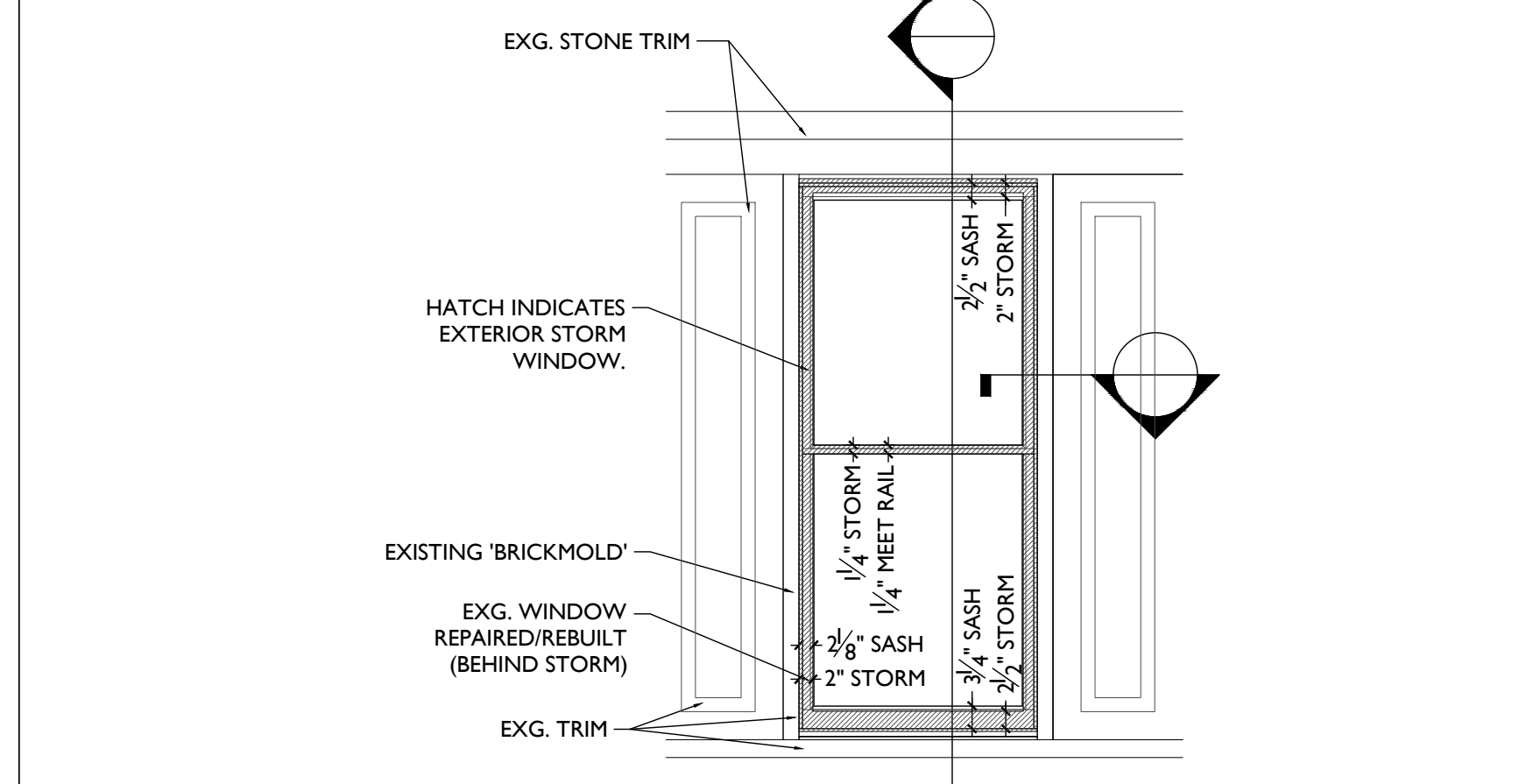
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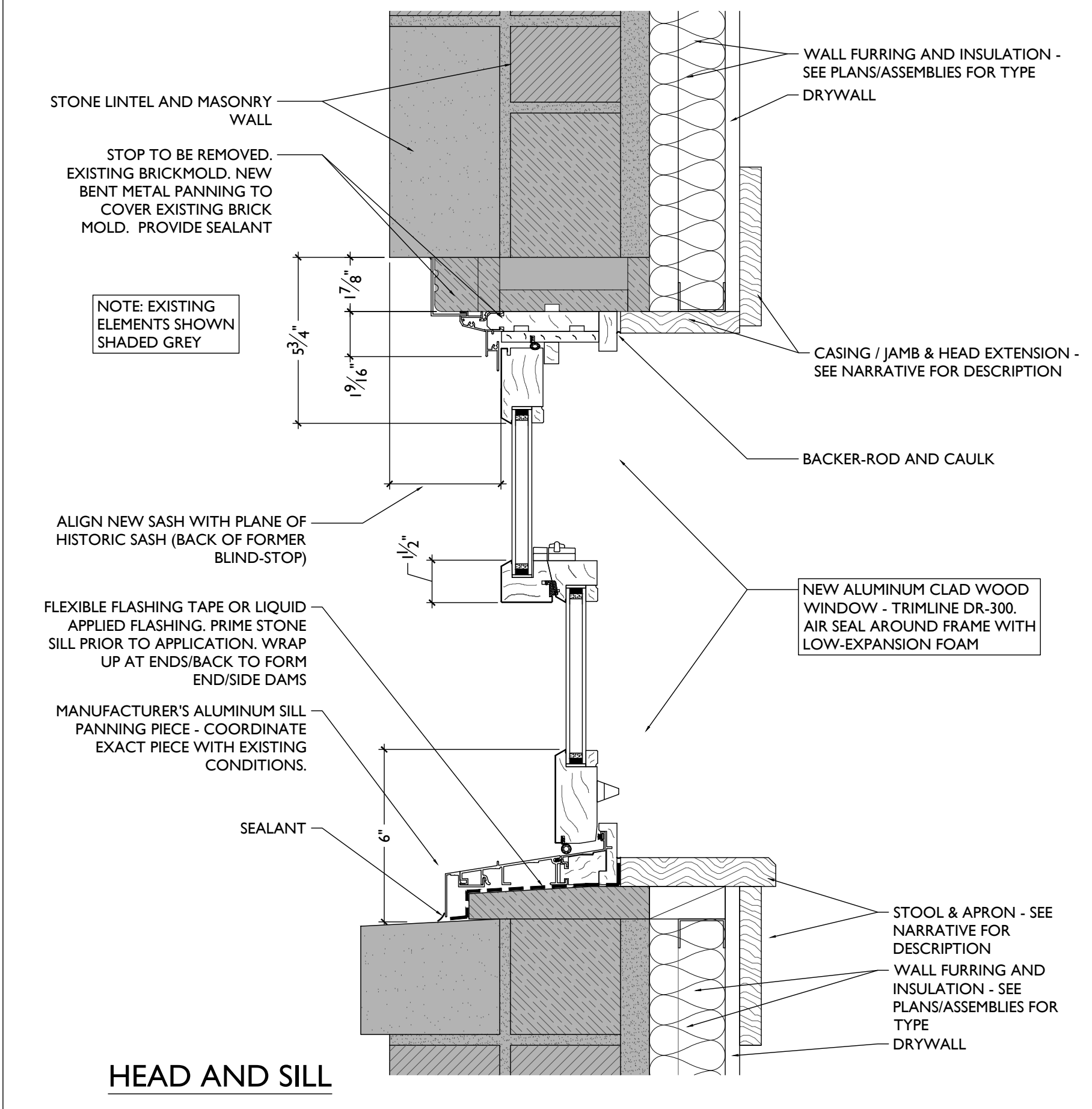
DETAILED ELEVATION
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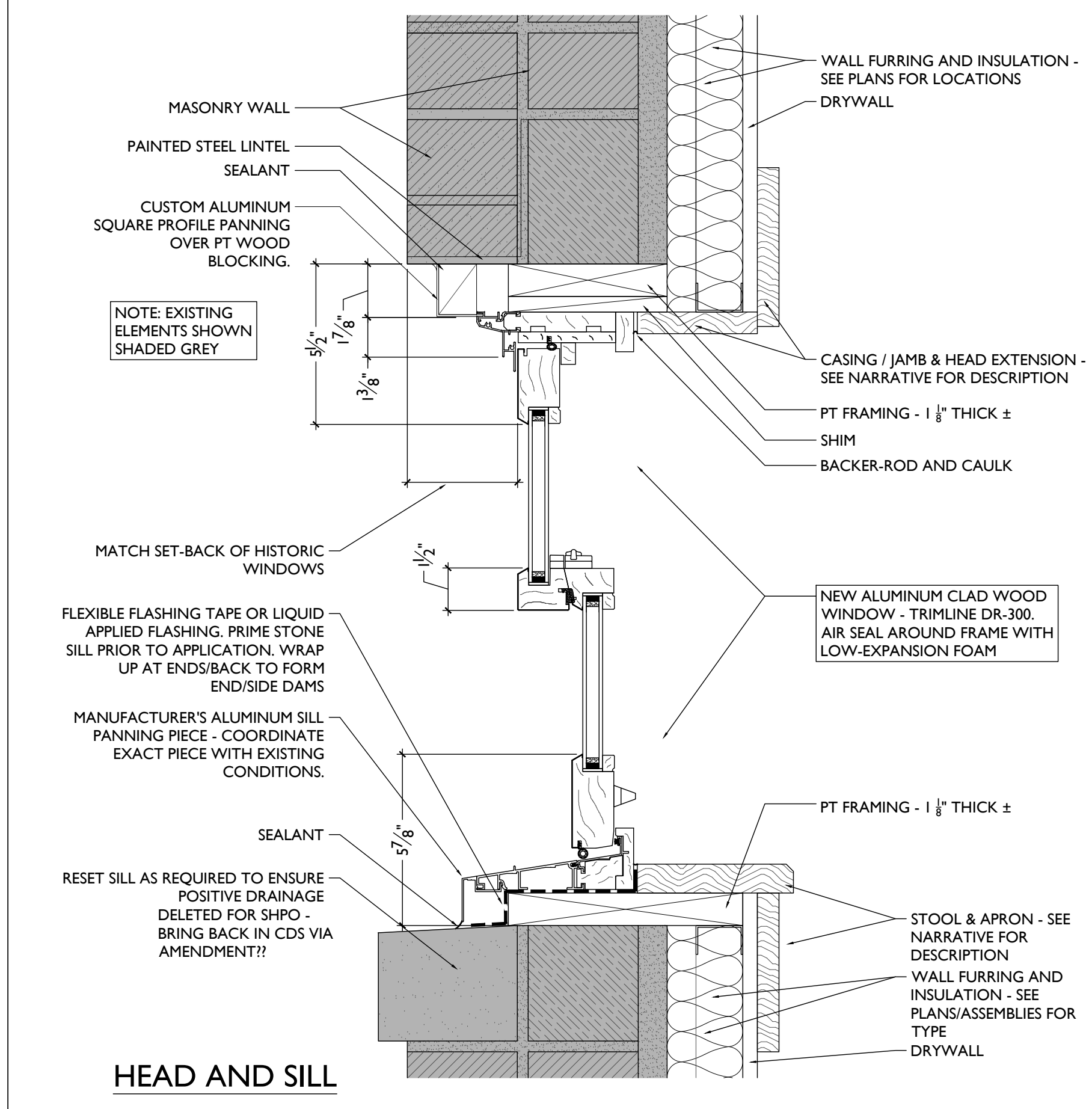
DETAILED ELEVATION
 SCALE: 1/2" = 1'-0"



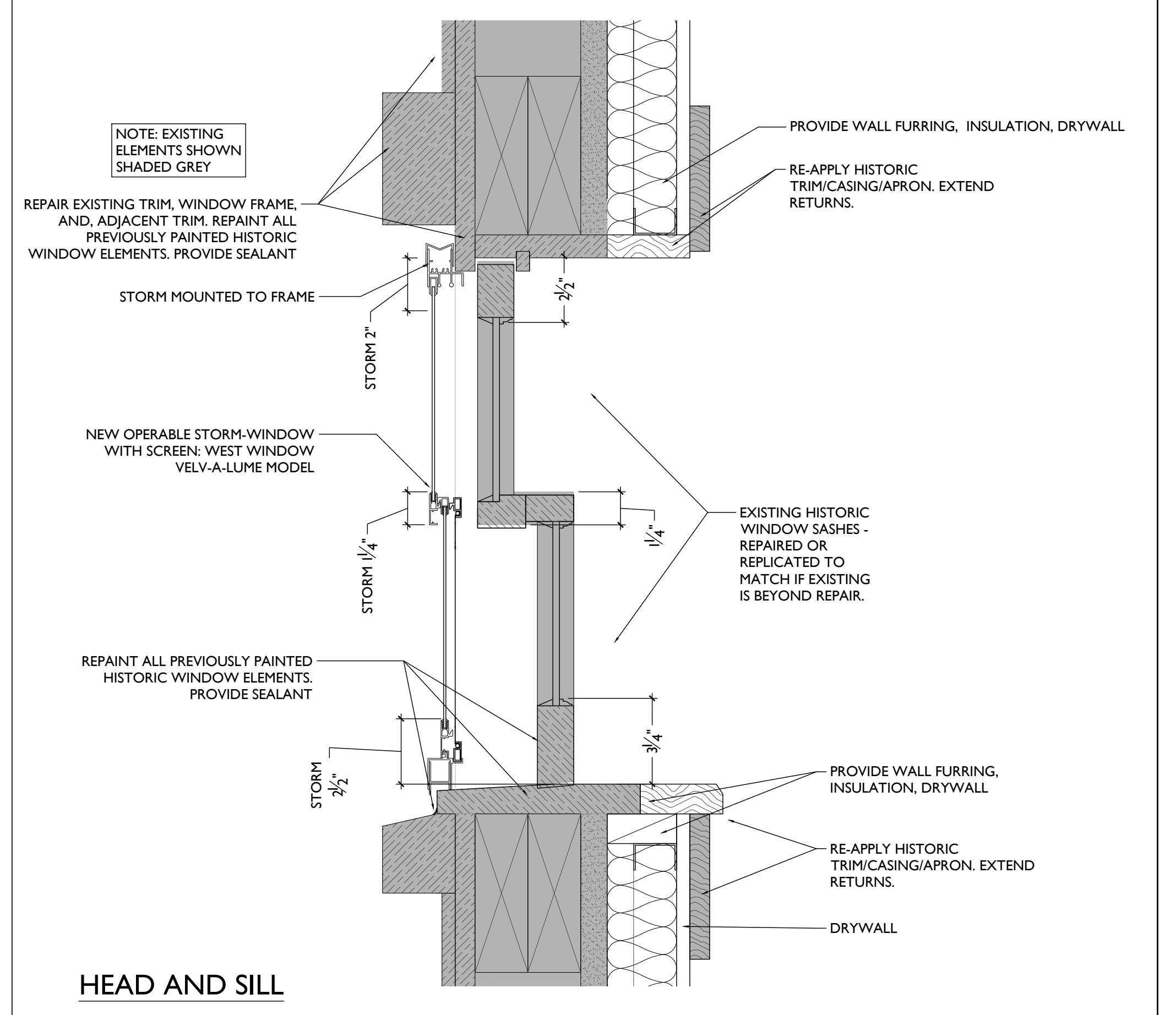
DETAILED ELEVATION
 SCALE: 1/2" = 1'-0"



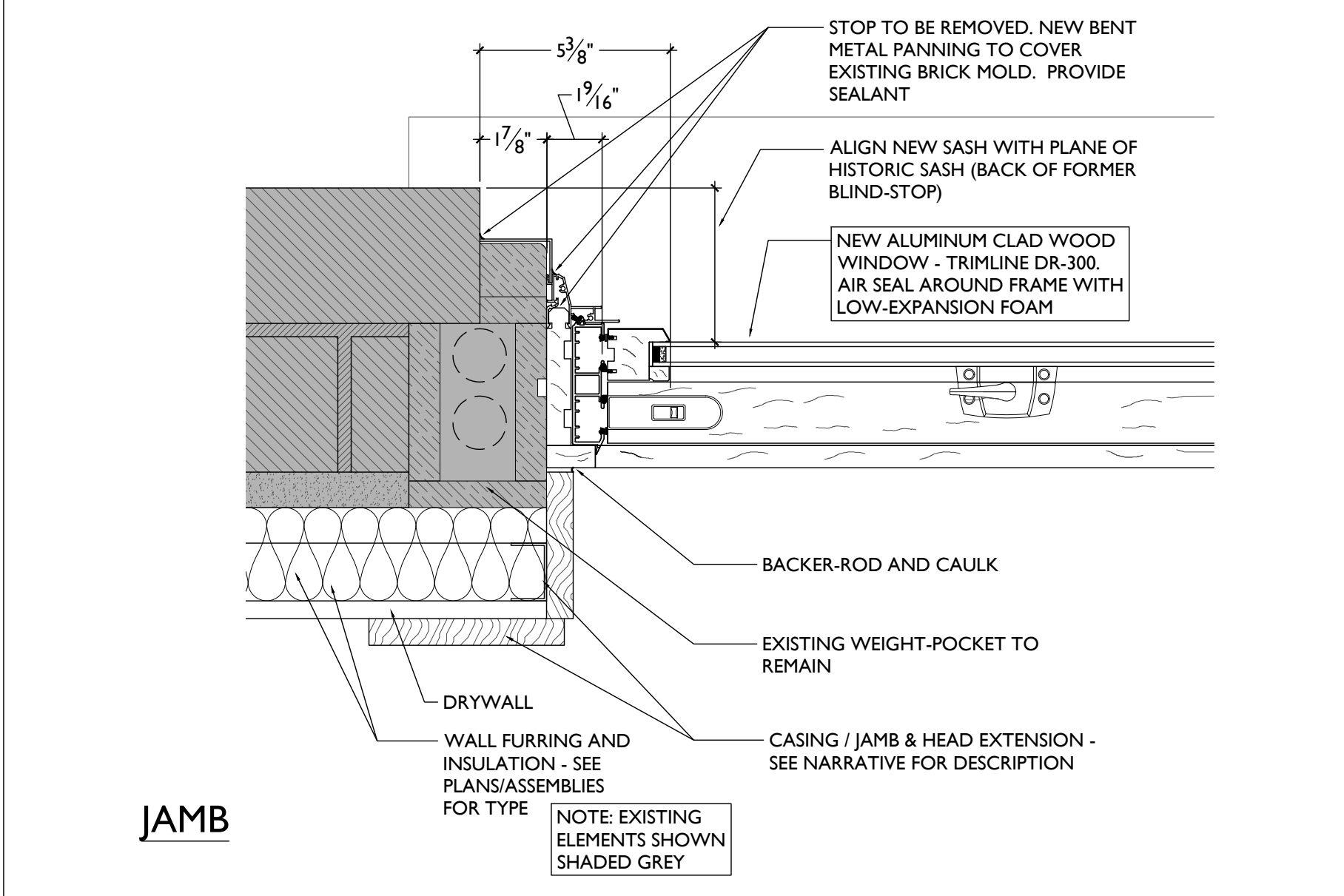
HEAD AND SILL



HEAD AND SILL

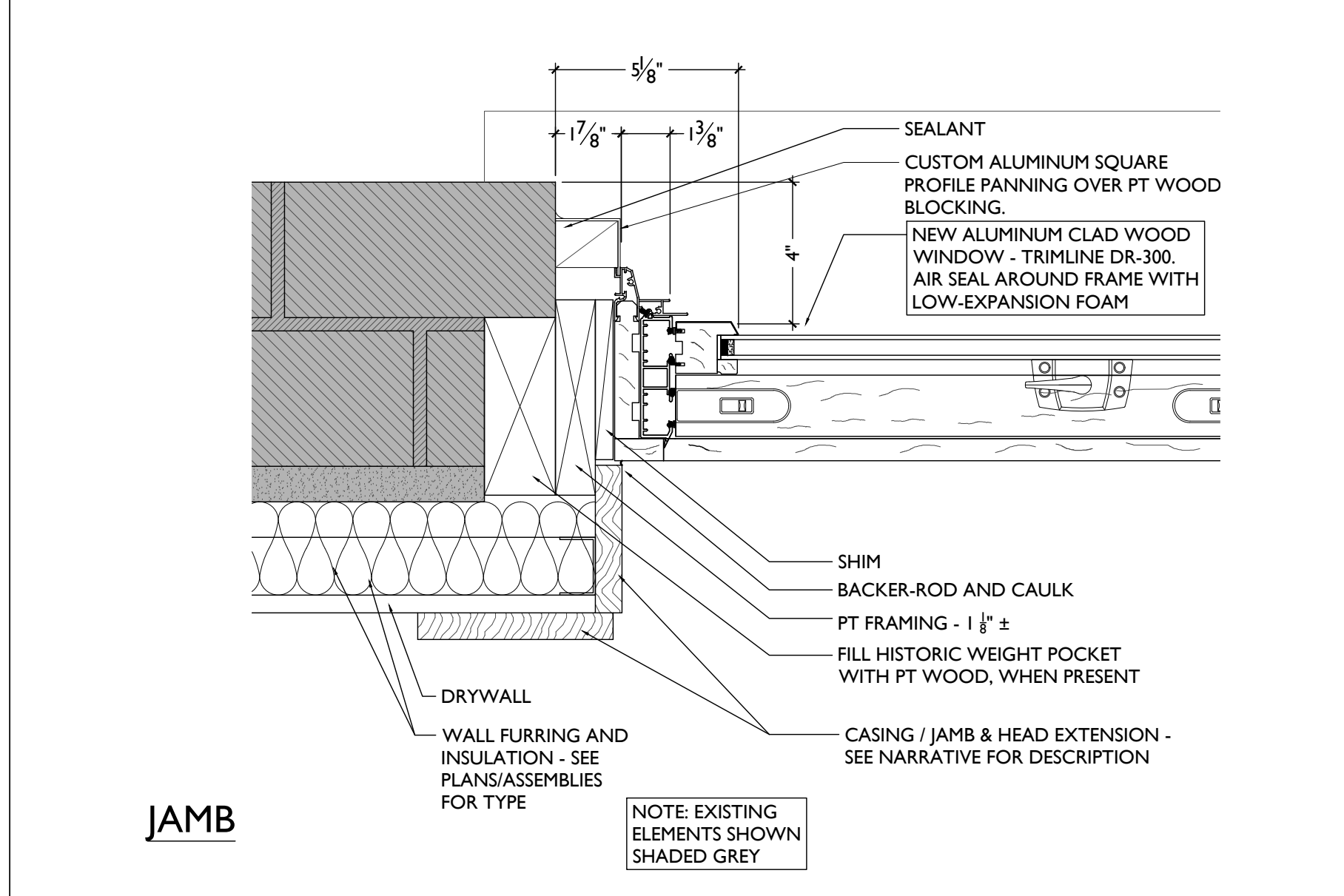


HEAD AND SILL



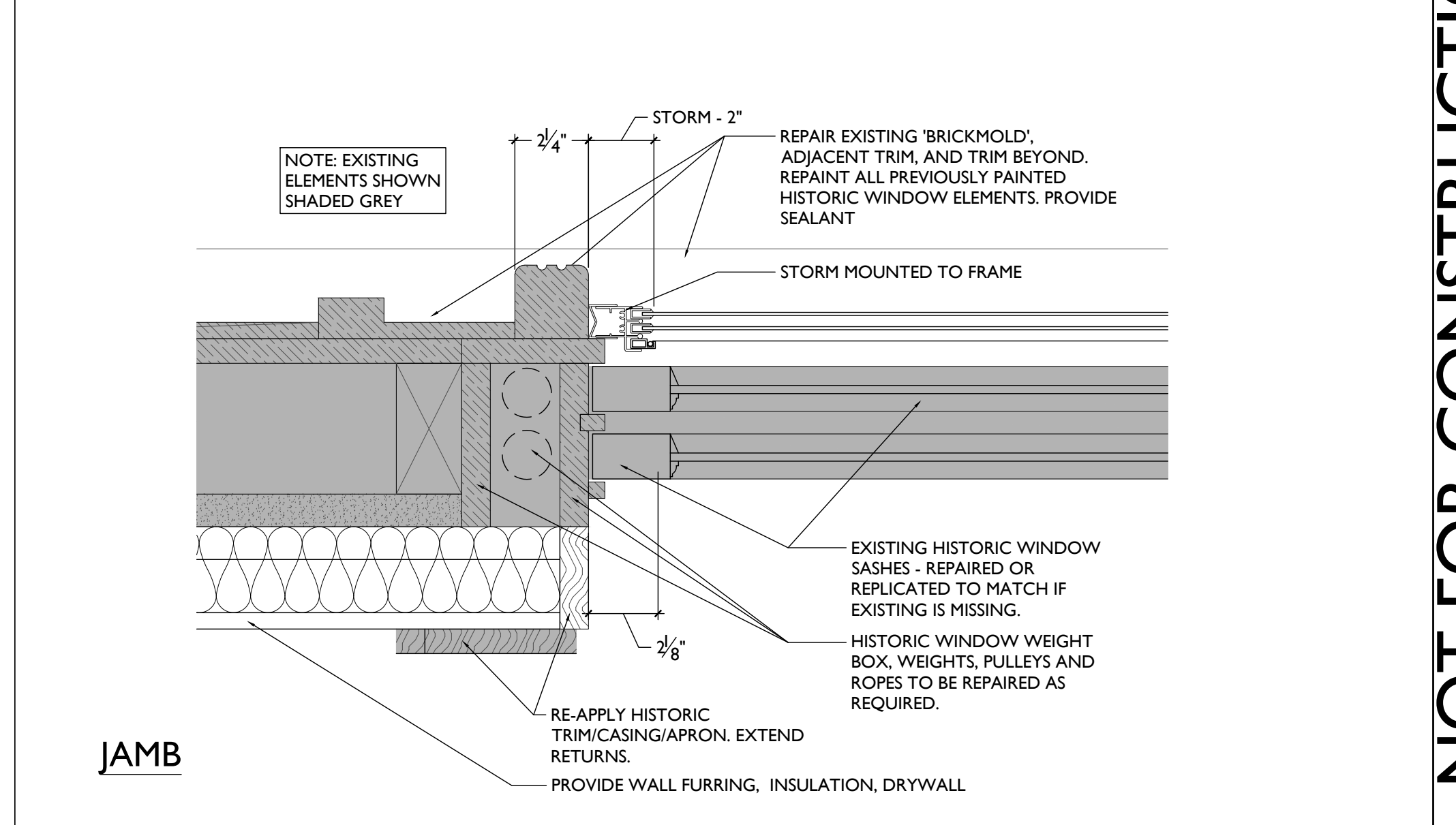
JAMB

TYPE 'BE' - WINDOW TYPE



JAMB

TYPE 'B' - WINDOW TYPE



JAMB

TYPE 'AE' OR 'A' - WINDOW TYPE

SCALE: 3/8" = 1'-0"

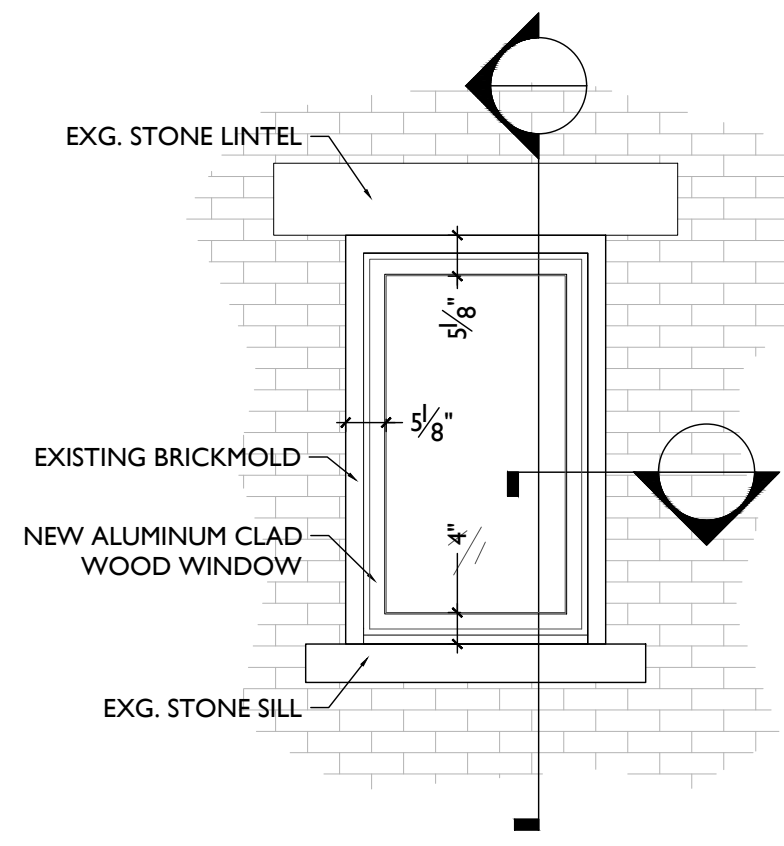
WINDOW DETAILS

NOT FOR CONSTRUCTION

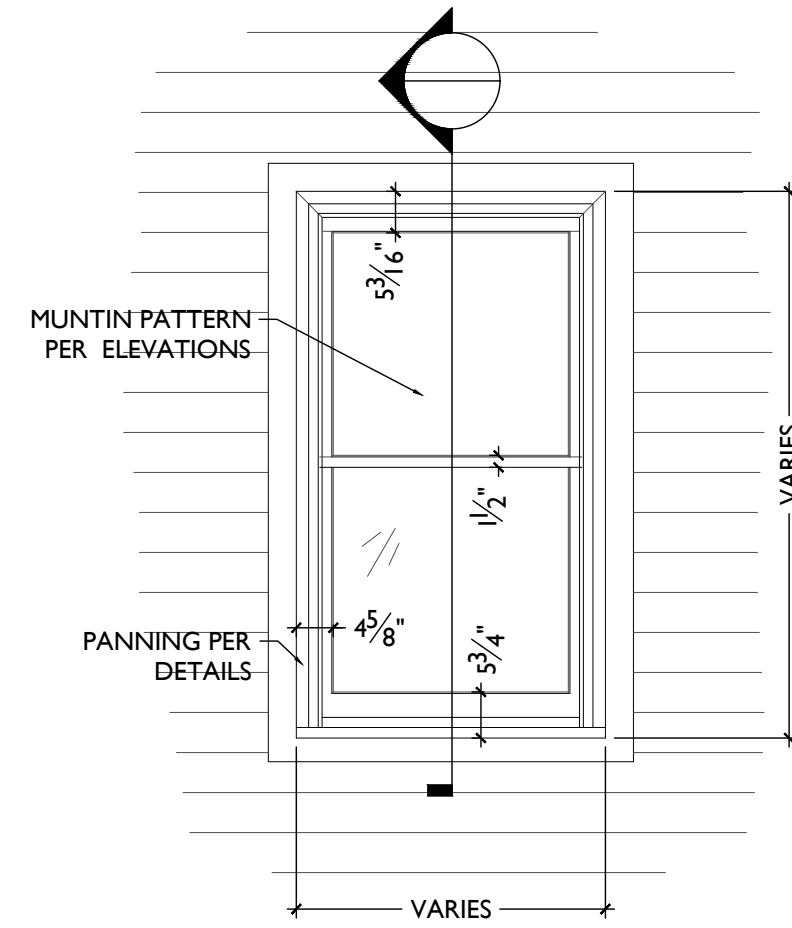
| |
|----------------|
| Progress Dates |
| Revisions |
| Design Team |
| Drawn by: |

Job No: 08/30/2024

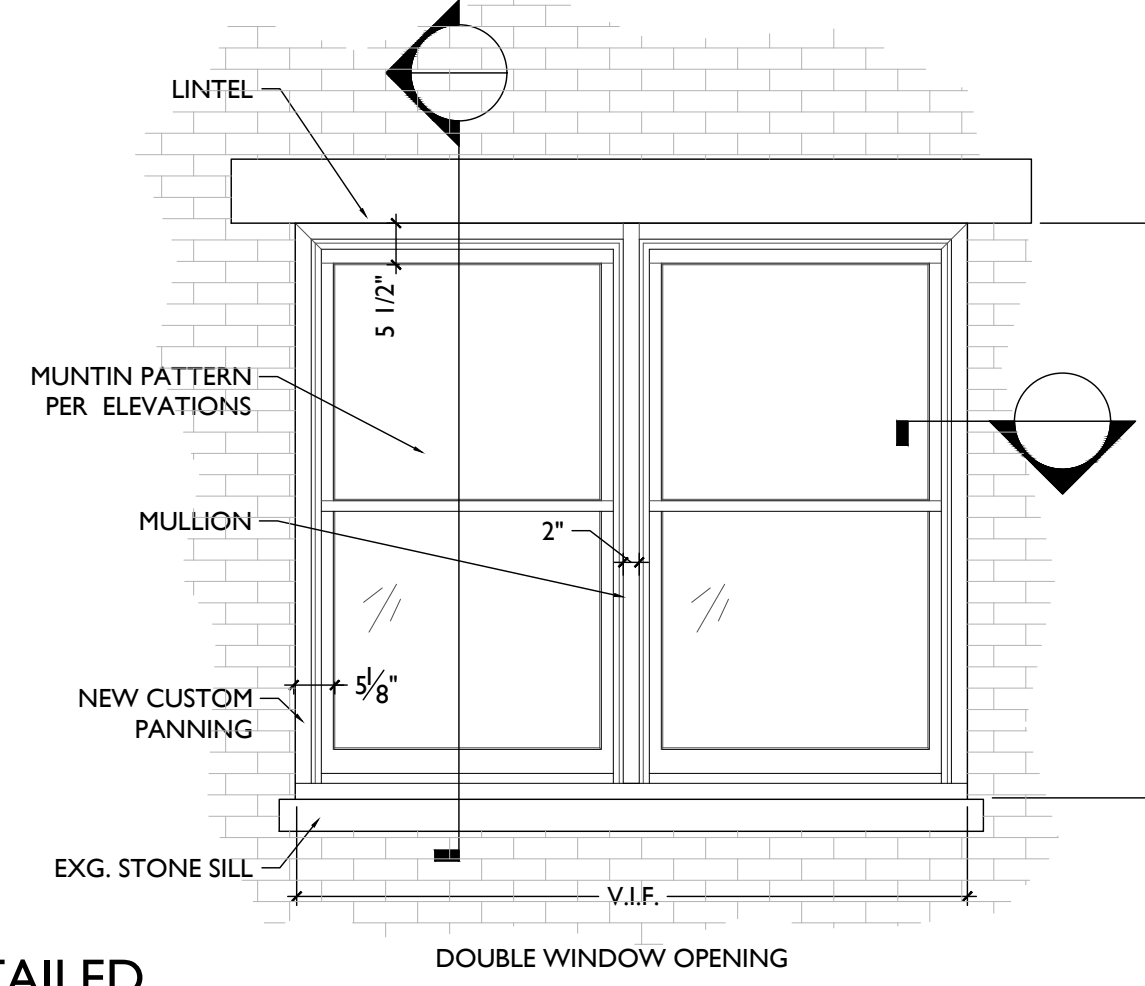
A6.20



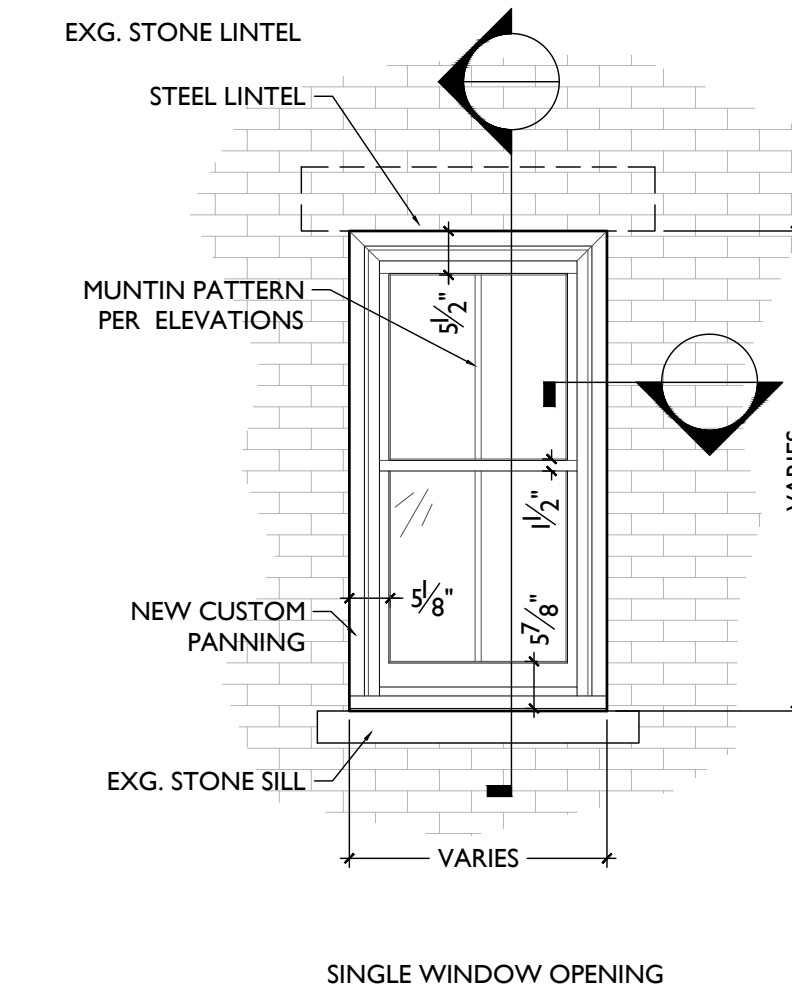
DETAILED ELEVATION
SCALE: 1/2" = 1'-0"



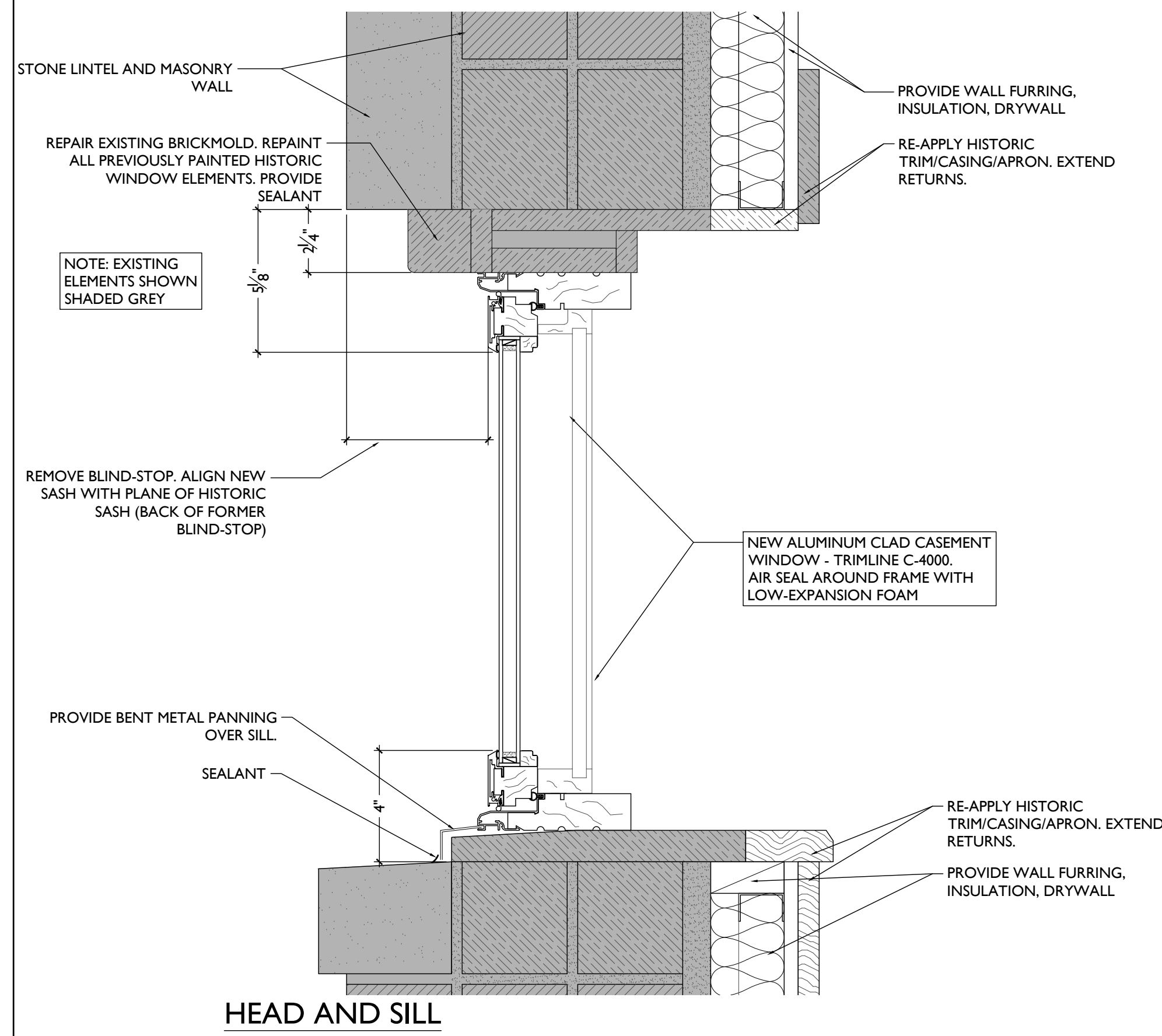
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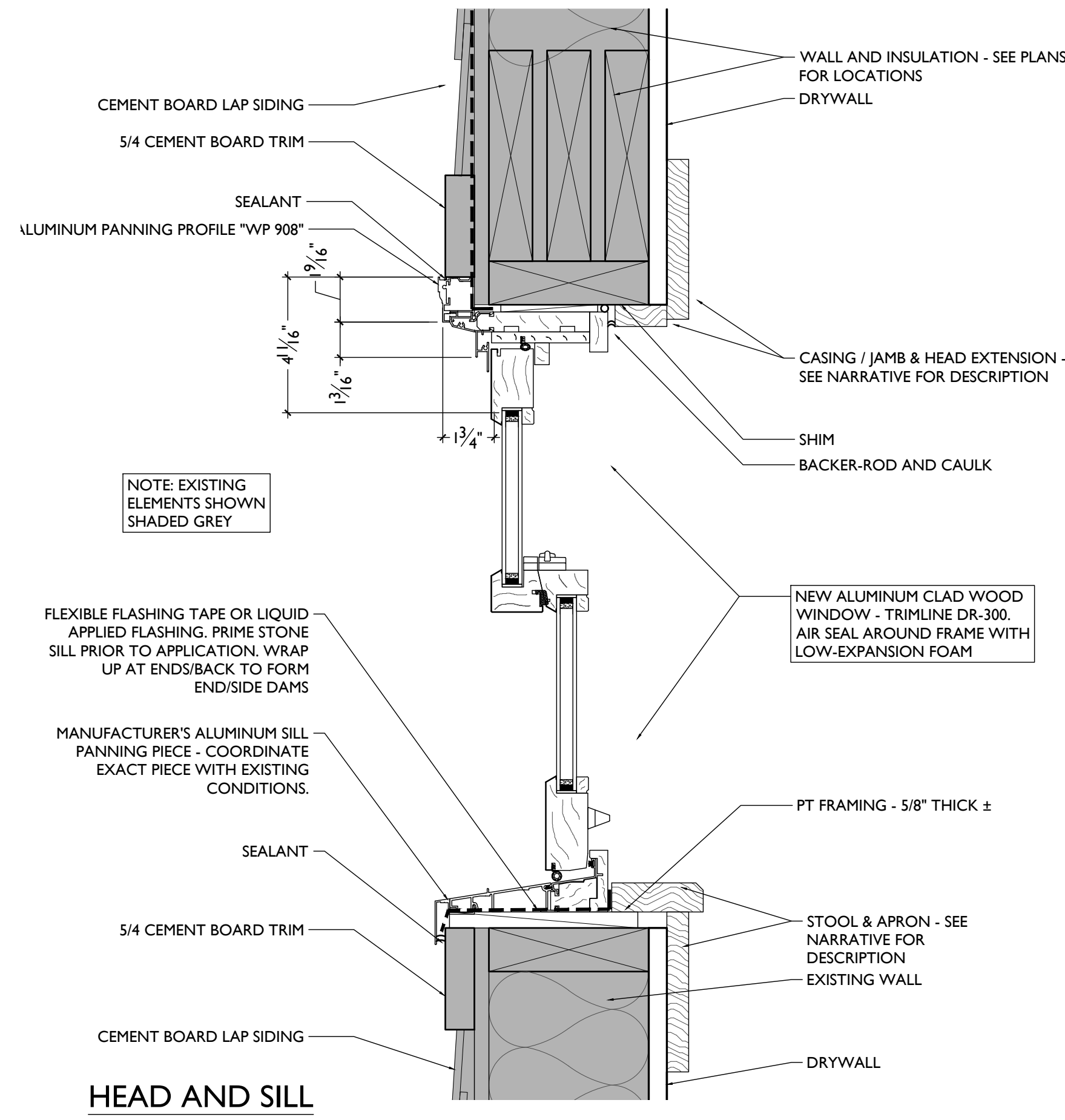
DETAILED ELEVATION
SCALE: 1/2" = 1'-0"



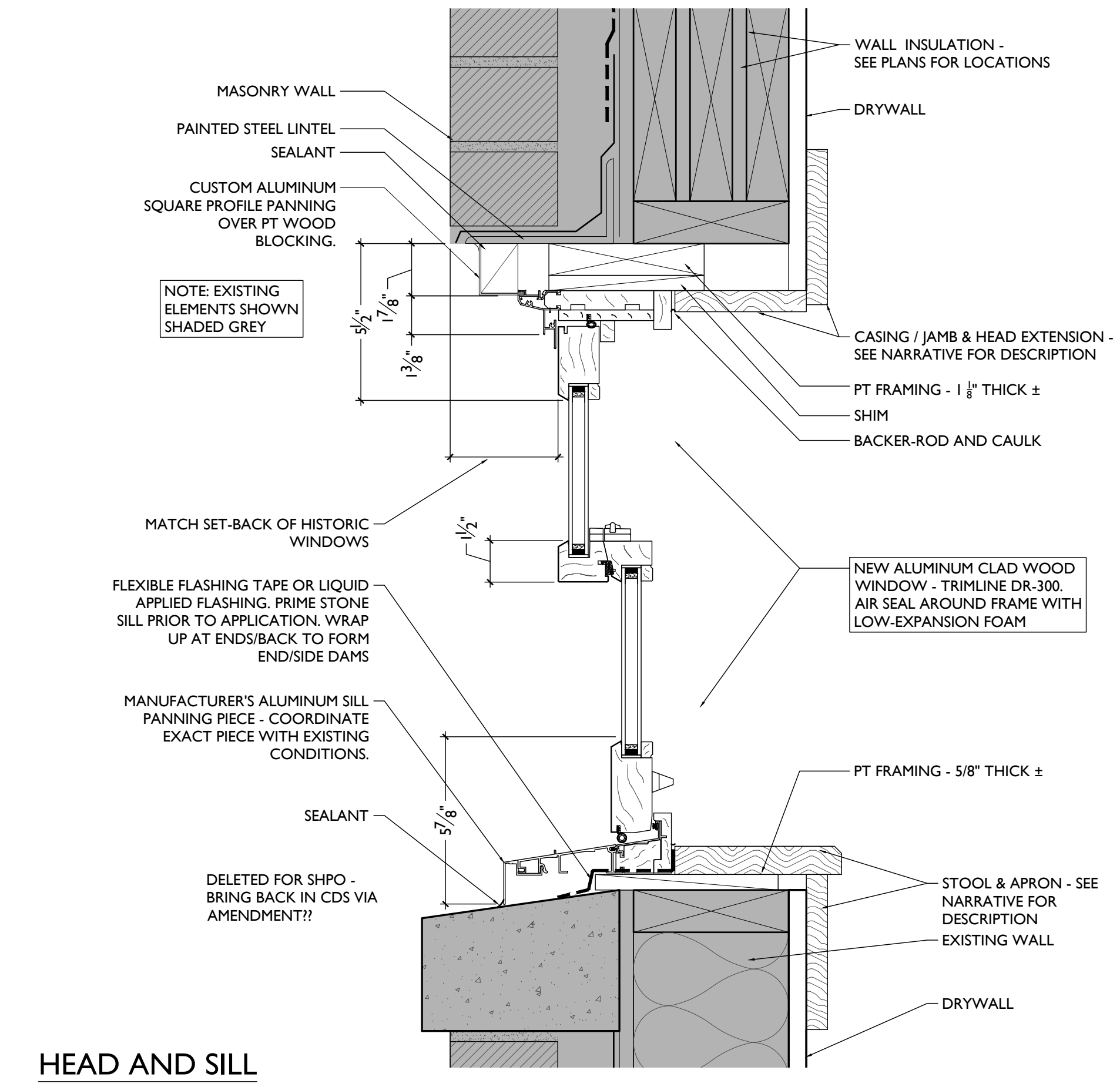
SINGLE WINDOW OPENING



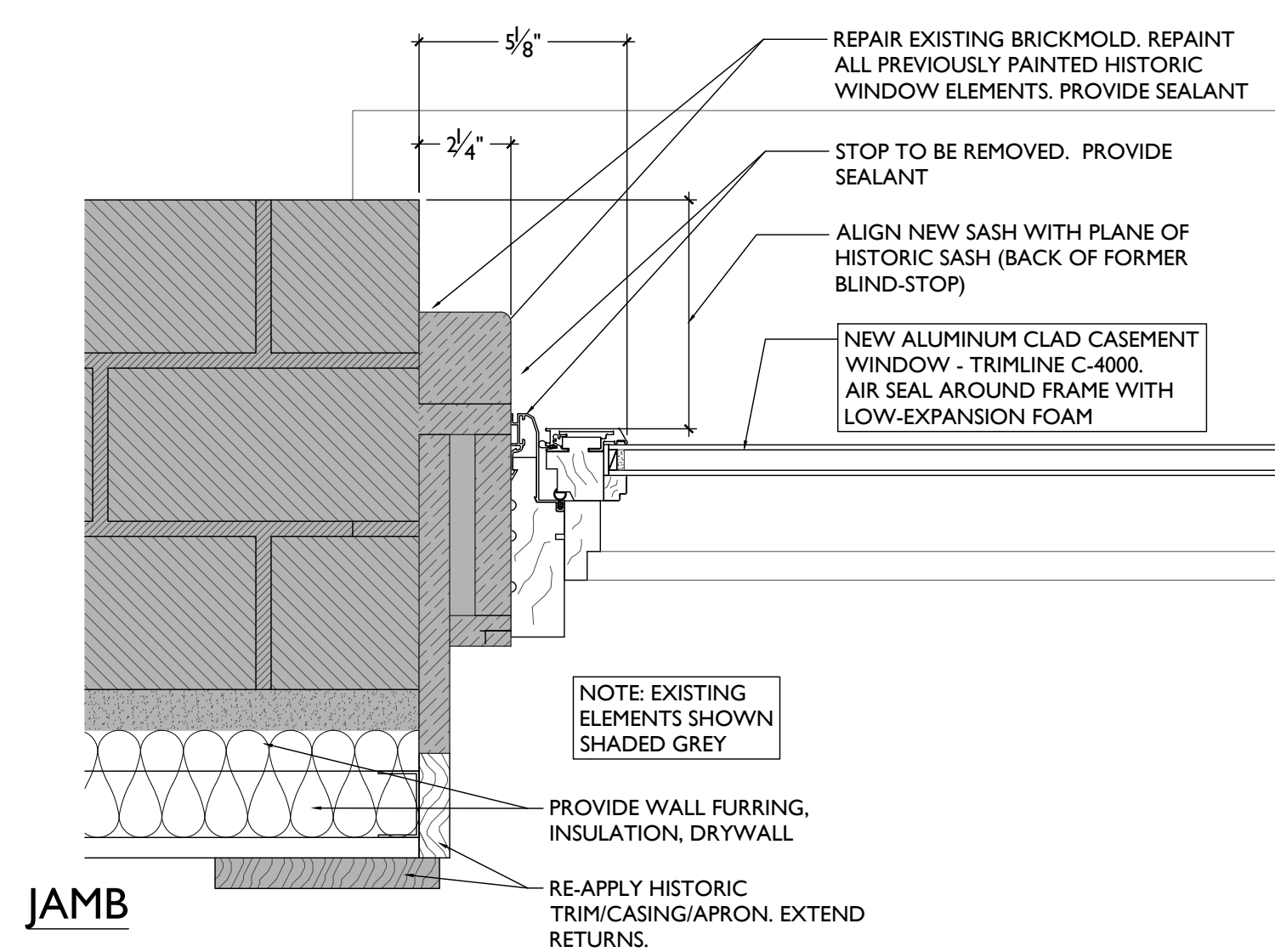
HEAD AND SILL



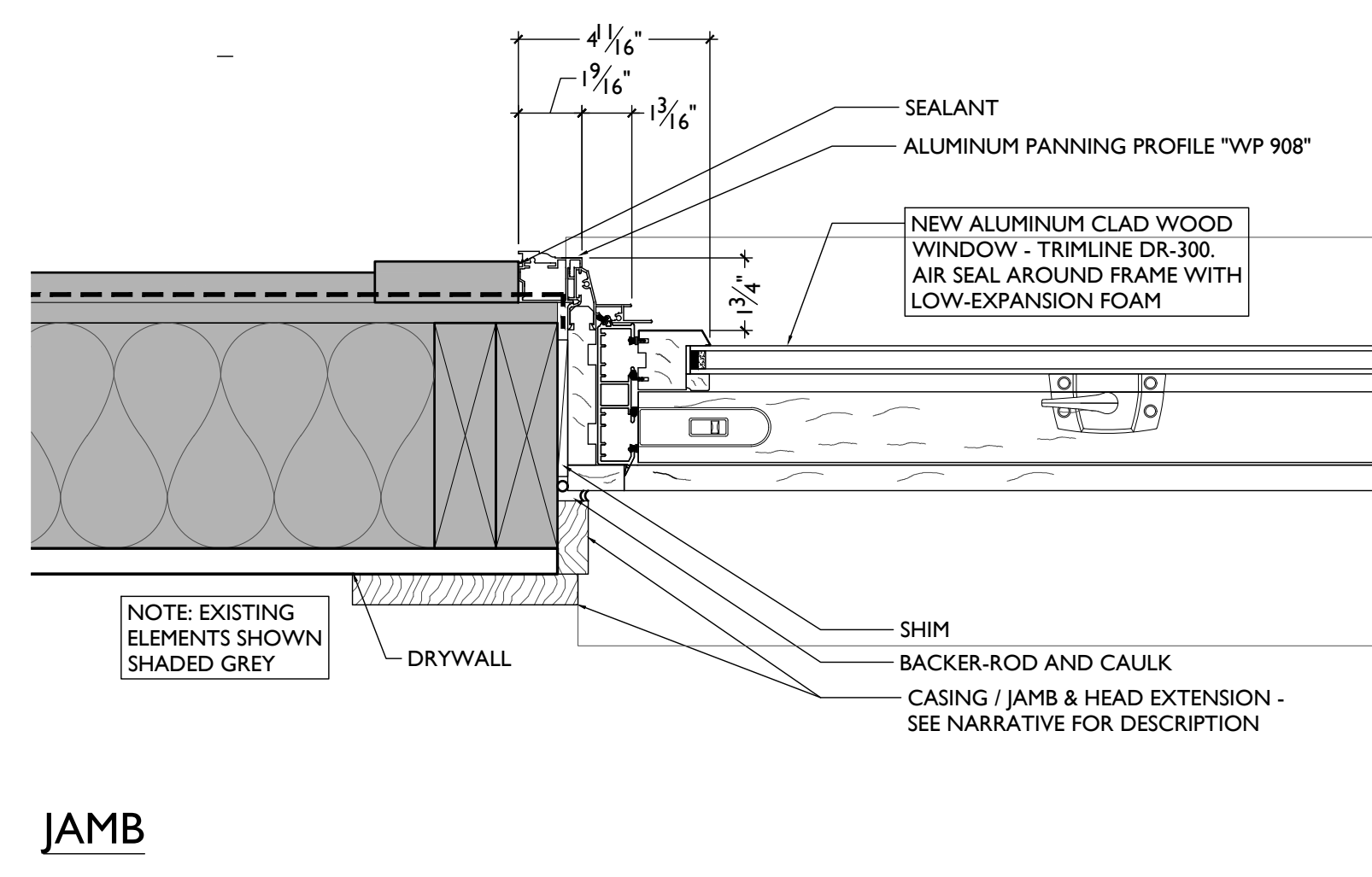
HEAD AND SILL



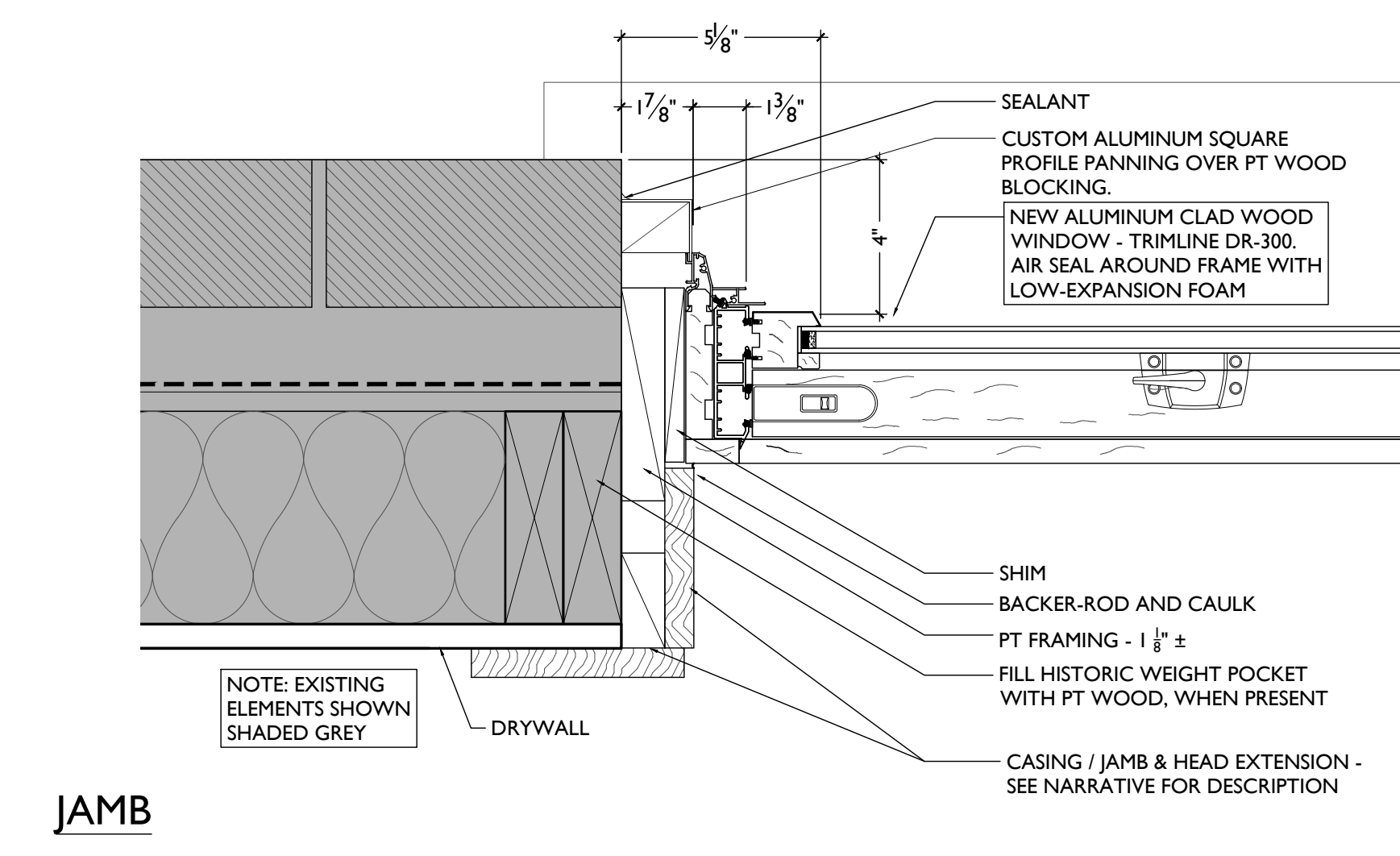
HEAD AND SILL



JAMB



JAMB



JAMB

TYPE 'D' - WINDOW TYPE D

TYPE 'B3' - WINDOW TYPE B3

TYPE 'B2' - WINDOW TYPE B2

SCALE: 3/8" = 1'-0"

WINDOW DETAILS

NOT FOR CONSTRUCTION

PROPOSED PROJECT

Job No: 08/30/2024

A6.21

Progress Dates

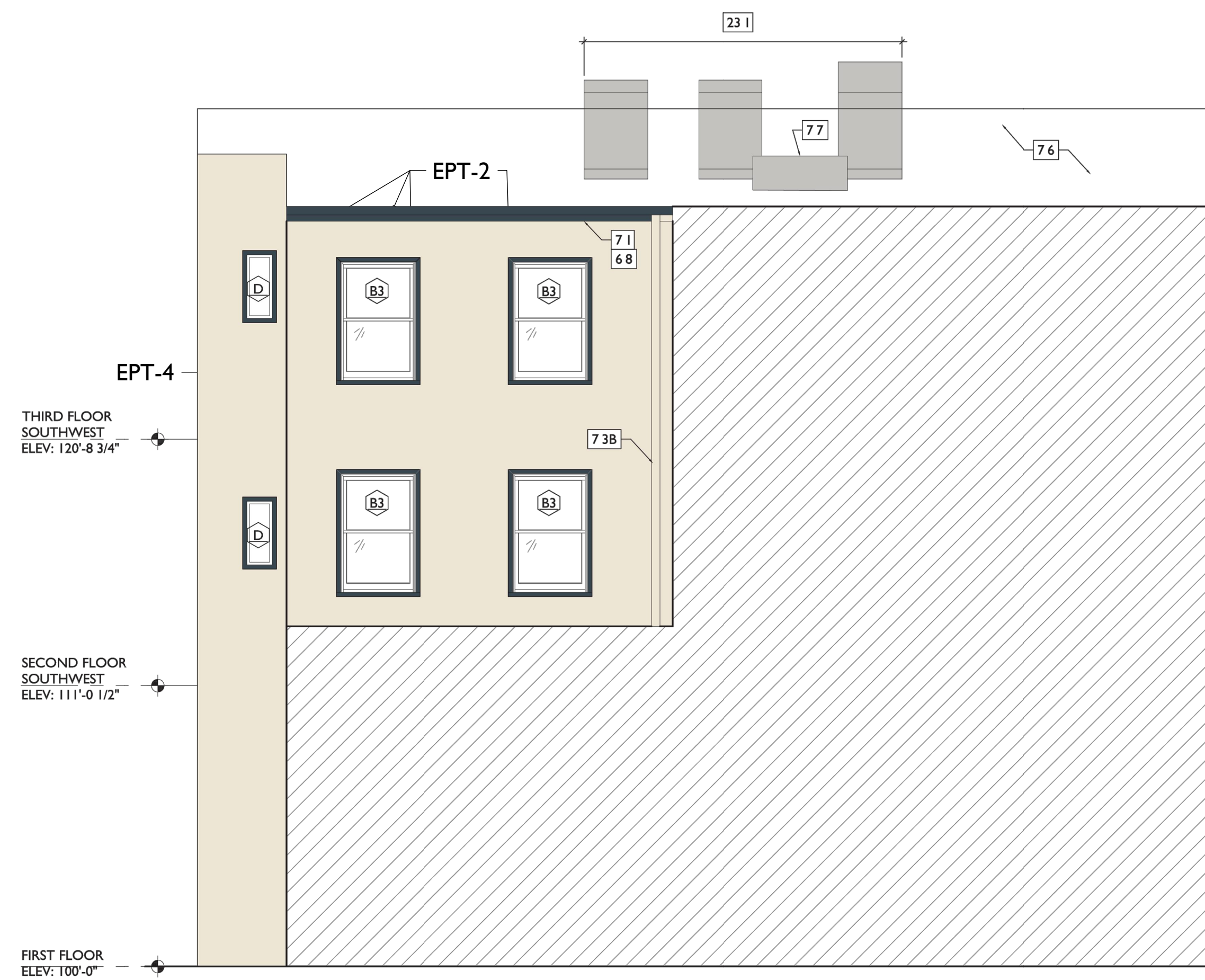
Revisions

Design Team:

Drawn by:

1724 VINE STREET

- #PPG1058-6 PIZZA PIE: EPT-1
- #PPG1038-7 MIDNIGHT HOUR: EPT-2
- #PPG1035-6 SUPERSTITION: EPT-3
- #PPG1084-2 ONION POWDER: EPT-4
- #PPG13-07 ENCHANTING EGGPLANT: EPT-5
- #PPG1049-6 CABERNET: EPT-6
- UNPAINTED BRICK: EPT-7



SCALE: 1/4" = 1'-0"

COLORED ELEVATION 2



SCALE: 1/4" = 1'-0"

COLORED ELEVATION 1



SCALE: 1/4" = 1'-0"

COLORED ELEVATION 3

NOT FOR CONSTRUCTION

PROPOSED PROJECT

Job No: 08/30/2024

A8.00

Progress Dates

Revisions

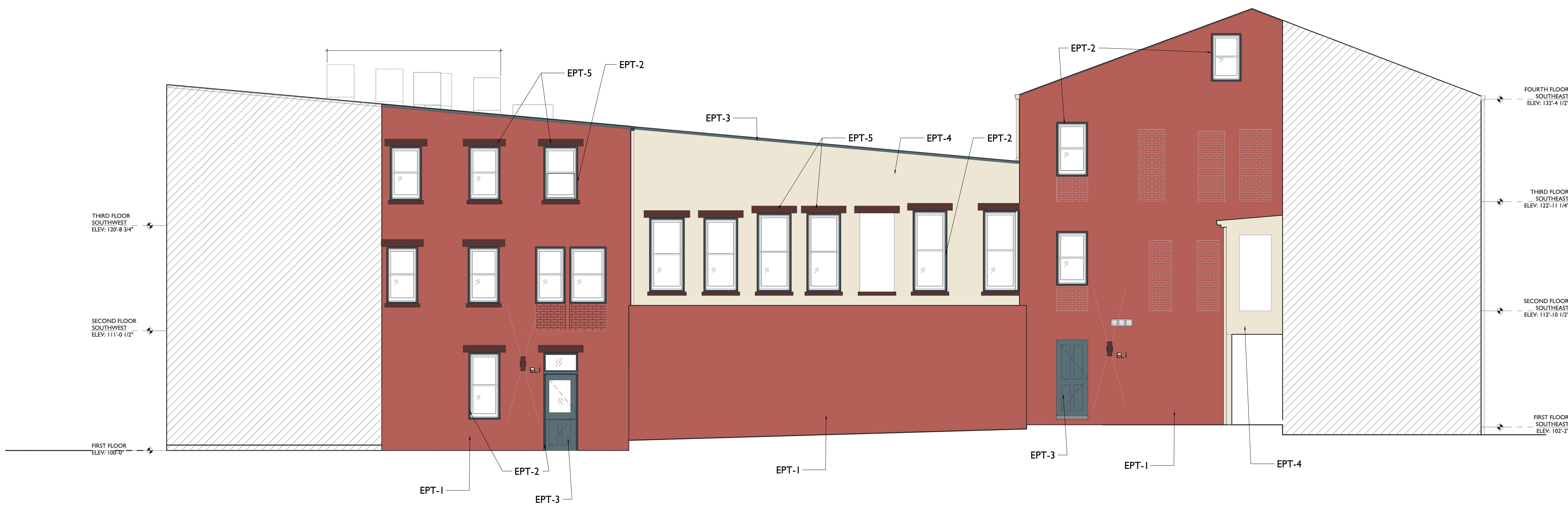
Design Team:

Drawn by:

- #PPG1058-6 PIZZA PIE: EPT-1; PRIMARY COLOR
- #PPG1038-7 MIDNIGHT HOUR: EPT-2; PRIMARILY WINDOW AND DOOR TRIM
- #PPG1035-6 SUPERSTITION: EPT-3; DOOR AND SECONDARY TRIM
- #PPG1084-2 ONION POWDER: EPT-4; SECOND PRIMARY COLOR
- #PPG13-07 ENCHANTING EGGPLANT: EPT-5; METAL, WINDOW SILL AND LENTIL
- #PPG1049-6 CABERNET: EPT-6
- UNPAINTED BRICK: EPT-7



SCALE: 1/4" = 1'-0" COLORED ELEVATION 5



SCALE: 1/4" = 1'-0" COLORED ELEVATION 4

Progress Dates
Revisions
Design Team
Drawn by:

NOT FOR CONSTRUCTION

GENERAL STRUCTURAL NOTES

COPIES OF PUBLICATIONS REFERENCED IN THESE GENERAL STRUCTURAL NOTES ARE AVAILABLE FOR REVIEW AT ADVANTAGE GROUP ENGINEERS, INC. CONTRACTORS UNFAMILIAR WITH THESE PUBLICATIONS MUST REVIEW THEM PRIOR TO CONSTRUCTION.

GOVERNING CODE

OHIO BUILDING CODE – 2017, BASED ON 2015 IBC
CLASSIFICATION OF THE BUILDING STRUCTURE:
RISK CATEGORY II, TABLE 1604.5

DESIGN LOADS

- 1. ROOF LOAD:
A. MINIMUM LIVE LOAD OR SNOW LOAD: 20 PSF
B. DEAD LOAD ALLOWANCE: 15 PSF
2. SNOW LOAD:
A. GROUND SNOW LOAD, P_s = 20 PSF
B. FLAT ROOF SNOW LOAD, P_f = 14 PSF MODIFIED BY APPLICABLE BUILDING COEFFICIENTS...

- 9. THE CONTRACTOR SHALL NOT REMOVE ANY ELEMENTS WHICH MAY CAUSE THE STRUCTURE TO BECOME UNSTABLE...
10. IT IS UP TO THE CONTRACTOR TO CONTINUALLY EVALUATE THE STRUCTURAL STABILITY OF THE BUILDING AND THE INTEGRITY OF ELEMENTS BOTH STRUCTURAL AND NON-STRUCTURAL...

MISCELLANEOUS STRUCTURAL NOTES

- 11. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ALL TRASH AND DEBRIS THROUGHOUT THE WORK...
12. CONTRACTOR IS TO PROTECT THE BUILDING FROM THE ELEMENTS, THEFT AND VANDALISM AT ALL TIMES DURING WORK.

FOUNDATIONS

- 1. SOIL CONDITIONS:
A. PER THE CLIENT'S REQUEST, THE FOUNDATION DESIGN AND GENERAL FOUNDATION NOTES ARE BASED ON THE ASSUMPTION OF FAVORABLE SOIL CONDITIONS...
2. THE BOTTOM OF FOUNDATION ELEVATION INDICATED ARE FOR BIDDING PURPOSES AND MAY BE LOWERED TO SUIT SUB-SURFACE SOIL CONDITION...

- 3. FLOOR LOAD:
A. LIVE LOAD:
a. FIRST FLOOR: 100 PSF (ASSEMBLY)
b. FIRST FLOOR- THIRD FLOOR: 40 PSF (RESIDENTIAL UNITS/COORDINATORS SERVING PRIVATE UNITS)
c. ATTIC: 30 PSF

- 4. WIND LOAD:
A. MAIN WIND FORCE RESISTING SYSTEM: 115 MPH PER ASCE 7-10 (3-SECOND GUST - LOAD AND RESISTANCE FACTOR DESIGN)
B. WIND EXPOSURE: B
C. INTERNAL GUST PRESSURE COEFFICIENT, G_{CP} = 0.18 (ENCLOSED BUILDING)

- 5. SPECIAL LOADS:
A. INTERIOR FINISH: 5 PSF HORIZONTAL LOAD
B. HANDRAILS: 200 POUND CONCENTRATED LOAD AT ANY POINT, IN ANY DIRECTION...

- 6. SPECIAL INSPECTION REQUIREMENTS PER SECTION 1704. SEE CONSTRUCTION SPECIFICATIONS AND/OR SPECIAL INSPECTION BOOKLET ADDENDUM REQUIREMENTS.

SPECIAL INSPECTIONS

PER THE REQUIREMENTS OF CHAPTER 17 SECTION 1704.1 OF THE REFERENCED BUILDING CODE, A SPECIAL INSPECTION IS REQUIRED FOR THE PROPOSED BUILDING CONSTRUCTION...

A STATEMENT OF SPECIAL INSPECTION LISTING THE REQUIREMENTS ALONG WITH A SCHEDULE OF TESTING, SUBMITTAL REVIEWS, AND FIELD OBSERVATION REQUIREMENTS HAS BEEN PREPARED BY THE STRUCTURAL ENGINEER OF RECORD...

SUBSTITUTIONS, SUBMITTALS, AND RFIs

- 1. CONTRACTOR SHALL SUBMIT ALL SUBSTITUTIONS FOR APPROVAL PRIOR TO CONSTRUCTION WITH THE FOLLOWING INFORMATION:
A. THE SCOPE, EXTENT, AND ALL LOCATIONS AFFECTED BY THE PROPOSED SUBSTITUTION...

- 2. REQUESTS FOR INFORMATION (RFIs) SHALL BE SUBMITTED IN A TIMELY MANNER WHEN INFORMATION IS MISSING FROM THE CONSTRUCTION DOCUMENTS...

- 3. THE CONTRACTOR MUST USE DUE DILIGENCE IN ATTEMPTING TO FIND ANY ANSWER PRIOR TO SUBMITTING AN RFI...

CONSTRUCTION AND SAFETY

- 1. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF CONSTRUCTION SELECTED BY THE CONTRACTOR.
2. THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK...

Table with columns: Application, f_c @ 28 days (psi), Air Content, Max w/c ratio, Max Agg. Size (in), F Class, S Class, W Class, C Class. Rows include Footings, Foundation and Retaining Walls, Interior Floor Slab on Grade, Exterior Flatwork, Exterior Flatwork (Plain Concrete).

- 7. CONCRETE MIX SCHEDULE:
a. AS A MINIMUM, ALL MASONRY SHALL BE REINFORCED PER SECTION ACI 530.1.14.2.2.1.
b. #4 VERTICAL BARS SHALL BE PLACED AT ALL CORNERS, WITHIN 16 INCHES OF EACH WALL OPENINGS...

- 12. AT CORNERS AND INTERSECTIONS OF FOOTINGS PROVIDE BENT BARS OF EQUAL SIZE AND AT SAME SPACING AS TYPICAL REINFORCING AROUND CORNERS AND JOINTS...
13. MACHINE TROWEL FINISH FLOOR SLAB AND CURE USING A METHOD RECOMMENDED BY ACI 302.1R (GUIDE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION) INCLUDING WATER CURING, WET COVERING...

- 14. FLOOR SLAB-ON-GRADE SHALL CONFORM TO THE FOLLOWING SURFACE PROFILE TOLERANCES PER ASTM E-1155 AND ACI 117:
A. SPECIFIED OVERALL VALUE: 25 / 20
B. MINIMUM LOCAL VALUE: 18 / 13
C. MAXIMUM GAP UNDER 10 FT. UNLEVELLED STRAIGHTEDGE = 1/4"

- 15. SEE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR VAPOR BARRIER REQUIREMENTS, VAPOR BARRIER, WHERE REQUIRED, SHALL BE PLACED OVER COMPACTED GRANULAR SUBBASE.
16. AT SLAB AND WALL OPENING CORNERS AND REINFRANT CORNERS, PROVIDE (1) #5 BAR IN EACH FACE PARALLEL TO EACH EDGE EXTENDING A MINIMUM OF 2'-0" PAST FABRICATION, COATING WEIGHT PER TYPICAL REINFORCING STEEL EXCEEDS THIS MINIMUM REQUIREMENT...

- 17. REINFORCE ALL INTERIOR SLABS ON GROUND WITH 6x6-W2x9x2.9 (42#) MESH, LOCATE MESH 2" CLEAR BELOW TOP OF SLAB.
18. FINISH OF CONCRETE HANDICAP RAMPS TO CONFORM TO THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE (IBC) COORDINATE LOCATION AND PATTERN WITH ARCHITECTURAL DRAWINGS.

- 19. CONTROL JOINTS IN SLABS ON GROUND SHALL BE LOCATED AT 12'-0" MAXIMUM SPACING AND SHALL CREATE SECTIONS OF SLAB WITH A MAXIMUM ASPECT RATIO OF 1 1/2 TO 1. CONTROL JOINTS SHALL BE SAWN AND SHALL BE A MINIMUM 1/4" OF THE SLAB THICKNESS DEEP. THE CONTROL JOINT SHALL BE SAWN AS SOON AS THE SAW BLADE CAME TO THE CONCRETE WITHOUT DISPLACING THE AGGREGATE, CUT EVERY OTHER MESH WIRE AT THE CONTROL JOINT LOCATION PRIOR TO PLACING CONCRETE...

- 20. CONSTRUCTION JOINTS IN SLABS ON GROUND MAY BE LOCATED AT ANY CONTROL JOINT LOCATION. CONSTRUCTION JOINTS SHALL HAVE A KEY FORMED AT MID-DEPTH OF THE FIRST CAST SECTION...
21. FILL CONTROL AND CONSTRUCTION JOINTS IN TRAFFIC AREAS WITH SEMI-RIGID EPOXY JOINT FILLER WITH A DUROMETER SHORE A-SCALE HARDNESS NUMBER OF APPROXIMATELY 80...

- 22. PROVIDE 3/4" CHAMFER AT CORNERS OF EXPOSED CONCRETE.
23. WHERE BRITTLE FLOOR FINISHES ARE TO BE APPLIED TO FLOOR SLABS, COORDINATE CONTROL JOINT LOCATIONS WITH FLOOR FINISH JOINT LOCATIONS AND ARCHITECT.

EXPANSION AND EPOXY ADHESIVE ANCHORS

- 1. EPOXY ADHESIVE ANCHORS:
A. EPOXY ADHESIVE SHALL BE HIT-HY 200 V3 EPOXY ADHESIVE MANUFACTURED BY THE HUNDT GROUP AT CONCRETE AND HIT-HY 270 ADHESIVE AT MASONRY/STONE. INSTALL PER MANUFACTURER'S RECOMMENDATIONS...

MASONRY

- 1. MASONRY CONSTRUCTION AND MATERIALS SHALL CONFORM TO ALL REQUIREMENTS OF "SPECIFICATIONS FOR MASONRY STRUCTURES" (ACI 530.1/ASCE 6/TMS 602) EXCEPT AS MODIFIED BY THE REQUIREMENTS OF THESE CONSTRUCTION DOCUMENTS.
2. SUBMITTALS SHALL BE MADE FOR THE FOLLOWING:
A. COLD WEATHER CONSTRUCTION PROCEDURE
B. HOT WEATHER CONSTRUCTION PROCEDURE...

- 3. MATERIALS:
A. CONCRETE MASONRY UNITS: ASTM C90 TYPE I BELOW GRADE; NORMAL WEIGHT AGGREGATE PER ASTM C33.
B. FACING BRICK: SALVAGED BRICK FROM SIMILAR ERA COMPATIBLE WITH EXISTING COMPOSITION OF BRICK WITH RESPECT TO HARDNESS AND SIZE.
C. MORTAR: ASTM C270 TYPE 'O' TO MATCH WITH EXISTING MODIFIED ACCORDINGLY.

- 4. MORTAR PROPORTIONS MUST BE ACCURATELY MEASURED PRIOR TO MIXING. ADD CEMENT TO MIX IN 5 BAG QUANTITIES. MEASURE SAND IN BOX WITH VOLUME OF ONE CUBIC FOOT AS OFTEN AS NECESSARY TO MAINTAIN CONSISTENT PROPORTIONS AND AT LEAST ONCE DAILY AND EVERY 4 HOURS OF MIXING.
5. MINIMUM VERTICAL REINFORCEMENT REQUIREMENTS FOR ALL MASONRY WALLS.

- 6. MASONRY WALL REPAIR:
a. ERASURE OF MASONRY AND STONE IS TO BE REPAIRED, REPLACED, AND CLEANED AS NECESSARY AT ALL EXPOSED EXTERIOR SIDES OF THE BUILDING AS NEEDED.
b. REPAIR DAMAGED JOINTS IN MASONRY WHERE MORTAR IS DAMAGED OR MISSING. CUT OUT JOINTS TO A DEPTH OF 2X THE WIDTH OF THE JOINT OR UNTIL SOUND MORTAR. REMOVE DUST AND LOOSE MATERIAL BY HAND BRUSHING. MORTAR TO MATCH EXISTING IN COMPOSITION, COLOR, TOOLING, PROFILE AND HARDNESS.

- 7. REPLACE MISSING, ERODED, SPALLED OR CRACKED MASONRY UNITS. CUT OUT UNITS, INCLUDING ENTIRE MORTAR JOINT AROUND MASONRY UNIT. REMOVE UNITS BY HAND USING CARE SO AS NOT TO DAMAGE ADJACENT MASONRY. TURN EXISTING BRICKS AROUND AND/OR USE SALVAGED BRICK IF POSSIBLE. BUILD-IN NEW MASONRY AND JOINTS TO MATCH EXISTING. MATCH EXISTING EXTERIOR FINISHES AND COURSING AND LEVEL FACES PLUMB AND IN-LINE. INSTALL ANY ANCHORS, FLASHING, OR REINFORCEMENTS AS NECESSARY. ALL NEW WORK SHALL MATCH THAT OF THE SURROUNDING MASONRY.
8. REMOVE CRACKED, DAMAGED AND SEVERELY SPALLED STONE UNITS AND SILLS WITH CARE IN A MANNER TO PREVENT DAMAGE TO ADJACENT REMAINING MATERIALS. BUILD-IN NEW UNITS AND SILLS. ALIGN WITH EXISTING JOINTS AND COURSING TRUE AND LEVEL. FACES PLUMB AND IN-LINE.

- INSTALL ANY ANCHORAGES, FLASHINGS, OR REINFORCEMENTS AS NECESSARY. WHERE APPLICABLE, NEW UNTELS AND SILLS TO BE PRECAST CONCRETE TO MATCH EXISTING IN COLOR AND TEXTURE. THE CONTRACTOR SHALL PROVIDE SAMPLES FOR APPROVAL PRIOR TO ORDERING MATERIAL. ALL STONE REPLACEMENT WORK WILL BE DONE WITHOUT DAMAGE, TO MATCH THE EXISTING HISTORIC STONE AND MASONRY.
e. UNPAINTED MASONRY AND STONE IS TO REMAIN UNPAINTED.

- 7. RUNNING BOND PATTERN SHALL BE USED FOR ALL MASONRY WORK UNLESS OTHERWISE NOTED.

STRUCTURAL STEEL

- 1. THE CONTRACTOR SHALL SUBMIT AS PART OF THE BIDDING PROCEDURE A UNIT COST FOR MISCELLANEOUS STRUCTURAL STEEL REQUIREMENTS THAT MAY HAVE BEEN OMITTED FROM THE CONSTRUCTION BID DOCUMENTS...
2. NO OPENING OR HOLE SHALL BE PLACED IN ANY STRUCTURAL MEMBER (OTHER THAN THAT WHICH IS INDICATED ON THE DRAWINGS) UNLESS THE LOCATION HAS BEEN APPROVED IN WRITING BY THE STRUCTURAL ENGINEER.
3. ALL FLOOR OR ROOF BEAMS SHALL BE FABRICATED WITH THE NATURAL CAMBER UP.

- 4. FIELD CONNECTIONS SHALL BE BOLTED EXCEPT WHERE WELDED CONNECTIONS ARE INDICATED ON THE STRUCTURAL DRAWINGS.
5. WELDING SHALL BE IN ACCORDANCE WITH THE AMERICAN WELDING SOCIETY (AWS D1.1).
6. MATERIALS:
A. ROLLED SHAPES AND PLATES UNLESS NOTED: ASTM A36.
B. TUBULAR SHAPES: ASTM A500 GRADE C.
C. PIPE SHAPES: ASTM A53, TYPES E OR S GRADE B.

- 7. PAINT AND PROTECTION:
A. STRUCTURAL STEEL UNLESS NOTED: FABRICATOR'S STANDARD PRIME PAINT, TOUCH UP AFTER ERECTION.
B. LINTELS SUPPORTING EXTERIOR MASONRY WYTHES AND MEMBERS EXPOSED TO WEATHER IN FINISHED STRUCTURES: HOT DIP GALVANIZE PER ASTM A123 AFTER FABRICATION, COATING WEIGHT PER PARAGRAPH 5.1 OF ASTM A123 AND A153. FABRICATE ASSEMBLIES PER ASTM A143, A384, AND A385. TOUCH UP AFTER ERECTION WITH ANCHOR RODS: ASTM F1554 GRADE 36 KSI MATERIAL FULLY THREADED RODS HAVING A NUT TACK WELDED IN PLACE ON BOTTOM. MINIMUM EMBEDMENT AS NOTED ON THE DRAWINGS.

- 8. CONTRACTOR SHALL SUBMIT ERECTION AND SHOP DRAWINGS FOR REVIEW BY ENGINEER PRIOR TO FABRICATION. ANY DEVIATIONS FROM THE ORIGINAL DESIGN INTENT SHALL BE APPROVED PRIOR TO SUBMITTING ANY SHOP SUBMITTALS. SUCH DRAWINGS WILL BE REJECTED.
9. CONTRACTOR SHALL SUBMIT MISCELLANEOUS STEEL SHOP DRAWINGS FOR REVIEW BY ENGINEER PRIOR TO FABRICATION. MISCELLANEOUS STEEL SHOP DRAWINGS SHALL INCLUDE STAIRS AND GUARDRAILS. MISCELLANEOUS STEEL SHOP DRAWINGS SHALL BEAR THE SEAL OF A REGISTERED PROFESSIONAL ENGINEER WHO IS PROVIDING SERVICES AS A SPECIALTY ENGINEER.

METAL DECKING

- 1. THE DESIGN, FABRICATION, AND ERECTION OF ALL STEEL DECKING SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE SPECIFICATIONS OF THE STEEL DECK INSTITUTE.
2. MATERIALS:
A. DECK FOR CONCRETE FORM: 18 GAUGE X 1 1/2", GALVANIZED COATING CONFORMING TO ASTM A653 G60.

- 3. CONNECT 1/2" AND 3" ROOF DECK TO SUPPORTS WITH 5/8" ROUND PUDDLE WELDS OR HILTI FASTENERS (USE X-HSN FASTENERS FOR 3/8" THICK OR THINNER STEEL AND HILTI FASTENERS FOR THICKER STEEL). FASTEN 1/2" DECK AT 10" ON CENTER AT SUPPORTS FOR 30" WIDE DECK AND 12" ON CENTER AT SUPPORTS FOR 36" WIDE DECK AND AT 6" ON CENTER AT ENDS OF SHEETS AND PERIMETER FOR 3" DECK. USE 8" ON CENTER PATTERN. SCREW SIDE LAPS AT 3'-0" MAXIMUM SPACING WITH #10 TEK SCREWS OR HILTI SLC.
4. CONNECT METAL DECK TO STRUCTURAL MEMBERS, INCLUDING PERIMETER ANGLES.
5. LAP ENDS OF ROOF DECK AND CONCRETE FORM DECK 2" MINIMUM.

- 6. WELDING OF METAL DECK SHALL BE IN ACCORDANCE WITH AWS D1.3.

WOOD

- 1. MATERIALS:
A. FRAMING LUMBER:
a. 2x6 AND LARGER: NO.1 GRADE OR BETTER SOUTHERN PINE KILN DRIED.
b. 2x4: STUD GRADE OR BETTER SPRUCE PINE FIR KILN DRIED.
c. 2x6: NO.2 GRADE OR BETTER SPRUCE PINE FIR KILN DRIED.
d. ACQ-C (ALT CA-B OR SBX-C) UNDER-ACTUATED FASTENERS WHERE IN CONTACT WITH FOUNDATION OR EXPOSED TO WEATHER.

- 2. SHEATHING AND SUBFLOORING:
A. 4824 APA RATED TONGUE AND GROOVE SUBFLOOR EXPOSURE 1.
B. 3216 APA RATED ROOF SHEATHING EXPOSURE 1.
C. 2416 APA RATED STRUCTURAL WALL SHEATHING EXPOSURE 1.
D. ALL SHEATHING TO BE NAILED WITH #6 NAILS AT 6" ON CENTER AT PANEL EDGES AND 12" ON CENTER AT INTERMEDIATE SUPPORTS UNLESS NOTED OTHERWISE.

- 3. NAIL SIZES AS CALLED OUT IN THE STRUCTURAL DRAWINGS AND FOR SIMPSON CONNECTORS ARE LISTED BELOW. NAIL GUN NAILS SHALL MEET DIAMETER AND LENGTH OF NAILS LISTED BELOW, OR ELSE NAILS SHALL BE DRIVEN WITH A HAMMER.
A. 6d NAILS ARE 0.120"Ø x 1 1/4" LONG (MIN 3/8" HEAD)
B. 8d NAILS ARE 0.131"Ø x 2 1/2" LONG
C. 10d NAILS ARE 0.148"Ø x 3" LONG
D. 16d NAILS ARE 0.162"Ø x 3 1/2" LONG

- 4. ALWAYS USE THE NAIL OR FASTENER AS SPECIFIED BY SIMPSON, INCLUDING THE CORRECT DIAMETER AND LENGTH.
5. WHEN FASTENING TO A SINGLE PLY 1/2" OR 1 1/2" MEMBER, 1 1/2" FLANGE NAILS ARE ACCEPTABLE. USE FULL LENGTH NAILS FOR DIAGONAL NAILS OF DOUBLE SHEAR HANGERS.

- 6. LVL (LAMINATED VENEER LUMBER) BEAMS: DISTRIBUTED AS TRUSS JOIST MANUFACTURED BY MICROLAM LUMBER CORPORATION, G-P LAM INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

- A. LVL BEAMS SHALL HAVE MINIMUM DESIGN STRESS VALUES AS FOLLOWS:
a. F_b = 2600 PSI BENDING
b. F_v = 285 PSI HORIZONTAL SHEAR
c. F_t = 750 PSI COMPRESSION PERPENDICULAR TO GRAIN
d. E = 2,000,000 PSI MODULUS OF ELASTICITY

- B. MULTIPLE LVL BEAMS AND HEADERS SHALL BE FASTENED TOGETHER AS FOLLOWS:
a. 12" AND SMALLER MEMBERS:
• TWO-PIECE MEMBERS: 2 ROWS OF 16d COMMON NAILS AT 12" ON CENTER.

- THREE-PIECE MEMBERS: 2 ROWS OF 1/2" DIAMETER BOLTS AT 24" ON CENTER STAGGERED.
b. 14" AND LARGER MEMBERS:
• TWO-PIECE MEMBERS - 3 ROWS OF 16d COMMON NAILS AT 12" ON CENTER.
• THREE-PIECE MEMBERS - 2 ROWS OF 1/2" DIAMETER BOLTS AT 16" ON CENTER STAGGERED.

- 7. INSTALL TYPICAL FLOOR CROSS BRIDGING AT 8'-0" MAXIMUM INTERVALS IN EVERY JOIST SPACE TO AID IN LOAD SHARE DISTRIBUTION AND CONTROL POTENTIAL VIBRATION PROBLEMS.

- 8. UNLESS NOTED OTHERWISE, CONNECTORS SHALL BE MADE PER TABLE 2304.10.1. RECOMMENDED STEEL CONNECTORS FOR FASTENING BUILDING CODE. STAPLES NOT PERMITTED FOR FASTENING APA RATED SHEATHING AND SUBFLOORING.

- 9. ALL PLYWOOD SUBFLOORING SHALL BE GLUED AND NAILED.

- 10. ALL CONNECTION HARDWARE SPECIFIED ON THE STRUCTURAL DRAWINGS SHALL BE MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY AND SHALL BE FASTENED AS SPECIFIED IN THE SIMPSON PRODUCT AND INSTRUCTION MANUAL.

- 11. BRIDGING IN ALL FLOOR AND CEILING JOISTS, SHALL BE 1"x3" CROSS BRIDGING (DOUBLE NAILING) AT 8'-0" ON CENTER MAXIMUM.

- 12. PROVIDE SOLID BLOCKING IN FLOOR CONSTRUCTION UNDER POSTS, MULTIPLE STUDS OR BEAM BEARINGS.

- 13. DOUBLE JOISTS SHALL BE PROVIDED BELOW ALL INTERIOR PARTITIONS THAT RUN PARALLEL WITH THE JOISTS.

- 14. NOTCHES IN JOISTS SHALL NOT EXCEED ONE-SIXTH THE JOIST DEPTH IN HEIGHT AND LENGTH AND SHALL NOT BE LOCATED WITHIN THE MIDDLE THIRD OF THE JOIST SPAN. HOLES BORED IN JOISTS SHALL BE NO MORE THAN ONE-FOURTH THE JOIST DEPTH AND SHALL NOT BE LOCATED WITHIN 2 FEET OF EITHER JOIST END. HOLES AND NOTCHES SHALL BE SPACED A MINIMUM OF 18" APART.

- 15. EXTERIOR OR LOAD BEARING STUDS MAY BE CUT OR NOTCHED TO A DEPTH NOT TO EXCEED ONE-FOURTH OF THE WIDTH. EXTERIOR OR LOAD BEARING STUDS MAY BE BORED OR DRILLED TO A DIAMETER NOT TO EXCEED ONE-FOURTHS WIDTH AND THE EDGE OF ANY HOLE SHALL BE 1/2" CLEAR FROM THE STUD EDGE.

SCHEDULE OF SPECIAL INSPECTION SERVICES

Inspection of Structural Steel Construction per Section 1705.2 Hot Rolled Steel Framing Agent: CONSULTING SERVICES INC

- Special inspections of the fabrication process of all hot rolled steel structural components shall be in accordance with Section 1704.2.5.
a. Material verification of high-strength bolts, nuts and washers, Structural Steel and Weld filler material per ASTM A 6, ASTM A568. (Ref. Code Section 1705.2.1)
b. Identification markings to conform to ASTM standards specified in the contract documents per AISI ASD Section A3.4 or AISI LRFD, Section A3.3.
c. Manufacturer's certificate of compliance and or Mill reports.
• Periodic inspection of field welding per AWS D1.1. (Ref. Code Section 1705.2.2.1) Applicable for Structural Steel connections having a single pass fillet welds 5/16" and smaller
a. Verify prior to the start of work all materials, welding procedures and qualification of all welders.
b. Visual inspection of field welded joint details per the construction documents. Check length, size and type of weld performed.
c. Visual inspection of all floor and roof deck welds. Verify design intent and spacing of welds and welded members. Check for side lap fasteners and welded connections along edge of sheets and perimeter and drag strut collectors.
• Periodic visual inspection of steel frame joint details for compliance with approved construction documents for: (Ref. Code Section 1705.2.1)
a. Verify the installation of all structural members and locations as noted on the structural drawings.
b. Verify the use of the proper connection methods as noted on the structural drawings.
c. Verify the installation of all column anchorage and proper bolt spacing as per the submitted placement drawings. Confirm proper bolt preparation for installation of nut and washers.

Expansion / Adhesive Anchors Agent: CONSULTING SERVICES INC

- Periodic inspection of post installed anchor rods:
• Verify the embedment depths and drilling procedure used to create hole.
• Verify that hole has been cleaned and dust removed properly.
• Document outside temperature and installation method used to install the epoxy adhesive.

Inspection of Concrete Construction per Section 1705.3 Agent: CONSULTING SERVICES INC

- Periodic inspection of reinforcing steel size, spacing and placement, per ACI 318: Chapters 3.5, 7.1-7.7. (Ref. Code Section 1901)
• Scope to include:
• Reviewing and documenting the size, grade, spacing and clearance of all embedded reinforcing bars prior to placement of concrete.
• Verify bars are free of dirt and excessive rust, oil, or damage of any kind.
• Verify specified lap splices in field with information on the drawings.
• Verify method of bar support and ties.
• Periodic Verification of the use of the required design mix per project specifications per ACI 318: Chapters 4, 5.2-5.4. (Ref. Code Section 1904.2, 1910.2, 1910.3)
• Continuous sampling of fresh concrete at the time of making specimens for strength tests per ASTM C 172, ASTM C 31 & ACI 318: Chapters 5.6 & 5.8. (Ref. Code Section 1910.10)
• Minimum frequency (1910.10) Samples for strength tests of each class of concrete shall be taken at least once per shift, but not less than one sample for each 500 cubic yards placed.
• Continuous inspection of concrete placement for proper application techniques per ACI 318: Chapters 5.9 & 5.10. (Ref. Code Section 1910.6, 1910.7, 1910.8)
• Verify the application of Cold Weather concrete and or Hot Weather concrete techniques per ACI 318: Chapters 5.11 - 5.13. (Ref. Code Section 1910.9)
• Periodic inspection for maintenance of specified curing and temperature and techniques per ACI 318: Chapters 5.11 - 5.13. (Ref. Code Section 1910.9)
• Curing of concrete shall be maintained above 40-degrees F and in a moist environment for seven days after placement or cured by (1910.9) accelerated means that comply with ACI 318, section 5.11.3.
• Periodic inspection of Formwork construction. (This inspection is not to address the means or methods of forming) a/ shoring but to verify the geometry affecting the structural integrity of such form).
• Verify size and dimensions of structural members being formed.
• Verify intent, configuration, and location of specified structural member being formed.

Inspection of Wood Construction per Section 1705.6 Agent: CONSULTING SERVICES INC

- Special inspections of the fabrication process of wood structural elements shall be in accordance with Section 1704.2.5.
• Periodic inspection of wood framed joint details for compliance with approved construction documents for:
a. Member locations and supports.
b. Verification of member grade and specie.
c. Application of joint details at each connection.
d. Grades, thickness, and fastening of APA rated wood sheathing.

Inspection of Soil Conditions per Section 1705.6 Agent: CONSULTING SERVICES INC

- Evaluation of site preparation in accordance with the approved soils report or as specified on the contract documents.
• Confirm existing soils load-bearing capacity with requirements of the approved soils report or as specified on the contract documents.
• Verification that the material being used, and the maximum lift thickness comply with the approved soils report or as specified on the contract documents.
• Evaluation of in-place density, the special inspection shall document that the in-place density of the existing soils and compacted fill complies with the approved soils report or as specified on the contract documents.

TYPICAL ABBREVIATION LIST table with columns for abbreviations and full names. Includes AEF, ARCH, BLDG, BM, BFTG, BODEX, BRG, CIP, C/J, CL, CLR, CMG, CONC, CONT, DL, DWG, EJ, EMBD, ENGR, EQ, EW, EX, EXT, FTG, FND, GALV, GRAN, HORIZ, HND, HSS, K, lbs, etc.

NOT ALL ABBREVIATIONS APPLY. INCLUDED FOR REFERENCE ONLY.

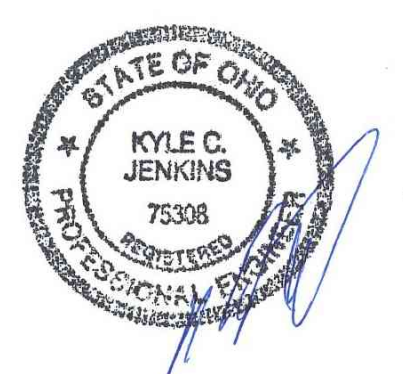
DRAWING INDEX table with columns for drawing number and description. Includes S001 GENERAL STRUCTURAL NOTES AND SPECIAL INSPECTIONS, S100 FOUNDATION PLAN, S110 1ST FLOOR FRAMING PLAN, S120 2ND FLOOR FRAMING PLAN, S130 3RD FLOOR FRAMING PLAN, S140 4TH FLOOR FRAMING PLAN, S150 ROOF FRAMING PLAN, S200 ELEVATIONS, S201 ELEVATIONS, S202 ELEVATIONS, S310 FOUNDATION SECTIONS, S320 FRAMING SECTIONS

STRUCTURAL INFORMATION NOTED IS BASED ON ASSUMPTIONS OF CONDITION OF EXISTING FRAMING & FRAMING HIDDEN FROM VISUAL OBSERVATION. DETAILS OF PROPOSED FRAMING MODIFICATION/REPAIRS ARE SUBJECT TO CHANGE ONCE DEMOLITION IS UNDERWAY

advantage structural engineers logo and contact information: 1675 Hamer St, Cincinnati, OH 45202, phone 513.396.8900, www.advantagese.com

Design Team: NFB / SJ, Date: 05/26/2023, BID SET/1, BID / PERMIT, REVISIONS/SUBMISSION, and a grid of dates from 2024.08.30 to 2023.05.26.

PREPARED FOR: PLATTE ARCHITECTURE + DESIGN, RENOVATION FOR PLATTE ARCHITECTURE + DESIGN, 1726 Vine St / 1728 Vine St / 1730 Vine St / 1675 Hamer St, CINCINNATI, OH 45220, FINDLAY FLATS, Proj. No.: 22146.24, Drawing No., S001



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| 2024.08.30 | DESIGN |
| 2023.07.07 | ADDENDUM 1 |
| 2023.05.26 | BID / PERMIT |
| | REVISION/SUBMISSION |
| | DATE |

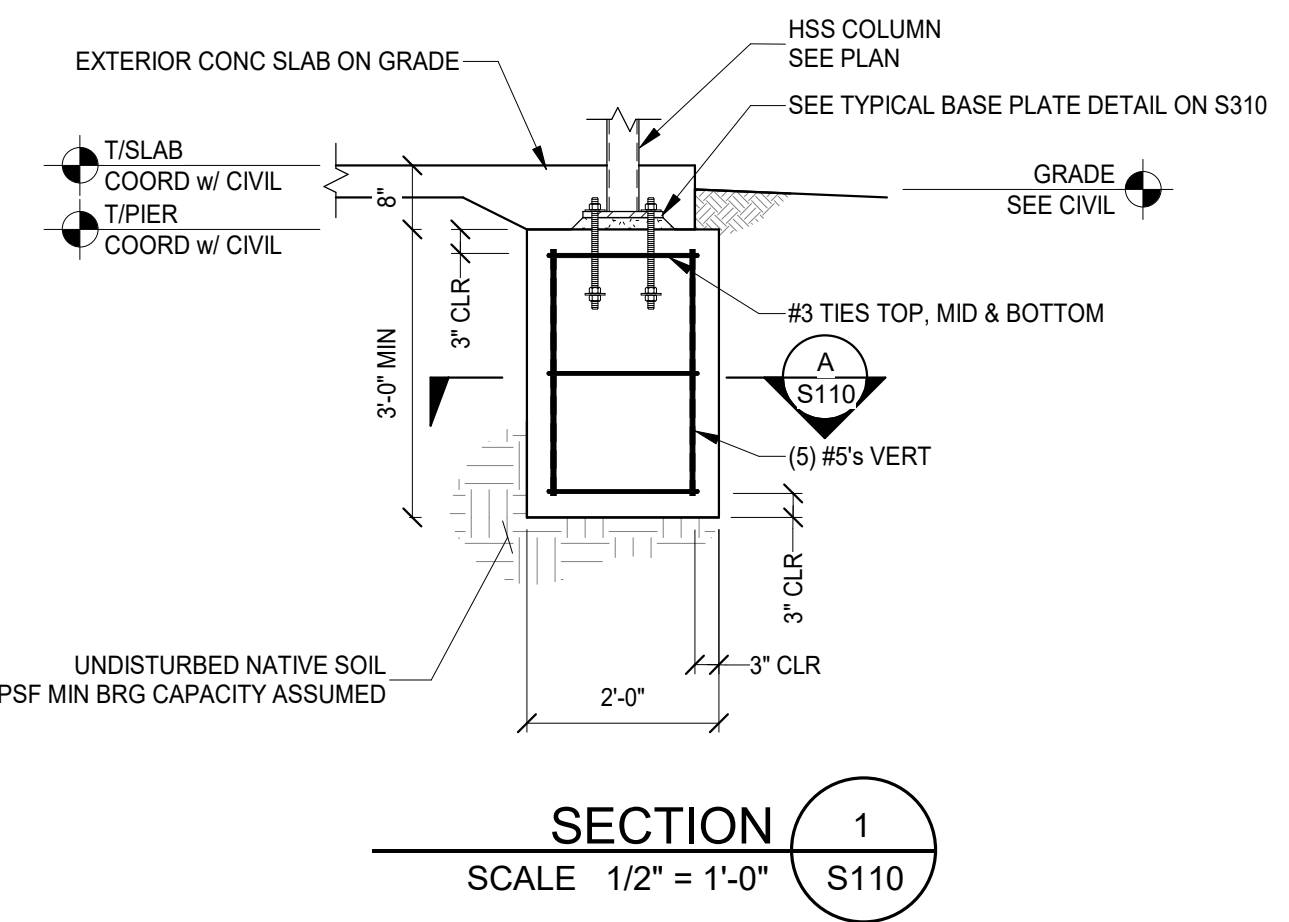
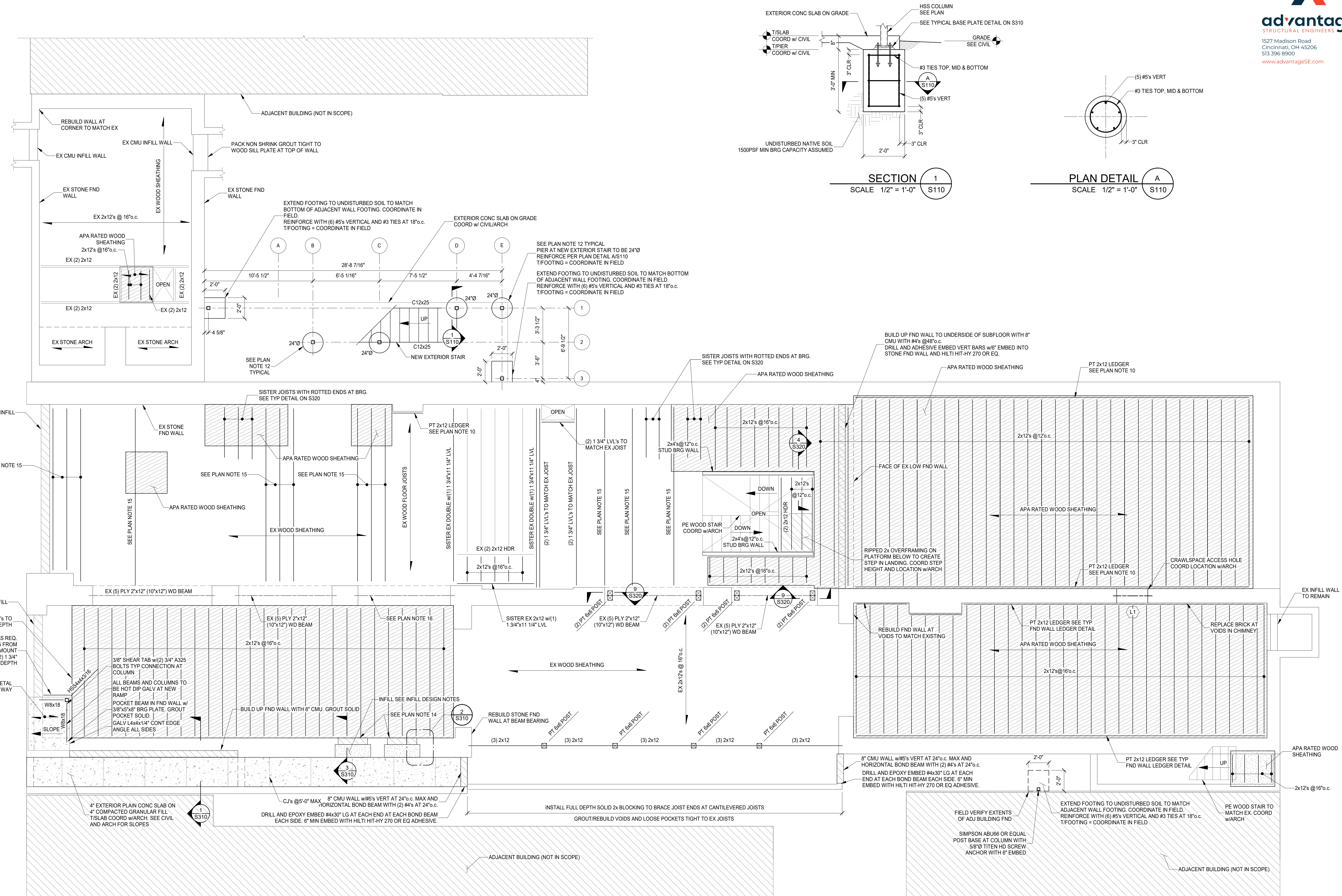
Design Team: NFB / SJ
Date: 05/26/2023

1726 Vine St / 1728 Vine St / 1730 Vine St / 1675 Hamer St
FINDLAY FLATS
CINCINNATI, OH 45220

Proj. No.: 22146.24
Drawing No.

S110

1726 Vine St / 1728 Vine St / 1730 Vine St / 1675 Hamer St
1724-1728 VINE STREET
CINCINNATI, OH 45202



1ST FLOOR FRAMING PLAN
SCALE 1/4" = 1'-0"

PLAN NOTES:

- COORDINATE ALL DIMENSIONS, DOOR AND WINDOW LOCATIONS WITH ARCHITECTURAL DRAWINGS.
- REMOVE DAMAGED OR SATURATED SHEATHING AND REPLACE WITH NEW APA RATED SHEATHING. REPLACE DAMAGED, SATURATED OR DETERIORATED JOISTS WITH NEW JOISTS OF THE SAME SIZE.
- LUMBER AT 1ST FLOOR AND BASEMENT SHALL BE PRESSURE TREATED.
- WOOD LINTELS AT OPENINGS IN MASONRY WALLS WHERE ROTTED SHALL BE REPLACED WITH A STEEL HSS4x4x3/8 (GALVANIZED) LINTEL AT EACH 4" WYTHE. ALTERNATIVELY USE A 4"x8" PRECAST CONCRETE LINTEL WITH #5 TOP AND BOTTOM EACH 4" WYTHE, OR AN L4x3-1/2x5/16" LINTEL LVL, EACH WYTHE.
- SEE STRUCTURAL ELEVATION DRAWINGS FOR EXTERIOR BRICK REPAIR AND TUCKPOINTING.
- REPAIR AND TUCKPOINT INTERIOR MASONRY PER THE GENERAL NOTES.
- FIELD VERIFY ALL EXISTING CONDITIONS, NOTIFY ADVANTAGE GROUP ENGINEERS OF ANY DISCREPANCIES.
- SWS = STRUCTURAL WOOD SCREW. ALLOWABLE SCREWS ARE 1/4" SIMPSON SDS, 1/4" SPAX POWERLAGS OR 1/4" FASTEN MASTER LEDGER LOK.
- FASTEN SISTERS WITH 1/4"x3" SWS @ 24" o.c. STAGGERED UNLESS NOTED OTHERWISE.
- PT LEDGER TO MATCH JOIST FRAMING. FASTEN TO MASONRY WITH (2) ROWS OF 1/2" Ø THREADED ROD ADHESIVE ANCHORS AT 16" o.c. STAGGERED. HANG JOISTS WITH SIMPSON FACE MOUNT HANGERS EA END.
- ALL NEW STRINGERS AT EXTERIOR STAIR TO BE MC12 PER PLANS. COORD LANDING ELEVATIONS, RISE, RUN AND GUARDRAIL/HANDRAIL REQUIREMENTS WITH ARCH DRAWINGS. SUBMIT STEEL SHOP DRAWINGS FOR ENGR REVIEW.
- CONCRETE PIER AT NEW EXTERIOR STAIR TO BE 24" Ø REINFORCE PER PLAN DETAIL A/S110. T/FTG=COORD. IN FIELD.
- ALL NEW STEEL AT EXTERIOR STAIR TO BE PAINTED PER OWNER. COORD w/ARCH.
- SEE PLAN DETAIL 2/S310 FOR TYPICAL WALL DETAILS AT 8" CMU INFILL WALL. REINFORCE WALL WITH #5 VERT @ 32" o.c. AND HORIZ BOND BEAMS WITH (2) #5s AT 24" o.c. GROUT ENTIRE WALL SOLID. SEE INFILL DESIGN NOTES FOR INFILL PROCEDURE. INFILL MUST BE PLACED IN LIFTS AND ALLOWED TO CURE BETWEEN LIFTS TO PREVENT FAILURE OF THE INFILL WALL.
- REPLACE COMPROMISED JOISTS WITH 1 3/4"x3" SWS @ 24" o.c.
- EX (5) PLY 2"x12" (10"x12") WD BEAM. REPLACE (2) ROTTED PLYS WITH (2) 1 3/4"x11 7/8" LVL'S. FASTEN WITH (2) ROWS OF 1/2" DIA THRU BOLTS AT 16" o.c.

INFILL DESIGN NOTES:

- INFILL TO BE LEAN CONCRETE PLACED IN 24" MAX LIFTS.
- INFILL TO BE PLACED AFTER EACH LIFT HAS BEEN GIVEN TIME TO CURE AND SET UP PRIOR TO PLACING NEXT LIFT.
- INFILL AREA TO BE RELATIVELY DRY AND FREE OF DELETERIOUS MATERIAL PRIOR TO INFILL PLACEMENT.
- INFILL IS TO BE PLACED UP TO THE UNDERSIDE OF THE CONCRETE SLAB.
- VERIFY INFILL DESIGN PARAMETERS WITH DOT REQUIREMENTS COORD w/E.O.R. FOR DISCREPANCIES WITH STATED REQUIREMENTS.

STRUCTURAL INFORMATION NOTED IS BASED ON ASSUMPTIONS OF CONDITION OF EXISTING FRAMING & FRAMING HIDDEN FROM VISUAL OBSERVATION. DETAILS OF PROPOSED FRAMING MODIFICATION/REPAIRS ARE SUBJECT TO CHANGE ONCE DEMOLITION IS UNDERWAY

DRAWING TITLE: 1ST FLOOR FRAMING PLAN

PREPARED FOR: PLATTE ARCHITECTURE + DESIGN



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| 2024.08.30 | DATE |
| 2023.07.07 | BID SET |
| 2023.05.28 | BID / PERMIT |
| | REVISION/SUBMISSION |
| | # |

Design Team: NFB / SJ
Date: 05/26/2023

1726 Vine St / 1730 Vine St / 1675 Hamer St
FINDLAY FLATS

PREPARED FOR: PLATTE ARCHITECTURE + DESIGN
RENOVATION FOR

Proj. No.: 22146.24
Drawing No.

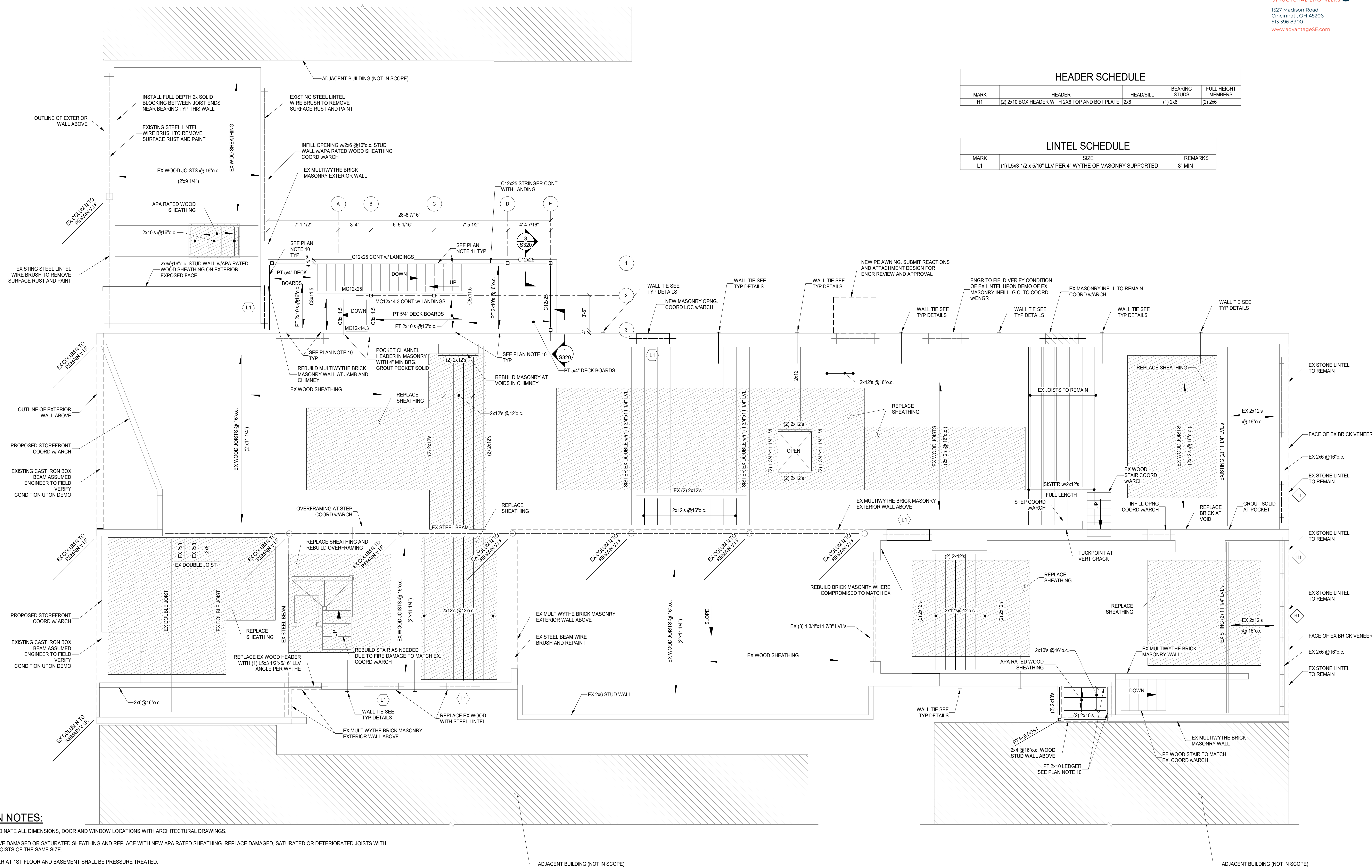
S120

| MARK | HEADER | HEAD/SILL | BEARING STUDS | FULL HEIGHT MEMBERS |
|------|--|-----------|---------------|---------------------|
| H1 | (2) 2x10 BOX HEADER WITH 2x6 TOP AND BOT PLATE | 2x6 | (1) 2x6 | (2) 2x6 |

| MARK | SIZE | REMARKS |
|------|--|---------|
| L1 | (1) L5x3 1/2 x 5/16" LVL PER 4" WYTHE OF MASONRY SUPPORTED | 8" MIN |

1724-1728 VINE STREET
CINCINNATI, OH 45202

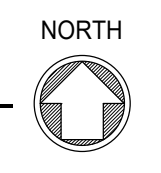
1726 Vine St / 1728 Vine St / 1730 Vine St / 1675 Hamer St



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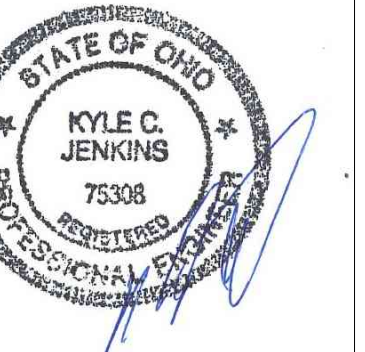
2ND FLOOR FRAMING PLAN
SCALE 1/4" = 1'-0"



| | |
|-----|---------------------------|
| --- | EXISTING LINTEL TO REMAIN |
| --- | NEW LINTEL. SEE SCHEDULE |

STRUCTURAL INFORMATION NOTED IS BASED ON ASSUMPTIONS OF CONDITION OF EXISTING FRAMING & FRAMING HIDDEN FROM VISUAL OBSERVATION. DETAILS OF PROPOSED FRAMING MODIFICATION/REPAIRS ARE SUBJECT TO CHANGE ONCE DEMOLITION IS UNDERWAY

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Design Team: NFB / SJ
Date: 05/26/2023

1726 Vine St / 1728 Vine St / 1730 Vine St / 1675 Hamer St
FINDLAY FLATS

PREPARED FOR: PLATTE ARCHITECTURE + DESIGN

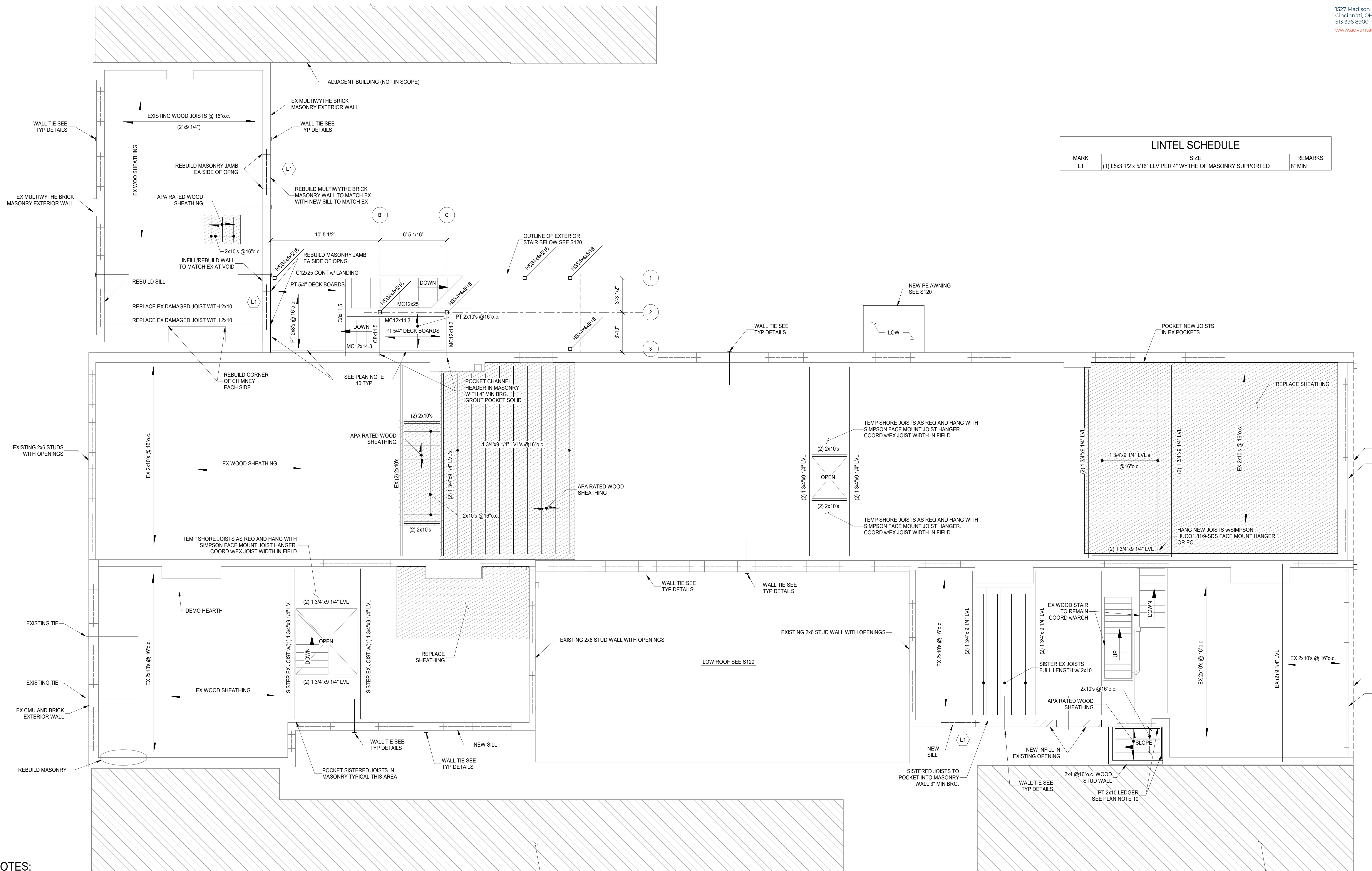
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1726 Vine St / 1728 Vine St / 1730 Vine St / 1675 Hamer St
1724-1728 VINE STREET
CINCINNATI, OH 45202

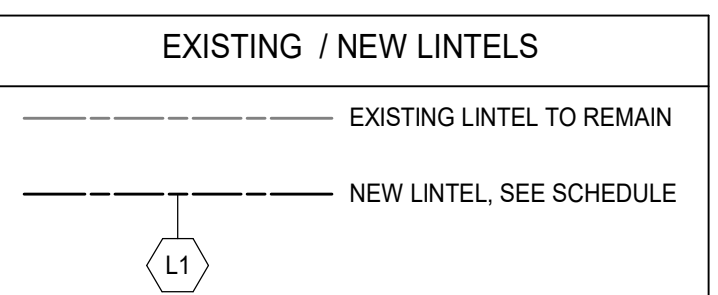


| MARK | SIZE | REMARKS |
|------|--|---------|
| L1 | (1) L5x3 1/2 x 5/16" LLV PER 4" WYTHE OF MASONRY SUPPORTED | 8" MIN |

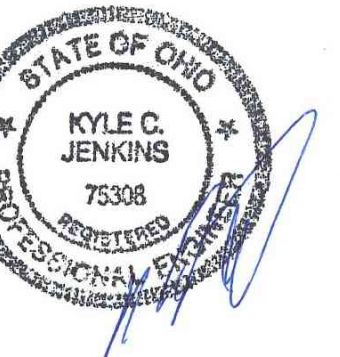
PLAN NOTES:

- COORDINATE ALL DIMENSIONS, DOOR AND WINDOW LOCATIONS WITH ARCHITECTURAL DRAWINGS.
- REMOVE DAMAGED OR SATURATED SHEATHING AND REPLACE WITH NEW APA RATED SHEATHING. REPLACE DAMAGED, SATURATED OR DETERIORATED JOISTS WITH NEW JOISTS OF THE SAME SIZE.
- LUMBER AT 1ST FLOOR AND BASEMENT SHALL BE PRESSURE TREATED.
- WOOD LINTELS AT OPENINGS IN MASONRY WALLS WHERE ROTTED SHALL BE REPLACED WITH A STEEL HSS4x4x3/8 (GALVANIZED) LINTEL AT EACH 4" WYTHE. ALTERNATIVELY USE A 4"x8" PRECAST CONCRETE LINTEL WITH #5 TOP AND BOTTOM EACH 4" WYTHE, OR AN L4x3-1/2x5/16" Lintel LLV, EACH WYTHE.
- SEE STRUCTURAL ELEVATION DRAWINGS FOR EXTERIOR BRICK REPAIR AND TUCKPOINTING.
- REPAIR AND TUCKPOINT INTERIOR MASONRY PER THE GENERAL NOTES.
- FIELD VERIFY ALL EXISTING CONDITIONS, NOTIFY ADVANTAGE GROUP ENGINEERS OF ANY DISCREPANCIES.
- SWS = STRUCTURAL WOOD SCREW. ALLOWABLE SCREWS ARE 1/4" SIMPSON SDS, 1/4" SPAX POWERLAGS OR 1/4" FASTEN MASTER LEDGER LOK.
- FASTEN SISTERS WITH 1/4"x3" SWS @ 24" o.c. STAGGERED UNLESS NOTED OTHERWISE.
- PT LEDGER TO MATCH JOIST FRAMING. FASTEN TO MASONRY WITH (2) ROWS OF 1/2" Ø THREADED ROD ADHESIVE ANCHORS AT 16" o.c. STAGGERED. HANG JOISTS WITH SIMPSON FACE MOUNT HANGERS EA END.
- ALL NEW STRINGERS AT EXTERIOR STAIR TO BE MC12 PER PLANS. COORD LANDING ELEVATIONS, RISE, RUN AND GUARDRAIL/HANDRAIL REQUIREMENTS WITH ARCH DRAWINGS. SUBMIT STEEL SHOP DRAWINGS FOR ENGR REVIEW.
- CONCRETE PIER AT NEW EXTERIOR STAIR TO BE 24"Ø REINFORCE PER PLAN DETAIL A/S10. T/FTG=COORD IN FIELD.
- ALL NEW STEEL AT EXTERIOR STAIR TO BE PAINTED PER OWNER. COORD w/ARCH.
- SEE PLAN DETAIL 2/S310 FOR TYPICAL WALL DETAILS AT 8" CMU INFILL WALL. REINFORCE WALL WITH #5 VERT @32" o.c. AND HORIZ BOND BEAMS WITH (2) #5s AT 24" o.c. GROUT ENTIRE WALL SOLID. SEE INFILL DESIGN NOTES FOR INFILL PROCEDURE. INFILL MUST BE PLACED IN LIFTS AND ALLOWED TO CURE BETWEEN LIFTS TO PREVENT FAILURE OF THE INFILL WALL.
- REPLACE COMPROMISED JOISTS WITH 1 3/4"x11 1/4" LVL @16" o.c.
- EX (5) PLY 2"x12" (10"x12) WD BEM. REPLACE (2) ROTTED PLYS WITH (2) 1 3/4"x11 7/8" LVL's. FASTEN WITH (2) ROWS OF 1/2" DIA THRU BOLTS AT 16" o.c.

3RD FLOOR FRAMING PLAN
SCALE 1/4" = 1'-0"



STRUCTURAL INFORMATION NOTED IS BASED ON ASSUMPTIONS OF CONDITION OF EXISTING FRAMING & FRAMING HIDDEN FROM VISUAL OBSERVATION. DETAILS OF PROPOSED FRAMING MODIFICATION/REPAIRS ARE SUBJECT TO CHANGE ONCE DEMOLITION IS UNDERWAY



| DATE | REVISION/SUBMISSION |
|------------|---------------------|
| 2024.08.30 | 2 BID SET |
| 2023.07.07 | 1 ADDENDUM 1 |
| 2023.05.28 | 1 BID / PERMIT |

Design Team: NFB / SJ
Date: 05/26/2023

1726 Vine St / 1728 Vine St / 1730 Vine St / 1675 Hamer St
FINDLAY FLATS

PREPARED FOR: PLATTE ARCHITECTURE + DESIGN

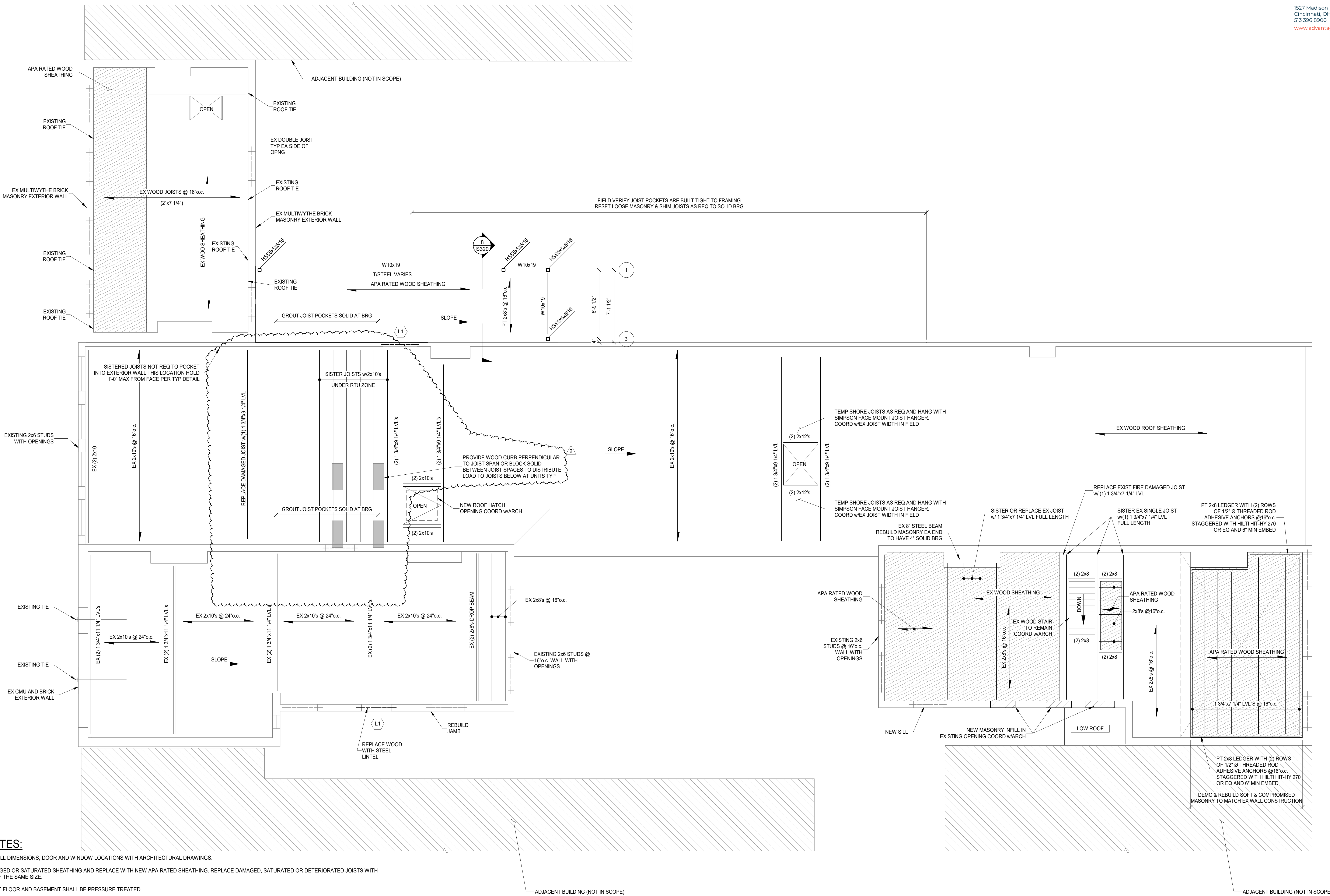
RENOVATION FOR

Proj. No.: 22146.24
Drawing No.

S140

DRAWING TITLE: 4TH FLOOR/LOW ROOF FRAMING PLAN

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PLAN NOTES:

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- SEE STRUCTURAL ELEVATION DRAWINGS FOR EXTERIOR BRICK REPAIR AND TUCKPOINTING.
- REPAIR AND TUCKPOINT INTERIOR MASONRY PER THE GENERAL NOTES.
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- FASTEN SISTERS WITH 1/4"x3" SWS @ 24" o.c. STAGGERED UNLESS NOTED OTHERWISE.
- PT LEDGER TO MATCH JOIST FRAMING. FASTEN TO MASONRY WITH (2) ROWS OF 1/2" Ø THREADED ROD ADHESIVE ANCHORS @ 16" o.c. STAGGERED. HANG JOISTS WITH SIMPSON FACE MOUNT HANGERS EA END.
- ALL NEW STRINGERS AT EXTERIOR STAIR TO BE MC12 PER PLANS. COORD LANDING ELEVATIONS, RISE, RUN AND GUARDRAIL/HANDRAIL REQUIREMENTS WITH ARCH DRAWINGS. SUBMIT STEEL SHOP DRAWINGS FOR ENGR REVIEW.
- CONCRETE PIER AT NEW EXTERIOR STAIR TO BE 24"Ø REINFORCE PER PLAN DETAIL A/S110. T/FTG=COORD IN FIELD.
- ALL NEW STEEL AT EXTERIOR STAIR TO BE PAINTED PER OWNER. COORD w/ARCH.
- SEE PLAN DETAIL 2/S310 FOR TYPICAL WALL DETAILS AT 8" CMU INFILL WALL. REINFORCE WALL WITH #5 VERT @32" o.c. AND HORIZ BOND BEAMS WITH (2) #5s AT 24" o.c. GROUT ENTIRE WALL SOLID. SEE INFILL DESIGN NOTES FOR INFILL PROCEDURE. INFILL MUST BE PLACED IN LIFTS AND ALLOWED TO CURE BETWEEN LIFTS TO PREVENT FAILURE OF THE INFILL WALL.
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4TH FLOOR/LOW ROOF FRAMING PLAN
SCALE 1/4" = 1'-0"



| LINTEL SCHEDULE | | |
|-----------------|--|---------|
| MARK | SIZE | REMARKS |
| L1 | (1) L5x3 1/2 x 5/16" LVL PER 4" WYTHE OF MASONRY SUPPORTED | 8" MIN |

| EXISTING / NEW LINTELS | |
|------------------------|---------------------------|
| | EXISTING LINTEL TO REMAIN |
| | NEW LINTEL, SEE SCHEDULE |

STRUCTURAL INFORMATION NOTED IS BASED ON ASSUMPTIONS OF CONDITION OF EXISTING FRAMING & FRAMING HIDDEN FROM VISUAL OBSERVATION. DETAILS OF PROPOSED FRAMING MODIFICATION/REPAIRS ARE SUBJECT TO CHANGE ONCE DEMOLITION IS UNDERWAY



| | | | |
|---|---------------------|------------|------|
| 2 | BID SET | 2024.08.30 | |
| 1 | ADDENDUM 1 | 2023.07.07 | Date |
| # | REVISION/SUBMISSION | | |

Design Team: NFB / SJ
Date: 05/26/2023

1726 Vine St / 1728 Vine St / 1730 Vine St / 1675 Hamer St

PREPARED FOR: PLATTE ARCHITECTURE + DESIGN

RENOVATION FOR

1726 Vine St / 1728 Vine St / 1730 Vine St / 1675 Hamer St

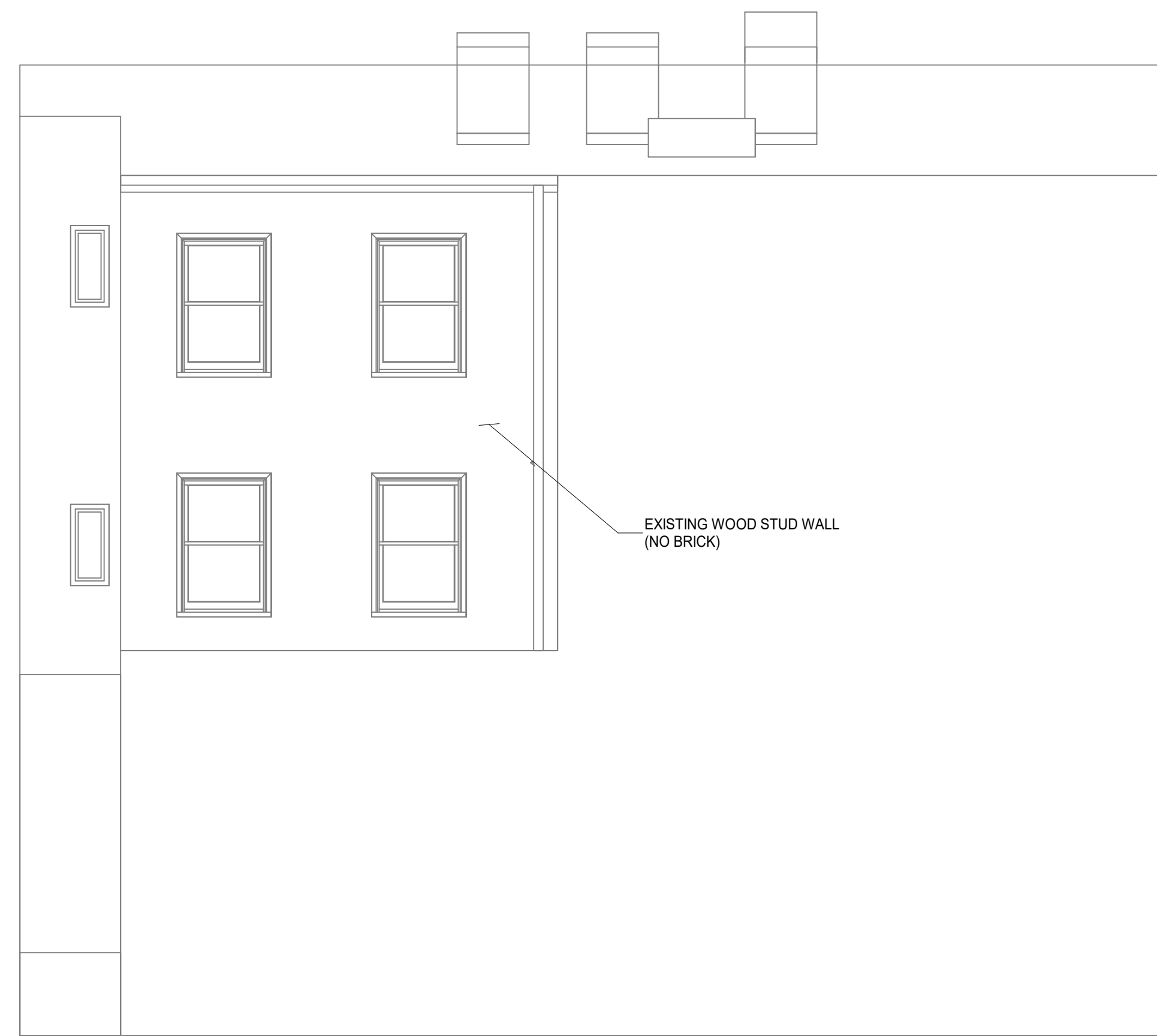
CINCINNATI, OH 45220

FINDLAY FLATS

Proj. No.: 22146.24
Drawing No.

S200

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WEST INSET ELEVATION
SCALE 1/4" = 1'-0"



EAST INSET ELEVATION
SCALE 1/4" = 1'-0"



EAST ELEVATION
SCALE 1/4" = 1'-0"

ELEVATION NOTES:

1. TUCKPOINT JOINTS IN MASONRY WHERE MORTAR IS SOFT, DAMAGED OR MISSING.
2. REMOVE AND REPLACE SPALLING OR SOFT BRICK THAT IS COMPROMISED MORE THAN 3/4" OF DEPTH.
3. REMOVE CRACKED, DAMAGED OR SEVERELY SPALLED LINTELS AND REPLACE WITH RECLAIMED STONE OR CAST STONE LINTEL TO MATCH EXISTING.
4. ALL OBSERVATIONS WHERE MADE FROM THE GROUND LEVEL AND REPAIRS ARE SUBJECT TO CHANGE BASED ON CONTRACTOR HANDS ON INSPECTIONS.
5. AT CRACKS OR DAMAGED AREAS OF PARGE COAT, CONTRACTOR SHALL REMOVE ALL PARGE COAT THAT IS NOT SOUNDLY CONNECTED TO THE BRICK, AND REPLACE WITH NEW PARGE COAT. TUCKPOINT ANY DETERIORATED MORTAR JOINTS PRIOR TO APPLYING NEW PARGE COAT.
6. ALL EXTERIOR MASONRY REPAIR ELEVATIONS ARE FOR REFERENCE AND BIDDING PURPOSES. CONTRACTOR IS RESPONSIBLE FOR EVALUATING CONDITION OF MASONRY IN FIELD AND COORDINATING SCOPE OF REPAIR WITH ARCHITECT.

BRICK REPAIR LEGEND:

- TUCKPOINT
- REPLACE BRICK
- REPAIR BRICK
- NEW MASONRY

STRUCTURAL INFORMATION NOTED IS BASED ON ASSUMPTIONS OF CONDITION OF EXISTING FRAMING & FRAMING HIDDEN FROM VISUAL OBSERVATION. DETAILS OF PROPOSED FRAMING MODIFICATION/REPAIRS ARE SUBJECT TO CHANGE ONCE DEMOLITION IS UNDERWAY

DRAWING TITLE: ELEVATIONS



| # | REVISION/SUBMISSION | DATE |
|---|---------------------|------------|
| 2 | BID SET | 2024.08.30 |
| 1 | ADDENDUM 1 | 2023.07.07 |

Design Team: NFB / SJ
Date: 05/26/2023

1726 Vine St / 1728 Vine St / 1730 Vine St / 1675 Hamer St

PREPARED FOR: PLATTE ARCHITECTURE + DESIGN

RENOVATION FOR

1726 Vine St / 1728 Vine St / 1730 Vine St / 1675 Hamer St

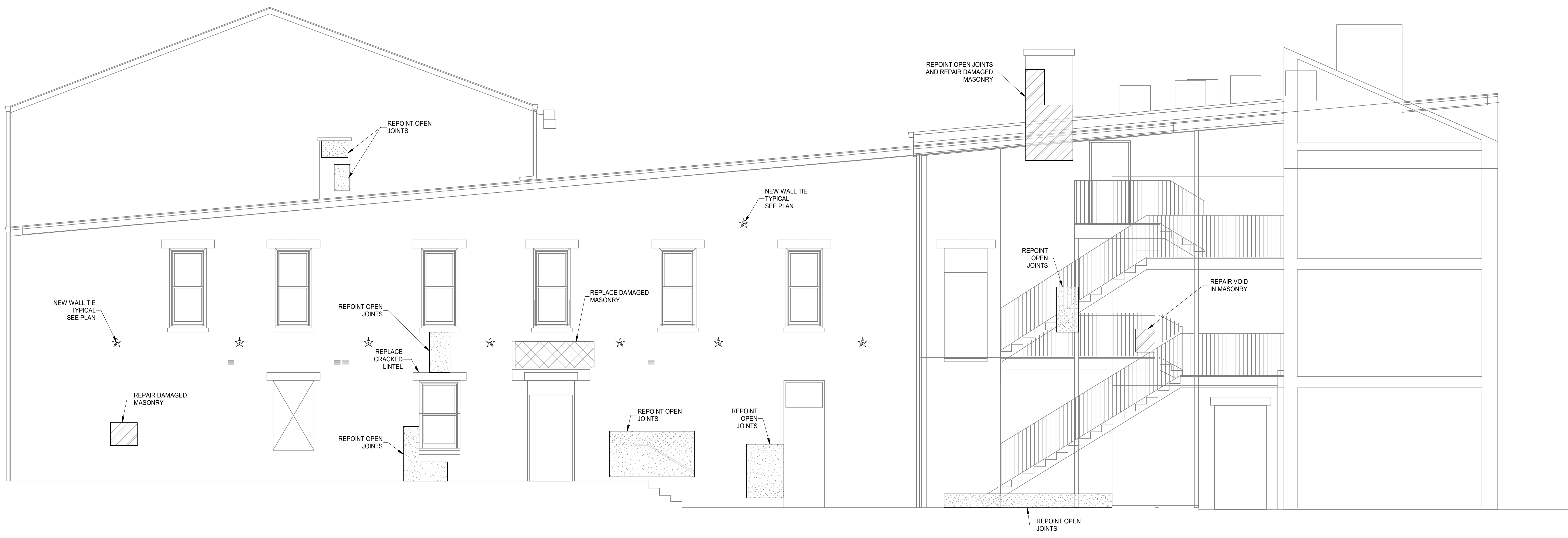
CINCINNATI, OH 45220

FINDLAY FLATS

Proj. No.: 22146.24
Drawing No.

S201

DRAWING TITLE: ELEVATIONS



NORTH ELEVATION
SCALE 1/4" = 1'-0"


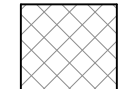




WEST ELEVATION
SCALE 1/4" = 1'-0"

ELEVATION NOTES:

1. TUCKPOINT JOINTS IN MASONRY WHERE MORTAR IS SOFT, DAMAGED OR MISSING.
2. REMOVE AND REPLACE SPALLING OR SOFT BRICK THAT IS COMPROMISED MORE THAN 3/4" OF DEPTH.
3. REMOVE CRACKED, DAMAGED OR SEVERLY SPALLED LINTELS AND REPLACE WITH RECLAIMED STONE OR CAST STONE LINTEL TO MATCH EXISTING.
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BRICK REPAIR LEGEND:

-  TUCKPOINT
-  REPLACE BRICK
-  REPAIR BRICK
-  NEW MASONRY

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1724-1728 VINE STREET
CINCINNATI, OH 45202



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| 1 | ADDENDUM 1 | 2023.07.07 |

Design Team: NFB / SJ
Date: 05/26/2023

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PREPARED FOR: PLATTE ARCHITECTURE + DESIGN
RENOVATION FOR
1726 Vine St / 1728 Vine St / 1730 Vine St / 1675 Hamer St
CINCINNATI, OH 45220
FINDLAY FLATS

Proj. No.: 22146.24
Drawing No.

S202

DRAWING TITLE: ELEVATIONS



SOUTH ELEVATION
SCALE 1/4" = 1'-0"

ELEVATION NOTES:

1. TUCKPOINT JOINTS IN MASONRY WHERE MORTAR IS SOFT, DAMAGED OR MISSING.
2. REMOVE AND REPLACE SPALLING OR SOFT BRICK THAT IS COMPROMISED MORE THAN 3/4" OF DEPTH.
3. REMOVE CRACKED, DAMAGED OR SEVERLY SPALLED LINTELS AND REPLACE WITH RECLAIMED STONE OR CAST STONE LINTEL TO MATCH EXISTING.
4. ALL OBSERVATIONS WHERE MADE FROM THE GROUND LEVEL AND REPAIRS ARE SUBJECT TO CHANGE BASED ON CONTRACTOR HANDS ON INSPECTIONS.
5. AT CRACKS OR DAMAGED AREAS OF PARGE COAT, CONTRACTOR SHALL REMOVE ALL PARGE COAT THAT IS NOT SOUNDLY CONNECTED TO THE BRICK, AND REPLACE WITH NEW PARGE COAT. TUCKPOINT ANY DETERIORATED MORTAR JOINTS PRIOR TO APPLYING NEW PARGE COAT.
6. ALL EXTERIOR MASONRY REPAIR ELEVATIONS ARE FOR REFERENCE AND BIDDING PURPOSES. CONTRACTOR IS RESPONSIBLE FOR EVALUATING CONDITION OF MASONRY IN FIELD AND COORDINATING SCOPE OF REPAIR WITH ARCHITECT.

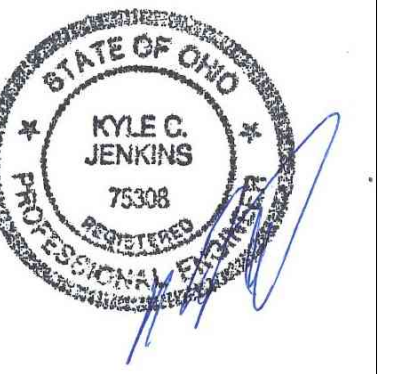
BRICK REPAIR LEGEND:

- TUCKPOINT
- REPLACE BRICK
- REPAIR BRICK
- NEW MASONRY

STRUCTURAL INFORMATION NOTED IS BASED ON ASSUMPTIONS OF CONDITION OF EXISTING FRAMING & FRAMING HIDDEN FROM VISUAL OBSERVATION. DETAILS OF PROPOSED FRAMING MODIFICATION/REPAIRS ARE SUBJECT TO CHANGE ONCE DEMOLITION IS UNDERWAY

1724-1728 VINE STREET
CINCINNATI, OH 45202

1726 Vine St / 1728 Vine St / 1730 Vine St / 1675 Hamer St



| # | REVISION/SUBMISSION | Date |
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| 2 | BID SET | 2024.08.30 |
| 1 | ADDENDUM 1 | 2023.07.07 |

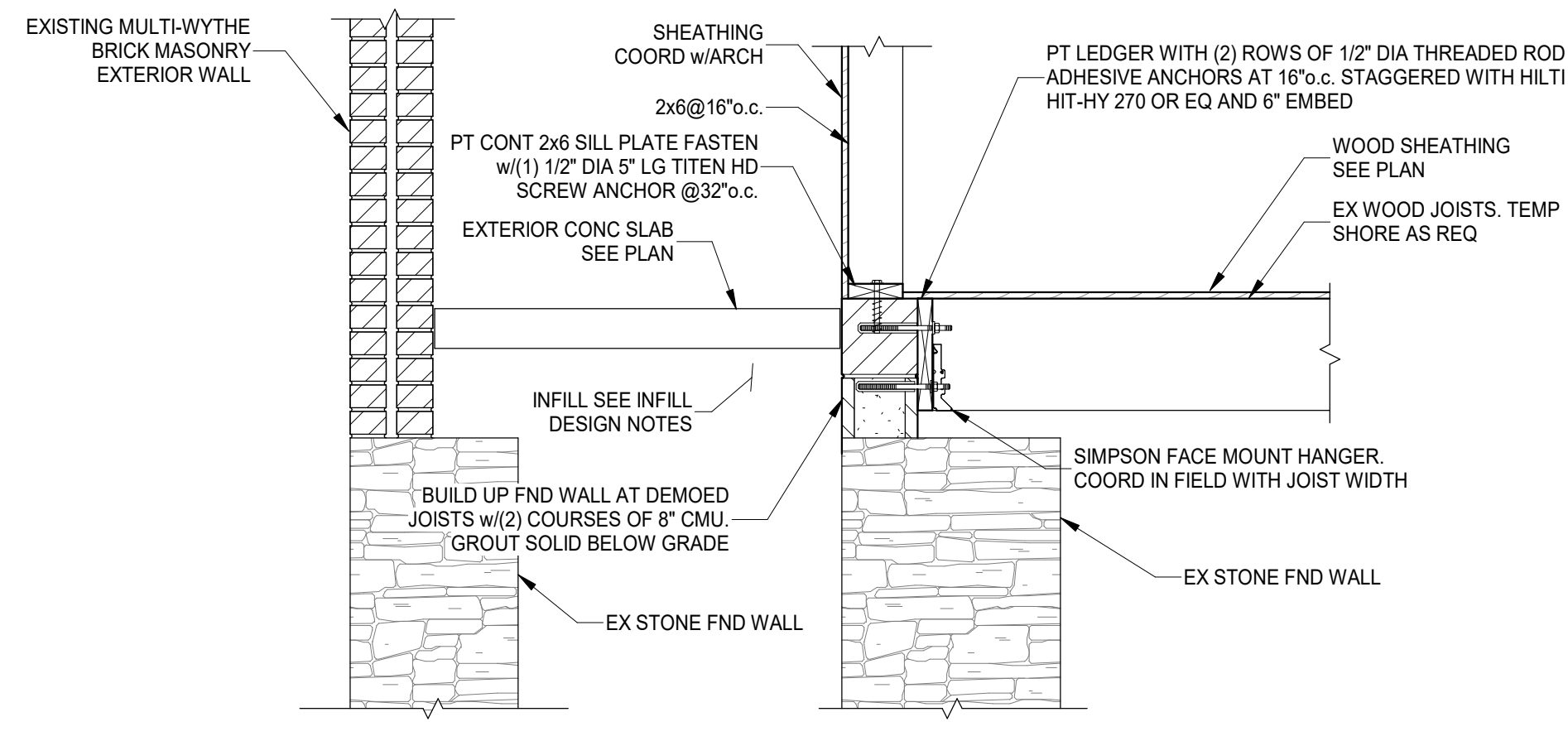
Design Team: NFB / SJ
Date: 05/26/2023

PREPARED FOR: PLATTE ARCHITECTURE + DESIGN
RENOVATION FOR
1726 Vine St / 1728 Vine St / 1730 Vine St / 1675 Hamer St
CINCINNATI, OH 45220
FINDLAY FLATS

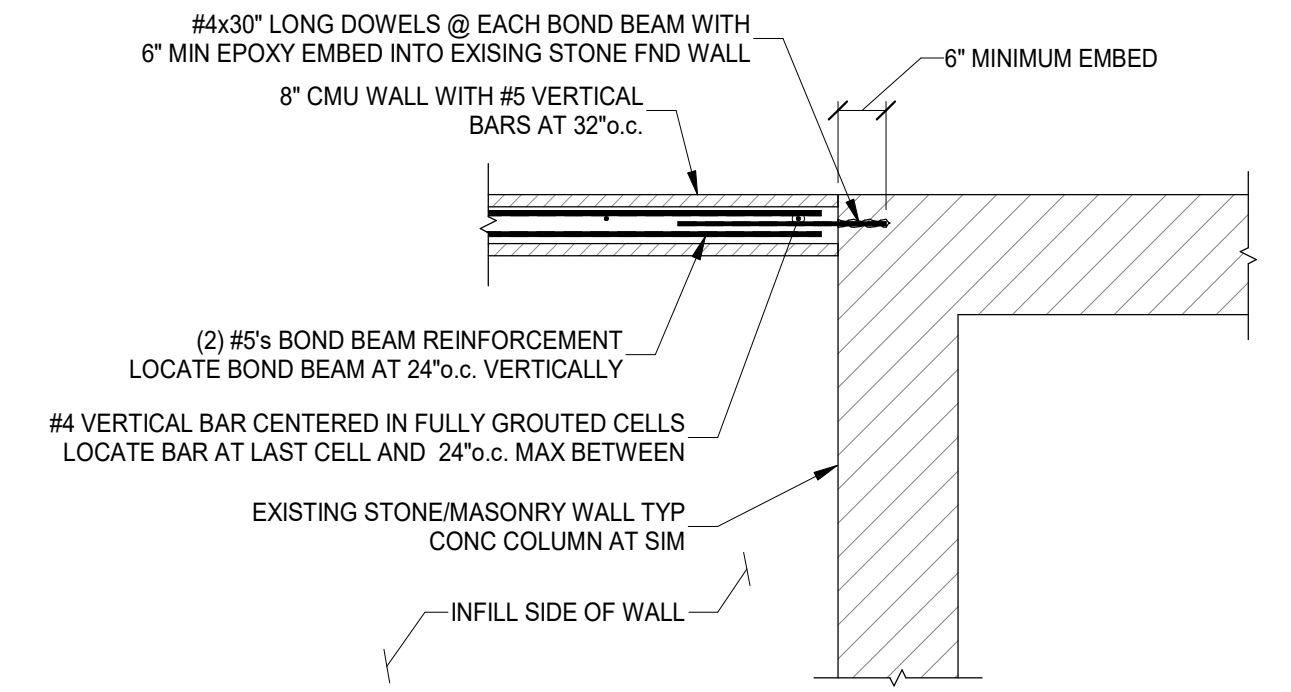
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S310

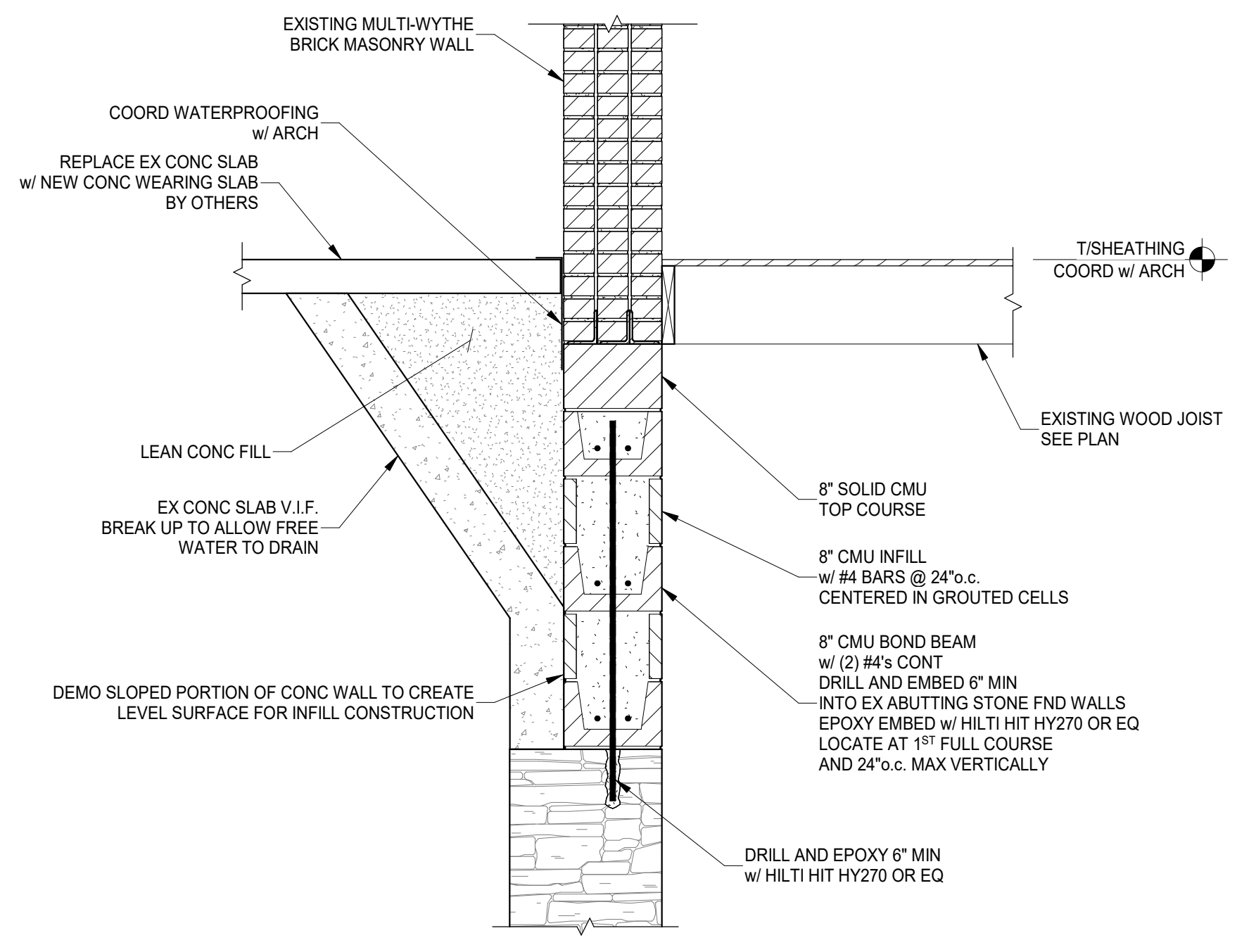
1726 Vine St / 1728 Vine St / 1730 Vine St / 1675 Hamer St
1724-1728 VINE STREET
CINCINNATI, OH 45202



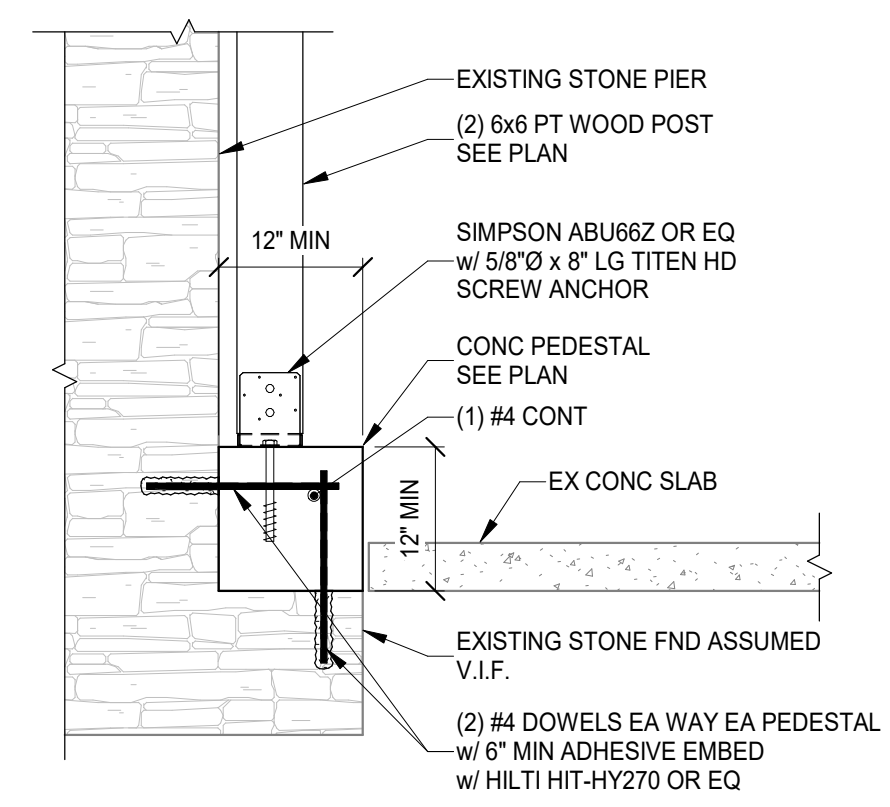
SECTION 1
SCALE 3/4" = 1'-0"
S310



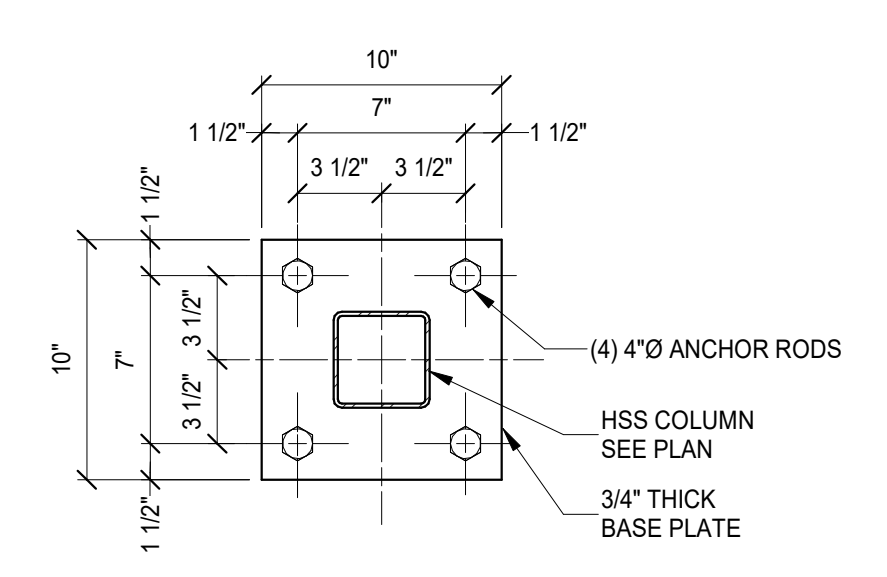
SECTION 2
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S310



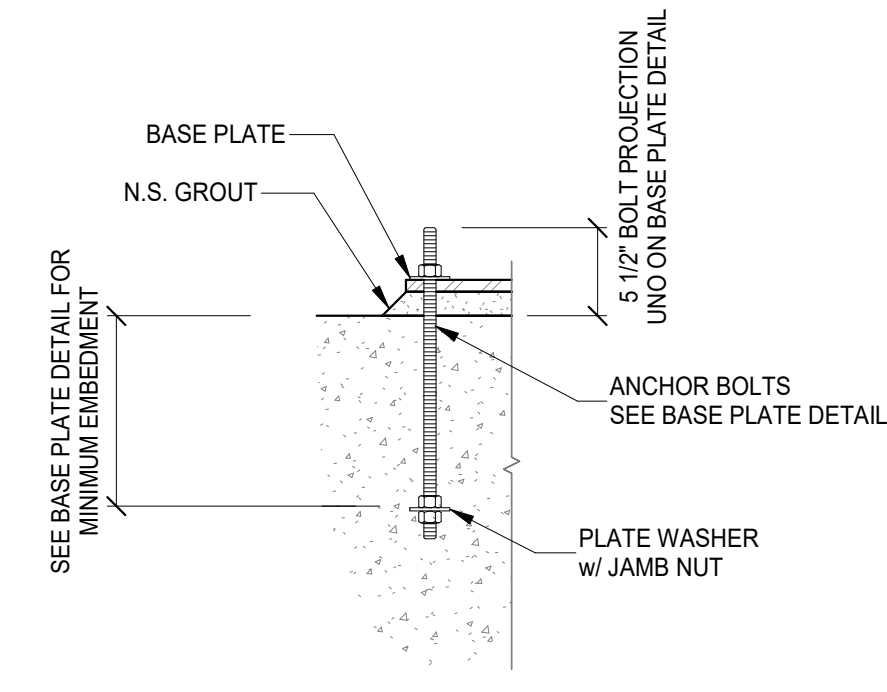
SECTION 3
SCALE 3/4" = 1'-0"
S310



SECTION 4
SCALE 3/4" = 1'-0"
S310



TYP HSS4x4 BASE PLATE DETAIL
SCALE 1 1/2" = 1'-0"

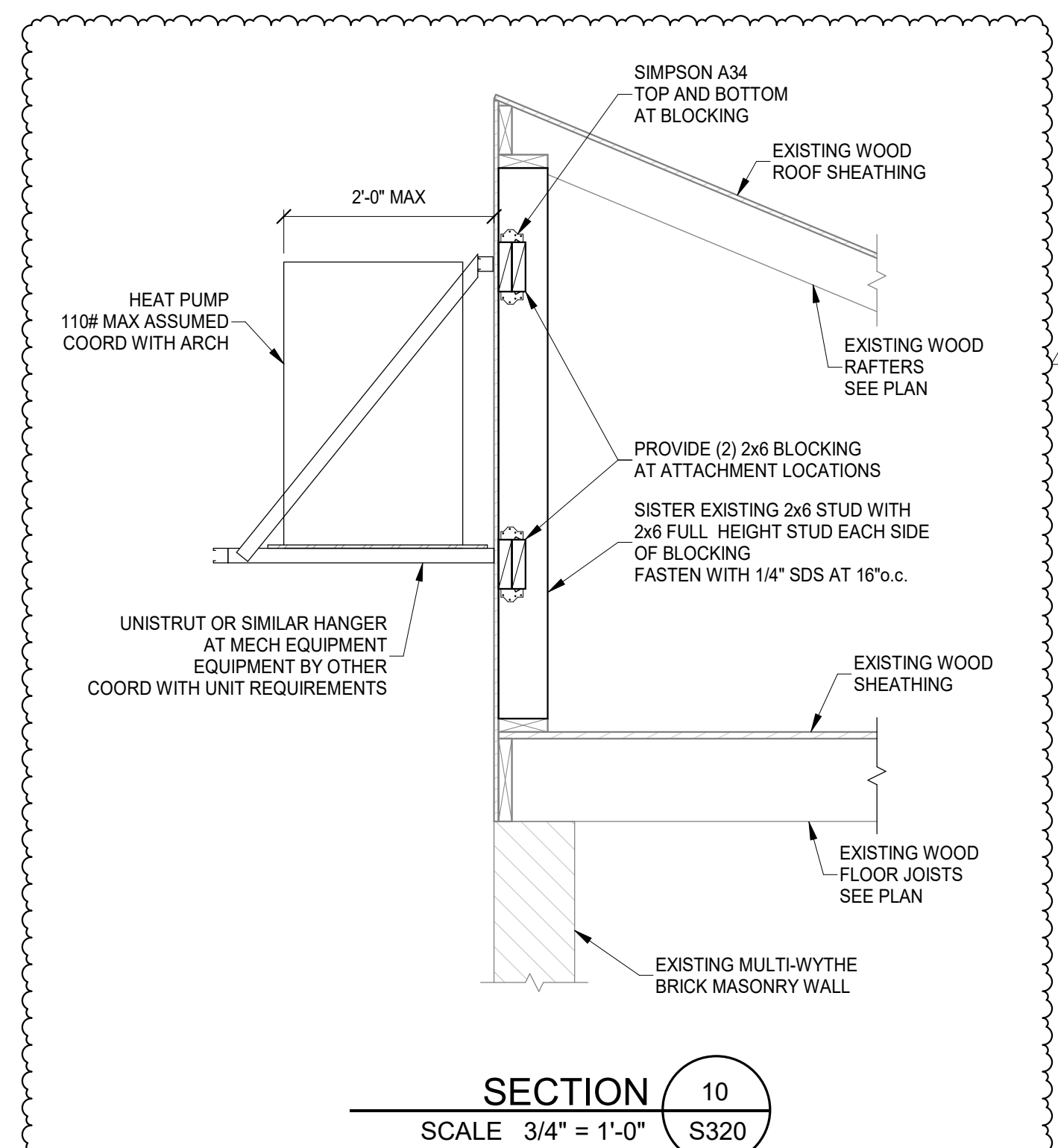
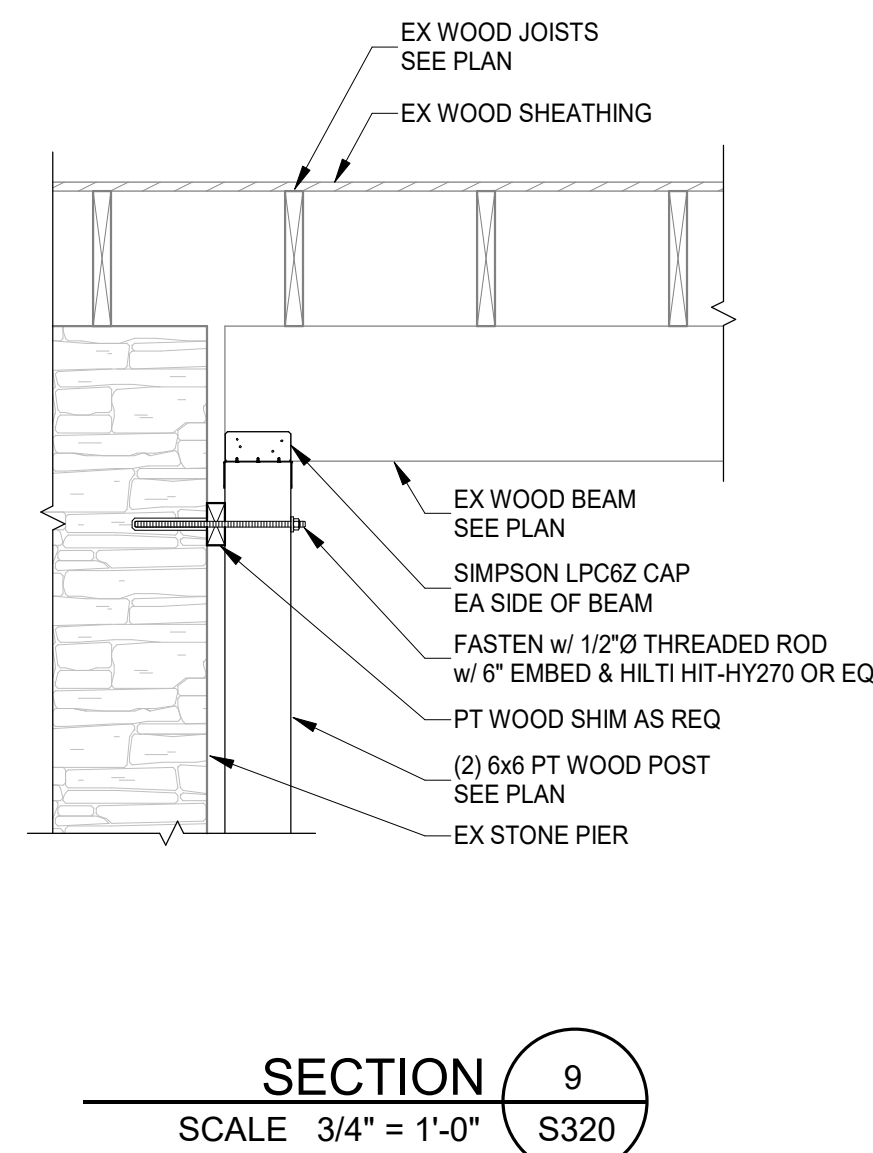
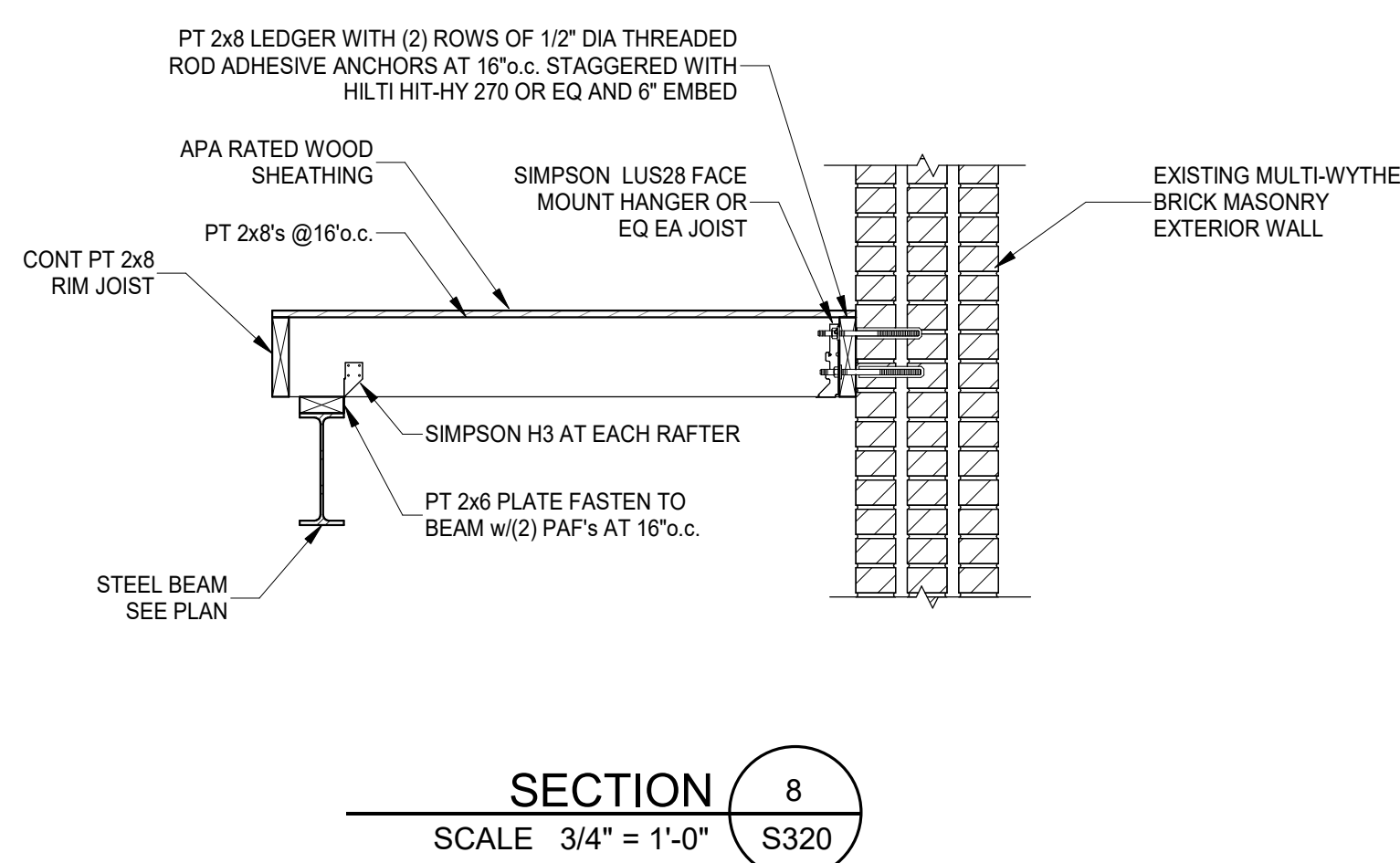
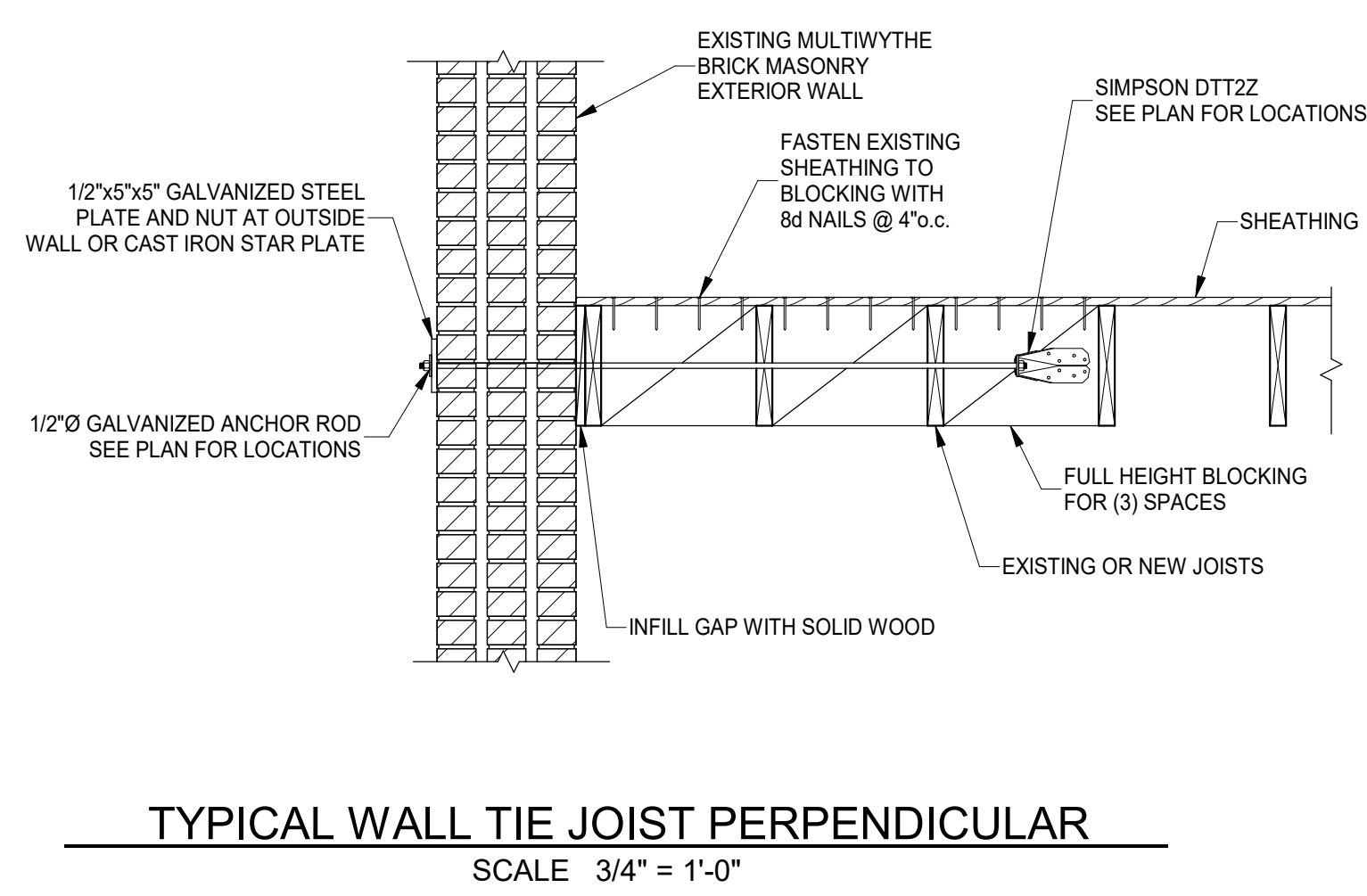
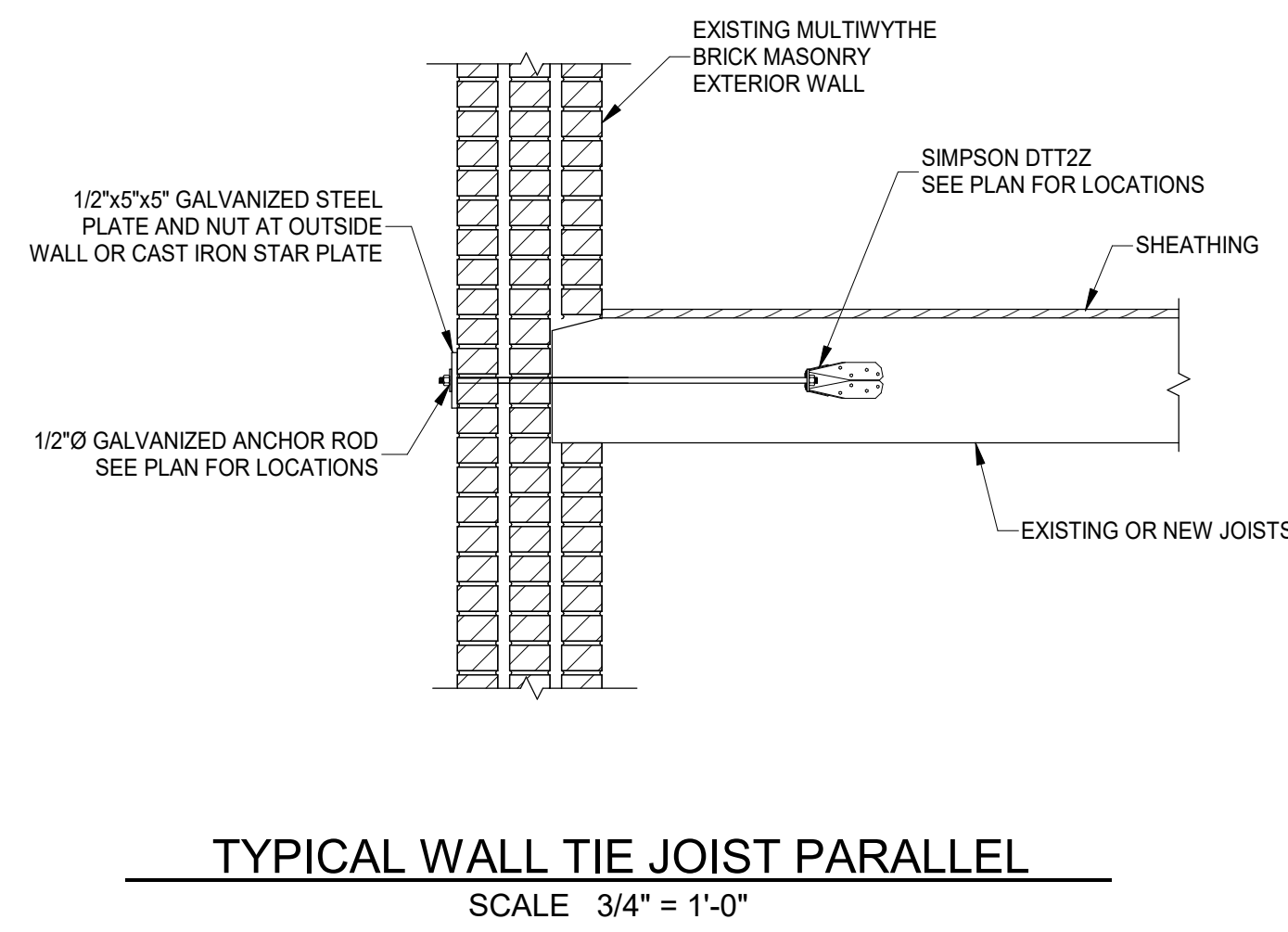
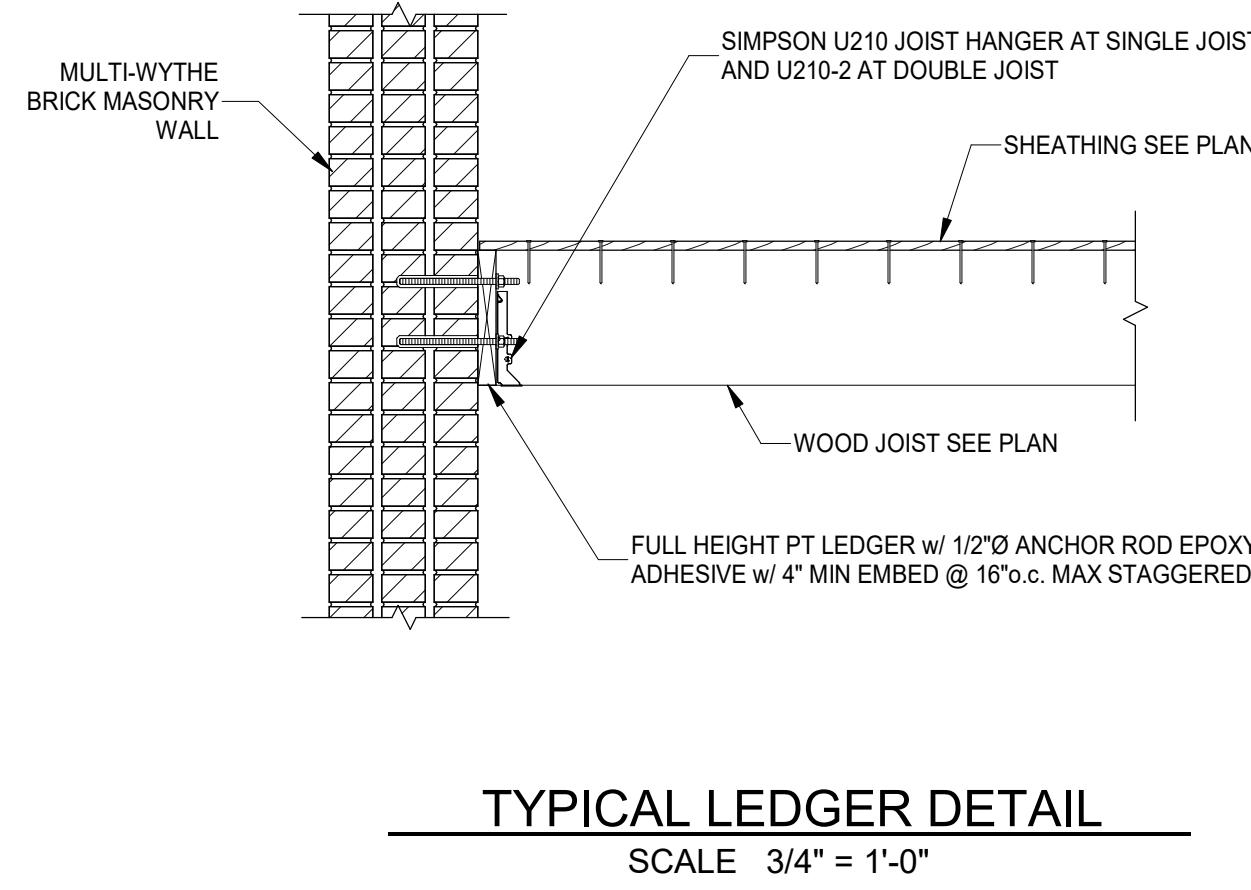
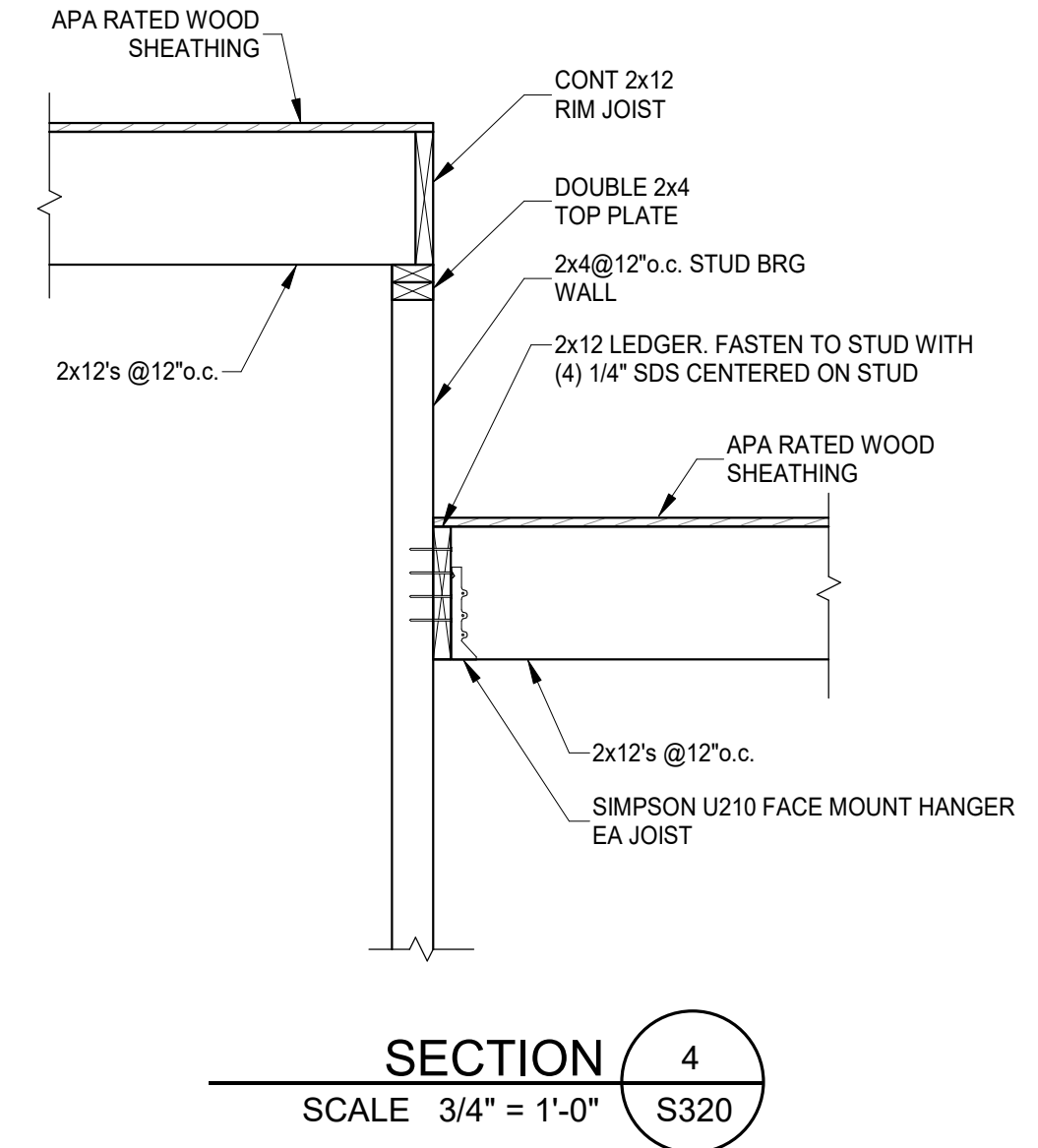
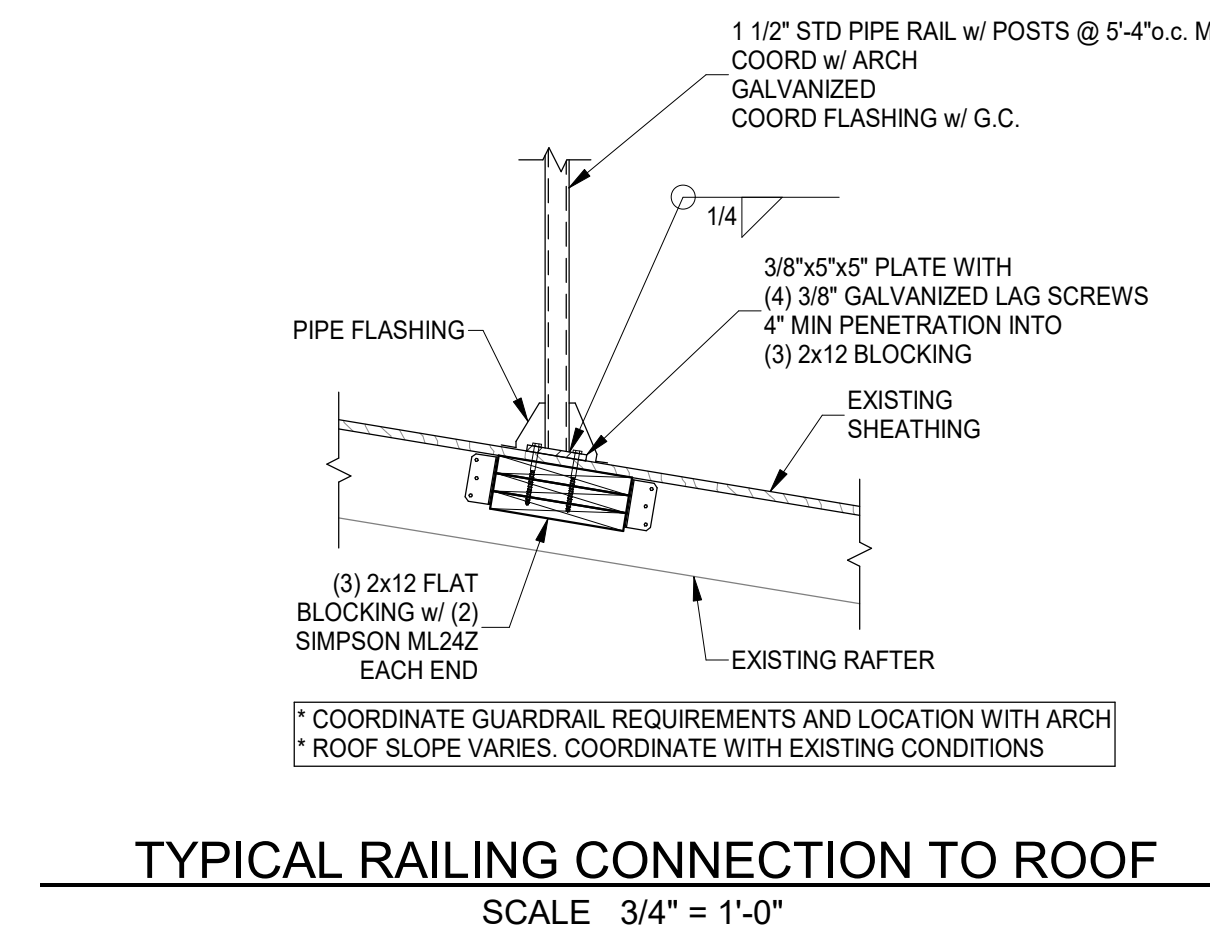
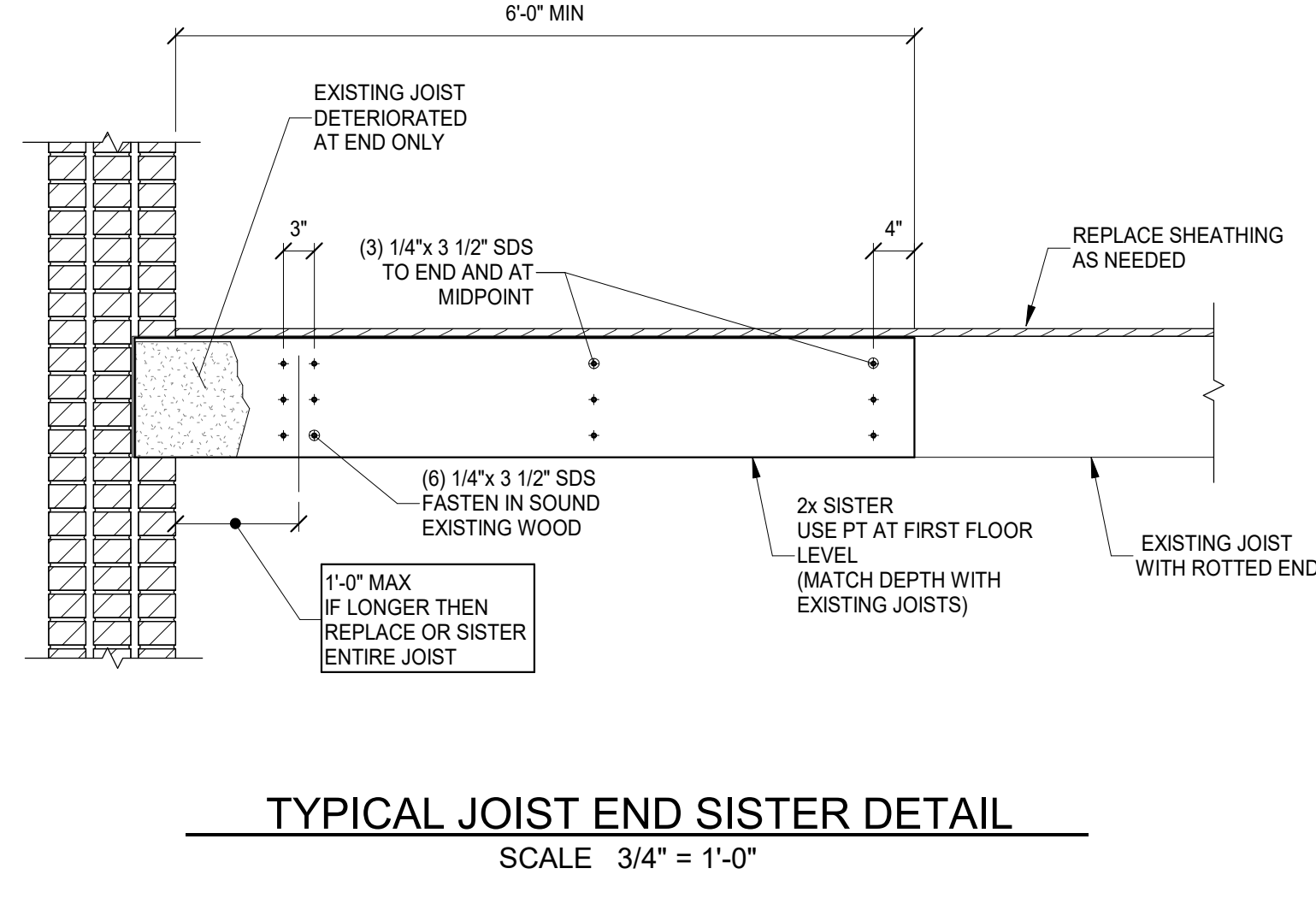
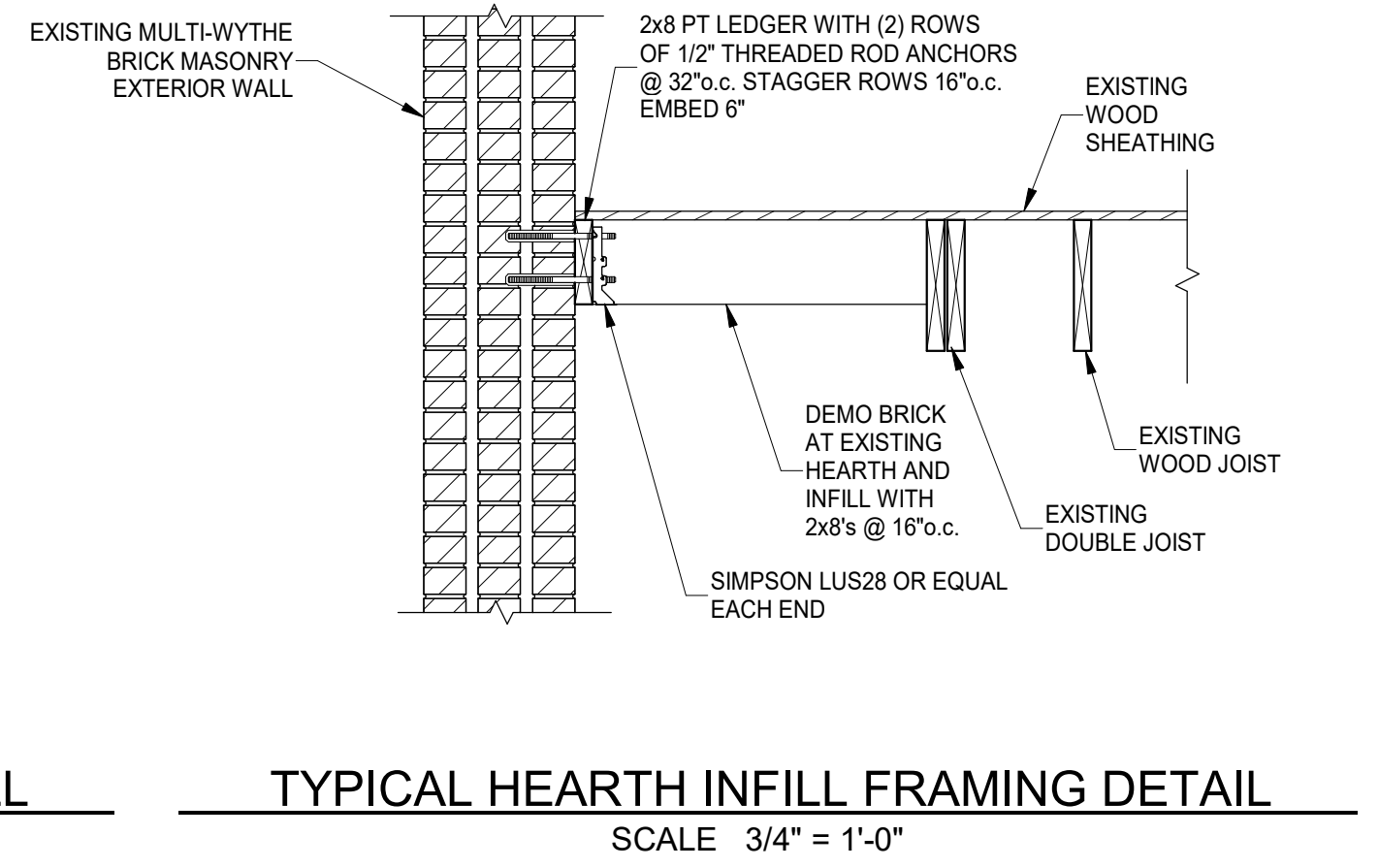
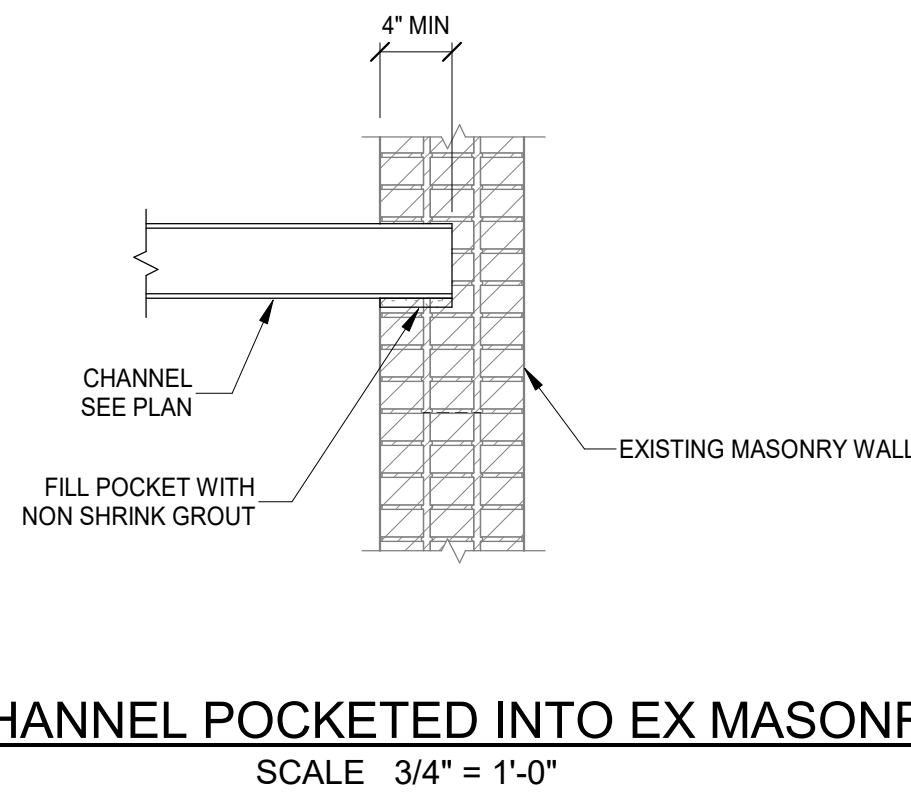
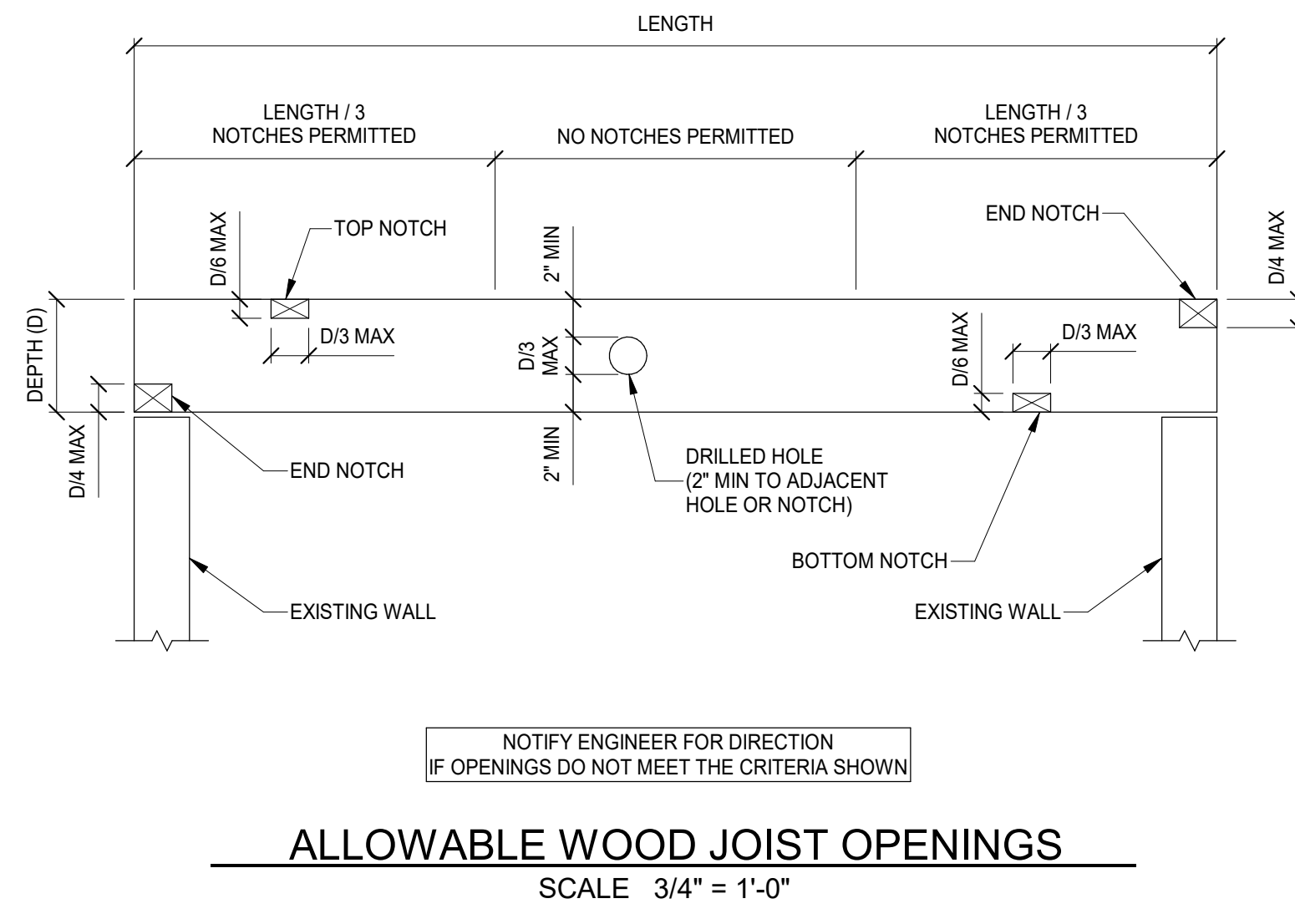
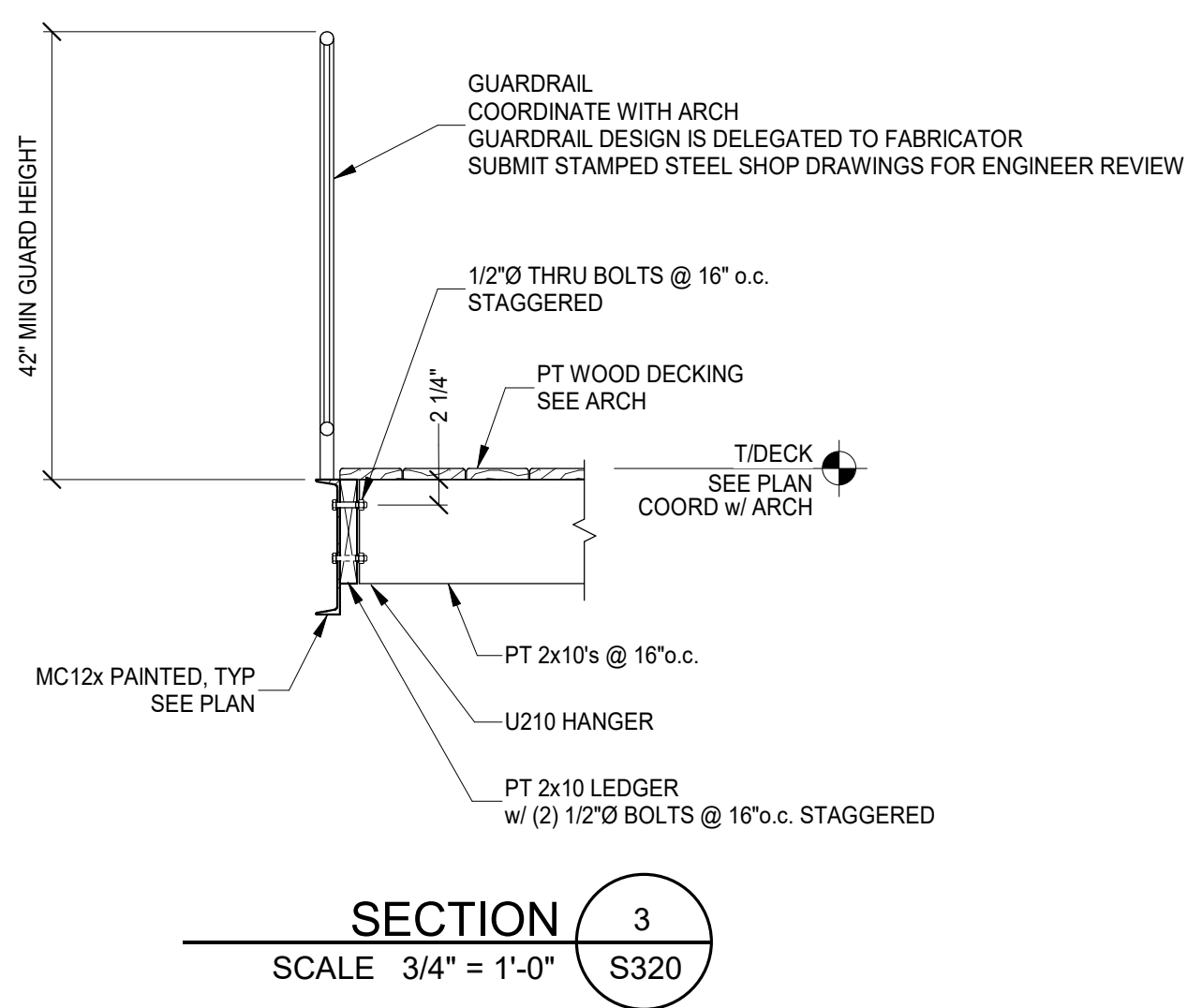
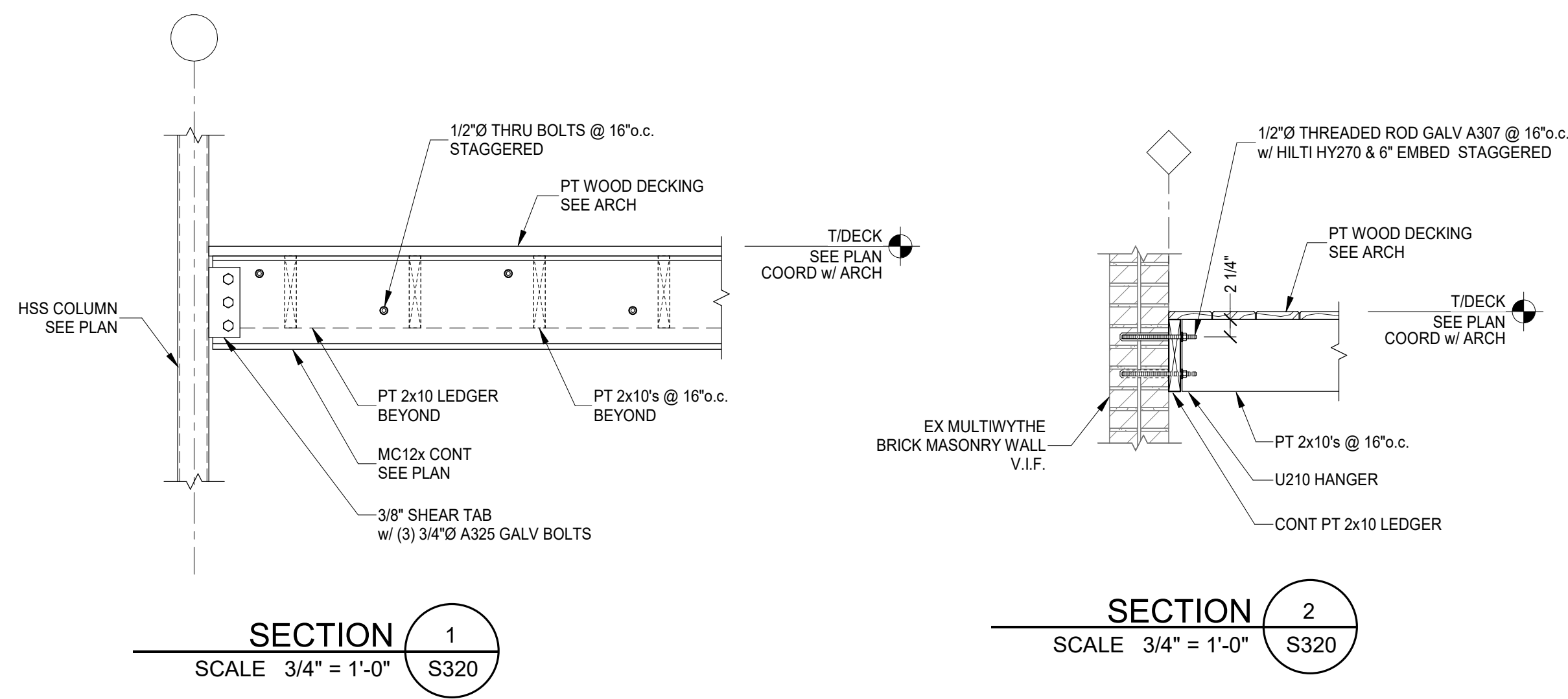


TYPICAL ANCHOR BOLT
SCALE 1" = 1'-0"

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DRAWING TITLE: FOUNDATION SECTIONS

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| | |
|------------|---------------------|
| 2024.08.30 | DATE |
| 2023.07.07 | REVISION/SUBMISSION |
| 2023.05.28 | REVISION/SUBMISSION |
| 1 | BID / PERMIT |
| 2 | BID SET |

Design Team: NFB / SJ
Date: 05/26/2023

PREPARED FOR: PLATTE ARCHITECTURE + DESIGN
1726 Vine St / 1728 Vine St / 1730 Vine St / 1675 Hamer St
CINCINNATI, OH 45202
FINDLAY FLATS

Proj. No.: 22146.24
Drawing No.

S320

Z:\Project_Directories\9700-9799\9757 - Findlay Flats - Friday Parkside (Williamson) 2 Phase II\Construction Documents\Phase 1 (8 Buildings)\1724 MNA\9757-MI-00-MECHANICAL-BASEMENT-PLAN.dwg - ERS - Rev. Date/Time: Aug. 30, 2024-9:28am - (K+)

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KEYED SHEET NOTES

- ROUTE 3/4" CONDENSATE DRAIN LINE TO FLOOR DRAIN IN MECHANICAL CLOSET. SLOPE PIPE A MINIMUM OF 1/8" PER FOOT AWAY FROM UNIT.
- ROUTE LINE SET FROM OUTDOOR UNIT TO INDOOR AIR HANDLER. ALL PIPING SHALL BE CONCEALED IN FINISHED AREA. SIZE PER MANUFACTURERS RECOMMENDATIONS.
- RETURN DUCT UP TO FIRST FLOOR.
- SUPPLY DUCT UP TO FIRST FLOOR.
- ALL BASEMENTS SHALL BE VENTILATED AS STORAGE/WAREHOUSE SPACE IN ACCORDANCE WITH TABLE 403.3 OF THE 2017 OHIO MECHANICAL CODE AT A RATE OF 0.06 CFM PER SQUARE FOOT. PROVIDE NEW FAN IN BASEMENT FOR CODE MINIMUM OSA LISTED ABOVE.
- FRESH AIR INTAKE THRU WALL TO WALL CAP.
- DUCT EXHAUST UP THROUGH ROOF WITH RAIN-PROOF CAP.
- 4" EXHAUST DUCT TO BE ROUTED DIRECTLY TO ROOF. AS ALLOWED PER 717.8.1 EXCEPTION. DUCT MUST BE MINIMUM 28 GA. AND BE CONTAINED WITHIN WALL CAVITY FOR FULL LENGTH. FIRE CAULK AROUND ALL PENETRATIONS. REFER TO DETAIL.
- 6" EXHAUST TO BE ROUTED DIRECTLY TO ROOF, AS ALLOWED PER OBC 714.4.1 EXCEPTION 1.
- UNDERCUT DOOR 1" ABOVE FINISHED FLOOR FOR RETURN/MAKE UP AIR. DUCTED RETURN BETWEEN TRANSFER GRILLES TO AVOID EXPOSED WALL CAVITY.
- ROUTE EXHAUST TO EXTERIOR WALL. INSTALL A LOUVERED VENT. SEE ARCHITECT BEFORE PENETRATION FOR EXACT LOCATION AND COLOR COORDINATION. ALL EXHAUST SHALL MEET THE FOLLOWING REQUIREMENTS.
 - 3' FROM PROPERTY LINE.
 - 3' FROM OPERABLE OPENINGS INTO BUILDING.
 - 10' FROM MECHANICAL AIR INTAKE.
- ROUTE 3/4" CONDENSATE DRAIN LINE TO FLOOR DRAIN IN BASEMENT. SLOPE PIPE A MINIMUM OF 1/8" PER FOOT AWAY FROM UNIT. PROVIDE CONDENSATE PUMP AS REQUIRED.
- DUCTED RETURN SLEEVE TO AVOID EXPOSED WALL CAVITY.
- ROUTE EXHAUST DUCT UP IN JOIST POCKET. RATING SHALL BE MAINTAINED AROUND JOIST TO PREVENT FIRE DAMPER. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- MECHANICAL CONTRACTOR TO PROVIDE AND INSTALL LINE-SET COVERS FOR ALL EXPOSED REFRIGERANT PIPING AND CONDENSATE PIPING.
- ROUTE 3/4" CONDENSATE DRAIN LINE TO FLOOR DRAIN IN WASHER/ DRYER CLOSET. SLOPE PIPE A MINIMUM OF 1/8" PER FOOT AWAY FROM UNIT. PROVIDE CONDENSATE PUMP AS REQUIRED EQUAL TO LITTLE GIANT EC-1K-DV SERIES ALL CONDENSATE PUMPS, PIPING ETC. MUST BE CONCEALED FROM SIGHT.
- RETURN DUCT DOWN TO FLOOR BELOW.
- SUPPLY DUCT DOWN TO FLOOR BELOW.
- MECHANICAL CONTRACTOR TO COORDINATE DUCT ROUTING WITH PLUMBING CONTRACTOR.

DIFFUSER, GRILLE, AND REGISTER SCHEDULE

| CALLOUT | DESCRIPTION | FACE SIZE (IN) | INLET SIZE (IN) | MODEL | NOTES |
|---------|---|----------------|-----------------|----------------------|---|
| DVH-4 | 28 GAUGE GALVANIZED STEEL. PRE-PAINTED DRYER VENT. | 6x7 | 4Ø | FAMCO DWVP | BACKDRAFT DAMPER/ANGLED HOOD. |
| EVH-4 | 28 GAUGE GALVANIZED STEEL. PRE-PAINTED EXHAUST VENT. | 6x7 | 4Ø | FAMCO SDWVP | BACKDRAFT DAMPER/ANGLED HOOD. 1/4 INCH INSECT SCREEN. |
| EVH-6 | 28 GAUGE GALVANIZED STEEL. PRE-PAINTED EXHAUST VENT. | 8x9 | 6Ø | FAMCO SDWVP | BACKDRAFT DAMPER/ANGLED HOOD. 1/4 INCH INSECT SCREEN. |
| FR-2 | FLOOR REGISTER, ALL-STEEL CONSTRUCTION, 75% FREE AREA, TOE-OPERATED VALVE CONTROL | 14x6 | 12x4 | HART AND COOLEY/ 210 | GOLDEN SAND ENAMEL FINISH |
| FR-6 | FLOOR REGISTER, ALL-STEEL CONSTRUCTION, 75% FREE AREA, TOE-OPERATED VALVE CONTROL | 14x8 | 12x6 | HART AND COOLEY/ 210 | GOLDEN SAND ENAMEL FINISH |
| FR-8 | FLOOR REGISTER, ALL-STEEL CONSTRUCTION, 75% FREE AREA, TOE-OPERATED VALVE CONTROL | 16x10 | 14x8 | HART AND COOLEY/ 210 | GOLDEN SAND ENAMEL FINISH |
| FRG-1 | RETURN AIR FILTER GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES | 26x10 | 24x8 | HART AND COOLEY/ 265 | GOLDEN SAND ENAMEL FINISH |
| FRG-3 | RETURN AIR FILTER GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES | 32x14 | 30x12 | HART AND COOLEY/ 265 | GOLDEN SAND ENAMEL FINISH |
| IVH-6 | 28 GAUGE GALVANIZED STEEL. PRE-PAINTED INTAKE VENT. | 8x9 | 6Ø | FAMCO SWVP | ANGLED HOOD. 1/4 INCH INSECT SCREEN. |
| IVH-8 | 28 GAUGE GALVANIZED STEEL. PRE-PAINTED INTAKE VENT. | 10x11 | 8Ø | FAMCO SWVP | ANGLED HOOD. 1/4 INCH INSECT SCREEN. |
| RG-1 | EGGCRATE RETURN GRILLE | 12x12 | 10x10 | TITUS 50F | #26 WHITE FINISH. |
| RG-7 | RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES | 22x12 | 20x10 | HART AND COOLEY/ 650 | BRIGHT WHITE FINISH |
| RG-8 | RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES | 22x16 | 20x14 | HART AND COOLEY/ 650 | BRIGHT WHITE FINISH |
| RG-11 | RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES | 22x27 | 20x25 | HART AND COOLEY/ 650 | BRIGHT WHITE FINISH |
| SDG1W-2 | ALUMINUM SINGLE DEFLECTION SPIRAL DIFFUSER | 14x5 | 12x3 | HART AND COOLEY/ SV | ADJUSTABLE DAMPER, BRIGHT WHITE FINISH |
| SR1W-1 | STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING | 10x6 | 8x4 | HART AND COOLEY/ 651 | ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH |
| SR1W-1C | STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING | 10x6 | 8x4 | HART AND COOLEY/ 651 | ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH |
| SR1W-2C | STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING | 12x6 | 10x4 | HART AND COOLEY/ 651 | ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH |
| SR2W-2 | STEEL 2-WAY REGISTER, MS DAMPER, 1/3" FIN SPACING | 12x6 | 10x4 | HART AND COOLEY/ 661 | ADJUSTABLE DAMPER IN FACE, BRIGHT WHITE FINISH |
| SR2W-3 | STEEL 2-WAY REGISTER, MS DAMPER, 1/3" FIN SPACING | 16x6 | 14x4 | HART AND COOLEY/ 661 | ADJUSTABLE DAMPER IN FACE, BRIGHT WHITE FINISH |
| SR2W-3C | STEEL 2-WAY REGISTER, MS DAMPER, 1/3" FIN SPACING | 16x6 | 14x4 | HART AND COOLEY/ 661 | ADJUSTABLE DAMPER IN FACE, BRIGHT WHITE FINISH |
| SR2W-4 | STEEL 2-WAY REGISTER, MS DAMPER, 1/3" FIN SPACING | 14x8 | 12x6 | HART AND COOLEY/ 661 | ADJUSTABLE DAMPER IN FACE, BRIGHT WHITE FINISH |
| SR2W-5 | STEEL 2-WAY REGISTER, MS DAMPER, 1/3" FIN SPACING | 16x8 | 14x6 | HART AND COOLEY/ 661 | ADJUSTABLE DAMPER IN FACE, BRIGHT WHITE FINISH |

MECHANICAL SCOPE OF WORK (PLAN REVIEW ONLY)

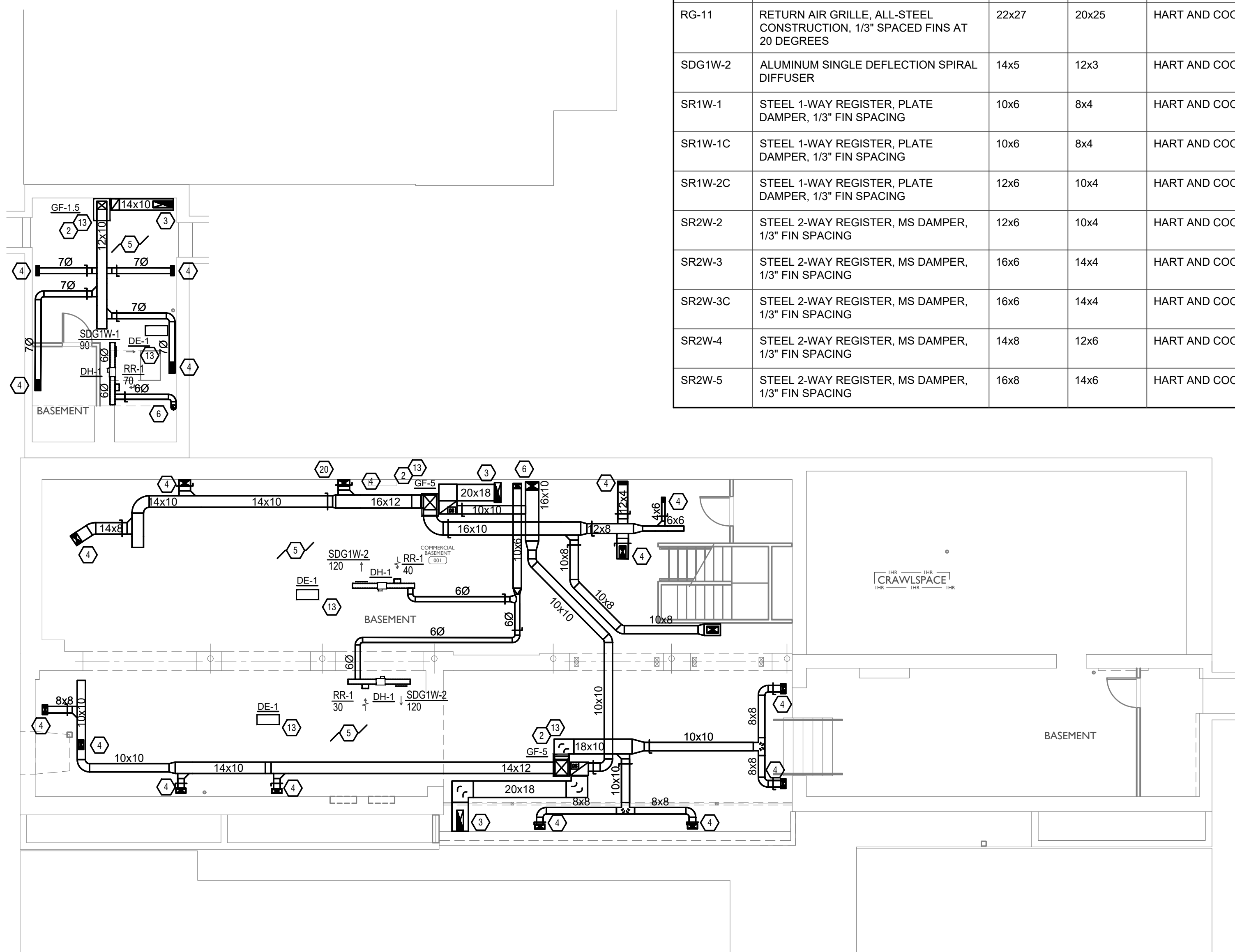
MECHANICAL SCOPE OF WORK IS TO PROVIDE NEW HVAC EQUIPMENT TO RESIDENTIAL AND COMMERCIAL SPACES. MECHANICAL CONTRACTOR SHALL REFERENCE ALL DISCIPLINE DRAWING, ETC. TO REVEAL FULL SCOPE OF WORK. REFER TO MECHANICAL SPECIFICATIONS FOR ADDITIONAL DETAILS.

HVAC DESIGN CONDITIONS

| COMMERCIAL | | RESIDENTIAL | |
|--------------------------------|-----------------------|--------------------|--------------------|
| COOLING OUTDOOR: 93 DB / 75 WB | HEATING OUTDOOR: 0 DB | COOLING INDOOR: 75 | HEATING INDOOR: 70 |

GENERAL NOTES

- FOR FULL SCHEDULES, SPECIFICATIONS, AND COMPLETE LISTING SEE DETAIL SHEETS.
- COORDINATE ROUTING OF ALL WORK WITH OTHER TRADES.
- COORDINATE WITH ELECTRICAL CONTRACTOR FOR POWER CONNECTIONS TO ALL MECHANICAL EQUIPMENT.
- INSTALL ALL EQUIPMENT PER MANUFACTURER'S REQUIREMENTS. MAINTAIN ALL CODE RECOMMENDED CLEARANCES FOR ACCESS AND MAINTENANCE.
- REFER TO ARCHITECTURAL PLANS FOR DIMENSIONS, AND FINAL CEILING DIFFUSER LOCATIONS.
- PROVIDE BACKDRAFT DAMPERS FOR ALL EXHAUST SYSTEMS AND EITHER LOUVER, BRICK VENT, OR CAPS AT ALL EXTERIOR BUILDING PENETRATIONS.
- IN DWELLING UNITS, ROUTE ALL SUPPLY, RETURN, AND EXHAUST DUCTWORK ABOVE DROP CEILING OR IN BULKHEADS. COORDINATE ROUTING WITH ARCHITECTURAL DRAWINGS. DUCTS SHALL BE RUN BELOW THE RATED FLOOR/CEILING.
- ROUTE ALL AIR CONDITIONER CONDENSATE TO NEARBY FLOOR DRAIN. PROVIDE MINIMUM SLOPE OF 1/8" PER FOOT. SIZE CONDENSATE PER SECTION 307.2.2 OF THE OHIO MECHANICAL CODE.
- MOUNT THERMOSTATS 60" ABOVE FINISHED FLOOR. MOUNT THERMOSTATS IN ADA UNITS 40" ABOVE FINISHED FLOOR.
- ANY EQUIPMENT THAT IS SUBSTITUTED SHALL FIT IN THE SPACE PROVIDED WITH ADEQUATE ROOM FOR SERVICING, INCLUDING SUBSTITUTE EQUIPMENT NAMED IN THE SPECIFICATIONS. SUBMIT A 1/4" SCALE DRAWING OF ALL EQUIPMENT SUBSTITUTED FOR APPROVAL PRIOR TO INSTALLATION, INCLUDING, BUT NOT LIMITED TO, STRUCTURAL AND ARCHITECTURAL IMPACT, CLEARANCE REQUIREMENTS AND UTILITY REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR TO COORDINATE ALL NEW ELECTRICAL AND PLUMBING REQUIREMENTS WITH THE ELECTRICAL AND PLUMBING CONTRACTORS.
- MATERIALS WITHIN PLENUMS SHALL BE NONCOMBUSTIBLE OR SHALL BE LISTED AND LABELED AS HAVING A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND SMOKE-DEVELOPED INDEX OF NOT MORE THAN 50 WHEN TESTED IN ACCORDANCE WITH ASTM E 84 OR UL 723.
- THE FOLLOWING GUIDELINES MUST BE FOLLOWED FOR THE DOMESTIC DRYER EXHAUST SYSTEMS.
 - EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH AND BE CONSTRUCTED OF METAL A MINIMUM OF 28 GAUGE.
 - DUCT SIZE SHALL BE 4 INCHES NOMINAL DIAMETER.
 - DUCTS SHALL BE SUPPORTED AT 4-FOOT INTERVALS AND SECURED IN PLACE. THE INSERT END OF THE DUCT SHALL EXTEND INTO THE ADJOINING DUCT OR FITTING IN THE DIRECTION OF AIRFLOW.
 - DUCTS SHALL NOT BE JOINED WITH SCREWS OF SIMILAR FASTENERS THAT PROTRUDE MORE THAN 1/8" INTO THE INSIDE OF THE DUCT.
 - PROTECTIVE SHIELD PLATES SHALL BE PLACED WHERE NAILS OR SCREWS FROM FINISH OR OTHER WORK ARE LIKELY TO PENETRATE THE CLOTHES DRYER EXHAUST DUCT SHIELD PLATES SHALL BE PLACED ON THE FINISHED FACE OF ALL FRAMING MEMBERS WHERE THERE IS LESS THAN 1-1/4 INCHES BETWEEN THE DUCT AND THE FINISHED FACE OF THE FRAMING MEMBER. SHIELD PLATES SHALL BE CONSTRUCTED OF STEEL, HAVE A THICKNESS OF 0.062 INCHES, AND EXTEND NOT LESS THAN 2 INCHES ABOVE SOLE PLATES AND BELOW TOP PLATES.
 - TRANSITION DUCTS USED TO CONNECT THE DRYER TO THE EXHAUST DUCT SYSTEM SHALL BE A SINGLE LENGTH THAT IS LISTED AND LABELED IN ACCORDANCE WITH UL 2158A. TRANSITION DUCTS SHALL BE NOT GREATER THAN 8 FEET IN LENGTH AND SHALL NOT BE CONCEALED WITHIN CONSTRUCTION.
 - PROVIDE DRYER WALL BOX EQUAL TO DUNDAS JAFINE MODEL DR4X2W NEAR DRYER.
 - PROVIDE A PERMANENT LABEL OR TAG (EQUAL TO DRYER/PLACARD) INDICATING ACTUAL EQUIVALENT LENGTH OF EXHAUST DUCT. LENGTH SHALL INCLUDE 5' FOR 90. LABEL/TAG MUST BE WITHIN 6' OF DRYER EXHAUST CONNECTION. DRYER EXHAUST DUCT FITTING EQUIVALENT LENGTH SHALL BE 2'-0" FOR A RADIUS MITERED 45-DEGREE ELBOW AND 5 FEET FOR A RADIUS MITERED 90-DEGREE ELBOW.



SYMBOLS LEGEND - HVAC

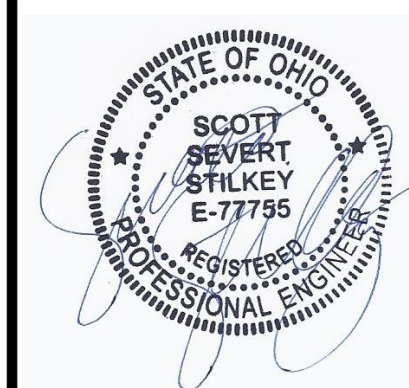
| | |
|-------|--------------------------------|
| ⊖ | THERMOSTAT |
| ⊗ | CEILING DIFFUSER |
| → | SIDE WALL GRILLE |
| ← | RETURN WALL GRILLE |
| ↔ | AIR FLOW DIRECTION |
| 14x10 | DUCTWORK |
| ⊗ | TYPICAL SUPPLY DUCT DN |
| ⊖ | TYPICAL RETURN DUCT DN |
| ⊗ | TYPICAL EXHAUST DUCT |
| ⊖ | TURNING VANES |
| ⊗ | FLEXIBLE DUCT, 8'-0" LONG MAX. |
| ⊖ | TYPICAL ROUND DUCT DN |
| ⊖ | ROUND DUCT UP |
| ⊖ | MANUAL VOLUME DAMPER |
| ⊖ | DROPPED CEILING/SOFFIT |
| ⊖ | DUCT SMOKE DETECTOR |

SCALE: 1/8" = 1'-0"

MECHANICAL PLAN - BASEMENT | 1

PLATTE
architecture + design

202 W. ELDER STREET, 4TH FLOOR | CINCINNATI, OH 45202
WWW.PLATTEDESIGN.COM | T: 513.871.1850 | F: 513.871.1829



Progress Dates
05/26/2023 BID/PERMIT
08/30/2024 BID SET 2

Revisions

Checked By: SSS

Drawn by: RFG

PR-09757
ENGINEERING BUILDING SYSTEMS INC.
TEAMWORK • COLLABORATION
SHARED SUCCESS
515 Monmouth Street, Suite 204
Newport, KY 41071 (859) 261-0585
MEP Consulting Services, Inc. in OH
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PROPOSED PROJECT:
RENOVATION FOR
1726 Vine St / 1728 Vine St / 1730 Vine St /
1675 Hamer St
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/10/2022

MI.00

Z:\Project_Directories\9700-9799\9757 - Findlay Flats - Friday Parkside (Williamson 2 Phase II) - Construction Documents - Phase 1 (8 Buildings) - RFR - RFP - Model - Plot Date/Time: Aug 29, 2024 - 10:49am - Bc_derek_grundy
 THESE DRAWINGS AND SPECIFICATIONS ARE NOT AUTHORIZED TO BE USED AS CONTRACT DOCUMENTS. THESE DRAWINGS HAVE BEEN PREPARED TO DEMONSTRATE COMPLIANCE WITH APPLICABLE CODES, AND ARE INTENDED TO PROVIDE THE AUTHORITIES HAVING JURISDICTION WITH INFORMATION TO DETERMINE CODE COMPLIANCE. THE INSTALLING CONTRACTOR IS RESPONSIBLE TO ENSURE THAT MEANS, METHODS, AND MATERIALS USED IN CONSTRUCTION ARE INSTALLED IN ACCORDANCE WITH ANY CONTRACTUAL AGREEMENT THAT MAY EXIST WITH AN OWNER, CONSTRUCTION MANAGER, GENERAL CONTRACTOR, ETC.

- ### KEYED SHEET NOTES
- ROUTE 3/4" CONDENSATE DRAIN LINE TO FLOOR DRAIN IN MECHANICAL CLOSET. SLOPE PIPE A MINIMUM OF 1/8" PER FOOT AWAY FROM UNIT.
 - ROUTE LINE SET FROM OUTDOOR UNIT TO INDOOR AIR HANDLER. ALL PIPING SHALL BE CONCEALED IN FINISHED AREA. SIZE PER MANUFACTURERS RECOMMENDATIONS.
 - RETURN DUCT UP TO FIRST FLOOR.
 - SUPPLY DUCT UP TO FIRST FLOOR.
 - ALL BASEMENTS SHALL BE VENTILATED AS STORAGE/WAREHOUSE SPACE IN ACCORDANCE WITH TABLE 403.3 OF THE 2017 OHIO MECHANICAL CODE AT A RATE OF 0.06 CFM PER SQUARE FOOT. PROVIDE NEW FAN IN BASEMENT FOR CODE MINIMUM OSA LISTED ABOVE.
 - FRESH AIR INTAKE THRU WALL TO WALL CAP.
 - DUCT EXHAUST UP THROUGH ROOF WITH RAIN-PROOF CAP.
 - 4" EXHAUST DUCT TO BE ROUTED DIRECTLY TO ROOF, AS ALLOWED PER 717.8.1 EXCEPTION. DUCT MUST BE MINIMUM 28 GA. AND BE CONTAINED WITHIN WALL CAVITY FOR FULL LENGTH. FIRE CAULK AROUND ALL PENETRATIONS. REFER TO DETAIL.
 - 6" EXHAUST TO BE ROUTED DIRECTLY TO ROOF, AS ALLOWED PER OBC 714.4.1 EXCEPTION 1.
 - UNDERCUT DOOR 1" ABOVE FINISHED FLOOR FOR RETURN/MAKE UP AIR. DUCTED RETURN BETWEEN TRANSFER GRILLES TO AVOID EXPOSED WALL CAVITY.
 - ROUTE EXHAUST TO EXTERIOR WALL. INSTALL A LOUVERED VENT. SEE ARCHITECT BEFORE PENETRATION FOR EXACT LOCATION AND COLOR COORDINATION. ALL EXHAUST SHALL MEET THE FOLLOWING REQUIREMENTS.
 - 3' FROM PROPERTY LINE.
 - 3' FROM OPERABLE OPENINGS INTO BUILDING.
 - 10' FROM MECHANICAL AIR INTAKE.
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 - RETURN DUCT DOWN TO FLOOR BELOW.
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DIFFUSER, GRILLE, AND REGISTER SCHEDULE

| CALLOUT | DESCRIPTION | FACE SIZE (IN) | INLET SIZE (IN) | MODEL | NOTES |
|---------|---|----------------|-----------------|----------------------|---|
| DVH-4 | 28 GAUGE GALVANIZED STEEL. PRE-PAINTED DRYER VENT. | 6x7 | 4Ø | FAMCO DWVP | BACKDRAFT DAMPER/ANGLED HOOD. |
| EVH-4 | 28 GAUGE GALVANIZED STEEL. PRE-PAINTED EXHAUST VENT. | 6x7 | 4Ø | FAMCO SDWVP | BACKDRAFT DAMPER/ANGLED HOOD. 1/4 INCH INSECT SCREEN. |
| EVH-6 | 28 GAUGE GALVANIZED STEEL. PRE-PAINTED EXHAUST VENT. | 8x9 | 6Ø | FAMCO SDWVP | BACKDRAFT DAMPER/ANGLED HOOD. 1/4 INCH INSECT SCREEN. |
| FR-2 | FLOOR REGISTER, ALL-STEEL CONSTRUCTION, 75% FREE AREA, TOE-OPERATED VALVE CONTROL | 14x6 | 12x4 | HART AND COOLEY/ 210 | GOLDEN SAND ENAMEL FINISH |
| FR-6 | FLOOR REGISTER, ALL-STEEL CONSTRUCTION, 75% FREE AREA, TOE-OPERATED VALVE CONTROL | 14x8 | 12x6 | HART AND COOLEY/ 210 | GOLDEN SAND ENAMEL FINISH |
| FR-8 | FLOOR REGISTER, ALL-STEEL CONSTRUCTION, 75% FREE AREA, TOE-OPERATED VALVE CONTROL | 16x10 | 14x8 | HART AND COOLEY/ 210 | GOLDEN SAND ENAMEL FINISH |
| FRG-1 | RETURN AIR FILTER GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES | 26x10 | 24x8 | HART AND COOLEY/ 265 | GOLDEN SAND ENAMEL FINISH |
| FRG-3 | RETURN AIR FILTER GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES | 32x14 | 30x12 | HART AND COOLEY/ 265 | GOLDEN SAND ENAMEL FINISH |
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| SR1W-1C | STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING | 10x6 | 8x4 | HART AND COOLEY/ 651 | ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH |
| SR1W-2C | STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING | 12x6 | 10x4 | HART AND COOLEY/ 651 | ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH |
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| SR2W-3 | STEEL 2-WAY REGISTER, MS DAMPER, 1/3" FIN SPACING | 16x6 | 14x4 | HART AND COOLEY/ 661 | ADJUSTABLE DAMPER IN FACE, BRIGHT WHITE FINISH |
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MECHANICAL SCOPE OF WORK (PLAN REVIEW ONLY)

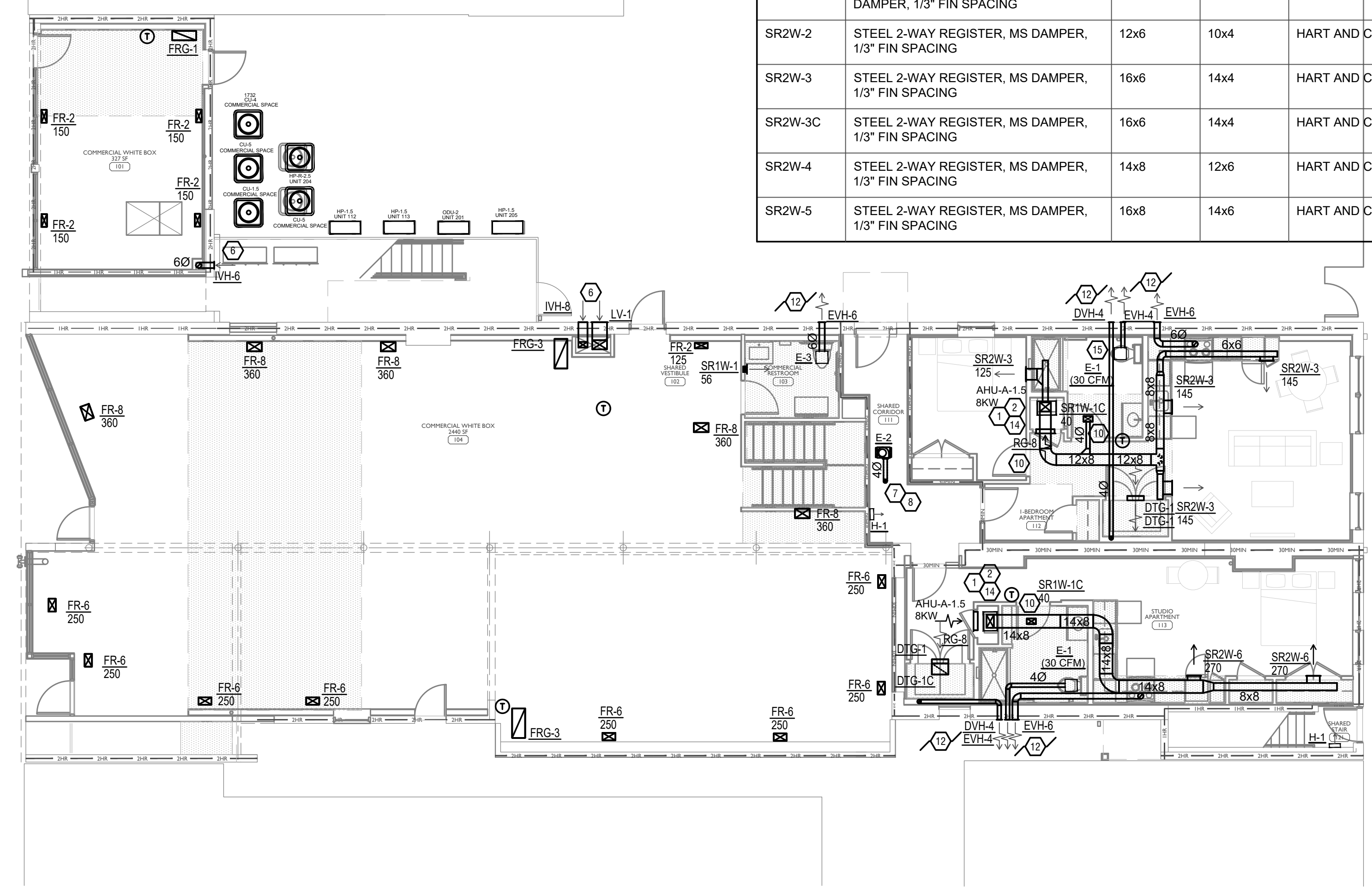
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| COMMERCIAL | | RESIDENTIAL | |
|--------------------------------|-----------------------|--------------------|--------------------|
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GENERAL NOTES

- FOR FULL SCHEDULES, SPECIFICATIONS, AND COMPLETE LISTING SEE DETAIL SHEETS.
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- INSTALL ALL EQUIPMENT PER MANUFACTURER'S REQUIREMENTS. MAINTAIN ALL CODE RECOMMENDED CLEARANCES FOR ACCESS AND MAINTENANCE.
- REFER TO ARCHITECTURAL PLANS FOR DIMENSIONS, AND FINAL CEILING DIFFUSER LOCATIONS.
- PROVIDE BACKDRAFT DAMPERS FOR ALL EXHAUST SYSTEMS AND EITHER LOUVER, BRICK VENT, OR CAPS AT ALL EXTERIOR BUILDING PENETRATIONS.
- IN DWELLING UNITS, ROUTE ALL SUPPLY, RETURN, AND EXHAUST DUCTWORK ABOVE DROP CEILING OR IN BULKHEADS. COORDINATE ROUTING WITH ARCHITECTURAL DRAWINGS. DUCTS SHALL BE RUN BELOW THE RATED FLOOR/CEILING.
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- MATERIALS WITHIN PLENUMS SHALL BE NONCOMBUSTIBLE OR SHALL BE LISTED AND LABELED AS HAVING A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND SMOKE-DEVELOPED INDEX OF NOT MORE THAN 50 WHEN TESTED IN ACCORDANCE WITH ASTM E 84 OR UL 723.
- THE FOLLOWING GUIDELINES MUST BE FOLLOWED FOR THE DOMESTIC DRYER EXHAUST SYSTEMS.
 - EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH AND BE CONSTRUCTED OF METAL A MINIMUM OF 28 GAUGE.
 - DUCT SIZE SHALL BE 4 INCHES NOMINAL DIAMETER.
 - DUCTS SHALL BE SUPPORTED AT 4-FOOT INTERVALS AND SECURED IN PLACE. THE INSERT END OF THE DUCT SHALL EXTEND INTO THE ADJOINING DUCT OR FITTING IN THE DIRECTION OF AIRFLOW.
 - DUCTS SHALL NOT BE JOINED WITH SCREWS OF SIMILAR FASTENERS THAT PROTRUDE MORE THAN 1/8" INTO THE INSIDE OF THE DUCT.
 - PROTECTIVE SHIELD PLATES SHALL BE PLACED WHERE NAILS OR SCREWS FROM FINISH OR OTHER WORK ARE LIKELY TO PENETRATE THE CLOTHES DRYER EXHAUST DUCT SHIELD PLATES SHALL BE PLACED ON THE FINISHED FACE OF ALL FRAMING MEMBERS WHERE THERE IS LESS THAN 1-1/4 INCHES BETWEEN THE DUCT AND THE FINISHED FACE OF THE FRAMING MEMBER. SHIELD PLATES SHALL BE CONSTRUCTED OF STEEL, HAVE A THICKNESS OF 0.062 INCHES, AND EXTEND NOT LESS THAN 2 INCHES ABOVE SOLE PLATES AND BELOW TOP PLATES.
 - TRANSITION DUCTS USED TO CONNECT THE DRYER TO THE EXHAUST DUCT SYSTEM SHALL BE A SINGLE LENGTH THAT IS LISTED AND LABELED IN ACCORDANCE WITH UL 2158A. TRANSITION DUCTS SHALL BE NOT GREATER THAN 8 FEET IN LENGTH AND SHALL NOT BE CONCEALED WITHIN CONSTRUCTION.
 - PROVIDE DRYER WALL BOX EQUAL TO DUNDAS JAFINE MODEL DR4BXZW NEAR DRYER.
 - PROVIDE A PERMANENT LABEL OR TAG (EQUAL TO DRYER/PLACARD) INDICATING ACTUAL EQUIVALENT LENGTH OF EXHAUST DUCT. LENGTH SHALL INCLUDE 5' FOR 90. LABEL/TAG MUST BE WITHIN 6" OF DRYER EXHAUST CONNECTION. DRYER EXHAUST DUCT FITTING EQUIVALENT LENGTH SHALL BE 2'-0" FOR A RADIUS MITERED 45-DEGREE ELBOW AND 5 FEET FOR A RADIUS MITERED 90-DEGREE ELBOW.



SYMBOLS LEGEND - HVAC

| | |
|--|--------------------------------|
| | THERMOSTAT |
| | CEILING DIFFUSER |
| | SIDE WALL GRILL |
| | RETURN WALL GRILL |
| | AIR FLOW DIRECTION |
| | DUCTWORK |
| | TYPICAL SUPPLY DUCT DN |
| | TYPICAL RETURN DUCT DN |
| | TYPICAL EXHAUST DUCT |
| | TURNING VANES |
| | FLEXIBLE DUCT, 8'-0" LONG MAX. |
| | TYPICAL ROUND DUCT DN |
| | ROUND DUCT UP |
| | MVD MANUAL VOLUME DAMPER |
| | DROPPED CEILING/SOFFIT |
| | DUCT SMOKE DETECTOR |

SCALE: 1/8" = 1'-0"

MECHANICAL PLAN - FIRST FLOOR | 1

PLATTE

architecture + design

202 W. ELDER STREET, 4TH FLOOR | CINCINNATI, OH 45202
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STATE OF OHIO
SCOTT SEVERT
REGISTERED PROFESSIONAL ENGINEER
E-77795

Progress Dates
05/26/2023 BID/PERMIT
08/30/2024 BID SET 2

Revisions

Checked By: SSS

Drawn by: RFG

TEAMWORK • COLLABORATION
 SHARED SUCCESS
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 Newport, KY 41071 (859) 261-0585
 MEP Consulting Services, Inc. in OH
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PROPOSED PROJECT:
RENOVATION FOR
1726 Vine St / 1728 Vine St / 1730 Vine St /
1675 Hamer St
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/10/2022

MI.OI

Z:\Project_Directories\9700-9793\9757 - Findlay Flats - Friday Parcside (Williamson ? Phase II) - Construction Documents - Phase 1 (8 Buildings) - RTV - Model - Plot Date/Time: Aug 29, 2024 - 10:49am - Bc_derek_grundy
 THESE DRAWINGS AND SPECIFICATIONS ARE NOT AUTHORIZED TO BE USED AS CONSTRUCTION DOCUMENTS. THESE DRAWINGS HAVE BEEN PREPARED TO DEMONSTRATE COMPLIANCE WITH APPLICABLE CODES, AND ARE INTENDED TO PROVIDE THE AUTHORITIES HAVING JURISDICTION WITH INFORMATION TO DETERMINE CODE COMPLIANCE. THE INSTALLING CONTRACTOR IS RESPONSIBLE TO ENSURE THAT MEANS, METHODS, AND MATERIALS USED IN CONSTRUCTION ARE INSTALLED IN ACCORDANCE WITH ANY CONTRACTUAL AGREEMENT THAT MAY EXIST WITH AN OWNER, CONSTRUCTION MANAGER, GENERAL CONTRACTOR, ETC.

- ### KEYED SHEET NOTES
- ROUTE 3/4" CONDENSATE DRAIN LINE TO FLOOR DRAIN IN MECHANICAL CLOSET. SLOPE PIPE A MINIMUM OF 1/8" PER FOOT AWAY FROM UNIT.
 - ROUTE LINE SET FROM OUTDOOR UNIT TO INDOOR AIR HANDLER. ALL PIPING SHALL BE CONCEALED IN FINISHED AREA. SIZE PER MANUFACTURER'S RECOMMENDATIONS.
 - RETURN DUCT UP TO FIRST FLOOR.
 - SUPPLY DUCT UP TO FIRST FLOOR.
 - ALL BASEMENTS SHALL BE VENTILATED AS STORAGE/WAREHOUSE SPACE IN ACCORDANCE WITH TABLE 403.3 OF THE 2017 OHIO MECHANICAL CODE AT A RATE OF 0.06 CFM PER SQUARE FOOT. PROVIDE NEW FAN IN BASEMENT FOR CODE MINIMUM OSA LISTED ABOVE.
 - FRESH AIR INTAKE THRU WALL TO WALL CAP.
 - DUCT EXHAUST UP THROUGH ROOF WITH RAIN-PROOF CAP.
 - 4" EXHAUST DUCT TO BE ROUTED DIRECTLY TO ROOF, AS ALLOWED PER 717.6.1 EXCEPTION. DUCT MUST BE MINIMUM 26 GA. AND BE CONTAINED WITHIN WALL CAVITY FOR FULL LENGTH. FIRE CAULK AROUND ALL PENETRATIONS. REFER TO DETAIL.
 - 6" EXHAUST TO BE ROUTED DIRECTLY TO ROOF, AS ALLOWED PER OBC 714.4.1 EXCEPTION 1.
 - UNDERCUT DOOR 1" ABOVE FINISHED FLOOR FOR RETURN/MAKE UP AIR. DUCTED RETURN BETWEEN TRANSFER GRILLES TO AVOID EXPOSED WALL CAVITY.
 - ROUTE EXHAUST TO EXTERIOR WALL. INSTALL A LOUVERED VENT. SEE ARCHITECT BEFORE PENETRATION FOR EXACT LOCATION AND COLOR COORDINATION. ALL EXHAUST SHALL MEET THE FOLLOWING REQUIREMENTS:
 - 3' FROM PROPERTY LINE.
 - 3' FROM OPERABLE OPENINGS INTO BUILDING.
 - 10' FROM MECHANICAL AIR INTAKE.
 - ROUTE 3/4" CONDENSATE DRAIN LINE TO FLOOR DRAIN IN BASEMENT. SLOPE PIPE A MINIMUM OF 1/8" PER FOOT AWAY FROM UNIT. PROVIDE CONDENSATE PUMP AS REQUIRED.
 - DUCTED RETURN SLEEVE TO AVOID EXPOSED WALL CAVITY.
 - ROUTE EXHAUST DUCT UP IN JOIST POCKET. RATING SHALL BE MAINTAINED AROUND JOIST TO PREVENT FIRE DAMPER. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
 - MECHANICAL CONTRACTOR TO PROVIDE AND INSTALL LINE-SET COVERS FOR ALL EXPOSED REFRIGERANT PIPING AND CONDENSATE PIPING.
 - ROUTE 3/4" CONDENSATE DRAIN LINE TO FLOOR DRAIN IN WASHER/ DRYER CLOSET. SLOPE PIPE A MINIMUM OF 1/8" PER FOOT AWAY FROM UNIT. PROVIDE CONDENSATE PUMP AS REQUIRED EQUAL TO LITTLE GIANT EC-1K-DV SERIES ALL CONDENSATE PUMPS, PIPING ETC. MUST BE CONCEALED FROM SIGHT.
 - RETURN DUCT DOWN TO FLOOR BELOW.
 - SUPPLY DUCT DOWN TO FLOOR BELOW.
 - MECHANICAL CONTRACTOR TO COORDINATE DUCT ROUTING WITH PLUMBING CONTRACTOR.

DIFFUSER, GRILLE, AND REGISTER SCHEDULE

| CALLOUT | DESCRIPTION | FACE SIZE (IN) | INLET SIZE (IN) | MODEL | NOTES |
|---------|---|----------------|-----------------|----------------------|---|
| DVH-4 | 28 GAUGE GALVANIZED STEEL. PRE-PAINTED DRYER VENT. | 6x7 | 4Ø | FAMCO DWVP | BACKDRAFT DAMPER/ANGLED HOOD. |
| EVH-4 | 28 GAUGE GALVANIZED STEEL. PRE-PAINTED EXHAUST VENT. | 6x7 | 4Ø | FAMCO SDWVP | BACKDRAFT DAMPER/ANGLED HOOD. 1/4 INCH INSECT SCREEN. |
| EVH-6 | 28 GAUGE GALVANIZED STEEL. PRE-PAINTED EXHAUST VENT. | 8x9 | 6Ø | FAMCO SDWVP | BACKDRAFT DAMPER/ANGLED HOOD. 1/4 INCH INSECT SCREEN. |
| FR-2 | FLOOR REGISTER, ALL-STEEL CONSTRUCTION, 75% FREE AREA, TOE-OPERATED VALVE CONTROL | 14x6 | 12x4 | HART AND COOLEY/ 210 | GOLDEN SAND ENAMEL FINISH |
| FR-6 | FLOOR REGISTER, ALL-STEEL CONSTRUCTION, 75% FREE AREA, TOE-OPERATED VALVE CONTROL | 14x8 | 12x6 | HART AND COOLEY/ 210 | GOLDEN SAND ENAMEL FINISH |
| FR-8 | FLOOR REGISTER, ALL-STEEL CONSTRUCTION, 75% FREE AREA, TOE-OPERATED VALVE CONTROL | 16x10 | 14x8 | HART AND COOLEY/ 210 | GOLDEN SAND ENAMEL FINISH |
| FRG-1 | RETURN AIR FILTER GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINN AT 20 DEGREES | 26x10 | 24x8 | HART AND COOLEY/ 265 | GOLDEN SAND ENAMEL FINISH |
| FRG-3 | RETURN AIR FILTER GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINN AT 20 DEGREES | 32x14 | 30x12 | HART AND COOLEY/ 265 | GOLDEN SAND ENAMEL FINISH |
| IVH-6 | 28 GAUGE GALVANIZED STEEL. PRE-PAINTED INTAKE VENT. | 8x9 | 6Ø | FAMCO SWVP | ANGLED HOOD. 1/4 INCH INSECT SCREEN. |
| IVH-8 | 28 GAUGE GALVANIZED STEEL. PRE-PAINTED INTAKE VENT. | 10x11 | 8Ø | FAMCO SWVP | ANGLED HOOD. 1/4 INCH INSECT SCREEN. |
| RG-1 | EGGCRATE RETURN GRILLE | 12x12 | 10x10 | TITUS 50F | #26 WHITE FINISH. |
| RG-7 | RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINN AT 20 DEGREES | 22x12 | 20x10 | HART AND COOLEY/ 650 | BRIGHT WHITE FINISH |
| RG-8 | RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINN AT 20 DEGREES | 22x16 | 20x14 | HART AND COOLEY/ 650 | BRIGHT WHITE FINISH |
| RG-11 | RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINN AT 20 DEGREES | 22x27 | 20x25 | HART AND COOLEY/ 650 | BRIGHT WHITE FINISH |
| SDG1W-2 | ALUMINUM SINGLE DEFLECTION SPIRAL DIFFUSER | 14x5 | 12x3 | HART AND COOLEY/ SV | ADJUSTABLE DAMPER, BRIGHT WHITE FINISH |
| SR1W-1 | STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING | 10x6 | 8x4 | HART AND COOLEY/ 651 | ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH |
| SR1W-1C | STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING | 10x6 | 8x4 | HART AND COOLEY/ 651 | ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH |
| SR1W-2C | STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING | 12x6 | 10x4 | HART AND COOLEY/ 651 | ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH |
| SR2W-2 | STEEL 2-WAY REGISTER, MS DAMPER, 1/3" FIN SPACING | 12x6 | 10x4 | HART AND COOLEY/ 661 | ADJUSTABLE DAMPER IN FACE, BRIGHT WHITE FINISH |
| SR2W-3 | STEEL 2-WAY REGISTER, MS DAMPER, 1/3" FIN SPACING | 16x6 | 14x4 | HART AND COOLEY/ 661 | ADJUSTABLE DAMPER IN FACE, BRIGHT WHITE FINISH |
| SR2W-3C | STEEL 2-WAY REGISTER, MS DAMPER, 1/3" FIN SPACING | 16x6 | 14x4 | HART AND COOLEY/ 661 | ADJUSTABLE DAMPER IN FACE, BRIGHT WHITE FINISH |
| SR2W-4 | STEEL 2-WAY REGISTER, MS DAMPER, 1/3" FIN SPACING | 14x8 | 12x6 | HART AND COOLEY/ 661 | ADJUSTABLE DAMPER IN FACE, BRIGHT WHITE FINISH |
| SR2W-5 | STEEL 2-WAY REGISTER, MS DAMPER, 1/3" FIN SPACING | 16x8 | 14x6 | HART AND COOLEY/ 661 | ADJUSTABLE DAMPER IN FACE, BRIGHT WHITE FINISH |

MECHANICAL SCOPE OF WORK (PLAN REVIEW ONLY)

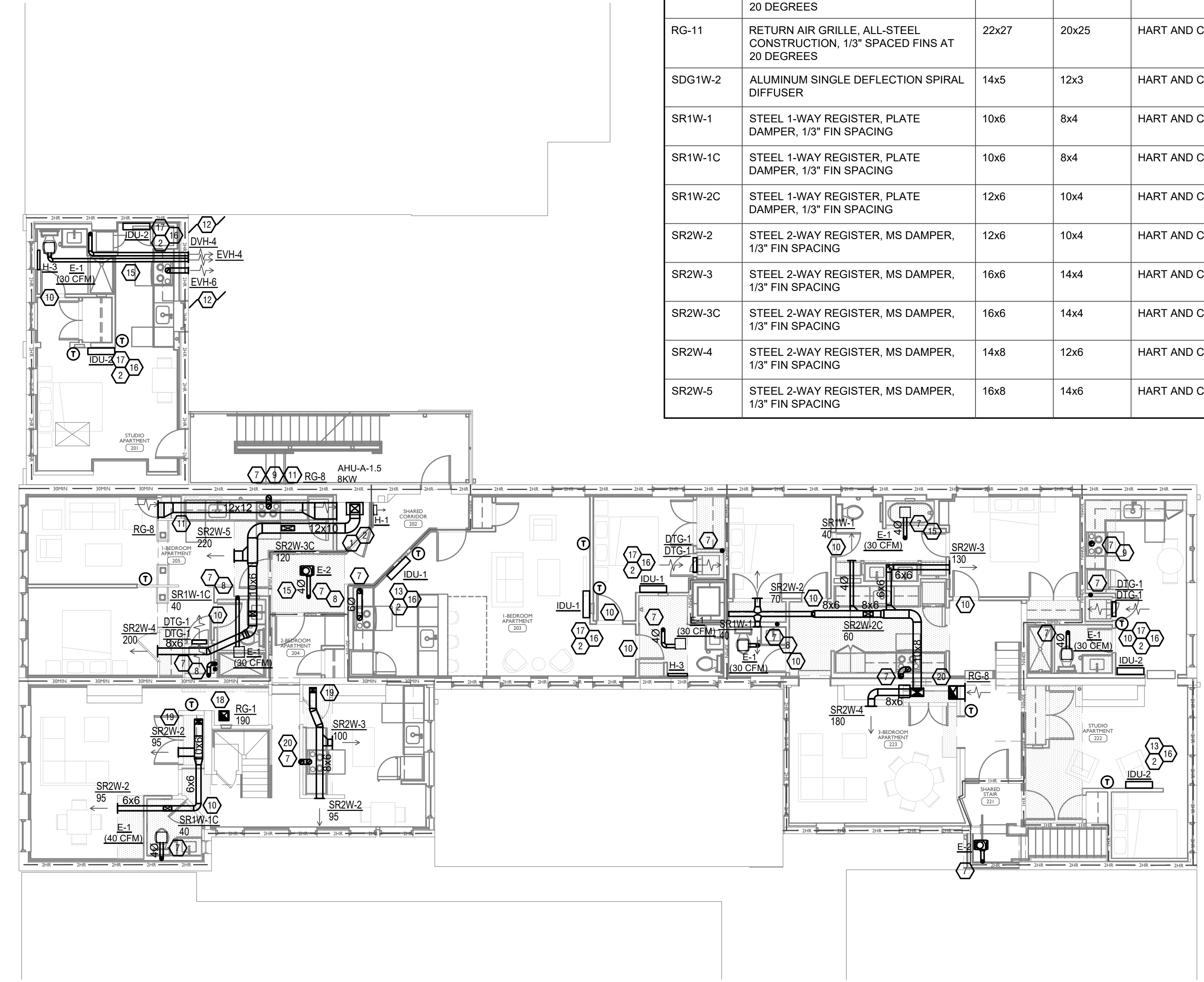
MECHANICAL SCOPE OF WORK IS TO PROVIDE NEW HVAC EQUIPMENT TO RESIDENTIAL AND COMMERCIAL SPACES. MECHANICAL CONTRACTOR SHALL REFERENCE ALL DISCIPLINE DRAWING, ETC. TO REVEAL FULL SCOPE OF WORK. REFER TO MECHANICAL SPECIFICATIONS FOR ADDITIONAL DETAILS.

HVAC DESIGN CONDITIONS

| COMMERCIAL | | RESIDENTIAL | |
|--------------------------------|-----------------------|--------------------|--------------------|
| COOLING OUTDOOR: 93 DB / 75 WB | HEATING OUTDOOR: 0 DB | COOLING INDOOR: 75 | HEATING INDOOR: 70 |

GENERAL NOTES

- FOR FULL SCHEDULES, SPECIFICATIONS, AND COMPLETE LISTING SEE DETAIL SHEETS.
- COORDINATE ROUTING OF ALL WORK WITH OTHER TRADES.
- COORDINATE WITH ELECTRICAL CONTRACTOR FOR POWER CONNECTIONS TO ALL MECHANICAL EQUIPMENT.
- INSTALL ALL EQUIPMENT PER MANUFACTURER'S REQUIREMENTS. MAINTAIN ALL CODE RECOMMENDED CLEARANCES FOR ACCESS AND MAINTENANCE.
- REFER TO ARCHITECTURAL PLANS FOR DIMENSIONS, AND FINAL CEILING DIFFUSER LOCATIONS.
- PROVIDE BACKDRAFT DAMPERS FOR ALL EXHAUST SYSTEMS AND EITHER LOUVER, BRICK VENT, OR CAPS AT ALL EXTERIOR BUILDING PENETRATIONS.
- IN DWELLING UNITS, ROUTE ALL SUPPLY, RETURN, AND EXHAUST DUCTWORK ABOVE DROP CEILING OR IN BULKHEADS. COORDINATE ROUTING WITH ARCHITECTURAL DRAWINGS. DUCTS SHALL BE RUN BELOW THE RATED FLOOR/CEILING.
- ROUTE ALL AIR CONDITIONER CONDENSATE TO NEARBY FLOOR DRAIN. PROVIDE MINIMUM SLOPE OF 1/8" PER FOOT. SIZE CONDENSATE PER SECTION 307.2.2 OF THE OHIO MECHANICAL CODE.
- MOUNT THERMOSTATS 60" ABOVE FINISHED FLOOR. MOUNT THERMOSTATS IN ADA UNITS 40" ABOVE FINISHED FLOOR.
- ANY EQUIPMENT THAT IS SUBSTITUTED SHALL FIT IN THE SPACE PROVIDED WITH ADEQUATE ROOM FOR SERVICING, INCLUDING SUBSTITUTE EQUIPMENT NAMED IN THE SPECIFICATIONS. SUBMIT A 1/4" SCALE DRAWING OF ALL EQUIPMENT SUBSTITUTED FOR APPROVAL PRIOR TO INSTALLATION, INCLUDING, BUT NOT LIMITED TO, STRUCTURAL AND ARCHITECTURAL IMPACT, CLEARANCE REQUIREMENTS AND UTILITY REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR TO COORDINATE ALL NEW ELECTRICAL AND PLUMBING REQUIREMENTS WITH THE ELECTRICAL AND PLUMBING CONTRACTORS.
- MATERIALS WITHIN PLENUMS SHALL BE NONCOMBUSTIBLE OR SHALL BE LISTED AND LABELED AS HAVING A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND SMOKE-DEVELOPED INDEX OF NOT MORE THAN 50 WHEN TESTED IN ACCORDANCE WITH ASTM E 84 OR UL 723.
- THE FOLLOWING GUIDELINES MUST BE FOLLOWED FOR THE DOMESTIC DRYER EXHAUST SYSTEMS.
 - EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH AND BE CONSTRUCTED OF METAL A MINIMUM OF 28 GAUGE.
 - DUCT SIZE SHALL BE 4 INCHES NOMINAL DIAMETER.
 - DUCTS SHALL BE SUPPORTED AT 4-FOOT INTERVALS AND SECURED IN PLACE. THE INSERT END OF THE DUCT SHALL EXTEND INTO THE ADJOINING DUCT OR FITTING IN THE DIRECTION OF AIRFLOW.
 - DUCTS SHALL NOT BE JOINED WITH SCREWS OF SIMILAR FASTENERS THAT PROTRUDE MORE THAN 1/8" INTO THE INSIDE OF THE DUCT.
 - PROTECTIVE SHIELD PLATES SHALL BE PLACED WHERE NAILS OR SCREWS FROM FINISH OR OTHER WORK ARE LIKELY TO PENETRATE THE CLOTHES DRYER EXHAUST DUCT SHIELD PLATES SHALL BE PLACED ON THE FINISHED FACE OF ALL FRAMING MEMBERS WHERE THERE IS LESS THAN 1-1/4 INCHES BETWEEN THE DUCT AND THE FINISHED FACE OF THE FRAMING MEMBER. SHIELD PLATES SHALL BE CONSTRUCTED OF STEEL, HAVE A THICKNESS OF 0.062 INCHES, AND EXTEND NOT LESS THAN 2 INCHES ABOVE SOLE PLATES AND BELOW TOP PLATES.
 - TRANSITION DUCTS USED TO CONNECT THE DRYER TO THE EXHAUST DUCT SYSTEM SHALL BE A SINGLE LENGTH THAT IS LISTED AND LABELED IN ACCORDANCE WITH UL 2158A. TRANSITION DUCTS SHALL BE NOT GREATER THAN 8 FEET IN LENGTH AND SHALL NOT BE CONCEALED WITHIN CONSTRUCTION.
 - PROVIDE DRYER WALL BOX EQUAL TO DUNDAS JAFINE MODEL DRB4XZW NEAR DRYER.
 - PROVIDE A PERMANENT LABEL OR TAG (EQUAL TO DRYER/PLACARD) INDICATING ACTUAL EQUIVALENT LENGTH OF EXHAUST DUCT. LENGTH SHALL INCLUDE 5' FOR 90. LABEL/TAG MUST BE WITHIN 6" OF DRYER EXHAUST CONNECTION. DRYER EXHAUST DUCT FITTING EQUIVALENT LENGTH SHALL BE 2'-0" FOR A RADIUS MITERED 45-DEGREE ELBOW AND 5 FEET FOR A RADIUS MITERED 90-DEGREE ELBOW.



SYMBOLS LEGEND - HVAC

| | |
|--|--------------------------------|
| | THERMOSTAT |
| | CEILING DIFFUSER |
| | SIDE WALL GRILLE |
| | RETURN WALL GRILLE |
| | AIR FLOW DIRECTION |
| | DUCTWORK |
| | TYPICAL SUPPLY DUCT DN |
| | TYPICAL RETURN DUCT DN |
| | TYPICAL EXHAUST DUCT |
| | TURNING VANES |
| | FLEXIBLE DUCT, 8'-0" LONG MAX. |
| | TYPICAL ROUND DUCT DN |
| | ROUND DUCT UP |
| | MVD MANUAL VOLUME DAMPER |
| | DROPPED CEILING/SOFFT |
| | DUCT SMOKE DETECTOR |

SCALE: 1/8" = 1'-0"

MECHANICAL PLAN - SECOND FLOOR | 1

PROPOSED PROJECT: RENOVATION FOR 1726 Vine St / 1728 Vine St / 1730 Vine St / 1675 Hamer St CINCINNATI, OH, 45202 FINDLAY FLATS

Job No: 22042 8/10/2022

PLATTE architecture + design
 202 W. ELDER STREET 4TH FLOOR | CINCINNATI, OH 45202
 WWW.PLATTEDESIGN.COM | T: 513.871.1850 | F: 513.871.1829

SCOTT SEVTEK REGISTERED PROFESSIONAL ENGINEER
 E-77795

Progress Dates: 05/26/2023 BID/PERMIT, 08/30/2024 BID SET 2

Revisions:

Checked By: SSS
 Drawn by: RFG

PR-09757
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MI.02

Z:\Project_Directories\9700-9793\9757 - Findlay Flats - Friday Parade (Williamson ? Phase II) - Construction Documents - Phase 1 (8 Buildings) - ARI - Auto-Model - Plot Date/Time: Aug 29, 2024 - 10:40am - Bc - derek.grundy
 THESE DRAWINGS AND SPECIFICATIONS ARE NOT AUTHORIZED TO BE USED AS CONTRACT DOCUMENTS. THESE DRAWINGS HAVE BEEN PREPARED TO DEMONSTRATE COMPLIANCE WITH APPLICABLE CODES, AND ARE INTENDED TO PROVIDE THE AUTHORITIES HAVING JURISDICTION WITH INFORMATION TO DETERMINE CODE COMPLIANCE. THE INSTALLING CONTRACTOR IS RESPONSIBLE TO ENSURE THAT MEANS, METHODS, AND MATERIALS USED IN CONSTRUCTION ARE INSTALLED IN ACCORDANCE WITH ANY CONTRACTUAL AGREEMENT THAT MAY EXIST WITH AN OWNER, CONSTRUCTION MANAGER, GENERAL CONTRACTOR, ETC.

- ### KEYED SHEET NOTES
- ROUTE 3/4" CONDENSATE DRAIN LINE TO FLOOR DRAIN IN MECHANICAL CLOSET. SLOPE PIPE A MINIMUM OF 1/8" PER FOOT AWAY FROM UNIT.
 - ROUTE LINE SET FROM OUTDOOR UNIT TO INDOOR AIR HANDLER. ALL PIPING SHALL BE CONCEALED IN FINISHED AREA. SIZE PER MANUFACTURERS RECOMMENDATIONS.
 - RETURN DUCT UP TO FIRST FLOOR.
 - SUPPLY DUCT UP TO FIRST FLOOR.
 - ALL BASEMENTS SHALL BE VENTILATED AS STORAGE/WAREHOUSE SPACE IN ACCORDANCE WITH TABLE 403.3 OF THE 2017 OHIO MECHANICAL CODE AT A RATE OF 0.06 CFM PER SQUARE FOOT. PROVIDE NEW FAN IN BASEMENT FOR CODE MINIMUM OSA LISTED ABOVE.
 - FRESH AIR INTAKE THRU WALL TO WALL CAP.
 - DUCT EXHAUST UP THROUGH ROOF WITH RAIN-PROOF CAP.
 - 4" EXHAUST DUCT TO BE ROUTED DIRECTLY TO ROOF, AS ALLOWED PER 717.8.1 EXCEPTION. DUCT MUST BE MINIMUM 28 GA. AND BE CONTAINED WITHIN WALL CAVITY FOR FULL LENGTH. FIRE CAULK AROUND ALL PENETRATIONS. REFER TO DETAIL.
 - 6" EXHAUST TO BE ROUTED DIRECTLY TO ROOF, AS ALLOWED PER OBC 714.4.1 EXCEPTION 1.
 - UNDERCUT DOOR 1" ABOVE FINISHED FLOOR FOR RETURN/MAKE UP AIR. DUCTED RETURN BETWEEN TRANSFER GRILLES TO AVOID EXPOSED WALL CAVITY.
 - ROUTE EXHAUST TO EXTERIOR WALL. INSTALL A LOUVERED VENT. SEE ARCHITECT BEFORE PENETRATION FOR EXACT LOCATION AND COLOR COORDINATION. ALL EXHAUST SHALL MEET THE FOLLOWING REQUIREMENTS.
 - 3' FROM PROPERTY LINE.
 - 3' FROM OPERABLE OPENINGS INTO BUILDING.
 - 10' FROM MECHANICAL AIR INTAKE.
 - ROUTE 3/4" CONDENSATE DRAIN LINE TO FLOOR DRAIN IN BASEMENT. SLOPE PIPE A MINIMUM OF 1/8" PER FOOT AWAY FROM UNIT. PROVIDE CONDENSATE PUMP AS REQUIRED.
 - DUCTED RETURN SLEEVE TO AVOID EXPOSED WALL CAVITY.
 - ROUTE EXHAUST DUCT UP IN JOIST POCKET. RATING SHALL BE MAINTAINED AROUND JOIST TO PREVENT FIRE DAMPER. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
 - MECHANICAL CONTRACTOR TO PROVIDE AND INSTALL LINE-SET COVERS FOR ALL EXPOSED REFRIGERANT PIPING AND CONDENSATE PIPING.
 - ROUTE 3/4" CONDENSATE DRAIN LINE TO FLOOR DRAIN IN WASHER/ DRYER CLOSET. SLOPE PIPE A MINIMUM OF 1/8" PER FOOT AWAY FROM UNIT. PROVIDE CONDENSATE PUMP AS REQUIRED EQUAL TO LITTLE GIANT EC-1K-DV SERIES ALL CONDENSATE PUMPS, PIPING ETC. MUST BE CONCEALED FROM SIGHT.
 - RETURN DUCT DOWN TO FLOOR BELOW.
 - SUPPLY DUCT DOWN TO FLOOR BELOW.
 - MECHANICAL CONTRACTOR TO COORDINATE DUCT ROUTING WITH PLUMBING CONTRACTOR.

DIFFUSER, GRILLE, AND REGISTER SCHEDULE

| CALLOUT | DESCRIPTION | FACE SIZE (IN) | INLET SIZE (IN) | MODEL | NOTES |
|---------|---|----------------|-----------------|----------------------|---|
| DVH-4 | 28 GAUGE GALVANIZED STEEL. PRE-PAINTED DRYER VENT. | 6x7 | 4Ø | FAMCO DWVP | BACKDRAFT DAMPER/ANGLED HOOD. |
| EVH-4 | 28 GAUGE GALVANIZED STEEL. PRE-PAINTED EXHAUST VENT. | 6x7 | 4Ø | FAMCO SDWVP | BACKDRAFT DAMPER/ANGLED HOOD. 1/4 INCH INSECT SCREEN. |
| EVH-6 | 28 GAUGE GALVANIZED STEEL. PRE-PAINTED EXHAUST VENT. | 8x9 | 6Ø | FAMCO SDWVP | BACKDRAFT DAMPER/ANGLED HOOD. 1/4 INCH INSECT SCREEN. |
| FR-2 | FLOOR REGISTER, ALL-STEEL CONSTRUCTION, 75% FREE AREA, TOE-OPERATED VALVE CONTROL | 14x6 | 12x4 | HART AND COOLEY/ 210 | GOLDEN SAND ENAMEL FINISH |
| FR-6 | FLOOR REGISTER, ALL-STEEL CONSTRUCTION, 75% FREE AREA, TOE-OPERATED VALVE CONTROL | 14x8 | 12x6 | HART AND COOLEY/ 210 | GOLDEN SAND ENAMEL FINISH |
| FR-8 | FLOOR REGISTER, ALL-STEEL CONSTRUCTION, 75% FREE AREA, TOE-OPERATED VALVE CONTROL | 16x10 | 14x8 | HART AND COOLEY/ 210 | GOLDEN SAND ENAMEL FINISH |
| FRG-1 | RETURN AIR FILTER GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINN AT 20 DEGREES | 26x10 | 24x8 | HART AND COOLEY/ 265 | GOLDEN SAND ENAMEL FINISH |
| FRG-3 | RETURN AIR FILTER GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINN AT 20 DEGREES | 32x14 | 30x12 | HART AND COOLEY/ 265 | GOLDEN SAND ENAMEL FINISH |
| IVH-6 | 28 GAUGE GALVANIZED STEEL. PRE-PAINTED INTAKE VENT. | 8x9 | 6Ø | FAMCO SWVP | ANGLED HOOD. 1/4 INCH INSECT SCREEN. |
| IVH-8 | 28 GAUGE GALVANIZED STEEL. PRE-PAINTED INTAKE VENT. | 10x11 | 8Ø | FAMCO SWVP | ANGLED HOOD. 1/4 INCH INSECT SCREEN. |
| RG-1 | EGGCRATE RETURN GRILLE | 12x12 | 10x10 | TITUS 50F | #26 WHITE FINISH. |
| RG-7 | RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINN AT 20 DEGREES | 22x12 | 20x10 | HART AND COOLEY/ 650 | BRIGHT WHITE FINISH |
| RG-8 | RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINN AT 20 DEGREES | 22x16 | 20x14 | HART AND COOLEY/ 650 | BRIGHT WHITE FINISH |
| RG-11 | RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINN AT 20 DEGREES | 22x27 | 20x25 | HART AND COOLEY/ 650 | BRIGHT WHITE FINISH |
| SDG1W-2 | ALUMINUM SINGLE DEFLECTION SPIRAL DIFFUSER | 14x5 | 12x3 | HART AND COOLEY/ SV | ADJUSTABLE DAMPER, BRIGHT WHITE FINISH |
| SR1W-1 | STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING | 10x6 | 8x4 | HART AND COOLEY/ 651 | ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH |
| SR1W-1C | STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING | 10x6 | 8x4 | HART AND COOLEY/ 651 | ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH |
| SR1W-2C | STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING | 12x6 | 10x4 | HART AND COOLEY/ 651 | ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH |
| SR2W-2 | STEEL 2-WAY REGISTER, MS DAMPER, 1/3" FIN SPACING | 12x6 | 10x4 | HART AND COOLEY/ 661 | ADJUSTABLE DAMPER IN FACE, BRIGHT WHITE FINISH |
| SR2W-3 | STEEL 2-WAY REGISTER, MS DAMPER, 1/3" FIN SPACING | 16x6 | 14x4 | HART AND COOLEY/ 661 | ADJUSTABLE DAMPER IN FACE, BRIGHT WHITE FINISH |
| SR2W-3C | STEEL 2-WAY REGISTER, MS DAMPER, 1/3" FIN SPACING | 16x6 | 14x4 | HART AND COOLEY/ 661 | ADJUSTABLE DAMPER IN FACE, BRIGHT WHITE FINISH |
| SR2W-4 | STEEL 2-WAY REGISTER, MS DAMPER, 1/3" FIN SPACING | 14x8 | 12x6 | HART AND COOLEY/ 661 | ADJUSTABLE DAMPER IN FACE, BRIGHT WHITE FINISH |
| SR2W-5 | STEEL 2-WAY REGISTER, MS DAMPER, 1/3" FIN SPACING | 16x8 | 14x6 | HART AND COOLEY/ 661 | ADJUSTABLE DAMPER IN FACE, BRIGHT WHITE FINISH |

MECHANICAL SCOPE OF WORK (PLAN REVIEW ONLY)

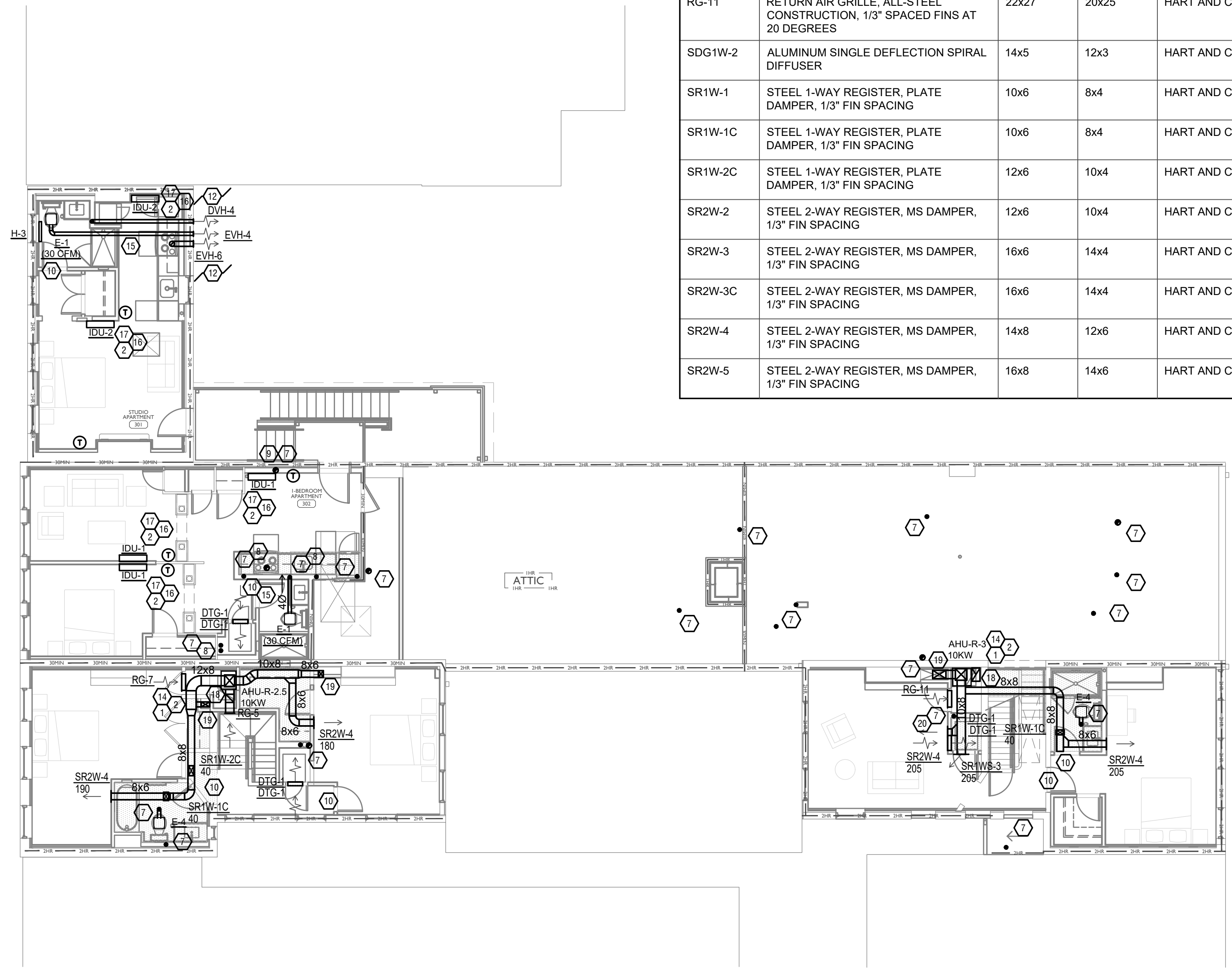
MECHANICAL SCOPE OF WORK IS TO PROVIDE NEW HVAC EQUIPMENT TO RESIDENTIAL AND COMMERCIAL SPACES. MECHANICAL CONTRACTOR SHALL REFERENCE ALL DISCIPLINE DRAWING, ETC. TO REVEAL FULL SCOPE OF WORK. REFER TO MECHANICAL SPECIFICATIONS FOR ADDITIONAL DETAILS.

HVAC DESIGN CONDITIONS

| COMMERCIAL | | RESIDENTIAL | |
|--------------------------------|-----------------------|--------------------|--------------------|
| COOLING OUTDOOR: 93 DB / 75 WB | HEATING OUTDOOR: 0 DB | COOLING INDOOR: 75 | HEATING INDOOR: 70 |

GENERAL NOTES

- FOR FULL SCHEDULES, SPECIFICATIONS, AND COMPLETE LISTING SEE DETAIL SHEETS.
- COORDINATE ROUTING OF ALL WORK WITH OTHER TRADES.
- COORDINATE WITH ELECTRICAL CONTRACTOR FOR POWER CONNECTIONS TO ALL MECHANICAL EQUIPMENT.
- INSTALL ALL EQUIPMENT PER MANUFACTURER'S REQUIREMENTS. MAINTAIN ALL CODE RECOMMENDED CLEARANCES FOR ACCESS AND MAINTENANCE.
- REFER TO ARCHITECTURAL PLANS FOR DIMENSIONS, AND FINAL CEILING DIFFUSER LOCATIONS.
- PROVIDE BACKDRAFT DAMPERS FOR ALL EXHAUST SYSTEMS AND EITHER LOUVER, BRICK VENT, OR CAPS AT ALL EXTERIOR BUILDING PENETRATIONS.
- IN DWELLING UNITS, ROUTE ALL SUPPLY, RETURN, AND EXHAUST DUCTWORK ABOVE DROP CEILING OR IN BULKHEADS. COORDINATE ROUTING WITH ARCHITECTURAL DRAWINGS. DUCTS SHALL BE RUN BELOW THE RATED FLOOR/CEILING.
- ROUTE ALL AIR CONDITIONER CONDENSATE TO NEARBY FLOOR DRAIN. PROVIDE MINIMUM SLOPE OF 1/8" PER FOOT. SIZE CONDENSATE PER SECTION 307.2.2 OF THE OHIO MECHANICAL CODE.
- MOUNT THERMOSTATS 60" ABOVE FINISHED FLOOR. MOUNT THERMOSTATS IN ADA UNITS 40" ABOVE FINISHED FLOOR.
- ANY EQUIPMENT THAT IS SUBSTITUTED SHALL FIT IN THE SPACE PROVIDED WITH ADEQUATE ROOM FOR SERVICING, INCLUDING SUBSTITUTE EQUIPMENT NAMED IN THE SPECIFICATIONS. SUBMIT A 1/4" SCALE DRAWING OF ALL EQUIPMENT SUBSTITUTED FOR APPROVAL PRIOR TO INSTALLATION, INCLUDING, BUT NOT LIMITED TO, STRUCTURAL AND ARCHITECTURAL IMPACT, CLEARANCE REQUIREMENTS AND UTILITY REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR TO COORDINATE ALL NEW ELECTRICAL AND PLUMBING REQUIREMENTS WITH THE ELECTRICAL AND PLUMBING CONTRACTORS.
- MATERIALS WITHIN PLENUMS SHALL BE NONCOMBUSTIBLE OR SHALL BE LISTED AND LABELED AS HAVING A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND SMOKE-DEVELOPED INDEX OF NOT MORE THAN 50 WHEN TESTED IN ACCORDANCE WITH ASTM E 84 OR UL 723.
- THE FOLLOWING GUIDELINES MUST BE FOLLOWED FOR THE DOMESTIC DRYER EXHAUST SYSTEMS.
 - EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH AND BE CONSTRUCTED OF METAL A MINIMUM OF 28 GAUGE.
 - DUCT SIZE SHALL BE 4 INCHES NOMINAL DIAMETER.
 - DUCTS SHALL BE SUPPORTED AT 4-FOOT INTERVALS AND SECURED IN PLACE. THE INSERT END OF THE DUCT SHALL EXTEND INTO THE ADJOINING DUCT OR FITTING IN THE DIRECTION OF AIRFLOW.
 - DUCTS SHALL NOT BE JOINED WITH SCREWS OF SIMILAR FASTENERS THAT PROTRUDE MORE THAN 1/8" INTO THE INSIDE OF THE DUCT.
 - PROTECTIVE SHIELD PLATES SHALL BE PLACED WHERE NAILS OR SCREWS FROM FINISH OR OTHER WORK ARE LIKELY TO PENETRATE THE CLOTHES DRYER EXHAUST DUCT SHIELD PLATES SHALL BE PLACED ON THE FINISHED FACE OF ALL FRAMING MEMBERS WHERE THERE IS LESS THAN 1-1/4 INCHES BETWEEN THE DUCT AND THE FINISHED FACE OF THE FRAMING MEMBER. SHIELD PLATES SHALL BE CONSTRUCTED OF STEEL, HAVE A THICKNESS OF 0.062 INCHES, AND EXTEND NOT LESS THAN 2 INCHES ABOVE SOLE PLATES AND BELOW TOP PLATES.
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 - PROVIDE DRYER WALL BOX EQUAL TO DUNDAS JAFINE MODEL DRB4XZW NEAR DRYER.
 - PROVIDE A PERMANENT LABEL OR TAG (EQUAL TO DRYER/PLACARD) INDICATING ACTUAL EQUIVALENT LENGTH OF EXHAUST DUCT. LENGTH SHALL INCLUDE 5' FOR 90° LABEL/TAG MUST BE WITHIN 6' OF DRYER EXHAUST CONNECTION. DRYER EXHAUST DUCT FITTING EQUIVALENT LENGTH SHALL BE 2'-0" FOR A RADIUS MITERED 45-DEGREE ELBOW AND 5 FEET FOR A RADIUS MITERED 90-DEGREE ELBOW.



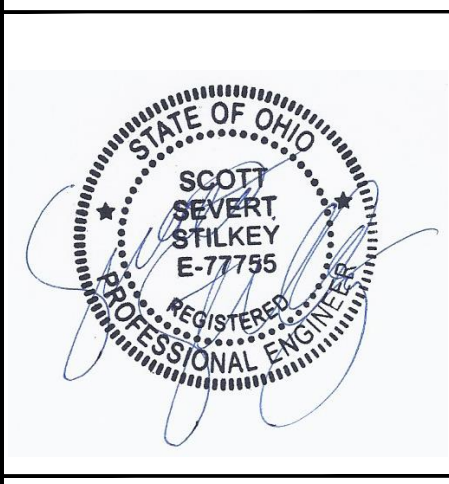
SYMBOLS LEGEND - HVAC

| | |
|--|--------------------------------|
| | THERMOSTAT |
| | CEILING DIFFUSER |
| | SIDE WALL GRILL |
| | RETURN WALL GRILL |
| | AIR FLOW DIRECTION |
| | DUCTWORK |
| | TYPICAL SUPPLY DUCT DN |
| | TYPICAL RETURN DUCT DN |
| | TYPICAL EXHAUST DUCT |
| | TURNING VANES |
| | FLEXIBLE DUCT, 8'-0" LONG MAX. |
| | TYPICAL ROUND DUCT DN |
| | ROUND DUCT UP |
| | MVD MANUAL VOLUME DAMPER |
| | DROPPED CEILING/SOFFIT |
| | DUCT SMOKE DETECTOR |

SCALE: 1/8" = 1'-0"

MECHANICAL PLAN - THIRD FLOOR | 1

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 202 W. ELDER STREET 4TH FLOOR | CINCINNATI, OH 45202
 WWW.PLATTEDESIGN.COM | T: 513.871.1850 | F: 513.871.1829



Progress Dates
 05/26/2023 BID/PERMIT
 08/30/2024 BID SET 2

Revisions

Checked By: SSS
 Drawn by: RFG

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 SHARED SUCCESS
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PROPOSED PROJECT:
RENOVATION FOR
 1726 Vine St / 1728 Vine St / 1730 Vine St /
 1675 Hamer St
 CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/10/2022

MI.03

Z:\Project_Directories\9700-9799\9757 - Findlay Flats - Findlay Periside (Williamson) 2 Phase II\Construction Documents-Phase 1 (8 Buildings)\1724 WNA\9757-MI-04-MECHANICAL-ATTIC-PLAN.dwg - FBS - Plot Date/Time: Aug 30, 2024-9:37:00 - Pk: 9(44)
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KEYED SHEET NOTES

- ROUTE 3/4" CONDENSATE DRAIN LINE TO FLOOR DRAIN IN MECHANICAL CLOSET. SLOPE PIPE A MINIMUM OF 1/8" PER FOOT AWAY FROM UNIT.
- ROUTE LINE SET FROM OUTDOOR UNIT TO INDOOR AIR HANDLER. ALL PIPING SHALL BE CONCEALED IN FINISHED AREA. SIZE PER MANUFACTURERS RECOMMENDATIONS.
- RETURN DUCT UP TO FIRST FLOOR.
- SUPPLY DUCT UP TO FIRST FLOOR.
- ALL BASEMENTS SHALL BE VENTILATED AS STORAGE/WAREHOUSE SPACE IN ACCORDANCE WITH TABLE 403.3 OF THE 2017 OHIO MECHANICAL CODE AT A RATE OF 0.06 CFM PER SQUARE FOOT. PROVIDE NEW FAN IN BASEMENT FOR CODE MINIMUM OSA LISTED ABOVE.
- FRESH AIR INTAKE THRU WALL TO WALL CAP.
- DUCT EXHAUST UP THROUGH ROOF WITH RAIN-PROOF CAP.
- 4" EXHAUST DUCT TO BE ROUTED DIRECTLY TO ROOF, AS ALLOWED PER 717.8.1 EXCEPTION. DUCT MUST BE MINIMUM 28 GA. AND BE CONTAINED WITHIN WALL CAVITY FOR FULL LENGTH. FIRE CAULK AROUND ALL PENETRATIONS. REFER TO DETAIL.
- 6" EXHAUST TO BE ROUTED DIRECTLY TO ROOF, AS ALLOWED PER OBC 714.4.1 EXCEPTION 1.
- UNDERCUT DOOR 1" ABOVE FINISHED FLOOR FOR RETURN/MAKE UP AIR. DUCTED RETURN BETWEEN TRANSFER GRILLES TO AVOID EXPOSED WALL CAVITY.
- ROUTE EXHAUST TO EXTERIOR WALL. INSTALL A LOUVERED VENT. SEE ARCHITECT BEFORE PENETRATION FOR EXACT LOCATION AND COLOR COORDINATION. ALL EXHAUST SHALL MEET THE FOLLOWING REQUIREMENTS.
 - 3' FROM PROPERTY LINE.
 - 3' FROM OPERABLE OPENINGS INTO BUILDING.
 - 10' FROM MECHANICAL AIR INTAKE.
- ROUTE 3/4" CONDENSATE DRAIN LINE TO FLOOR DRAIN IN BASEMENT. SLOPE PIPE A MINIMUM OF 1/8" PER FOOT AWAY FROM UNIT. PROVIDE CONDENSATE PUMP AS REQUIRED.
- DUCTED RETURN SLEEVE TO AVOID EXPOSED WALL CAVITY.
- ROUTE EXHAUST DUCT UP IN JOIST POCKET. RATING SHALL BE MAINTAINED AROUND JOIST TO PREVENT FIRE DAMPER. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- MECHANICAL CONTRACTOR TO PROVIDE AND INSTALL LINE-SET COVERS FOR ALL EXPOSED REFRIGERANT PIPING AND CONDENSATE PIPING.
- ROUTE 3/4" CONDENSATE DRAIN LINE TO FLOOR DRAIN IN WASHER/ DRYER CLOSET. SLOPE PIPE A MINIMUM OF 1/8" PER FOOT AWAY FROM UNIT. PROVIDE CONDENSATE PUMP AS REQUIRED EQUAL TO LITTLE GIANT EC-1K-DV SERIES ALL CONDENSATE PUMPS, PIPING ETC. MUST BE CONCEALED FROM SIGHT.
- RETURN DUCT DOWN TO FLOOR BELOW.
- SUPPLY DUCT DOWN TO FLOOR BELOW.
- MECHANICAL CONTRACTOR TO COORDINATE DUCT ROUTING WITH PLUMBING CONTRACTOR.

DIFFUSER, GRILLE, AND REGISTER SCHEDULE

| CALLOUT | DESCRIPTION | FACE SIZE (IN) | INLET SIZE (IN) | MODEL | NOTES |
|---------|---|----------------|-----------------|----------------------|---|
| DVH-4 | 28 GAUGE GALVANIZED STEEL. PRE-PAINTED DRYER VENT. | 6x7 | 4Ø | FAMCO DWVP | BACKDRAFT DAMPER/ANGLED HOOD. |
| EVH-4 | 28 GAUGE GALVANIZED STEEL. PRE-PAINTED EXHAUST VENT. | 6x7 | 4Ø | FAMCO SDWVP | BACKDRAFT DAMPER/ANGLED HOOD. 1/4 INCH INSECT SCREEN. |
| EVH-6 | 28 GAUGE GALVANIZED STEEL. PRE-PAINTED EXHAUST VENT. | 8x9 | 6Ø | FAMCO SDWVP | BACKDRAFT DAMPER/ANGLED HOOD. 1/4 INCH INSECT SCREEN. |
| FR-2 | FLOOR REGISTER, ALL-STEEL CONSTRUCTION, 75% FREE AREA, TOE-OPERATED VALVE CONTROL | 14x6 | 12x4 | HART AND COOLEY/ 210 | GOLDEN SAND ENAMEL FINISH |
| FR-6 | FLOOR REGISTER, ALL-STEEL CONSTRUCTION, 75% FREE AREA, TOE-OPERATED VALVE CONTROL | 14x8 | 12x6 | HART AND COOLEY/ 210 | GOLDEN SAND ENAMEL FINISH |
| FR-8 | FLOOR REGISTER, ALL-STEEL CONSTRUCTION, 75% FREE AREA, TOE-OPERATED VALVE CONTROL | 16x10 | 14x8 | HART AND COOLEY/ 210 | GOLDEN SAND ENAMEL FINISH |
| FRG-1 | RETURN AIR FILTER GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES | 26x10 | 24x8 | HART AND COOLEY/ 265 | GOLDEN SAND ENAMEL FINISH |
| FRG-3 | RETURN AIR FILTER GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES | 32x14 | 30x12 | HART AND COOLEY/ 265 | GOLDEN SAND ENAMEL FINISH |
| IVH-6 | 28 GAUGE GALVANIZED STEEL. PRE-PAINTED INTAKE VENT. | 8x9 | 6Ø | FAMCO SWVP | ANGLED HOOD. 1/4 INCH INSECT SCREEN. |
| IVH-8 | 28 GAUGE GALVANIZED STEEL. PRE-PAINTED INTAKE VENT. | 10x11 | 8Ø | FAMCO SWVP | ANGLED HOOD. 1/4 INCH INSECT SCREEN. |
| RG-1 | EGGCRATE RETURN GRILLE | 12x12 | 10x10 | TITUS 50F | #26 WHITE FINISH. |
| RG-7 | RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES | 22x12 | 20x10 | HART AND COOLEY/ 650 | BRIGHT WHITE FINISH |
| RG-8 | RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES | 22x16 | 20x14 | HART AND COOLEY/ 650 | BRIGHT WHITE FINISH |
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| SDG1W-2 | ALUMINUM SINGLE DEFLECTION SPIRAL DIFFUSER | 14x5 | 12x3 | HART AND COOLEY/ SV | ADJUSTABLE DAMPER, BRIGHT WHITE FINISH |
| SR1W-1 | STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING | 10x6 | 8x4 | HART AND COOLEY/ 651 | ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH |
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MECHANICAL SCOPE OF WORK (PLAN REVIEW ONLY)

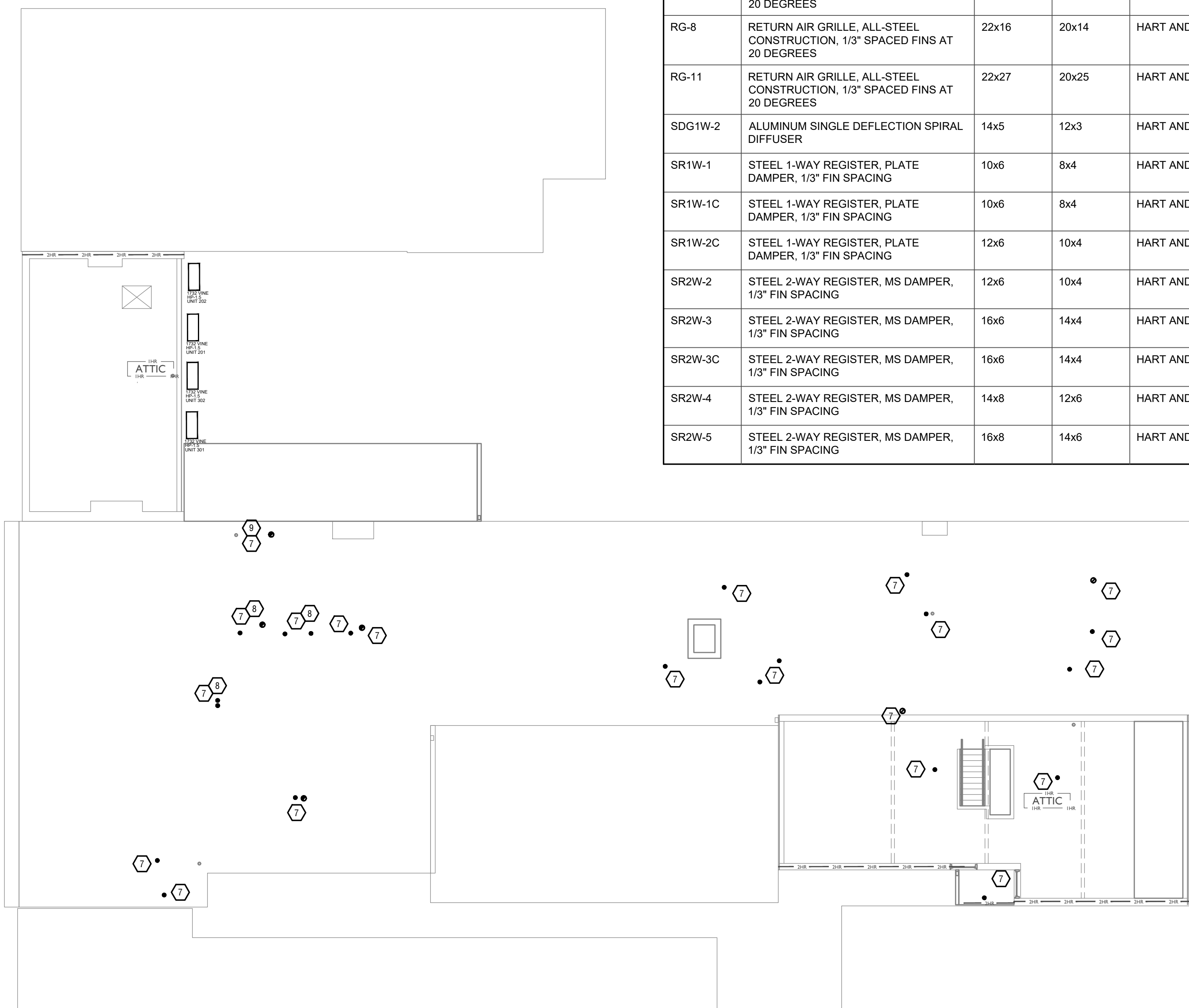
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HVAC DESIGN CONDITIONS

| COMMERCIAL | | RESIDENTIAL | |
|------------------------|---------------|------------------------|---------------|
| COOLING | HEATING | COOLING | HEATING |
| OUTDOOR: 93 DB / 75 WB | OUTDOOR: 0 DB | OUTDOOR: 93 DB / 75 WB | OUTDOOR: 0 DB |
| INDOOR: 72 | INDOOR: 70 | INDOOR: 75 | INDOOR: 70 |

GENERAL NOTES

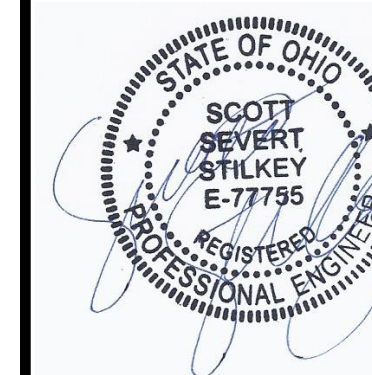
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SYMBOLS LEGEND - HVAC

| | |
|--|--------------------------------|
| | THERMOSTAT |
| | CEILING DIFFUSER |
| | SIDE WALL GRILL |
| | RETURN WALL GRILL |
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SCALE: 1/8" = 1'-0" MECHANICAL PLAN - ATTIC



Progress Dates
 05/26/2023 BID/PERMIT
 08/30/2024 BID SET 2

Revisions

Checked By: SSS

Drawn by: RFG

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ENGINEERED BUILDING SYSTEMS INC.
 TEAMWORK • COLLABORATION
 SHARED SUCCESS
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PROPOSED PROJECT:
RENOVATION FOR
 1726 Vine St / 1728 Vine St / 1730 Vine St /
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FINDLAY FLATS

Job No: 22042 8/10/2022

MI.04

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Z:\Project_Directories\9700-9799\9757 - Findlay Flats - Findlay Periside (Williamson 2 Phase II) - Construction Documents - Phase 1 (8 Buildings)\1724 - MECHANICAL - ROOF - PLAN.dwg - EBS - Plot Date/Time: Aug 30, 2024 - 9:38am - Br. (1+1)
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KEYED SHEET NOTES

- ROUTE 3/4" CONDENSATE DRAIN LINE TO FLOOR DRAIN IN MECHANICAL CLOSET. SLOPE PIPE A MINIMUM OF 1/8" PER FOOT AWAY FROM UNIT.
- ROUTE LINE SET FROM OUTDOOR UNIT TO INDOOR AIR HANDLER. ALL PIPING SHALL BE CONCEALED IN FINISHED AREA. SIZE PER MANUFACTURERS RECOMMENDATIONS.
- RETURN DUCT UP TO FIRST FLOOR.
- SUPPLY DUCT UP TO FIRST FLOOR.
- ALL BASEMENTS SHALL BE VENTILATED AS STORAGE/WAREHOUSE SPACE IN ACCORDANCE WITH TABLE 403.3 OF THE 2017 OHIO MECHANICAL CODE AT A RATE OF 0.06 CFM PER SQUARE FOOT. PROVIDE NEW FAN IN BASEMENT FOR CODE MINIMUM OSA LISTED ABOVE.
- FRESH AIR INTAKE THRU WALL TO WALL CAP.
- DUCT EXHAUST UP THROUGH ROOF WITH RAIN-PROOF CAP.
- 4" EXHAUST DUCT TO BE ROUTED DIRECTLY TO ROOF, AS ALLOWED PER 717.8.1 EXCEPTION. DUCT MUST BE MINIMUM 28 GA. AND BE CONTAINED WITHIN WALL CAVITY FOR FULL LENGTH. FIRE CAULK AROUND ALL PENETRATIONS. REFER TO DETAIL.
- 6" EXHAUST TO BE ROUTED DIRECTLY TO ROOF, AS ALLOWED PER OBC 714.4.1 EXCEPTION 1.
- UNDERCUT DOOR 1" ABOVE FINISHED FLOOR FOR RETURN/MAKE UP AIR. DUCTED RETURN BETWEEN TRANSFER GRILLES TO AVOID EXPOSED WALL CAVITY.
- ROUTE EXHAUST TO EXTERIOR WALL. INSTALL A LOUVERED VENT. SEE ARCHITECT BEFORE PENETRATION FOR EXACT LOCATION AND COLOR COORDINATION. ALL EXHAUST SHALL MEET THE FOLLOWING REQUIREMENTS.
 - 3' FROM PROPERTY LINE.
 - 3' FROM OPERABLE OPENINGS INTO BUILDING.
 - 10' FROM MECHANICAL AIR INTAKE.
- ROUTE 3/4" CONDENSATE DRAIN LINE TO FLOOR DRAIN IN BASEMENT. SLOPE PIPE A MINIMUM OF 1/8" PER FOOT AWAY FROM UNIT. PROVIDE CONDENSATE PUMP AS REQUIRED.
- DUCTED RETURN SLEEVE TO AVOID EXPOSED WALL CAVITY.
- ROUTE EXHAUST DUCT UP IN JOIST POCKET. RATING SHALL BE MAINTAINED AROUND JOIST TO PREVENT FIRE DAMPER. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- MECHANICAL CONTRACTOR TO PROVIDE AND INSTALL LINE-SET COVERS FOR ALL EXPOSED REFRIGERANT PIPING AND CONDENSATE PIPING.
- ROUTE 3/4" CONDENSATE DRAIN LINE TO FLOOR DRAIN IN WASHER/ DRYER CLOSET. SLOPE PIPE A MINIMUM OF 1/8" PER FOOT AWAY FROM UNIT. PROVIDE CONDENSATE PUMP AS REQUIRED EQUAL TO LITTLE GIANT EC-1K-DV SERIES ALL CONDENSATE PUMPS, PIPING ETC. MUST BE CONCEALED FROM SIGHT.
- RETURN DUCT DOWN TO FLOOR BELOW.
- SUPPLY DUCT DOWN TO FLOOR BELOW.
- MECHANICAL CONTRACTOR TO COORDINATE DUCT ROUTING WITH PLUMBING CONTRACTOR.

DIFFUSER, GRILLE, AND REGISTER SCHEDULE

| CALLOUT | DESCRIPTION | FACE SIZE (IN) | INLET SIZE (IN) | MODEL | NOTES |
|---------|---|----------------|-----------------|----------------------|---|
| DVH-4 | 28 GAUGE GALVANIZED STEEL. PRE-PAINTED DRYER VENT. | 6x7 | 4Ø | FAMCO DWVP | BACKDRAFT DAMPER/ANGLED HOOD. |
| EVH-4 | 28 GAUGE GALVANIZED STEEL. PRE-PAINTED EXHAUST VENT. | 6x7 | 4Ø | FAMCO SDWVP | BACKDRAFT DAMPER/ANGLED HOOD. 1/4 INCH INSECT SCREEN. |
| EVH-6 | 28 GAUGE GALVANIZED STEEL. PRE-PAINTED EXHAUST VENT. | 8x9 | 6Ø | FAMCO SDWVP | BACKDRAFT DAMPER/ANGLED HOOD. 1/4 INCH INSECT SCREEN. |
| FR-2 | FLOOR REGISTER, ALL-STEEL CONSTRUCTION, 75% FREE AREA, TOE-OPERATED VALVE CONTROL | 14x6 | 12x4 | HART AND COOLEY/ 210 | GOLDEN SAND ENAMEL FINISH |
| FR-6 | FLOOR REGISTER, ALL-STEEL CONSTRUCTION, 75% FREE AREA, TOE-OPERATED VALVE CONTROL | 14x8 | 12x6 | HART AND COOLEY/ 210 | GOLDEN SAND ENAMEL FINISH |
| FR-8 | FLOOR REGISTER, ALL-STEEL CONSTRUCTION, 75% FREE AREA, TOE-OPERATED VALVE CONTROL | 16x10 | 14x8 | HART AND COOLEY/ 210 | GOLDEN SAND ENAMEL FINISH |
| FRG-1 | RETURN AIR FILTER GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES | 26x10 | 24x8 | HART AND COOLEY/ 265 | GOLDEN SAND ENAMEL FINISH |
| FRG-3 | RETURN AIR FILTER GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES | 32x14 | 30x12 | HART AND COOLEY/ 265 | GOLDEN SAND ENAMEL FINISH |
| IVH-6 | 28 GAUGE GALVANIZED STEEL. PRE-PAINTED INTAKE VENT. | 8x9 | 6Ø | FAMCO SWVP | ANGLED HOOD. 1/4 INCH INSECT SCREEN. |
| IVH-8 | 28 GAUGE GALVANIZED STEEL. PRE-PAINTED INTAKE VENT. | 10x11 | 8Ø | FAMCO SWVP | ANGLED HOOD. 1/4 INCH INSECT SCREEN. |
| RG-1 | EGGCRATE RETURN GRILLE | 12x12 | 10x10 | TITUS 50F | #26 WHITE FINISH. |
| RG-7 | RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES | 22x12 | 20x10 | HART AND COOLEY/ 650 | BRIGHT WHITE FINISH |
| RG-8 | RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES | 22x16 | 20x14 | HART AND COOLEY/ 650 | BRIGHT WHITE FINISH |
| RG-11 | RETURN AIR GRILLE, ALL-STEEL CONSTRUCTION, 1/3" SPACED FINS AT 20 DEGREES | 22x27 | 20x25 | HART AND COOLEY/ 650 | BRIGHT WHITE FINISH |
| SDG1W-2 | ALUMINUM SINGLE DEFLECTION SPIRAL DIFFUSER | 14x5 | 12x3 | HART AND COOLEY/ SV | ADJUSTABLE DAMPER, BRIGHT WHITE FINISH |
| SR1W-1 | STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING | 10x6 | 8x4 | HART AND COOLEY/ 651 | ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH |
| SR1W-1C | STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING | 10x6 | 8x4 | HART AND COOLEY/ 651 | ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH |
| SR1W-2C | STEEL 1-WAY REGISTER, PLATE DAMPER, 1/3" FIN SPACING | 12x6 | 10x4 | HART AND COOLEY/ 651 | ADJUSTABLE PLATE DAMPER, BRIGHT WHITE FINISH |
| SR2W-2 | STEEL 2-WAY REGISTER, MS DAMPER, 1/3" FIN SPACING | 12x6 | 10x4 | HART AND COOLEY/ 661 | ADJUSTABLE DAMPER IN FACE, BRIGHT WHITE FINISH |
| SR2W-3 | STEEL 2-WAY REGISTER, MS DAMPER, 1/3" FIN SPACING | 16x6 | 14x4 | HART AND COOLEY/ 661 | ADJUSTABLE DAMPER IN FACE, BRIGHT WHITE FINISH |
| SR2W-3C | STEEL 2-WAY REGISTER, MS DAMPER, 1/3" FIN SPACING | 16x6 | 14x4 | HART AND COOLEY/ 661 | ADJUSTABLE DAMPER IN FACE, BRIGHT WHITE FINISH |
| SR2W-4 | STEEL 2-WAY REGISTER, MS DAMPER, 1/3" FIN SPACING | 14x8 | 12x6 | HART AND COOLEY/ 661 | ADJUSTABLE DAMPER IN FACE, BRIGHT WHITE FINISH |
| SR2W-5 | STEEL 2-WAY REGISTER, MS DAMPER, 1/3" FIN SPACING | 16x8 | 14x6 | HART AND COOLEY/ 661 | ADJUSTABLE DAMPER IN FACE, BRIGHT WHITE FINISH |

MECHANICAL SCOPE OF WORK (PLAN REVIEW ONLY)

MECHANICAL SCOPE OF WORK IS TO PROVIDE NEW HVAC EQUIPMENT TO RESIDENTIAL AND COMMERCIAL SPACES. MECHANICAL CONTRACTOR SHALL REFERENCE ALL DISCIPLINE DRAWING, ETC. TO REVEAL FULL SCOPE OF WORK. REFER TO MECHANICAL SPECIFICATIONS FOR ADDITIONAL DETAILS.

HVAC DESIGN CONDITIONS

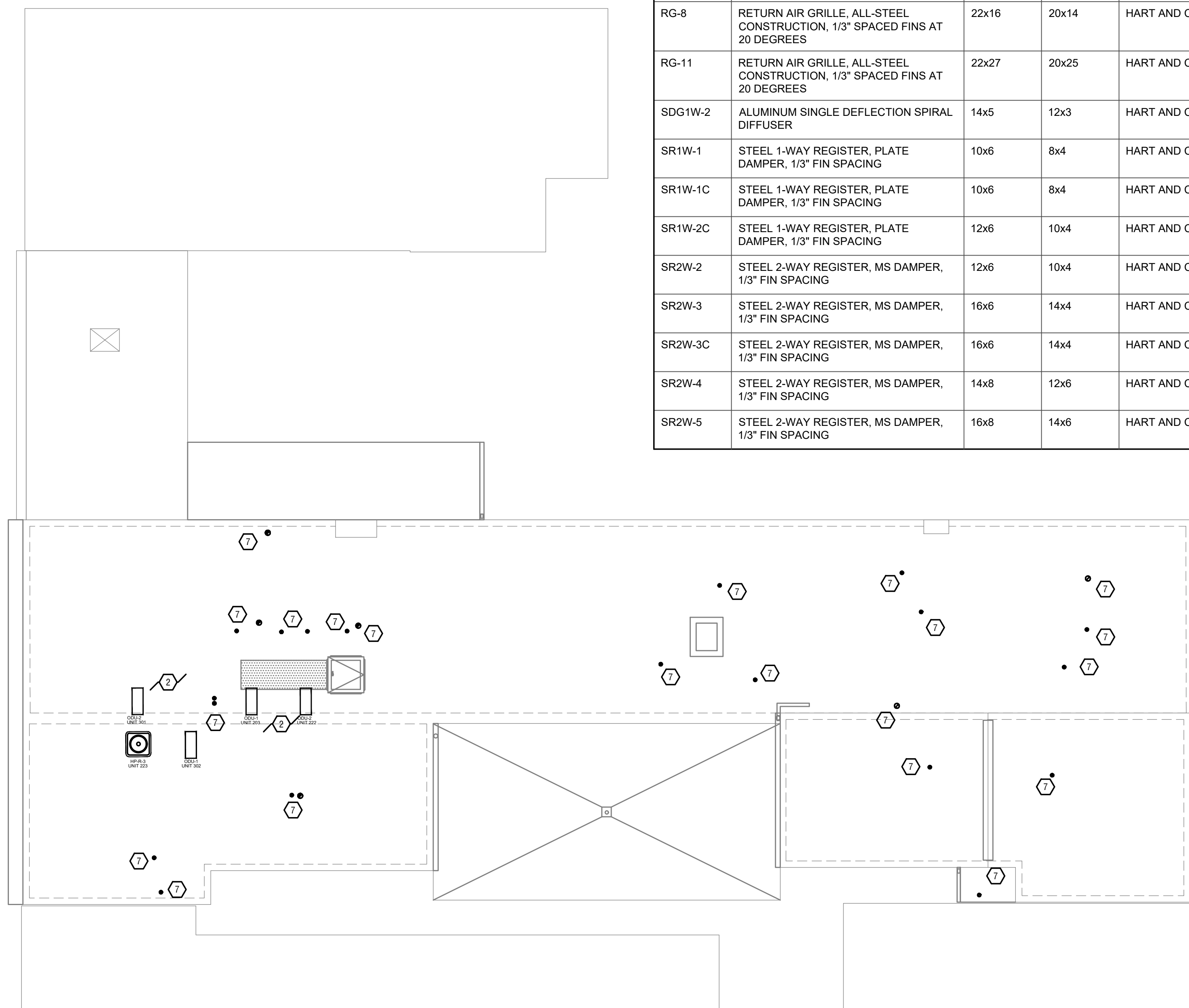
| COMMERCIAL | | RESIDENTIAL | |
|--------------------------------|-----------------------|--------------------|--------------------|
| COOLING OUTDOOR: 93 DB / 75 WB | HEATING OUTDOOR: 0 DB | COOLING INDOOR: 75 | HEATING INDOOR: 70 |

GENERAL NOTES

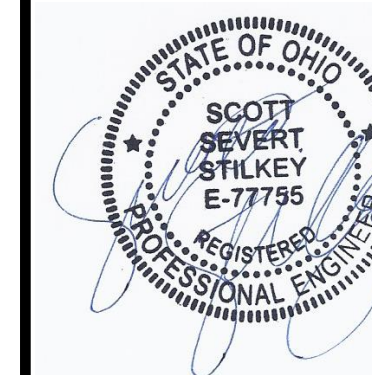
- FOR FULL SCHEDULES, SPECIFICATIONS, AND COMPLETE LISTING SEE DETAIL SHEETS.
- COORDINATE ROUTING OF ALL WORK WITH OTHER TRADES.
- COORDINATE WITH ELECTRICAL CONTRACTOR FOR POWER CONNECTIONS TO ALL MECHANICAL EQUIPMENT.
- INSTALL ALL EQUIPMENT PER MANUFACTURER'S REQUIREMENTS. MAINTAIN ALL CODE RECOMMENDED CLEARANCES FOR ACCESS AND MAINTENANCE.
- REFER TO ARCHITECTURAL PLANS FOR DIMENSIONS, AND FINAL CEILING DIFFUSER LOCATIONS.
- PROVIDE BACKDRAFT DAMPERS FOR ALL EXHAUST SYSTEMS AND EITHER LOUVER, BRICK VENT, OR CAPS AT ALL EXTERIOR BUILDING PENETRATIONS.
- IN DWELLING UNITS, ROUTE ALL SUPPLY, RETURN, AND EXHAUST DUCTWORK ABOVE DROP CEILING OR IN BULKHEADS. COORDINATE ROUTING WITH ARCHITECTURAL DRAWINGS. DUCTS SHALL BE RUN BELOW THE RATED FLOOR/CEILING.
- ROUTE ALL AIR CONDITIONER CONDENSATE TO NEARBY FLOOR DRAIN. PROVIDE MINIMUM SLOPE OF 1/8" PER FOOT. SIZE CONDENSATE PER SECTION 307.2.2 OF THE OHIO MECHANICAL CODE.
- MOUNT THERMOSTATS 60" ABOVE FINISHED FLOOR. MOUNT THERMOSTATS IN ADA UNITS 40" ABOVE FINISHED FLOOR.
- ANY EQUIPMENT THAT IS SUBSTITUTED SHALL FIT IN THE SPACE PROVIDED WITH ADEQUATE ROOM FOR SERVICING, INCLUDING SUBSTITUTE EQUIPMENT NAMED IN THE SPECIFICATIONS. SUBMIT A 1/4" SCALE DRAWING OF ALL EQUIPMENT SUBSTITUTED FOR APPROVAL PRIOR TO INSTALLATION, INCLUDING, BUT NOT LIMITED TO, STRUCTURAL AND ARCHITECTURAL IMPACT, CLEARANCE REQUIREMENTS AND UTILITY REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR TO COORDINATE ALL NEW ELECTRICAL AND PLUMBING REQUIREMENTS WITH THE ELECTRICAL AND PLUMBING CONTRACTORS.
- MATERIALS WITHIN PLENUMS SHALL BE NONCOMBUSTIBLE OR SHALL BE LISTED AND LABELED AS HAVING A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND SMOKE-DEVELOPED INDEX OF NOT MORE THAN 50 WHEN TESTED IN ACCORDANCE WITH ASTM E 84 OR UL 723.
- THE FOLLOWING GUIDELINES MUST BE FOLLOWED FOR THE DOMESTIC DRYER EXHAUST SYSTEMS.
 - EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH AND BE CONSTRUCTED OF METAL A MINIMUM OF 28 GAUGE.
 - DUCT SIZE SHALL BE 4 INCHES NOMINAL DIAMETER.
 - DUCTS SHALL BE SUPPORTED AT 4-FOOT INTERVALS AND SECURED IN PLACE. THE INSERT END OF THE DUCT SHALL EXTEND INTO THE ADJOINING DUCT OR FITTING IN THE DIRECTION OF AIRFLOW.
 - DUCTS SHALL NOT BE JOINED WITH SCREWS OF SIMILAR FASTENERS THAT PROTRUDE MORE THAN 1/8" INTO THE INSIDE OF THE DUCT.
 - PROTECTIVE SHIELD PLATES SHALL BE PLACED WHERE NAILS OR SCREWS FROM FINISH OR OTHER WORK ARE LIKELY TO PENETRATE THE CLOTHES DRYER EXHAUST DUCT SHIELD PLATES SHALL BE PLACED ON THE FINISHED FACE OF ALL FRAMING MEMBERS WHERE THERE IS LESS THAN 1-1/4 INCHES BETWEEN THE DUCT AND THE FINISHED FACE OF THE FRAMING MEMBER. SHIELD PLATES SHALL BE CONSTRUCTED OF STEEL, HAVE A THICKNESS OF 0.062 INCHES, AND EXTEND NOT LESS THAN 2 INCHES ABOVE SOLE PLATES AND BELOW TOP PLATES.
 - TRANSITION DUCTS USED TO CONNECT THE DRYER TO THE EXHAUST DUCT SYSTEM SHALL BE A SINGLE LENGTH THAT IS LISTED AND LABELED IN ACCORDANCE WITH UL 2158A. TRANSITION DUCTS SHALL BE NOT GREATER THAN 8 FEET IN LENGTH AND SHALL NOT BE CONCEALED WITHIN CONSTRUCTION.
 - PROVIDE DRYER WALL BOX EQUAL TO DUNDAS JAFINE MODEL DRB4XZW NEAR DRYER.
 - PROVIDE A PERMANENT LABEL OR TAG (EQUAL TO DRYER/PLACARD) INDICATING ACTUAL EQUIVALENT LENGTH OF EXHAUST DUCT. LENGTH SHALL INCLUDE 5' FOR 90° LABEL/TAG MUST BE WITHIN 6' OF DRYER EXHAUST CONNECTION. DRYER EXHAUST DUCT FITTING EQUIVALENT LENGTH SHALL BE 2'-0" FOR A RADIUS MITERED 45-DEGREE ELBOW AND 5 FEET FOR A RADIUS MITERED 90-DEGREE ELBOW.

SYMBOLS LEGEND - HVAC

| | |
|--|--------------------------------|
| | THERMOSTAT |
| | CEILING DIFFUSER |
| | SIDE WALL GRILL |
| | RETURN WALL GRILL |
| | AIR FLOW DIRECTION |
| | DUCTWORK |
| | TYPICAL SUPPLY DUCT DN |
| | TYPICAL RETURN DUCT DN |
| | TYPICAL EXHAUST DUCT |
| | TURNING VANES |
| | FLEXIBLE DUCT, 8'-0" LONG MAX. |
| | TYPICAL ROUND DUCT DN |
| | ROUND DUCT UP |
| | MVD MANUAL VOLUME DAMPER |
| | DROPPED CEILING/SOFFIT |
| | DUCT SMOKE DETECTOR |



SCALE: 1/8" = 1'-0" MECHANICAL PLAN - ROOF



Progress Dates
 05/26/2023 BID/PERMIT
 08/30/2024 BID SET 2

Revisions

Checked By: SSS

Drawn by: RFG

PR-09757
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PROPOSED PROJECT:
RENOVATION FOR
 1726 Vine St / 1728 Vine St / 1730 Vine St /
 1675 Hamer St
 CINCINNATI, OH, 45202
FINDLAY FLATS

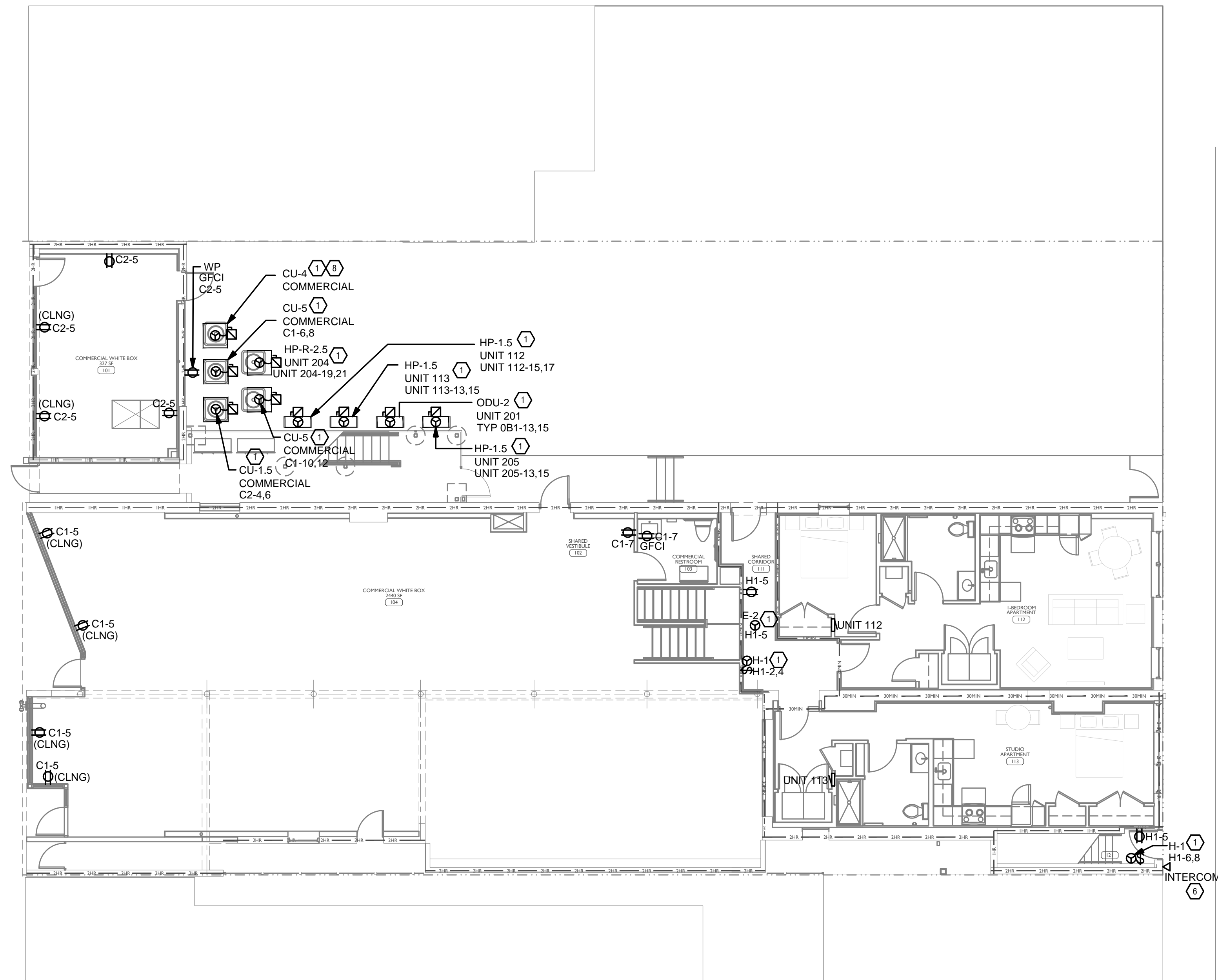
Job No: 22042 8/10/2022

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Z:\Project_Directories\9700-9799\9757 - Findlay Flats - Friday Periside (Williamson 2 Phase II)-Construction Documents-Phase 1 (8 Buildings)-AET-Ang-Moeller - Proj - Date/Time: Aug 29, 2024 - 10:49am - Dr: derek.grundy
 THESE DRAWINGS AND SPECIFICATIONS ARE NOT AUTHORIZED TO BE USED AS CONTRACT DOCUMENTS. THESE DRAWINGS HAVE BEEN PREPARED TO DEMONSTRATE COMPLIANCE WITH APPLICABLE CODES, AND ARE INTENDED TO PROVIDE THE AUTHORITIES HAVING JURISDICTION WITH INFORMATION TO DETERMINE CODE COMPLIANCE. THE INSTALLING CONTRACTOR IS RESPONSIBLE TO ENSURE THAT MEANS, METHODS, AND MATERIALS USED IN CONSTRUCTION ARE INSTALLED IN ACCORDANCE WITH ANY CONTRACTUAL AGREEMENT THAT MAY EXIST WITH AN OWNER, CONSTRUCTION MANAGER, GENERAL CONTRACTOR, ETC.

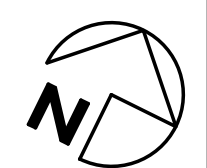
VINE STREET - 60' R.O.W.



HAMER STREET - 28' R.O.W.

SCALE: 1/8" = 1'-0"

ELECTRICAL POWER PLAN - FIRST FLOOR



SCOPE OF WORK

RENOVATION OF EXISTING BUILDING MULTIFAMILY BUILDING WITH COMMERCIAL FIRST FLOOR. PROVIDE NEW ELECTRICAL DISTRIBUTION, POWER AND LIGHTING. SEE SINGLE LINE DIAGRAM FOR MORE DETAILS.

GENERAL NOTES-OVERALL PROJECT

A. EBS DRAWINGS INDICATE DESIGN INTENT AND REQUIRED OUTCOMES. IF CONDITIONS ARISE IN THE FIELD THAT REQUIRE DEVIATIONS FROM THE DRAWINGS IT IS ASSUMED THAT THE CONTRACTOR WILL DETERMINE THE APPROPRIATE DEVIATION WITH APPROVAL FROM THE OWNER. EBS IS AVAILABLE TO ASSIST WHEN REQUIRED IF ISSUES ARISE.

GENERAL NOTES-POWER

- A. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ALL CONDUIT/CABLE ROUTINGS. COORDINATE ROUTING WITH ALL OTHER TRADES AND BUILDING CONDITIONS.
- B. SEE SINGLE LINE DIAGRAM FOR FEEDER WIRE AND CONDUIT SIZE. ALL CIRCUITS NOT SIZED ON DRAWING SHALL BE INSTALLED TO MEET MINIMUM SIZE REQUIRED BY NEC.
- C. PROVIDE MOTOR STARTERS FOR EQUIPMENT AS INDICATED ON DRAWINGS. COORDINATE ANY INTERLOCKING WIRING WITH HVAC CONTRACTOR AND PROVIDE WIRING, COILS, AND AUXILIARY CONTACTS AS NECESSARY. SIZE ALL CIRCUITS FOR ACTUAL EQUIPMENT TO BE CONNECTED.
- D. ALL PANELS AND DISCONNECTS LOCATED OUTDOORS SHALL BE LABELED NEMA 3R.
- E. ROOF MOUNTED AND OUTDOOR EQUIPMENT SHALL HAVE 120V RECEPTACLE MOUNTED WITHIN 25' OF EACH PIECE. RECEPTACLES SHALL BE IN WEATHER PROOF BOX AND HAVE GFCI PROTECTION.
- F. FOR ITEMS FURNISHED BY OTHER TRADES, ELECTRICAL CONTRACTOR TO FULLY COORDINATE BREAKER AND WIRE SIZES WITH ACTUAL EQUIPMENT BEING CONNECTED PRIOR TO ROUGH-IN, OR INSTALLATION. THE SIZES ON PANEL SCHEDULES REFER TO BASIS OF DESIGN SELECTIONS, AND ACTUAL ITEMS MAY DEVIATE FROM BASIS OF DESIGN. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO CONFIRM REQUIRED WIRE AND BREAKER SIZES WITH THE CONTRACTOR FURNISHING THE EQUIPMENT.
- G. REFER TO ARCHITECT'S PLANS AND ELEVATIONS FOR ALL DEVICE MOUNTING HEIGHTS.
- H. CONTRACTOR TO PROVIDE GROUNDING AND BONDING AS REQUIRED FOR ELECTRICAL SYSTEMS. GROUNDING AND BONDING IS CONSIDERED MEANS AND METHODS OF CONSTRUCTION, AND SHOULD BE COMPLETED BY THE ELECTRICAL CONTRACTOR IN ACCORDANCE WITH NEC 250. GAS PIPING SYSTEMS MUST BE BONDED PER UTILITY PROVIDER'S INSTALLATION GUIDELINES WHERE REQUIRED.
- I. ELECTRICAL RECEPTACLES ON OPPOSITE SIDES OF A WALL ARE TO BE SPACED SO THAT THEIR ELECTRICAL BOX ARE A MINIMUM OF ONE STUD BETWEEN BOXES.

FIRE ALARM - DELEGATED DESIGN

- A. COMPLY WITH PERFORMANCE REQUIREMENTS AND DESIGN CRITERIA CONTAINED ON DRAWINGS. RESPONSIBILITY FOR PROVIDING A COMPLIANT, OPERATIONAL FIRE ALARM SYSTEM LIES WITH THIS CONTRACTOR. REFER TO ARCHITECT'S CODE SHEET FOR USE GROUP AND OCCUPANT INFORMATION WHEN PROVIDING THE FIRE ALARM DESIGN. VERIFY REQUIREMENTS SPECIFIC TO PROJECT LOCALITY AND INCLUDE IN SCOPE.
- B. THESE FIRE ALARM DRAWINGS SHOW THE INTENDED DEVICE LOCATIONS COORDINATED WITH ARCHITECT/OWNER, AND DEMONSTRATE COMPLIANCE WITH BUILDING CODES. INSTALLING CONTRACTOR SHALL FURNISH ALL REQUIRED DRAWINGS AND CALCULATIONS REQUIRED FOR FIRE ALARM PERMIT. DRAWINGS AND CALCULATIONS SHALL BE PREPARED BY AN INDIVIDUAL CARRYING ALL CERTIFICATIONS REQUIRED BY THE AGENCY RESPONSIBLE FOR REVIEW AND APPROVAL.
- C. REQUIRED COMPONENTS THAT ARE NOT SHOWN ON DRAWINGS SUCH AS; RELAY MODULES MONITOR MODULES, BOOSTER PANELS, ANNUNCIATORS, ETC. ARE THE RESPONSIBILITY OF THIS CONTRACTOR AND ARE INCLUDED IN THIS SCOPE OF WORK.

KEYED SHEET NOTES

- 1. MECHANICAL EQUIPMENT PROVIDED BY MECHANICAL CONTRACTOR, WIRED BY ELECTRICAL CONTRACTOR. VERIFY ELECTRICAL REQUIREMENTS WITH MECHANICAL REQUIREMENTS PRIOR TO ROUGH-IN.
- 2. PLUMBING EQUIPMENT PROVIDED BY PLUMBING CONTRACTOR. WIRED BY ELECTRICAL CONTRACTOR. VERIFY ELECTRICAL REQUIREMENTS WITH PLUMBING REQUIREMENTS PRIOR TO ROUGH-IN.
- 3. LOCATION OF BUILDING UTILITY DATA DEMARC. PROVIDE A 4x4x1/2" PLYWOOD BACKBOARD FOR DATA/PHONE UTILITIES. COORDINATE ALL REQUIREMENTS WITH OWNER, ARCHITECT, AND ALTA FIBER PRIOR TO ROUGH-IN. PROVIDE DEDICATED QUAD RECEPTACLE AS SHOWN.
- 4. HOT WATER CIRCULATION PUMP HARDWIRED CIRCUIT CONNECTION. COORDINATE LOCATION WITH PLUMBING CONTRACTOR. PRIOR TO ROUGH-IN.
- 5. UNIT WIRED TO TYPICAL '081' REFER TO PANEL SCHEDULE FOR LOAD DATA. SEE UNIT 201 FOR CIRCUITRY LAYOUT.
- 6. COORDINATE LOCATION AND REQUIREMENTS OF BUILDING CALL BOX, 2N INTERCOM SYSTEM, WITH OWNER AND ARCHITECT PRIOR TO ROUGH-IN.
- 7. LOCATION OF FUTURE RADON. PROVIDE JUNCTION BOX FOR FUTURE RADON FAN, FAN NOT TO BE INSTALLED AT THIS TIME.
- 8. 1732 VINE STREET MECHANICAL UNIT SHOWN FOR REFERENCE ONLY. REFER TO 1732 VINE STREET ELECTRICAL PERMIT FOR CIRCUITRY INFORMATION.

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Progress Dates
 05/26/2023 BID/PERMIT
 08/30/2024 BID SET 2

Revisions

Checked By: PRS

Drawn by: AJW

PR-09757
ENGINEERED BUILDING SYSTEMS INC.
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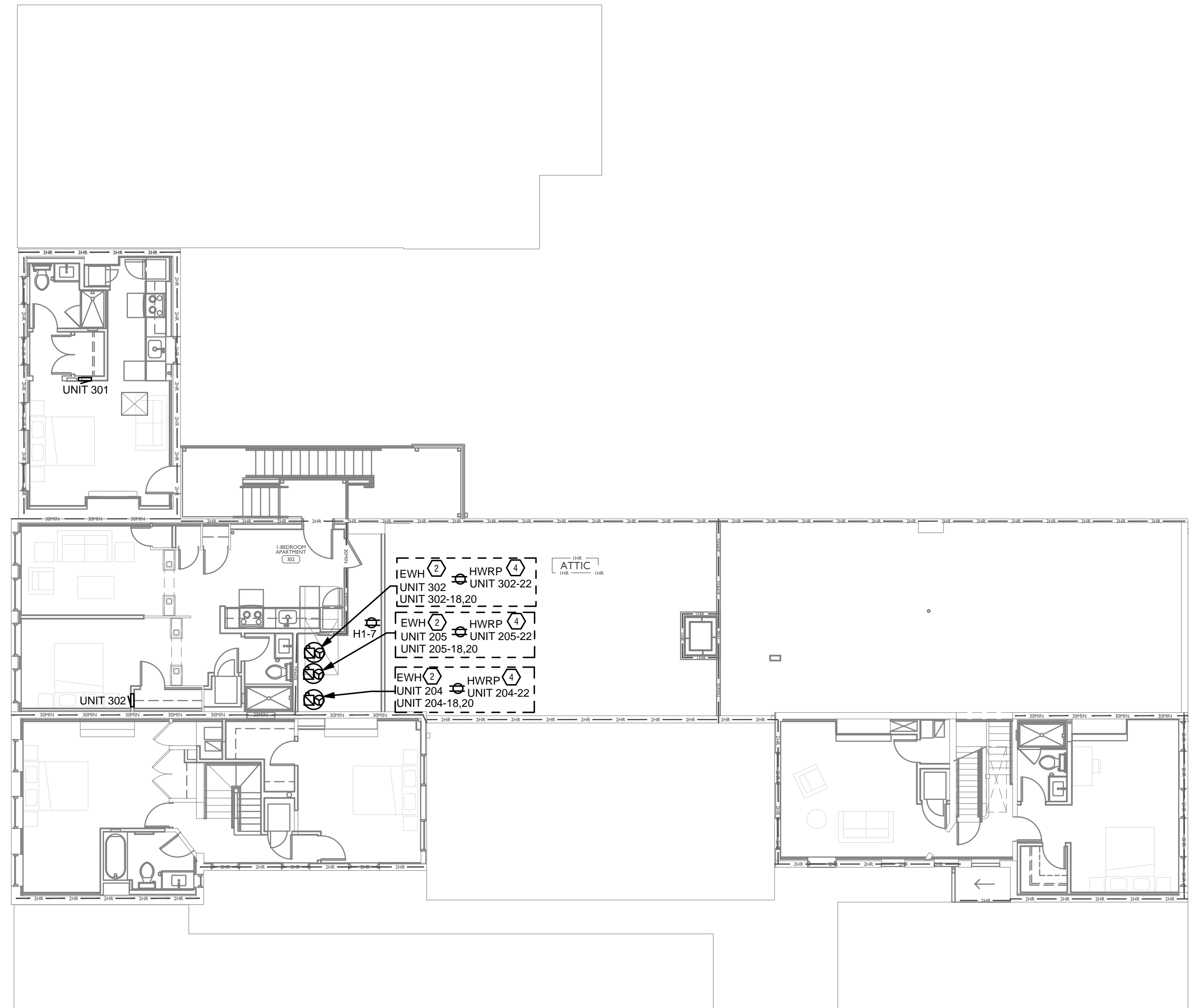
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PROPOSED PROJECT:
 RENOVATION FOR
 1726 Vine St / 1728 Vine St / 1730 Vine St /
 1675 Hamer St
 CINCINNATI, OH, 45202
 FINDLAY FLATS

Job No: 22042 8/10/2022

EI.01

Z:\Projects\Directors\9700-9789\9757 - Findlay Flats - Findlay Periside (Williamson 2 Phase II) - Construction Documents - Phase 1 (8 Buildings)\1724 WINE VINE - APT. Apts - Model - Plot - Date/Time: Aug 29, 2024 - 10:49am - By: derek.grundy
 THESE DRAWINGS AND SPECIFICATIONS ARE NOT AUTHORIZED TO BE USED AS CONTRACT DOCUMENTS. THESE DRAWINGS HAVE BEEN PREPARED TO DEMONSTRATE COMPLIANCE WITH APPLICABLE CODES, AND ARE INTENDED TO PROVIDE THE AUTHORITIES HAVING JURISDICTION WITH INFORMATION TO DETERMINE CODE COMPLIANCE. THE INSTALLING CONTRACTOR IS RESPONSIBLE TO ENSURE THAT MEANS, METHODS, AND MATERIALS USED IN CONSTRUCTION ARE INSTALLED IN ACCORDANCE WITH ANY CONTRACTUAL AGREEMENT THAT MAY EXIST WITH AN OWNER, CONSTRUCTION MANAGER, GENERAL CONTRACTOR, ETC.



SCOPE OF WORK
 RENOVATION OF EXISTING BUILDING MULTIFAMILY BUILDING WITH COMMERCIAL FIRST FLOOR. PROVIDE NEW ELECTRICAL DISTRIBUTION, POWER AND LIGHTING. SEE SINGLE LINE DIAGRAM FOR MORE DETAILS.

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 I. ELECTRICAL RECEPTACLES ON OPPOSITE SIDES OF A WALL ARE TO BE SPACED SO THAT THEIR ELECTRICAL BOX ARE A MINIMUM OF ONE STUD BETWEEN BOXES.

FIRE ALARM - DELEGATED DESIGN
 A. COMPLY WITH PERFORMANCE REQUIREMENTS AND DESIGN CRITERIA CONTAINED ON DRAWINGS. RESPONSIBILITY FOR PROVIDING A COMPLIANT, OPERATIONAL FIRE ALARM SYSTEM LIES WITH THIS CONTRACTOR. REFER TO ARCHITECT'S CODE SHEET FOR USE GROUP AND OCCUPANT INFORMATION WHEN PROVIDING THE FIRE ALARM DESIGN. VERIFY REQUIREMENTS SPECIFIC TO PROJECT LOCALITY AND INCLUDE IN SCOPE.
 B. THESE FIRE ALARM DRAWINGS SHOW THE INTENDED DEVICE LOCATIONS COORDINATED WITH ARCHITECT/OWNER, AND DEMONSTRATE COMPLIANCE WITH BUILDING CODES. INSTALLING CONTRACTOR SHALL FURNISH ALL REQUIRED DRAWINGS AND CALCULATIONS REQUIRED FOR FIRE ALARM PERMIT. DRAWINGS AND CALCULATIONS SHALL BE PREPARED BY AN INDIVIDUAL CARRYING ALL CERTIFICATIONS REQUIRED BY THE AGENCY RESPONSIBLE FOR REVIEW AND APPROVAL.
 C. REQUIRED COMPONENTS THAT ARE NOT SHOWN ON DRAWINGS SUCH AS; RELAY MODULES MONITOR MODULES, BOOSTER PANELS, ANNUNCIATORS, ETC. ARE THE RESPONSIBILITY OF THIS CONTRACTOR AND ARE INCLUDED IN THIS SCOPE OF WORK.

KEYED SHEET NOTES
 1. MECHANICAL EQUIPMENT PROVIDED BY MECHANICAL CONTRACTOR, WIRED BY ELECTRICAL CONTRACTOR. VERIFY ELECTRICAL REQUIREMENTS WITH MECHANICAL REQUIREMENTS PRIOR TO ROUGH-IN.
 2. PLUMBING EQUIPMENT PROVIDED BY PLUMBING CONTRACTOR, WIRED BY ELECTRICAL CONTRACTOR. VERIFY ELECTRICAL REQUIREMENTS WITH PLUMBING REQUIREMENTS PRIOR TO ROUGH-IN.
 3. LOCATION OF BUILDING UTILITY DATA DEMARC. PROVIDE A 4'x4' PLYWOOD BOARD FOR DATA/PHONE UTILITIES. COORDINATE ALL REQUIREMENTS WITH OWNER, ARCHITECT, AND ALTA FIBER PRIOR TO ROUGH-IN. PROVIDE DEDICATED QUAD RECEPTACLE AS SHOWN.
 4. HOT WATER CIRCULATION PUMP HARDWIRED CIRCUIT CONNECTION. COORDINATE LOCATION WITH PLUMBING CONTRACTOR. PRIOR TO ROUGH-IN. UNIT WIRED TO TYPICAL '181' REFER TO PANEL SCHEDULE FOR LOAD DATA. SEE UNIT 201 FOR CIRCUITRY LAYOUT.
 5. COORDINATE LOCATION AND REQUIREMENTS OF BUILDING CALL BOX, 2N INTERCOM SYSTEM, WITH OWNER AND ARCHITECT PRIOR TO ROUGH-IN.
 6. LOCATION OF FUTURE RADON. PROVIDE JUNCTION BOX FOR FUTURE RADON FAN, FAN NOT TO BE INSTALLED AT THIS TIME.
 7. 1732 VINE STREET MECHANICAL UNIT SHOWN FOR REFERENCE ONLY. REFER TO 1732 VINE STREET ELECTRICAL PERMIT FOR CIRCUITRY INFORMATION.

Progress Dates
 05/26/2023 BID/PERMIT
 08/30/2024 BID SET 2

Revisions

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 Drawn by: AJW

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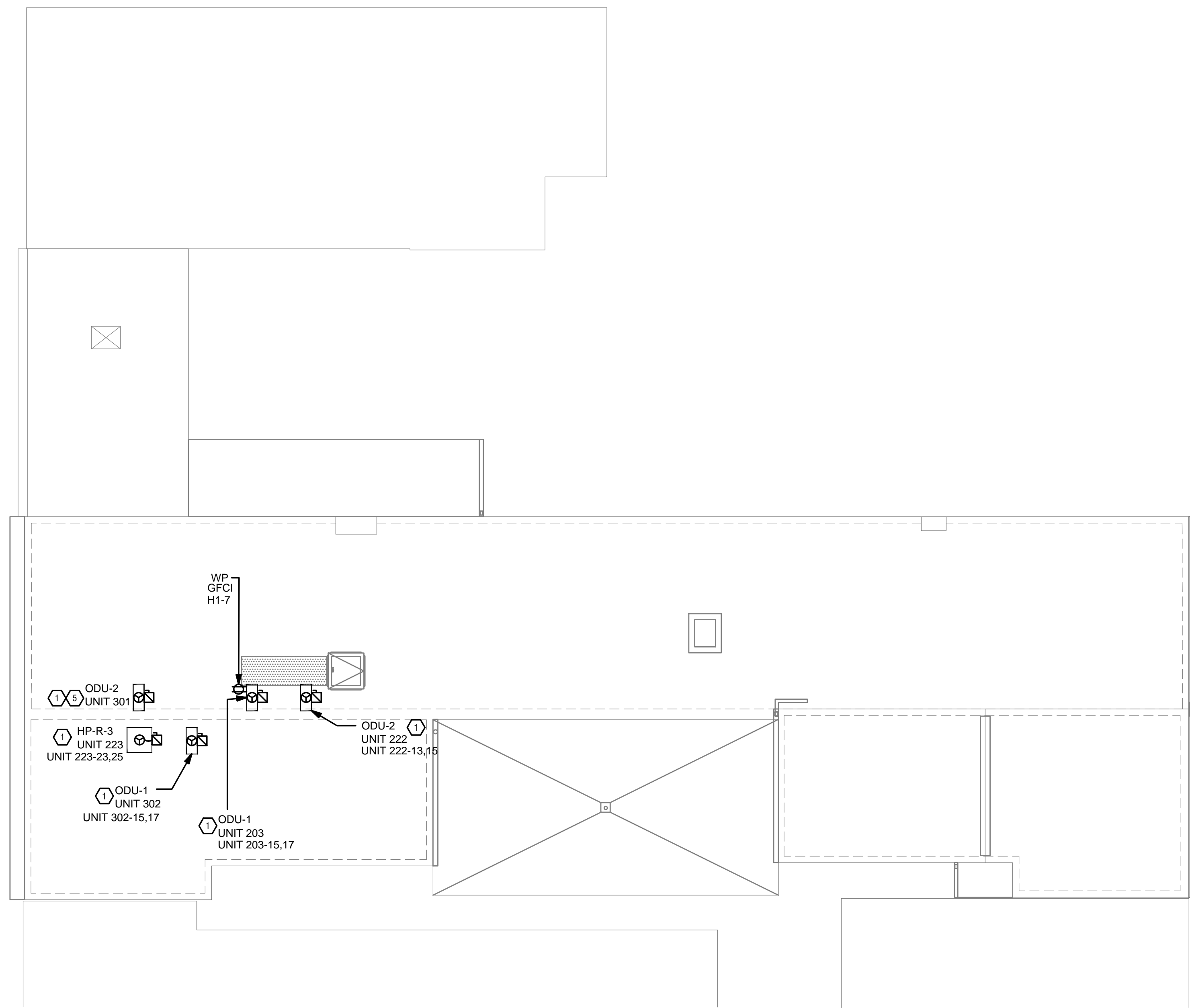
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PROPOSED PROJECT:
 RENOVATION FOR
 1726 Vine St / 1728 Vine St / 1730 Vine St /
 1675 Hamer St
 CINCINNATI, OH, 45202
 FINDLAY FLATS

Job No: 22042 8/10/2022

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SCOPE OF WORK

RENOVATION OF EXISTING BUILDING MULTIFAMILY BUILDING WITH COMMERCIAL FIRST FLOOR. PROVIDE NEW ELECTRICAL DISTRIBUTION, POWER AND LIGHTING. SEE SINGLE LINE DIAGRAM FOR MORE DETAILS.

GENERAL NOTES-OVERALL PROJECT

A. EBS DRAWINGS INDICATE DESIGN INTENT AND REQUIRED OUTCOMES. IF CONDITIONS ARISE IN THE FIELD THAT REQUIRE DEVIATIONS FROM THE DRAWINGS IT IS ASSUMED THAT THE CONTRACTOR WILL DETERMINE THE APPROPRIATE DEVIATION WITH APPROVAL FROM THE OWNER. EBS IS AVAILABLE TO ASSIST WHEN REQUIRED IF ISSUES ARISE.

GENERAL NOTES-POWER

- A. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ALL CONDUIT/CABLE ROUTINGS. COORDINATE ROUTING WITH ALL OTHER TRADES AND BUILDING CONDITIONS.
- B. SEE SINGLE LINE DIAGRAM FOR FEEDER WIRE AND CONDUIT SIZE. ALL CIRCUITS NOT SIZED ON DRAWING SHALL BE INSTALLED TO MEET MINIMUM SIZE REQUIRED BY NEC.
- C. PROVIDE MOTOR STARTERS FOR EQUIPMENT AS INDICATED ON DRAWINGS. COORDINATE ANY INTERLOCKING WIRING WITH HVAC CONTRACTOR AND PROVIDE WIRING, COILS, AND AUXILIARY CONTACTS AS NECESSARY. SIZE ALL CIRCUITS FOR ACTUAL EQUIPMENT TO BE CONNECTED.
- D. ALL PANELS AND DISCONNECTS LOCATED OUTDOORS SHALL BE LABELED NEMA 3R.
- E. ROOF MOUNTED AND OUTDOOR EQUIPMENT SHALL HAVE 120V RECEPTACLE MOUNTED WITHIN 25' OF EACH PIECE. RECEPTACLES SHALL BE IN WEATHER PROOF BOX AND HAVE GFCI PROTECTION.
- F. FOR ITEMS FURNISHED BY OTHER TRADES, ELECTRICAL CONTRACTOR TO FULLY COORDINATE BREAKER AND WIRE SIZES WITH ACTUAL EQUIPMENT BEING CONNECTED PRIOR TO ROUGH-IN, OR INSTALLATION. THE SIZES ON PANEL SCHEDULES REFER TO BASIS OF DESIGN SELECTIONS, AND ACTUAL ITEMS MAY DEVIATE FROM BASIS OF DESIGN. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO CONFIRM REQUIRED WIRE AND BREAKER SIZES WITH THE CONTRACTOR FURNISHING THE EQUIPMENT.
- G. REFER TO ARCHITECT'S PLANS AND ELEVATIONS FOR ALL DEVICE MOUNTING HEIGHTS.
- H. CONTRACTOR TO PROVIDE GROUNDING AND BONDING AS REQUIRED FOR ELECTRICAL SYSTEMS. GROUNDING AND BONDING IS CONSIDERED MEANS AND METHODS OF CONSTRUCTION, AND SHOULD BE COMPLETED BY THE ELECTRICAL CONTRACTOR IN ACCORDANCE WITH NEC 250. GAS PIPING SYSTEMS MUST BE BONDED PER UTILITY PROVIDER'S INSTALLATION GUIDELINES WHERE REQUIRED.
- I. ELECTRICAL RECEPTACLES ON OPPOSITE SIDES OF A WALL ARE TO BE SPACED SO THAT THEIR ELECTRICAL BOX ARE A MINIMUM OF ONE STUD BETWEEN BOXES.

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Progress Dates
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Revisions

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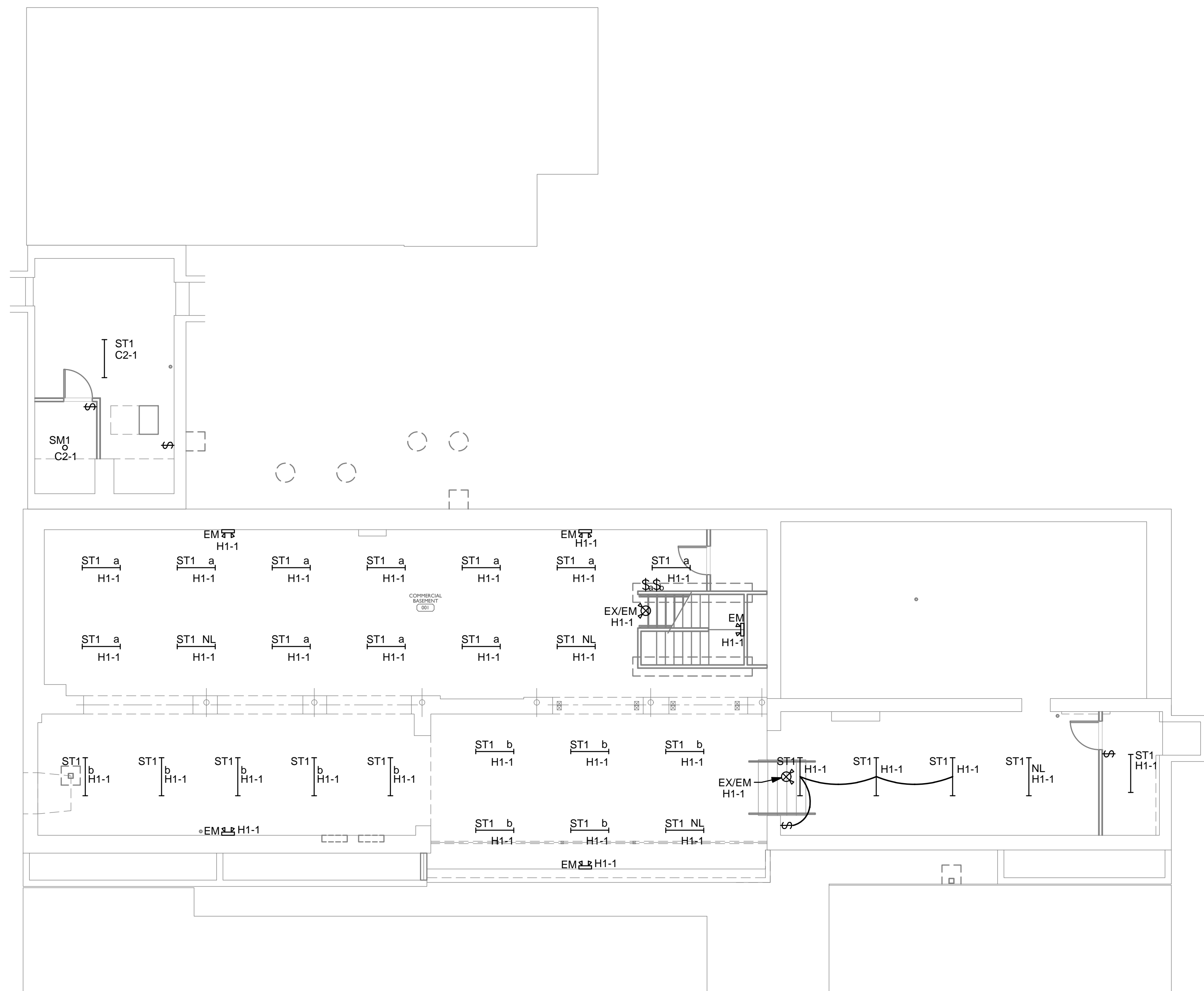
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PROPOSED PROJECT:
**RENOVATION FOR
1726 Vine St / 1728 Vine St / 1730 Vine St /
1675 Hamer St
CINCINNATI, OH, 45202
FINDLAY FLATS**

Job No: 22042 8/10/2022

EI.05

Z:\Project_Directories\9700-9789\9757 - Findlay Flats - Findlay Flats (Williamson ? Phase II) - Construction Documents - Phase 1 (8 Buildings)\1724 WINE VINE - AET - Auto-Model - Plot - Date/Time: Aug 29, 2024 - 10:49am - By: derek.grundy
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| SCOPE OF WORK |
| RENOVATION OF EXISTING BUILDING MULTIFAMILY BUILDING WITH COMMERCIAL FIRST FLOOR. PROVIDE NEW ELECTRICAL DISTRIBUTION, POWER AND LIGHTING. SEE SINGLE LINE DIAGRAM FOR MORE DETAILS. |
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| Progress Dates |
| 05/26/2023 BID/PERMIT 08/30/2024 BID SET 2 |
| Revisions |
| Checked By: PRS Drawn by: AJW |

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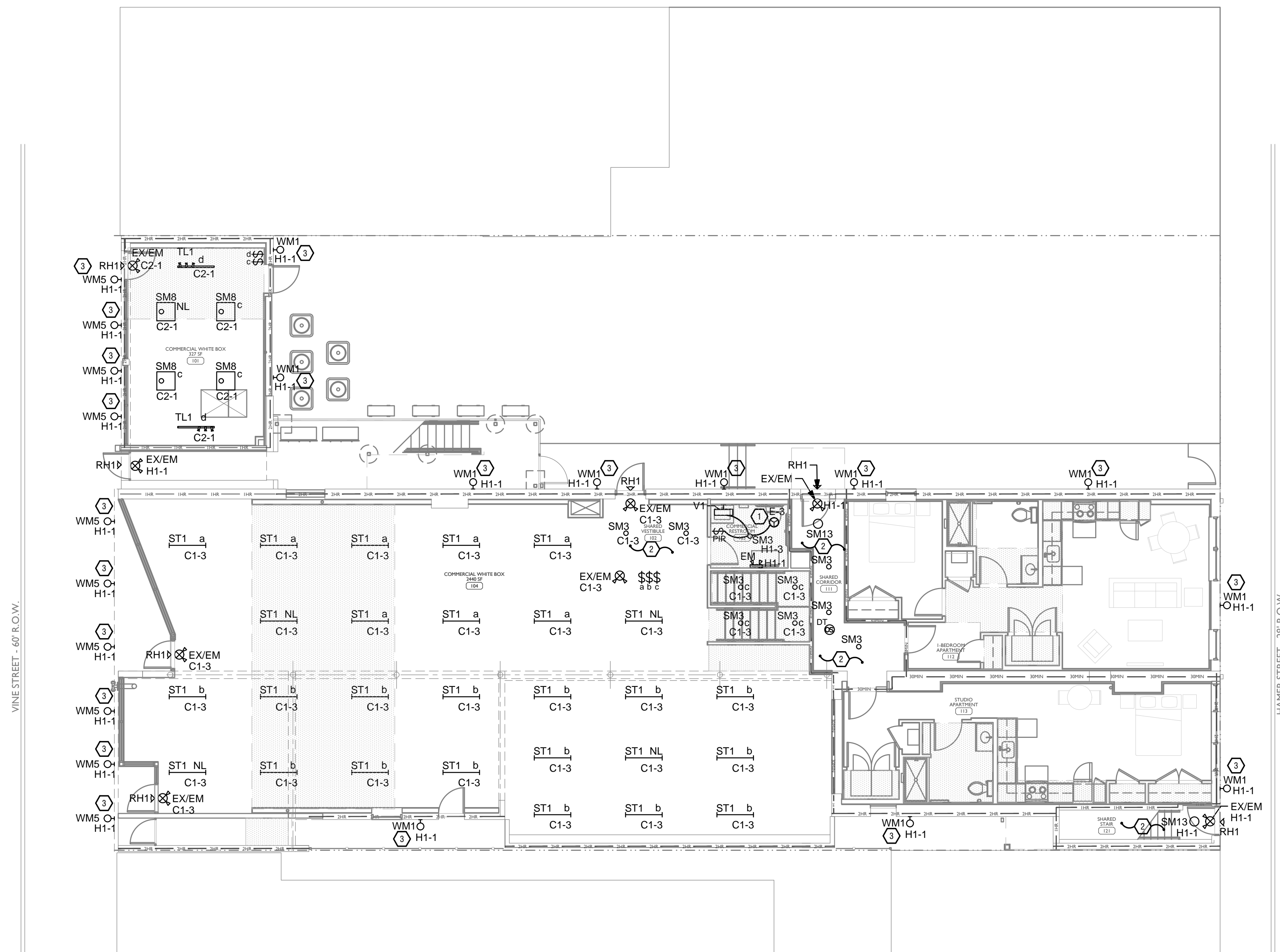
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PROPOSED PROJECT:
 RENOVATION FOR
 1726 Vine St / 1728 Vine St / 1730 Vine St /
 1675 Hamer St
 CINCINNATI, OH, 45202
 FINDLAY FLATS

Job No: 22042 8/10/2022

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SCALE: 1/8" = 1'-0" ELECTRICAL LIGHTING PLAN - FIRST FLOOR |

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| SCOPE OF WORK |
| RENOVATION OF EXISTING BUILDING MULTIFAMILY BUILDING WITH COMMERCIAL FIRST FLOOR. PROVIDE NEW ELECTRICAL DISTRIBUTION, POWER AND LIGHTING. SEE SINGLE LINE DIAGRAM FOR MORE DETAILS. |
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| C. LIGHT FIXTURES CONTROLLED BY SWITCH IN SAME ROOM UNLESS OTHERWISE NOTED. |
| D. WHERE DIMMERS AND/OR DIMMING SYSTEMS ARE REQUIRED, CONTRACTOR TO FURNISH DIMMERS THAT ARE COMPATIBLE WITH FIXTURE SOURCE AND RATED FOR THE WATTAGE OF THE DIMMING ZONE. PROVIDE ADDITIONAL DIMMERS AS REQUIRED TO MEET ZONE LOAD REQUIREMENTS. |
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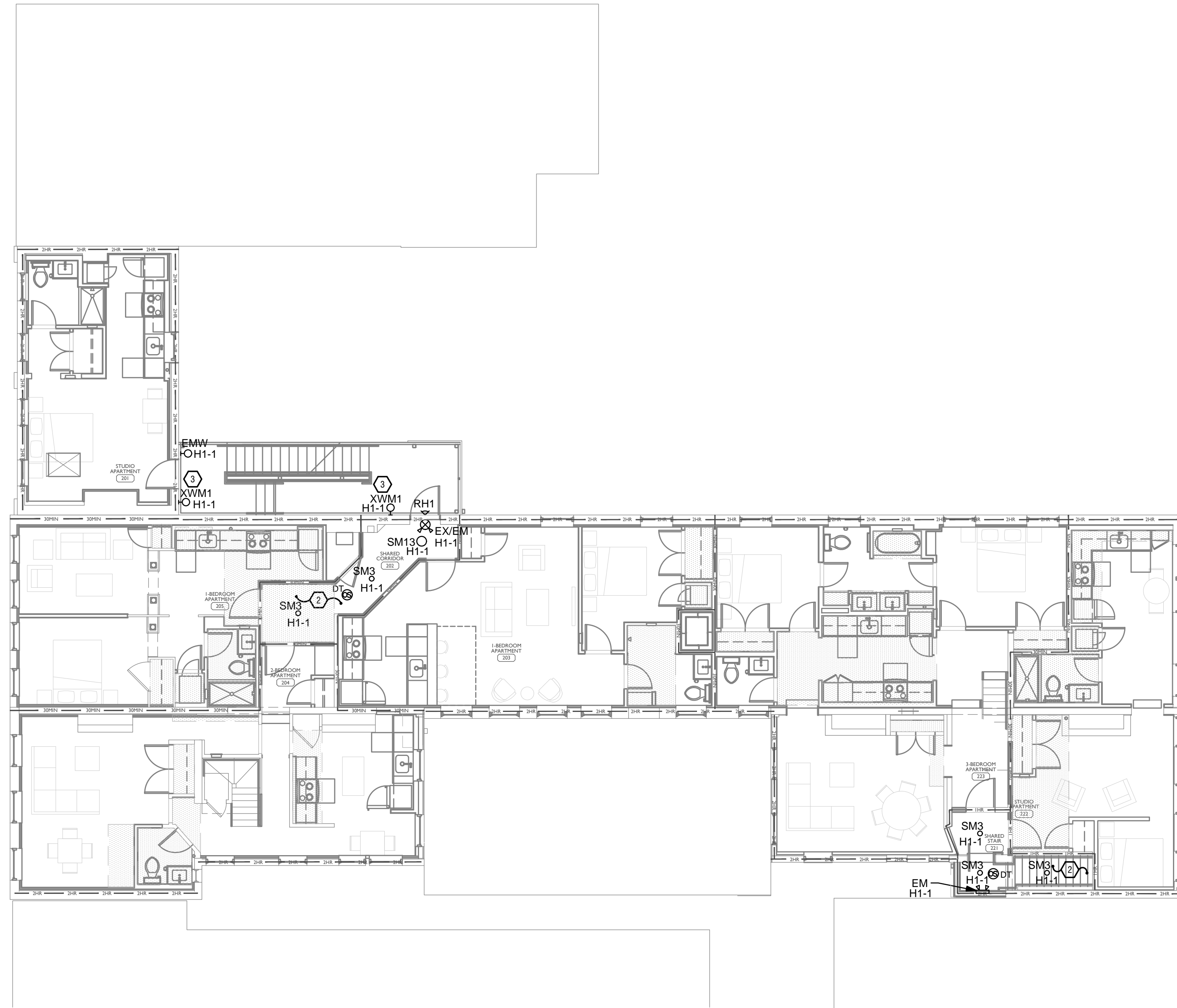
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PROPOSED PROJECT:
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 CINCINNATI, OH, 45202
 FINDLAY FLATS**

Job No: 22042 8/10/2022

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SCALE: 1/8" = 1'-0" ELECTRICAL LIGHTING PLAN - SECOND FLOOR | 1

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| SCOPE OF WORK |
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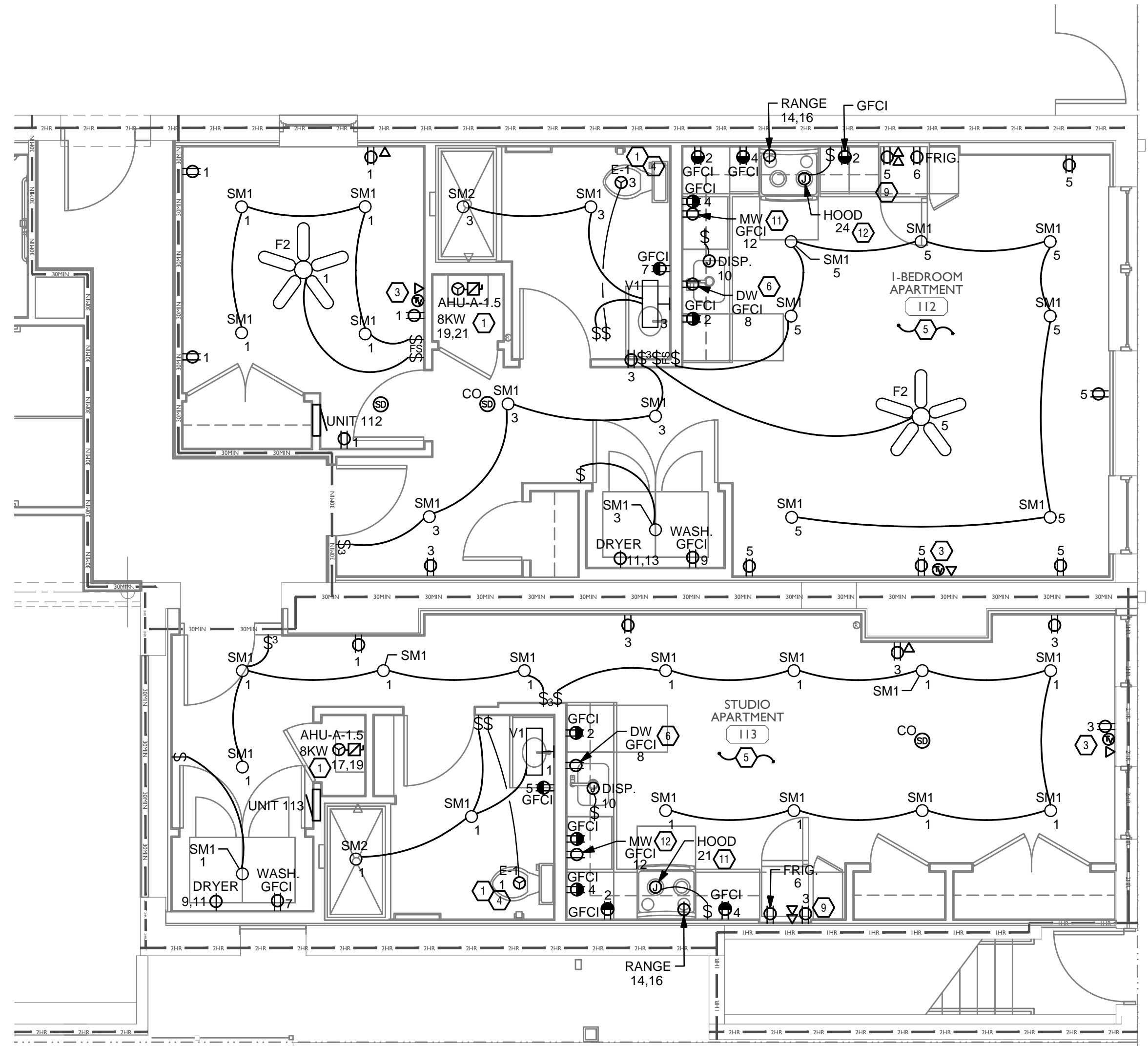
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 CINCINNATI, OH, 45202
 FINDLAY FLATS

Job No: 22042 8/10/2022

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GENERAL NOTES-DWELLING UNITS

- A. PROVIDE AFCI PROTECTION IN ACCORDANCE WITH NEC 210.12. AFCI PROTECTION MUST BE PROVIDED WHERE EXISTING BRANCH CIRCUIT WIRING IS MODIFIED, OR RECEPTACLES ARE REPLACED, IN ACCORDANCE WITH NEC AND LOCAL ELECTRICAL INSPECTION REQUIREMENTS. REFER TO NEC 408.4 (D) AND NEC 210.12 (D).
- B. FURNISH AND INSTALL SMOKE DETECTORS AS REQUIRED BY CODE. SMOKE DETECTORS SHOWN ON EBS DRAWINGS ARE INTENDED TO CONVEY GENERAL COMPLIANCE FOR BUILDING DEPARTMENT SUBMITTALS. PROVIDE INTERWIRING BETWEEN SMOKE DETECTORS LOCATED IN THE SAME UNIT. SMOKE DETECTORS SHALL BE HARD WIRED WITH BATTERY BACK-UP. FIRE ALARM AND/OR SMOKE DETECTOR SYSTEMS ARE FURNISHED ON A DESIGN-BUILD BASIS BY THE ELECTRICIAN.
- C. WHERE CIRCUITING IS SHOWN TYPICAL FOR MULTIPLE UNITS, COORDINATE BREAKER/WIRE SIZES FOR EQUIPMENT FURNISHED BY OTHERS WITH SHOP DRAWINGS PROVIDED BY THE CONTRACTOR SUPPLYING THE EQUIPMENT. VERIFY BREAKER/WIRE SIZES FOR EQUIPMENT OR APPLIANCE FOR EACH UNIT PRIOR TO ROUGH-IN.
- D. SEE ARCHITECTURAL REFLECTED CEILING PLANS FOR DIMENSIONED LOCATIONS OF ALL LIGHT FIXTURES.
- E. PROVIDE CONDUIT AND PULL STRING TO APPROVED LOCATION FOR VOICE, DATA, AND CATV CABLES.
- F. CIRCUITING ON DRAWINGS AND PANEL SCHEDULE IS SHOWN TYPICAL FOR SIMILAR UNITS. REFER TO DWELLING UNIT LOAD SUMMARIES FOR INDIVIDUAL DWELLING UNIT LOAD CALCULATIONS.
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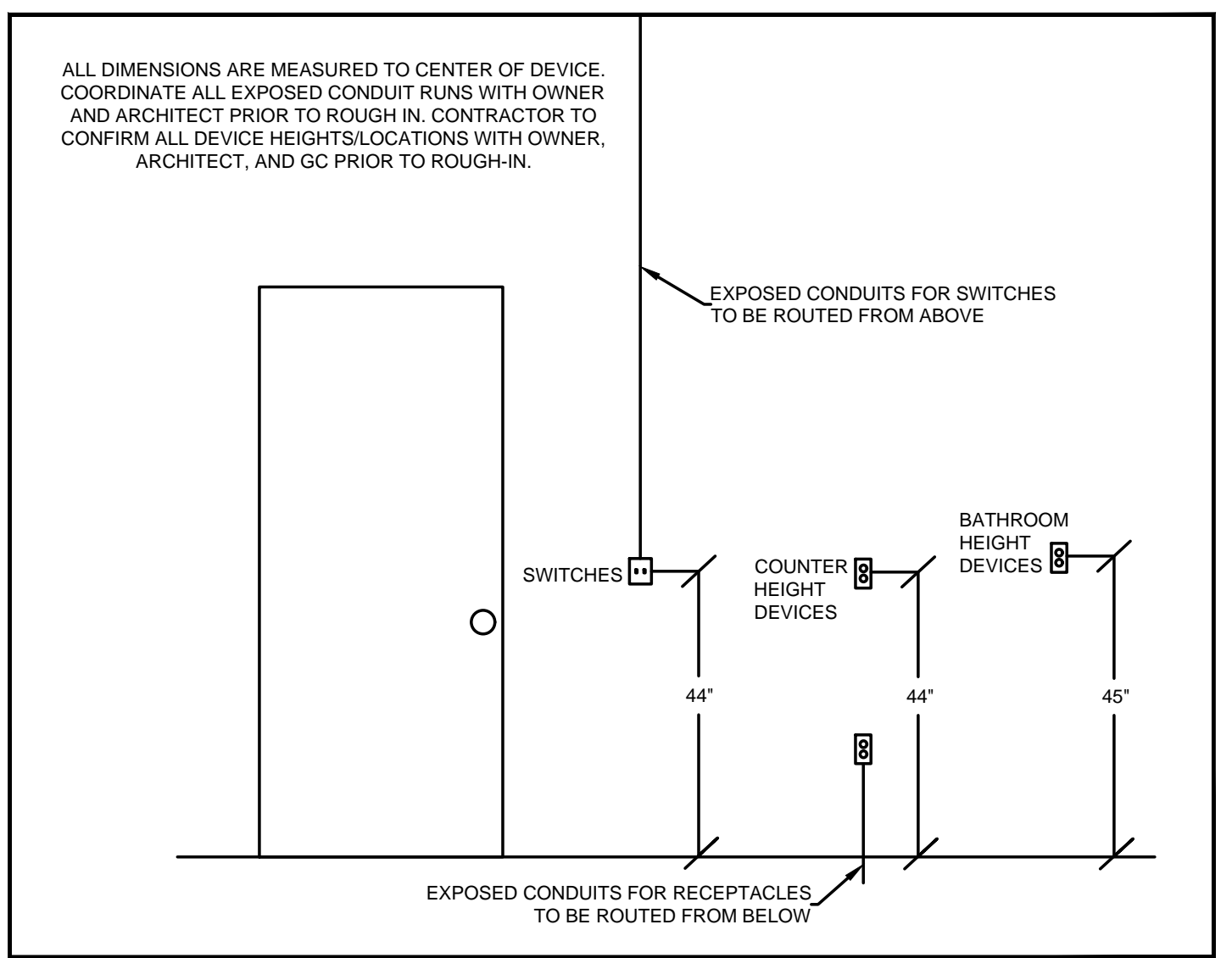
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- 8. UNIT WIRED TO TYPICAL "0B1" REFER TO PANEL SCHEDULE FOR LOAD DATA. SEE UNIT 201 FOR CIRCUITRY LAYOUT.
- 9. INSTALL FIBROPTIC 4-GANG AND QUAD OUTLET IN CABINET ABOVE REFRIGERATOR AS SHOWN.
- 10. COORDINATE LOCATION OF UNIT PANEL WITH BATHROOM MEDICINE CABINET AND ARCHITECT.
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STANDARD MOUNTING HEIGHTS

SCALE: 1/4" = 1'-0"

ELECTRICAL UNIT POWER PLAN - FIRST FLOOR



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WWW.PLATTEDESIGN.COM | T: 513.871.1850 | F: 513.871.1829

PROPOSED PROJECT:
**RENOVATION FOR
 1726 Vine St / 1728 Vine St / 1730 Vine St /
 1675 Hamer St
 CINCINNATI, OH, 45202
 FINDLAY FLATS**

Job No: 22042 8/10/2022

Progress Dates
 05/26/2023 BID/PERMIT
 08/30/2024 BID SET 2

Revisions

Checked By: PRS
 Drawn by: AJW

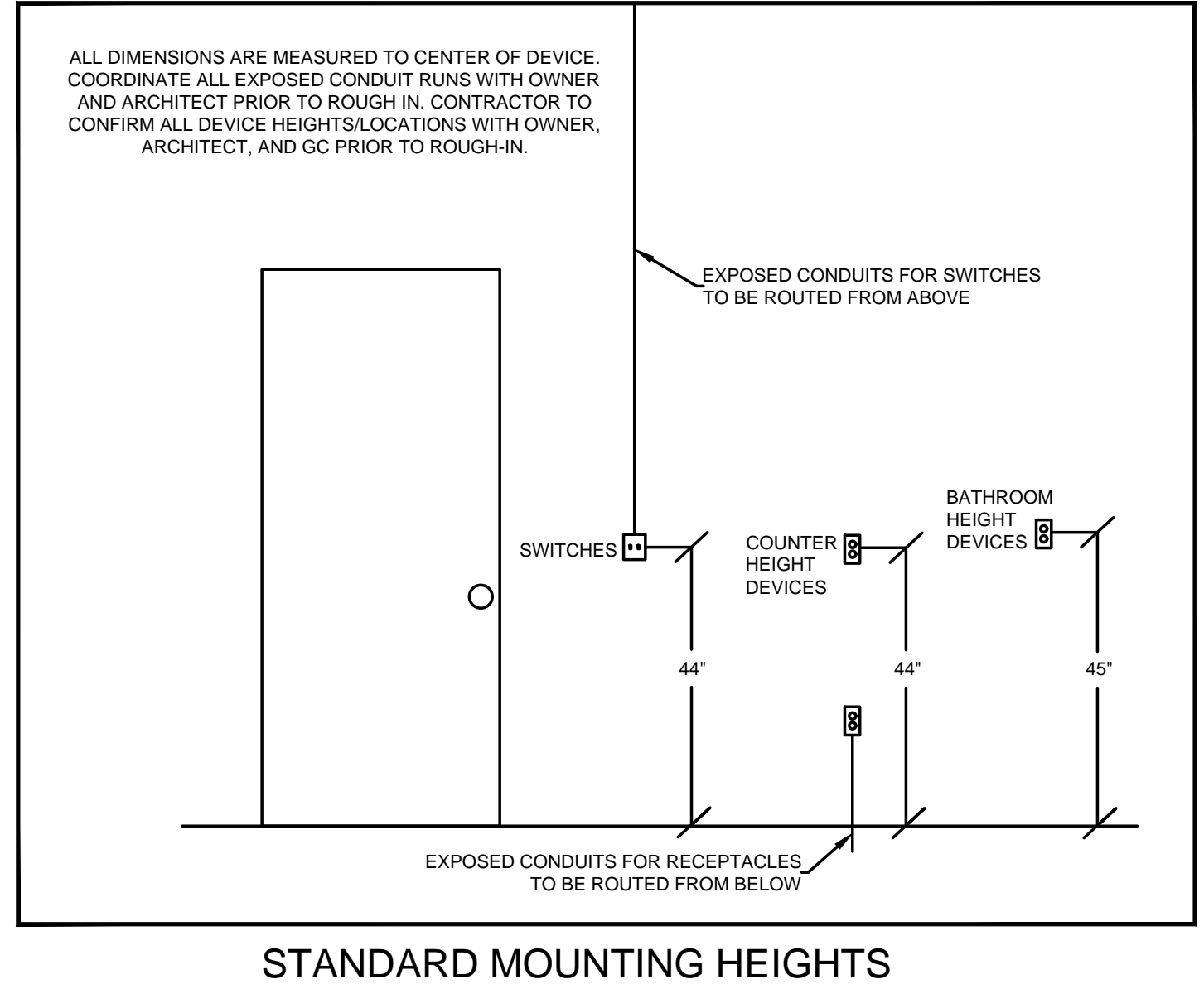
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**ENGINEERED
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 SYSTEMS INC.**

TEAMWORK COLLABORATION
 SHARED SUCCESS
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 MEP Consulting Services, Inc. in OH
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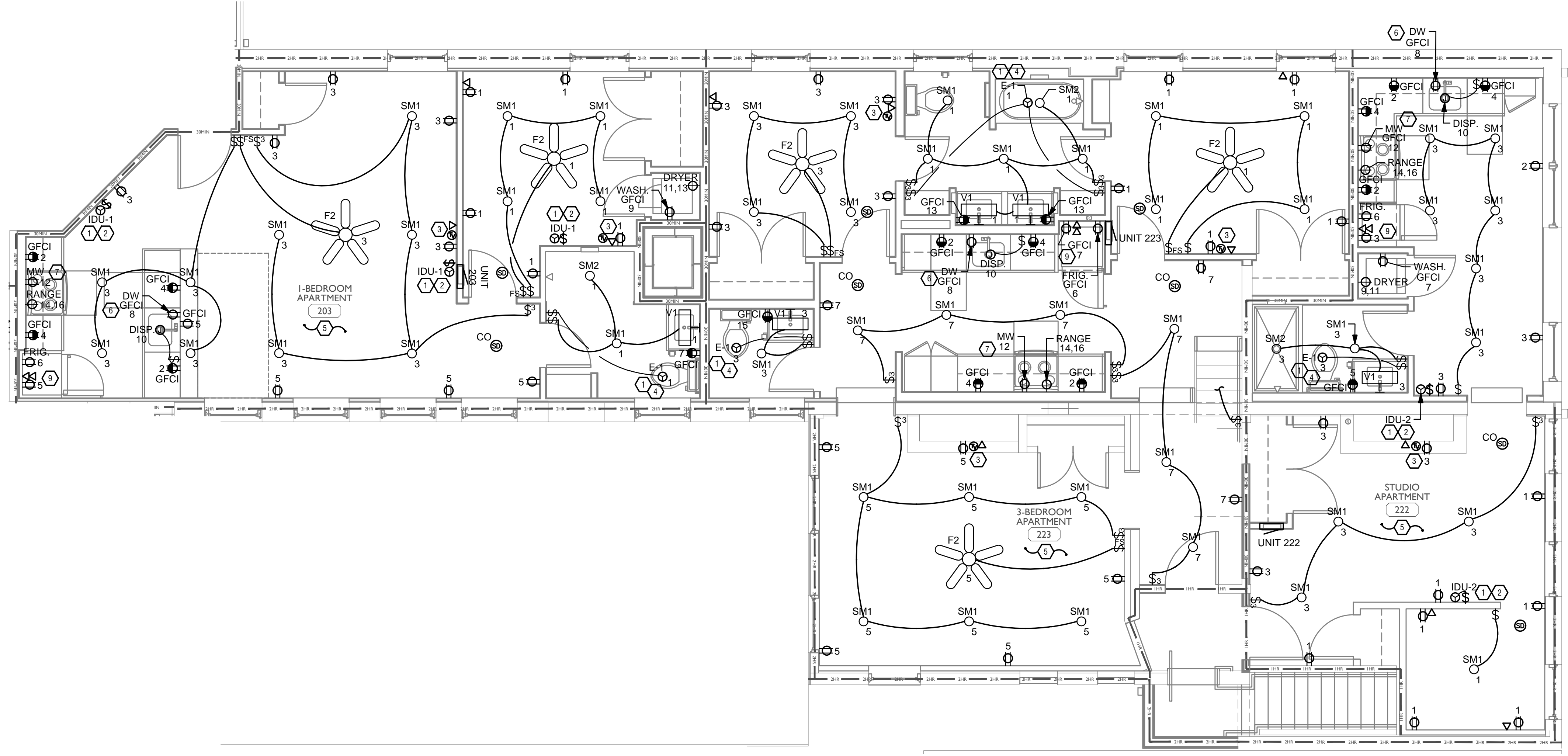
Z:\Project_Directories\9700-9793\9757 - Findlay Flats - Findlay Flats - Construction Documents - Phase 1 (8 Buildings) \1724 WINE VINE - RT - Auto-Model - Plot - Date/Time: Aug 29, 2024 - 10:49am - Bx: derek.grandy
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Revisions

Checked By: PRS
 Drawn by: AJW

PR-09757
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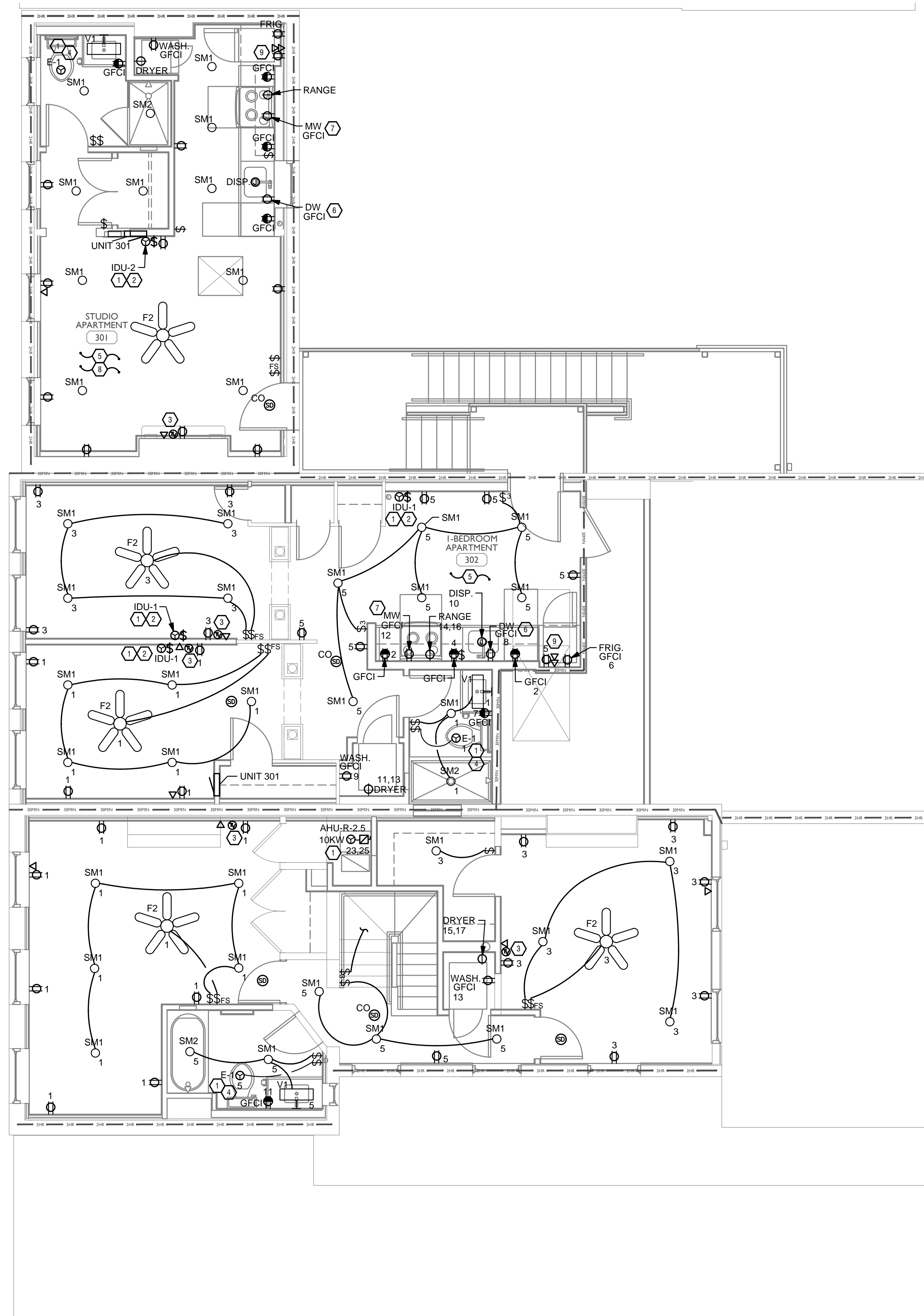
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PROPOSED PROJECT:
RENOVATION FOR
1726 Vine St / 1728 Vine St / 1730 Vine St /
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CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/10/2022

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Z:\Project_Directories\9700-9799\9757 - Findlay Flats - Findlay Flats (Williamson 2 Phase II) - Construction Documents - Phase 1 (8 Buildings)\1724 (WV) - ELEC - REV - AET - Auto-Model - Plot - Date/Time: Aug 29, 2024 - 10:49am - Bc: derek.gandy
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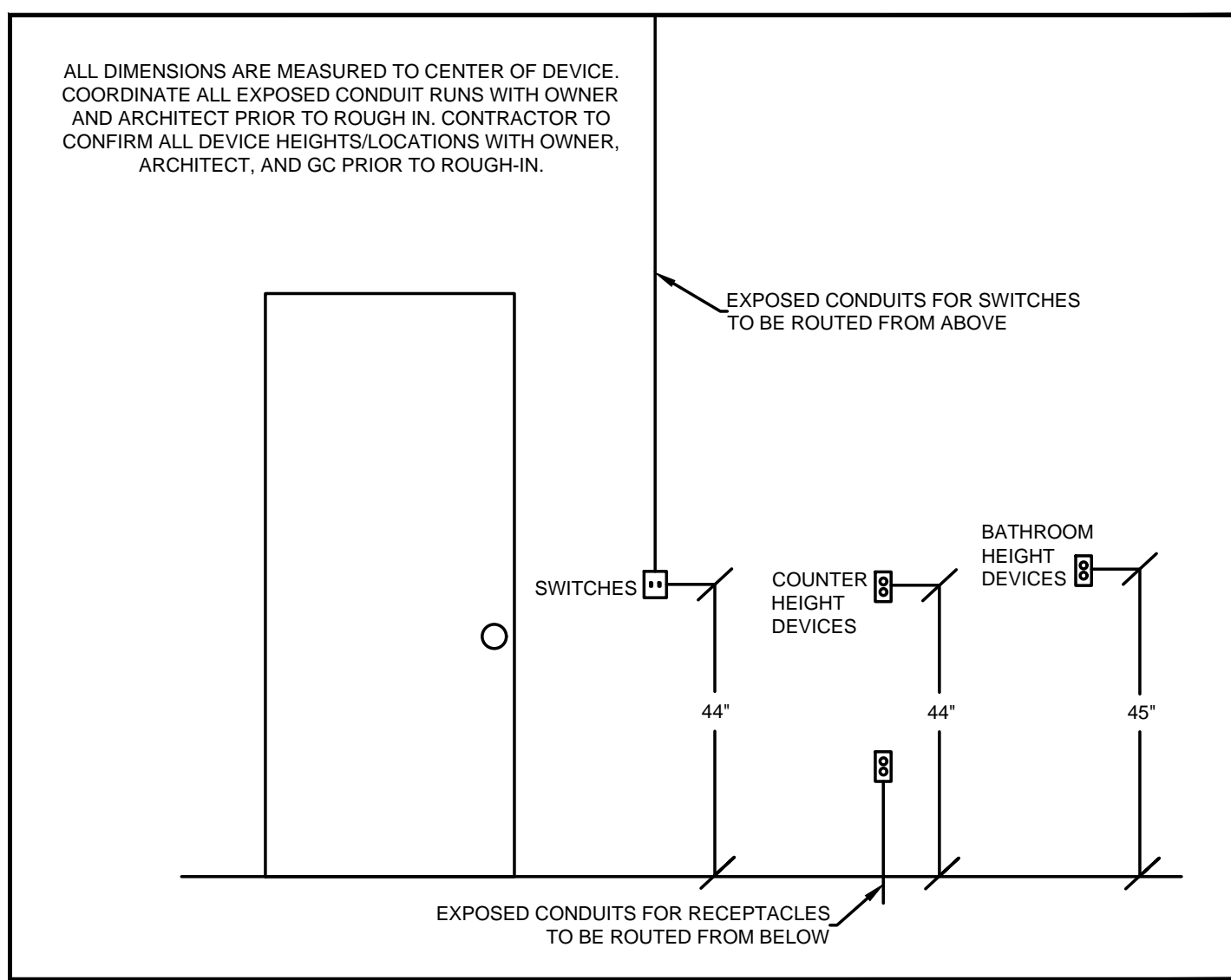
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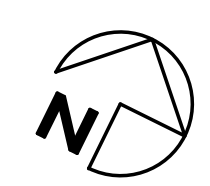
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- F. FOR ITEMS FURNISHED BY OTHER TRADES, ELECTRICAL CONTRACTOR TO FULLY COORDINATE BREAKER AND WIRE SIZES WITH ACTUAL EQUIPMENT BEING CONNECTED PRIOR TO ROUGH-IN, OR INSTALLATION. THE SIZES ON PANEL SCHEDULES REFER TO BASIS OF DESIGN SELECTIONS, AND ACTUAL ITEMS MAY DEVIATE FROM BASIS OF DESIGN. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO CONFIRM REQUIRED WIRE AND BREAKER SIZES WITH THE CONTRACTOR FURNISHING THE EQUIPMENT.
- G. REFER TO ARCHITECT'S PLANS AND ELEVATIONS FOR ALL DEVICE MOUNTING HEIGHTS.
- H. CONTRACTOR TO PROVIDE GROUNDING AND BONDING AS REQUIRED FOR ELECTRICAL SYSTEMS. GROUNDING AND BONDING IS CONSIDERED MEANS AND METHODS OF CONSTRUCTION, AND SHOULD BE COMPLETED BY THE ELECTRICAL CONTRACTOR IN ACCORDANCE WITH NEC 250. GAS PIPING SYSTEMS MUST BE BONDED PER UTILITY PROVIDER'S INSTALLATION GUIDELINES WHERE REQUIRED.
- I. ELECTRICAL RECEPTACLES ON OPPOSITE SIDES OF A WALL ARE TO BE SPACED SO THAT THEIR ELECTRICAL BOX ARE A MINIMUM OF ONE STUD BETWEEN BOXES.



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Progress Dates
 05/26/2023 BID/PERMIT
 08/30/2024 BID SET 2

Revisions

Checked By: PRS
 Drawn by: AJW

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ENGINEERED BUILDING SYSTEMS INC.
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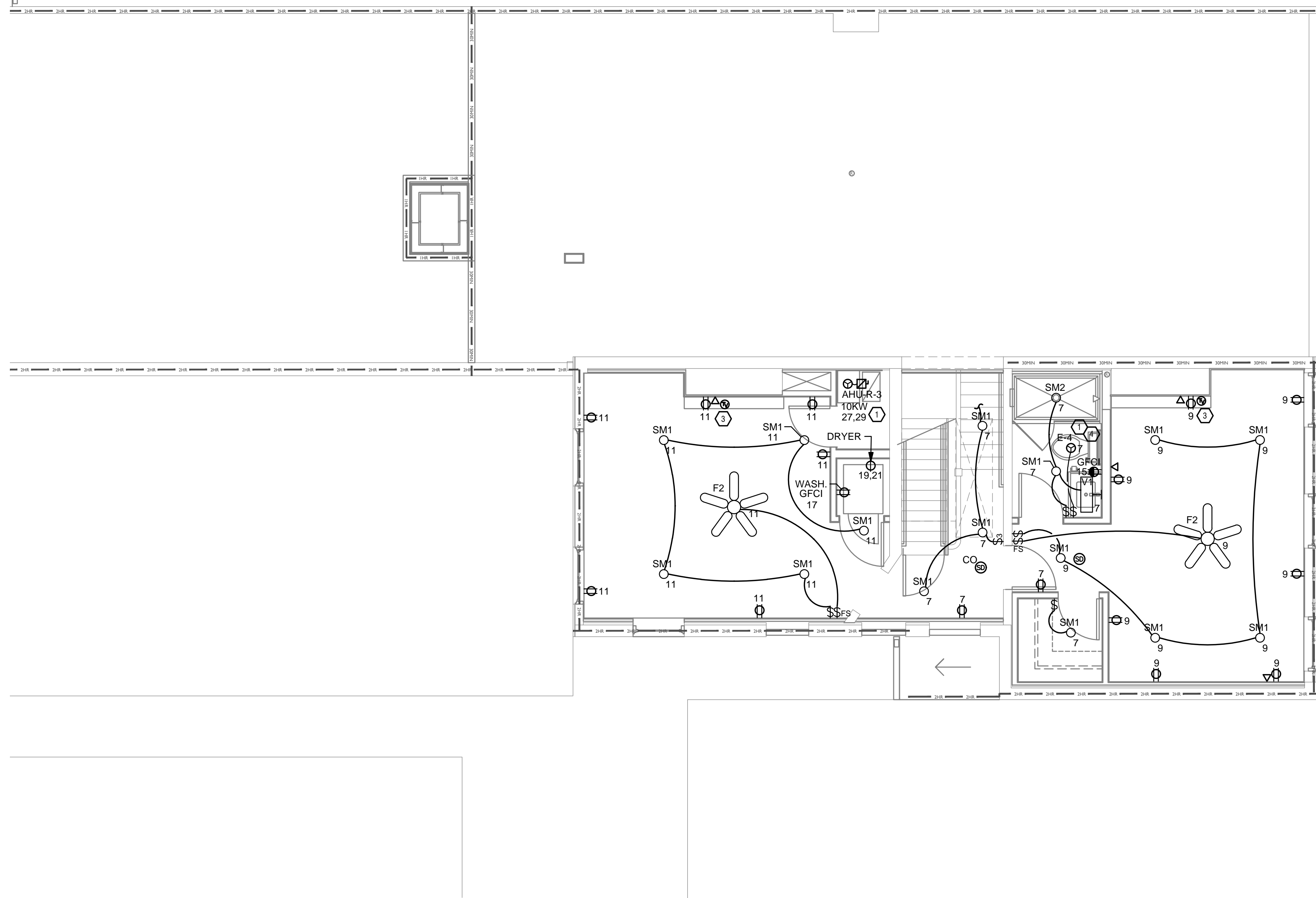
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PROPOSED PROJECT:
 RENOVATION FOR
 1726 Vine St / 1728 Vine St / 1730 Vine St /
 1675 Hamer St
 CINCINNATI, OH, 45202
 FINDLAY FLATS

Job No: 22042 8/10/2022

E3.02A

Z:\Project_Directories\9700-9789\9757 - Findlay Flats - Findlay Periside (Williamson 2 Phase II)-Construction Documents-Phase 1 (8 Buildings)\1724 WNEVREF-ATL-Acc-Model-Plt-Date/Time: Aug 29, 2024 - 10:49am - Bc: derek.grundy
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GENERAL NOTES-DWELLING UNITS

- A. PROVIDE AFCI PROTECTION IN ACCORDANCE WITH NEC 210.12. AFCI PROTECTION MUST BE PROVIDED WHERE EXISTING BRANCH CIRCUIT WIRING IS MODIFIED, OR RECEPTACLES ARE REPLACED, IN ACCORDANCE WITH NEC AND LOCAL ELECTRICAL INSPECTION REQUIREMENTS. REFER TO NEC 406.4 (D) AND NEC 210.12 (D).
- B. FURNISH AND INSTALL SMOKE DETECTORS AS REQUIRED BY CODE. SMOKE DETECTORS SHOWN ON EBS DRAWINGS ARE INTENDED TO CONVEY GENERAL COMPLIANCE FOR BUILDING DEPARTMENT SUBMITTALS. PROVIDE INTERWIRING BETWEEN SMOKE DETECTORS LOCATED IN THE SAME UNIT. SMOKE DETECTORS SHALL BE HARD WIRED WITH BATTERY BACK-UP. FIRE ALARM AND/OR SMOKE DETECTOR SYSTEMS ARE FURNISHED ON A DESIGN-BUILD BASIS BY THE ELECTRICIAN.
- C. WHERE CIRCUITING IS SHOWN TYPICAL FOR MULTIPLE UNITS, COORDINATE BREAKER/WIRE SIZES FOR EQUIPMENT FURNISHED BY OTHERS WITH SHOP DRAWINGS PROVIDED BY THE CONTRACTOR SUPPLYING THE EQUIPMENT. VERIFY BREAKER/WIRE SIZES FOR EQUIPMENT OR APPLIANCE FOR EACH UNIT PRIOR TO ROUGH-IN.
- D. SEE ARCHITECTURAL REFLECTED CEILING PLANS FOR DIMENSIONED LOCATIONS OF ALL LIGHT FIXTURES.
- E. PROVIDE CONDUIT AND PULL STRING TO APPROVED LOCATION FOR VOICE, DATA, AND CATV CABLES.
- F. CIRCUITING ON DRAWINGS AND PANEL SCHEDULE IS SHOWN TYPICAL FOR SIMILAR UNITS. REFER TO DWELLING UNIT LOAD SUMMARIES FOR INDIVIDUAL DWELLING UNIT LOAD CALCULATIONS.
- G. COORDINATE RECEPTACLE, PHONE, AND TV DEVICE PLACEMENT WITH FURNITURE LOCATIONS. VERIFY WITH ARCHITECT PRIOR TO ROUGH-IN. LOCATIONS SHOWN ON DRAWINGS ARE INTENDED TO CONVEY DESIGN INTENT, AND DEMONSTRATE GENERAL COMPLIANCE WITH CODE. WHERE ACTUAL STUD LOCATIONS REQUIRE DEVICE LOCATIONS TO BE ADJUSTED, ADDED OR MINOR VARIATIONS AMONG UNITS THAT ARE SHOWN AS 'TYPICAL', ETC. OCCUR, CONTRACTOR, UNDER HIS BASE BID, TO MAKE NECESSARY ADJUSTMENTS/ ADDITIONS IN THE FIELD TO MAINTAIN NEC DWELLING UNIT RECEPTACLE SPACING REQUIREMENTS. WHERE ACTUAL WINDOW CONSTRUCTION PROHIBITS THE INSTALLATION OF A WALL RECEPTACLE, PROVIDE FLOOR RECEPTACLE WITHIN 18 INCHES OF THE BASE OF THE WALL. PROVIDE TAMPER PROOF RECEPTACLES AS REQUIRED BY NEC ART. 406.12

SCOPE OF WORK

RENOVATION OF EXISTING BUILDING MULTIFAMILY BUILDING WITH COMMERCIAL FIRST FLOOR. PROVIDE NEW ELECTRICAL DISTRIBUTION, POWER AND LIGHTING. SEE SINGLE LINE DIAGRAM FOR MORE DETAILS.

GENERAL NOTES-OVERALL PROJECT

- A. EBS DRAWINGS INDICATE DESIGN INTENT AND REQUIRED OUTCOMES. IF CONDITIONS ARISE IN THE FIELD THAT REQUIRE DEVIATIONS FROM THE DRAWINGS IT IS ASSUMED THAT THE CONTRACTOR WILL DETERMINE THE APPROPRIATE DEVIATION WITH APPROVAL FROM THE OWNER. EBS IS AVAILABLE TO ASSIST WHEN REQUIRED IF ISSUES ARISE.

GENERAL NOTES-LIGHTING

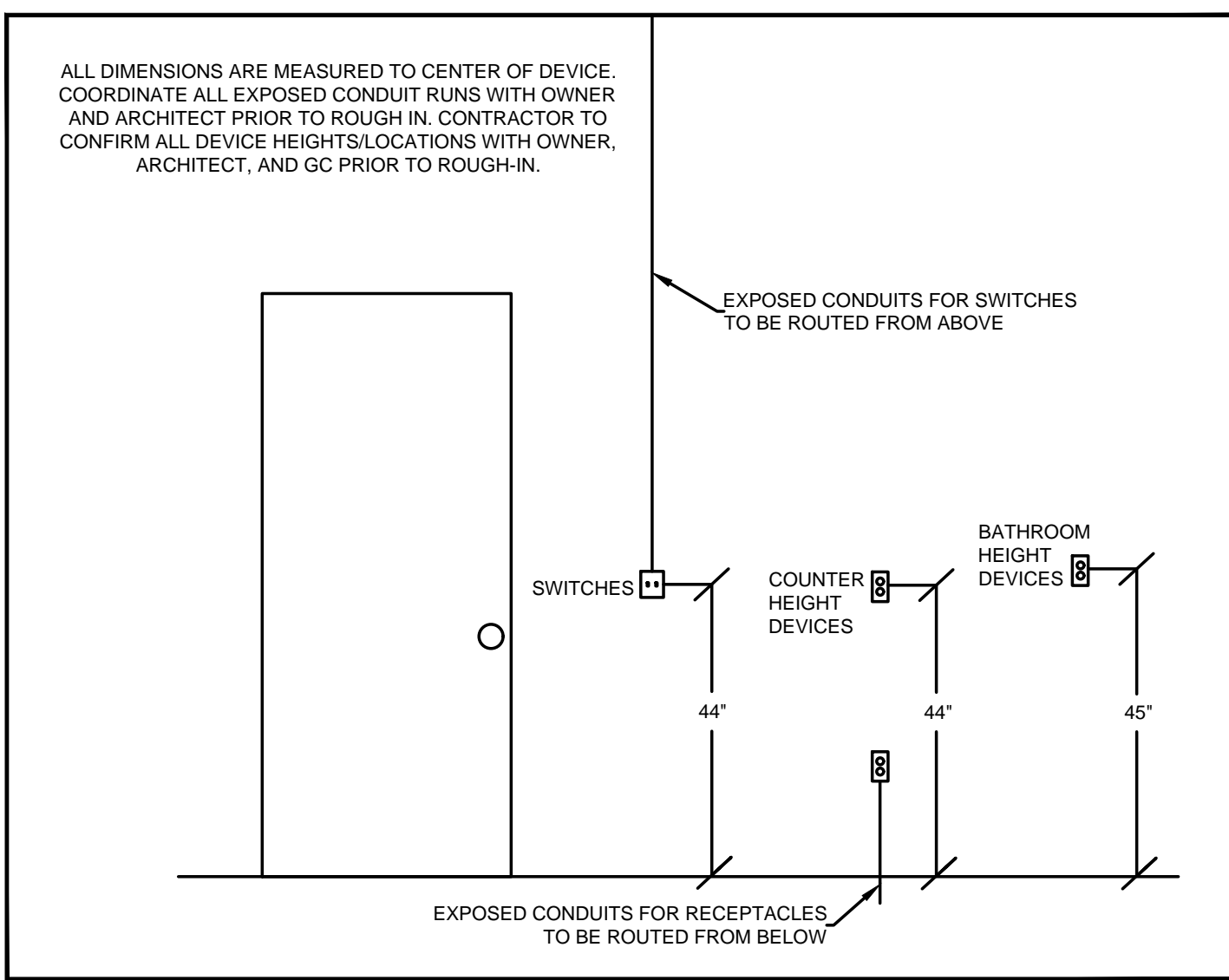
- A. REFER TO ARCHITECT'S PLANS AND ELEVATIONS FOR DIMENSIONED LOCATIONS OF LIGHT FIXTURES.
- B. PROVIDE HOLD-ON-TYPE BREAKERS FOR EGRESS/EMERGENCY LIGHTING CIRCUITS. WIRE ALL EGRESS/EMERGENCY FIXTURES AHEAD OF ANY LOCAL SWITCHING.
- C. LIGHT FIXTURES CONTROLLED BY SWITCH IN SAME ROOM UNLESS OTHERWISE NOTED.
- D. WHERE DIMMERS AND/OR DIMMING SYSTEMS ARE REQUIRED, CONTRACTOR TO FURNISH DIMMERS THAT ARE COMPATIBLE WITH FIXTURE SOURCE AND RATED FOR THE WATTAGE OF THE DIMMING ZONE. PROVIDE ADDITIONAL DIMMERS AS REQUIRED TO MEET ZONE LOAD REQUIREMENTS.
- E. ELECTRICAL SWITCHES ON OPPOSITE SIDES OF A WALL ARE TO BE SPACED SO THAT THEIR ELECTRICAL BOX ARE A MINIMUM OF ONE STUD BETWEEN BOXES.
- F. WHERE APPLICABLE, PROVIDE TOGGLE STYLE LIGHT SWITCHES.

GENERAL NOTES-POWER

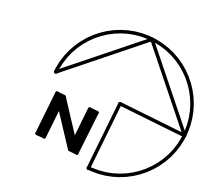
- A. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ALL CONDUIT/CABLE ROUTING. COORDINATE ROUTING WITH ALL OTHER TRADES AND BUILDING CONDITIONS.
- B. SEE SINGLE LINE DIAGRAM FOR FEEDER WIRE AND CONDUIT SIZE. ALL CIRCUITS NOT SIZED ON DRAWING SHALL BE INSTALLED TO MEET MINIMUM SIZE REQUIRED BY NEC.
- C. PROVIDE MOTOR STARTERS FOR EQUIPMENT AS INDICATED ON DRAWINGS. COORDINATE ANY INTERLOCKING WIRING WITH HVAC CONTRACTOR AND PROVIDE WIRING, COILS, AND AUXILIARY CONTACTS AS NECESSARY. SIZE ALL CIRCUITS FOR ACTUAL EQUIPMENT TO BE CONNECTED.
- D. ALL PANELS AND DISCONNECTS LOCATED OUTDOORS SHALL BE LABELED NEMA 3R.
- E. ROOF MOUNTED AND OUTDOOR EQUIPMENT SHALL HAVE 120V RECEPTACLE MOUNTED WITHIN 25' OF EACH PIECE. RECEPTACLES SHALL BE IN WEATHER PROOF BOX AND HAVE GFCI PROTECTION.
- F. FOR ITEMS FURNISHED BY OTHER TRADES, ELECTRICAL CONTRACTOR TO FULLY COORDINATE BREAKER AND WIRE SIZES WITH ACTUAL EQUIPMENT BEING CONNECTED PRIOR TO ROUGH-IN, OR INSTALLATION. THE SIZES ON PANEL SCHEDULES REFER TO BASIS OF DESIGN SELECTIONS, AND ACTUAL ITEMS MAY DEVIATE FROM BASIS OF DESIGN. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO CONFIRM REQUIRED WIRE AND BREAKER SIZES WITH THE CONTRACTOR FURNISHING THE EQUIPMENT.
- G. REFER TO ARCHITECT'S PLANS AND ELEVATIONS FOR ALL DEVICE MOUNTING HEIGHTS.
- H. CONTRACTOR TO PROVIDE GROUNDING AND BONDING AS REQUIRED FOR ELECTRICAL SYSTEMS. GROUNDING AND BONDING IS CONSIDERED MEANS AND METHODS OF CONSTRUCTION, AND SHOULD BE COMPLETED BY THE ELECTRICAL CONTRACTOR IN ACCORDANCE WITH NEC 250. GAS PIPING SYSTEMS MUST BE BONDED PER UTILITY PROVIDER'S INSTALLATION GUIDELINES WHERE REQUIRED.
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KEYED SHEET NOTES

- 1. MECHANICAL EQUIPMENT PROVIDED BY MECHANICAL CONTRACTOR, WIRED BY ELECTRICAL CONTRACTOR. VERIFY ELECTRICAL REQUIREMENTS WITH MECHANICAL REQUIREMENTS PRIOR TO ROUGH-IN.
- 2. DUCTLESS INDOOR UNIT POWERED FROM OUTDOOR UNIT. CONFIRM LOCATION AND DISCONNECTING MEANS WITH INSTALLING CONTRACTOR.
- 3. COORDINATE TV RECEPTACLE AND DATA LOCATIONS WITH OWNER AND ARCHITECT PRIOR TO ROUGH-IN.
- 4. PROVIDE SWITCH AND CONNECTION FOR CONTINUOUSLY RUNNING 2-SPEED BATHROOM FAN. VERIFY REQUIREMENTS WITH MECHANICAL CONTRACTOR PRIOR TO ROUGH-IN.
- 5. PROVIDE HARD-WIRED SMOKE DETECTORS WITH BATTERY BACK-UP AS REQUIRED. ONE SMOKE DETECTOR IN EACH UNIT MUST BE A SMOKE/CO DETECTOR COMBO.
- 6. DISHWASHER MUST BE GFCI PROTECTED PER NEC 210.8(D) RECEPTACLE LOCATION WITH GENERAL CONTRACTOR PRIOR TO ROUGH-IN.
- 7. MICROWAVE RECEPTACLE LOCATED IN CABINET ABOVE, COORDINATE LOCATION WITH GENERAL CONTRACTOR PRIOR TO ROUGH-IN.
- 8. UNIT WIRED TO TYPICAL "0B1" REFER TO PANEL SCHEDULE FOR LOAD DATA. SEE UNIT 201 FOR CIRCUITRY LAYOUT.
- 9. INSTALL FIBROPTIC 4-GANG AND QUAD OUTLET IN CABINET ABOVE REFRIGERATOR AS SHOWN.
- 10. COORDINATE LOCATION OF UNIT PANEL WITH BATHROOM MEDICINE CABINET AND ARCHITECT.
- 11. ADA UNITS SHALL HAVE SINGLE HOOD CONTROLLED BY SWITCH, COORDINATE SWITCH LOCATION WITH GENERAL CONTRACTOR AND ARCHITECT.
- 12. ADA UNIT MICROWAVE SHALL BE MOUNTED UNDER THE COUNTER. REFER TO CABINET DETAIL SHEET FOR REQUIRED DEVICE LOCATION.



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Revisions
 Checked By: PRS
 Drawn by: AJW

PR-09757
ENGINEERED BUILDING SYSTEMS INC.
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PROPOSED PROJECT:
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Job No: 22042 8/10/2022

E3.02B

Z:\Project Directories\9700-9789\9757 - Findlay Flats - Findlay Parkside (Williamson 2 Phase II) - Construction Documents - Phase 1 (8 Buildings)\1724 WNEVEEF-ART-Acc-Model - Bid - 08/2024-10/2024 - Br. Derek Grundy
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ELECTRICAL SPECIFICATIONS

1. General Demolition
 - a. Refer to architectural drawings, general notes, instructions to bidders, general conditions, supplementary general conditions, base building specifications and drawings, shop drawing manuals and as-built plans, except as noted herein, which apply in all respects to this section. The contractor shall visit the site and familiarize himself with all existing conditions prior to bidding the work.
2. Use of Drawings And Specifications
 - a. EBS drawings and specifications are intended to convey design intent only. All means and methods sequences, techniques, and procedures of construction as well as any associated safety precautions and programs, and all incidental and temporary devices required to construct the project, and to provide a complete and fully operational electrical system are the responsibility of the electrical contractor.
3. Standards
 - a. Materials equipment and materials shall conform with appropriate provisions of NEC, ASTM, UL, ETL, NEMA, ANSI, as applicable to each individual unit or assembly.
4. Codes
 - a. All work shall be performed in strict accordance with all applicable state and local codes and ordinances. In case of conflict between the drawings/specifications and the codes and ordinances, the highest standard shall apply. The electrical contractor shall satisfy code requirements as a minimum standard without any extra cost to owner.
5. Permits and Fees
 - a. The electrical contractor shall procure and pay for all permits, fees and inspections necessary to complete the electrical work.
6. Warranty
 - a. The electrical contractor shall unconditionally warrant all work to be free of defects in material and workmanship for a period of one (1) year from the date of final acceptance, and will repair or replace any defective work promptly and without charge and restore any other existing work damaged in the course of repairing defective materials and workmanship.
7. Site Examination
 - a. The electrical contractor shall thoroughly examine all areas of work where equipment will be installed and shall report any condition that, in his opinion, prevents the proper installation of the electrical work prior to bid. He shall also examine the drawings and specifications of other branches of work making reference to them for details of new or existing building conditions.
 - b. All work shall be done at times convenient to the owner and only during normal working hours, unless specified otherwise.
 - c. Electrical contractor shall take his own measurements and be responsible for them.
 - d. Access panels are not shown on drawings. During site examination, contractor

8. Contractor Coordination
 - a. The electrical drawings and specifications convey design intent only. Means and methods, sequences, techniques, and procedures of construction as well as any associated safety precautions and programs, and all incidental and temporary devices required to construct the project are the responsibility of the electrical contractor.
 - b. All systems installed by each sub-contractor shall be coordinated with one another and approved by general contractor/construction manager, etc. prior to installation and/or fabrication. Where the electrical contractor is making a connection to equipment/components that are furnished by others, electrical contractor to verify all connection requirements with actual equipment being connected, including but not limited to OCP size, means of disconnect, special connection requirements, or other items indicated on shop drawings, or manufacturer's installation instructions and/or installation diagrams, and furnish all labor and materials required for the installation and operation of the equipment. No allowances will be made for failure to coordinate, after electrical connections have been installed.
 - c. If questions concerning design intent arise during coordination, EBS can assist where appropriate.
 - d. The architectural drawings shall take precedence over all other drawings. Do not state distances off the electrical drawings; use actual building dimensions.
 - e. Coordination drawings showing system and component installation layout, routing, details, etc. shall be produced by the electrical contractor and under the supervision of the general contractor/construction manager, or appropriate party as applicable. All systems installed by each sub-contractor shall be coordinated with one another and approved by general contractor/construction manager, etc. prior to installation and/or fabrication. If questions concerning design intent arise during installation, EBS can assist where appropriate.
9. Utility Coordination
 - a. Electrical contractor to verify installation of metering and utility demarcation equipment with utility provider prior to start of work and furnish and install required items per utility company's installation requirements and/or manuals.
10. Submittals
 - a. Products installed by the electrical contractor and provided by others must be submitted for review prior to purchasing. Products shall not be selected based on permit drawings without express permission - products shall be selected based on construction drawings.
11. Record Drawing
 - a. The electrical contractor shall be responsible for creating record drawings where required. Drawings shall be produced in AutoCAD 2004 format or later.
12. Shop Drawings
 - a. Submit to the architect pdf file copies of complete & certified shop drawings, descriptive data, performance data & ratings, diagrams and specifications on all

- specified equipment, including accessories, and materials for review.
- b. The make, model number, type, finish & accessories of all equipment and materials shall be reviewed & approved by the electrical contractor & general contractor prior to submitting to the architect for their review & approval.
- c. Review of shop drawings does not relieve the electrical contractor/vendor from compliance with the requirements of the contract drawings, specifications & applicable codes.
13. Testing
 - a. All electrical systems shall be tested for proper operation. Balance all branch circuit loads between the phases of the system to within 10% of the highest phase load in each panelboard.
14. Temporary Power
 - a. The electrical contractor shall provide temporary electrical wiring for construction. The temporary service shall be a minimum of 60 amps, single phase, three wire, 120/208 volts fused at main disconnect. All receptacles on this temporary service shall be protected by a GFI breaker.
15. Mechanical Equipment
 - a. All final connections to mechanical equipment shall be done by the electrical contractor.
16. Demolition
 - a. The electrical contractor shall be responsible for deenergizing circuits in demolition areas to insure a safe condition. Electrical devices and associated wiring located within the demolition area that will no longer be used shall be removed and properly disposed of at contractor's expense unless otherwise noted.
17. Power Outages
 - a. The electrical contractor shall schedule all electrical system(s) outages with the general contractor and owner at least 24 hours in advance. Unless approved otherwise all outages shall occur between 11:00pm and 5:00am.
18. Grounding and Bonding
 - a. Contractor to provide grounding and bonding as required for electrical systems. Grounding and bonding is considered means and methods of construction, and should be completed by the electrical contractor in accordance with NEC 250.
 - b. Any gas piping systems must be bonded per utility provider's installation guidelines where required.
19. Materials
 - a. Provide all new material and equipment unless noted otherwise. All equipment shall be UL approved and labeled, or other approved testing organization which has acceptance by the local jurisdiction, for the purpose for which they are used, in addition to meeting all requirements of the current applicable codes and regulations. No substitution to materials specified will be allowed unless approved by the owner.
 - b. Electrical contractor shall not order or purchase any materials or equipment until permit drawings have been approved. No allowances will be made for any

- changes that occur if permit drawings have not been approved prior to ordering.
20. Cutting and Fitting
 - a. Perform cutting, coring, fitting, repairing and finishing of the work necessary for the installation of the equipment of this section. However, no cutting of the work of other trades or of any structural member shall be done without the consent of the owner. Properly fill, seal, fireproof, and waterproof all openings, sleeves, and holes in slabs, walls, and casework.
21. Wiring Methods
 - a. Provide code approved wiring methods for branch circuiting indoors, such as NM cable (only where permitted by NEC 334), EMT conduit, or MC cable for mechanical equipment, lighting, and power.
 - b. Conduct runs on exterior of building shall be rigid steel conduit with weather tight, corrosion-resistant fittings. Schedule 40 PVC is acceptable where permitted by code and/or underground runs or concrete encasement where not exposed to physical damage.
 - c. The minimum size of conduit shall be 3/4" unless otherwise noted. Conduit connectors shall be double locknut type, UL listed and labeled, with compression or set screw fittings.
 - d. Rigid conduit shall be hot dipped galvanized.
 - e. Where raceways are installed for others to use, or for future use, provide nylon pull string.
 - f. Penetrations through fire rated construction shall be sealed using 3M fire barrier caulk, Nelson Electric Flameless or T&B FlameSafe or other approved method.
22. Conductors and Terminations
 - a. Branch conductors shall be copper, feeders as indicated on riser diagram. Conductors shall be insulated for 600v number 12 AWG minimum. Provide wires and cables as indicated listed and suitable for temperature, conditions, and location where installed.
23. Motors and Other Wiring
 - a. The electrical contractor shall provide all required conduit, wiring, and safety switches for all motors, and other electrical equipment, even though the motors and electrical equipment may be supplied by others. The electrical contractor shall include all work and connections required to make the system complete and operational. Provide magnetic starters for equipment as indicated on the drawings.
 - b. The electrical equipment may include but not be limited to such items as grille motors and interlocks, exterior and interior signage, starting devices, motor controllers, float switches, alarm devices or systems, push buttons, exhaust fans, data systems, intercoms and stereo systems. The electrical contractor shall verify equipment location and sizes with the trade supplying the equipment before installing the conduit or outlets.
24. Devices
 - a. Hubbell, Leviton, or approved equal with matching coverplates.
 - b. Provide specification grade wiring devices, in types, characteristics, grades, colors, and electrical ratings for applications indicated, which are UL-listed and

- which comply with NEMA WD1 and other applicable UL and NEMA standards. Verify color selections with architect. Provide device plates to match device colors.
- c. Provide GFCI protection for all kitchen 15 and 20-amp receptacles. Where the receptacle is rendered inaccessible by equipment provide GFCI protection at the circuit breaker.
25. Service entrance and distribution equipment
 - a. Electrical contractor must submit drawings for permit and receive approval prior to ordering equipment. No allowances will be made for equipment changes that occur prior to receipt of approved plans.
26. Disconnects and Fused Switches
 - a. Heavy duty type, horsepower rated with interlocking cover. NEMA 1 typical. Outdoor and wet location switches shall be rainlight type NEMA 3Rr. All switches shall be lockable. Fuses in circuits rated at 600 amperes or less shall be UL class RK1 dual-element, time-delay, current limiting fuses. Fuses in circuits rated at 601 amperes or larger shall be UL class I time-delay, current limiting fuses.
27. Nameplates
 - a. Provide permanent nameplate labeling on all disconnects. Include load served, voltage, phase, horsepower, fuse size, and type.
28. Mounting
 - a. Mount independent of the mechanical unit housing unless specifically accepted by the local code authority. Provide Unistrut support channels mounted in coordination with roof penetration and patching work. Coordinate with general contractor.
29. Grounding and bonding for electrical systems and equipment
 - a. Provide grounding and bonding for electrical service in accordance with NEC article 250.
 - b. All major parts not carrying current, including but not limited to, secondary feeder circuit, equipment and panelboard enclosures, pull and junction boxes, shall be properly grounded. Metallic raceways shall utilize double locknuts and other fittings as required to provide ground continuity.
30. Multi-tenant Meter Centers
 - a. Provide meter centers(s) as shown on the drawings and as specified herein. Meter centers shall have main lugs only or main breakers as required, and shall have branch breaker installed for each meter socket. Meter centers shall be Eaton, Square D, GE by ABB, or equal, and shall be of the same manufacture as load centers or panelboards served. Meter centers shall be enclosed NEMA 1, NEMA 3R as required. Final configuration (number of meters per section, end-main/center-main, etc. shall be determined by contractor. All bussing must be rated for the loads served. Meter centers shall be rated to withstand the available fault current.
31. Panelboards
 - a. Provide branch circuit panelboard(s) as shown on the drawings and as specified herein. Panelboards shall have bolted, thermal and magnetic breakers with main

- lugs only or main breakers as required. Panelboards shall be Eaton, Square D, GE by ABB, or equal, and be enclosed in NEMA 1 type housing unless noted otherwise. Enclosure(s) shall be complete with a hinged door, cylinder lock, and a neatly typed directory under plastic cover in each panel door. All multiple pole breakers shall have a common trip handle. All panels and breakers shall be rated to withstand available fault current.
32. Residential Load Centers
 - a. Provide load centers as shown on drawings and as specified herein. Load centers shall be Eaton, Square D, GE by ABB, or equal. Load centers shall contain a neatly typed directory in each door. All multiple pole breakers shall have a common trip handle. All panels and breakers shall be rated to withstand available fault current. Load centers may be used in areas other than dwelling units where appropriate and where approved by Owner's representative.
33. Lighting
 - a. Provide a new lighting system complete and fully operational and in conformance with code and UL listing requirements. Clean all fixtures at time of job completion utilizing manufacturers approved or recommended cleaning solutions. All fixtures and lamps are provided by this contractor as scheduled unless noted otherwise. Contractor shall furnish all boxes, mounting kits, transformers, controllers, and other components necessary for a complete and fully functional installation.
 - b. Where dimmers and/or dimming systems are required, contractor to furnish dimmers that are compatible with fixture source and rated for the wattage of the dimming zone. Provide additional dimmers as required to meet zone load requirements.
34. Telephone System
 - a. Telephone wiring and system provided by owner. Verify system requirements and rough-in locations with owner prior to start of construction. Electrical contractor shall provide plaster ring and pull string from each device location to above accessible ceiling.
35. Security System Notes
 - a. Security wiring and system provided by owner. Verify system requirements and rough-in locations with owner prior to start of construction. Provide power for owner's head-end equipment and remote power for secure doors as required.
36. Data/Pos/A-V/System Notes
 - a. Data, POS and/or A-V wiring and systems provided by owner. Verify system requirements and rough-in locations with owner prior to start of construction. Electrical contractor shall provide plaster ring and pull string from each device location to above accessible ceiling.
37. Fire Alarm System
 - a. Fire alarm system to be design-build by contractor. Contractor shall provide all required drawings and submit to authorities. Refer to architect's code sheet for relevant design criteria. Submit drawings to Owner/Architect for review prior to submitting to authorities. Provide required items including but not limited to relay modules, monitor modules, return-air detectors, elevator recall, etc. Provide remote annunciator panel(s) at location(s) approved by Architect and authorities.

FINDLAY PARKSIDE LUMINAIRE SCHEDULE

| CALLOUT | SYMBOL | LAMP | DESCRIPTION | MODEL | INPUT VA | NOTES | LOCATIONS |
|---------|--------|-----------------|---|---|----------|---|---|
| EM | | (2) 11W LED | EMERGENCY WALL PACK HIGH CAPACITY | SURE LITES - SEL50 | 1 | | |
| EMW | | (1) 15W LED | EMERGENCY WALL PACK | MEZZO - MEZ LED ACEM DB 120/277 CL | 15 | | |
| EX | | (1) 1.31W LED | EXIT FIXTURE | SURE-LITES - APX7R | 1.31 | | |
| EX/EM | | (1) 1.31W LED | COMBINATION EXIT/EMERGENCY FIXTURE | SURE-LITES - APCH7R | 1.31 | | |
| F1 | | (1) 38W LED/FAN | 36" CEILING FAN | HUNTER - 59301 | 38 | FRESH WHITE | LIVING ROOM AND BEDROOM |
| F2 | | (1) 54W LED | 52" CEILING FAN | HUNTER - 51433 | 54 | FRESH WHITE | LIVING ROOM AND BEDROOM |
| RH1 | | (1) 0.78W LED | SINGLE REMOTE HEAD | SURE-LITES - APWR1 | 0.78 | | |
| SM1 | | (1) 9.7W LED | 4" ROUND SURFACE MOUNT DOWNLIGHT | HALO - SMD4 | 9.7 | WHITE FINISH | GENERAL DOWNLIGHT THROUGHOUT, U.N.O. |
| SM2 | | (1) 9.7W LED | 4" ROUND SURFACE MOUNT DOWNLIGHT - DAMP RATED | HALO - SMD4 | 9.7 | WHITE FINISH | CEILING DOWNLIGHTS IN SHOWERS |
| SM3 | | (1) 9.7W LED | 4" ROUND SURFACE MOUNT DOWNLIGHT | HALO - SMD4 | 9.7 | WHITE FINISH | CEILING DOWNLIGHTS IN CORRIDORS |
| SM8 | | (1) 31.4W LED | 2X2 LED PANEL LIGHT FIXTURE | METALUX - CGT LED PANEL SERIES | 31.4 | | COMMERCIAL FIRST FLOOR ONLY |
| SM13 | | (1) 9W LED | SURFACE MOUNT ENTRY VESTIBULE LIGHT | EFFICIENT LIGHTING - EL-831-109E26LED-BN | 9 | POWDER COAT BLACK | STAIR HALL ENTRY VESTIBULE LIGHT - 1ST FLOOR ONLY |
| ST1 | | (1) 18W LED | 4' LED STRIP LIGHT | METALUX - 4SNLED-LD5-28SL-UNV-L835-CD1-U | 18 | | BASEMENT AND ATTIC ONLY |
| TL1 | | (4) 10.5W LED | TRACK LIGHT - HEAD | HALO - L81208FL9027P L651P | 42 | | COMMERCIAL 1ST FLOOR ONLY |
| V1 | | (1) 25W LED | LED VANITY LIGHT | EFFICIENT - EL222L-24 | 25 | BLACK | RESIDENTIAL AND COMMERCIAL BATHROOMS |
| WM1 | | (1) 15W LED | EXTERIOR LED LIGHT FIXTURE | LIGMAN LIGHTING USA - UJE-30351 - XX - X - W30 - 01 | 15 | COLOR 01-BLACK RAL 9011 | EXTERIOR - DARK SKY COMPLIANT |
| WM5 | | (1) 15W LED | EXTERIOR LED LIGHT FIXTURE | STEEL LIGHTING CO - VENICE WALL MOUNT - A09-01-ST11-01-XX-01 (3000K LED LAMP) | 15 | 11" STRAIGHT ARM (VERIFY MOUNTING WITH ARCHITECT) | EXTERIOR - DARK SKY COMPLIANT |

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Progress Dates
 05/26/2023 BID/PERMIT
 08/30/2024 BID SET 2

Revisions

Checked By: PRS
 Drawn by: AJW

PR-09757
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PROPOSED PROJECT:
RENOVATION FOR
1726 Vine St / 1728 Vine St / 1730 Vine St /
1675 Hamer St
CINCINNATI, OH, 45202
FINDLAY FLATS

Job No: 22042 8/10/2022

E3.00

Z:\Projects\Director\9700-9793\9757 - Findlay Flats - Findlay Flats - Findlay Flats - Phase II - Construction Documents - Phase 1 (8 Buildings) 1724 WNE VEE - A/E - Model - Plot - Date/Time: Aug 29, 2024 - 10:49am - Bc - derek.grundy
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| UNIT 203 | | | | | | | |
|---------------|---------|----------|---------------------------|----------------------|---------|---------------|---------------------|
| ROOM MOUNTING | | FLUSH | | VOLTS 208/120V 2P 3W | | AIC T.B.D. | |
| FED FROM | | MC1 | | BUS AMPS 150 | | MAIN BKR MLO | |
| NOTE | | | | NEUTRAL 100% | | LUGS STANDARD | |
| CKT # | CKT BKR | LOAD KVA | CIRCUIT DESCRIPTION | CKT # | CKT BKR | LOAD KVA | CIRCUIT DESCRIPTION |
| 1 | 15/1 | 1.16 | E-1, LIGHTING, RECEPTACLE | a 2 | 20/1 | 1.5 | SMALL APPLIANCE |
| 3 | 15/1 | 1.04 | LIGHTING, RECEPTACLE | b 4 | 20/1 | 1.5 | SMALL APPLIANCE |
| 5 | 15/1 | 0.9 | RECEPTACLE | a 6 | 15/1 | 0.5 | FRIG. |
| 7 | 20/1 | 0.18 | BATH | b 8 | 15/1 | 1.2 | DISHWASHER |
| 9 | 20/1 | 1.5 | LAUNDRY | a 10 | 15/1 | 0.75 | DISPOSAL |
| 11 | 30/2 | 5 | DRYER | b 12 | 20/1 | 1.8 | MICROWAVE |
| 13 | | | | a 14 | 50/2 | 8.5 | RANGE |
| 15 | 30/2 | 3.95 | ODU-1 | b 16 | | | |
| 17 | | | | a 18 | 30/2 | 4.5 | EWHP |
| 19 | 20/1 | 0 | SPACE | b 20 | | | |
| 21 | 20/1 | 0 | SPACE | a 22 | 15/1 | 0.25 | HWRP |
| 23 | 20/1 | 0 | SPACE | b 24 | 20/1 | 0 | SPACE |
| 25 | 20/1 | 0 | SPACE | a 26 | 20/1 | 0 | SPACE |
| 27 | 20/1 | 0 | SPACE | b 28 | 20/1 | 0 | SPACE |
| 29 | 20/1 | 0 | SPACE | a 30 | 20/1 | 0 | SPACE |

| OPTIONAL DWELLING UNIT CALCULATION (NEC 220.82) | | | | | |
|---|------|------------------|---------------------------|----------|---------------------|
| CONN KVA | | CONN KVA | | CALC KVA | |
| LIGHTING AND RECEPTACLES | 1.99 | 662 SF (3 VA/SF) | GENERAL LOAD UP TO 10 KVA | 10 | 10 (100%) |
| SMALL-APPLIANCE | 3 | | OVER 10 KVA | 19 | 7.59 (40%) |
| LAUNDRY APPLIANCES | 1.5 | | MAX HEATING OR COOLING | | 3.95 (220.82(C)(1)) |
| ELECTRIC COOKING | 8.5 | | TOTAL LOAD | | 21.5 |
| MOTORS | 0.25 | | BALANCED LOAD | | 104 A |
| TOTAL GENERAL LOAD | 29 | | PHASE A | | 102% |
| | | | PHASE B | | 97.8% |

| APPLIANCE BREAKDOWN | | HVAC Load Calculation | | KVA | NEC Code |
|-----------------------|--------------|---|--|------|-------------|
| REFRIGERATOR | 0.5 | Heating | | 3.95 | |
| DISHWASHER | 1.2 | Cooling | | 0.00 | |
| DISPOSAL | 0.75 | Mini Split | | 3.95 | |
| MICROWAVE | 1.8 | 100% of Nameplate Rating of AC and Cooling | | 3.95 | 220.82 C(1) |
| WATER HEATER | 4.5 | 100% of Nameplate Rating of Heat Pump w/o Supplemental Heat | | 0.00 | 220.82 C(2) |
| DRYER | 5 | Heat Pump plus 65% of Supplemental Heat | | 0.00 | 220.82 C(3) |
| HOT WATER RECIRC PUMP | 0.25 | Largest Heating or Cooling Load | | 3.95 | 220.84 C(5) |
| TOTAL | 14.00 | | | | |

| Multi-Family Dwelling Unit Calc | | KVA |
|--|--|--------------|
| Total General Load | | 28.99 |
| Largest Heating or Cooling Load 220.84 | | 3.95 |
| 220.84 CONNECTED LOAD CALC | | 32.94 |

| UNIT 205 | | | | | | | |
|---------------|---------|----------|---------------------------|----------------------|---------|---------------|---------------------|
| ROOM MOUNTING | | FLUSH | | VOLTS 208/120V 2P 3W | | AIC T.B.D. | |
| FED FROM | | MC1 | | BUS AMPS 150 | | MAIN BKR MLO | |
| NOTE | | | | NEUTRAL 100% | | LUGS STANDARD | |
| CKT # | CKT BKR | LOAD KVA | CIRCUIT DESCRIPTION | CKT # | CKT BKR | LOAD KVA | CIRCUIT DESCRIPTION |
| 1 | 15/1 | 1.16 | E-1, LIGHTING, RECEPTACLE | a 2 | 20/1 | 1.5 | SMALL APPLIANCE |
| 3 | 15/1 | 1.21 | LIGHTING, RECEPTACLE | b 4 | 20/1 | 1.5 | SMALL APPLIANCE |
| 5 | 20/1 | 0.18 | BATH | a 6 | 15/1 | 0.5 | FRIG. |
| 7 | 20/1 | 1.5 | LAUNDRY | b 8 | 15/1 | 1.2 | DISHWASHER |
| 9 | 30/2 | 5 | DRYER | a 10 | 15/1 | 0.75 | DISPOSAL |
| 11 | | | | b 12 | 20/1 | 1.8 | MICROWAVE |
| 13 | 25/2 | 3.33 | HP-1.5 | a 14 | 50/2 | 8.5 | RANGE |
| 15 | | | | b 16 | | | |
| 17 | 50/2 | 7.55 | AHU-A-1.5 | a 18 | 30/2 | 4.5 | EWHP |
| 19 | | | | b 20 | | | |
| 21 | 20/1 | 0 | SPACE | a 22 | 15/1 | 0.25 | HWRP |
| 23 | 20/1 | 0 | SPACE | b 24 | 20/1 | 0 | SPACE |
| 25 | 20/1 | 0 | SPACE | a 26 | 20/1 | 0 | SPACE |
| 27 | 20/1 | 0 | SPACE | b 28 | 20/1 | 0 | SPACE |
| 29 | 20/1 | 0 | SPACE | a 30 | 20/1 | 0 | SPACE |

| OPTIONAL DWELLING UNIT CALCULATION (NEC 220.82) | | | | | |
|---|------|------------------|---------------------------|----------|---------------------|
| CONN KVA | | CONN KVA | | CALC KVA | |
| LIGHTING AND RECEPTACLES | 1.58 | 525 SF (3 VA/SF) | GENERAL LOAD UP TO 10 KVA | 10 | 10 (100%) |
| SMALL-APPLIANCE | 3 | | OVER 10 KVA | 18.6 | 7.43 (40%) |
| LAUNDRY APPLIANCES | 1.5 | | MAX HEATING OR COOLING | | 8.24 (220.82(C)(3)) |
| ELECTRIC COOKING | 8.5 | | TOTAL LOAD | | 25.7 |
| MOTORS | 0.25 | | BALANCED LOAD | | 123 A |
| TOTAL GENERAL LOAD | 28.6 | | PHASE A | | 93.9% |
| | | | PHASE B | | 106% |

| APPLIANCE BREAKDOWN | | HVAC Load Calculation | | KVA | NEC Code |
|-----------------------|--------------|---|--|-------|-------------|
| REFRIGERATOR | 0.5 | Heating | | 10.88 | |
| DISHWASHER | 1.2 | Cooling | | 3.33 | |
| DISPOSAL | 0.75 | Mini Split | | 0.00 | |
| MICROWAVE | 1.8 | 100% of Nameplate Rating of AC and Cooling | | 3.33 | 220.82 C(1) |
| WATER HEATER | 4.5 | 100% of Nameplate Rating of Heat Pump w/o Supplemental Heat | | 0.00 | 220.82 C(2) |
| DRYER | 5 | Heat Pump plus 65% of Supplemental Heat | | 8.24 | 220.82 C(3) |
| HOT WATER RECIRC PUMP | 0.25 | Largest Heating or Cooling Load | | 10.88 | 220.84 C(5) |
| TOTAL | 14.00 | | | | |

| Multi-Family Dwelling Unit Calc | | KVA |
|--|--|--------------|
| Total General Load | | 28.58 |
| Largest Heating or Cooling Load 220.84 | | 10.88 |
| 220.84 CONNECTED LOAD CALC | | 39.46 |

| UNIT 204 | | | | | | | |
|---------------|---------|----------|---------------------------|----------------------|---------|---------------|---------------------|
| ROOM MOUNTING | | FLUSH | | VOLTS 208/120V 2P 3W | | AIC T.B.D. | |
| FED FROM | | MC1 | | BUS AMPS 150 | | MAIN BKR MLO | |
| NOTE | | | | NEUTRAL 100% | | LUGS STANDARD | |
| CKT # | CKT BKR | LOAD KVA | CIRCUIT DESCRIPTION | CKT # | CKT BKR | LOAD KVA | CIRCUIT DESCRIPTION |
| 1 | 15/1 | 1.36 | LIGHTING, RECEPTACLE | a 2 | 20/1 | 1.5 | SMALL APPLIANCE |
| 3 | 15/1 | 1.17 | LIGHTING, RECEPTACLE | b 4 | 20/1 | 1.5 | SMALL APPLIANCE |
| 5 | 15/1 | 0.437 | E-1, LIGHTING, RECEPTACLE | a 6 | 15/1 | 0.5 | FRIG. |
| 7 | 15/1 | 1.31 | LIGHTING, RECEPTACLE | b 8 | 15/1 | 1.2 | DISHWASHER |
| 9 | 15/1 | 1.32 | E-1, LIGHTING, RECEPTACLE | a 10 | 15/1 | 0.75 | DISPOSAL |
| 11 | 20/1 | 0.36 | BATH | b 12 | 20/1 | 1.8 | MICROWAVE |
| 13 | 20/1 | 1.5 | LAUNDRY | a 14 | 50/2 | 8.5 | RANGE |
| 15 | 30/2 | 5 | DRYER | b 16 | | | |
| 17 | | | | a 18 | 30/2 | 4.5 | EWHP |
| 19 | 30/2 | 3.79 | HP-R-2.5 | b 20 | | | |
| 21 | | | | a 22 | 15/1 | 0.25 | HWRP |
| 23 | 60/2 | 11.2 | AHU-R-2.5 | b 24 | 20/1 | 0 | SPACE |
| 25 | | | | a 26 | 20/1 | 0 | SPACE |
| 27 | 20/1 | 0 | SPACE | b 28 | 20/1 | 0 | SPACE |
| 29 | 20/1 | 0 | SPACE | a 30 | 20/1 | 0 | SPACE |

| OPTIONAL DWELLING UNIT CALCULATION (NEC 220.82) | | | | | |
|---|------|--------------------|---------------------------|----------|---------------------|
| CONN KVA | | CONN KVA | | CALC KVA | |
| LIGHTING AND RECEPTACLES | 4.37 | 1,455 SF (3 VA/SF) | GENERAL LOAD UP TO 10 KVA | 10 | 10 (100%) |
| SMALL-APPLIANCE | 3 | | OVER 10 KVA | 21.4 | 8.55 (40%) |
| LAUNDRY APPLIANCES | 1.5 | | MAX HEATING OR COOLING | | 11.1 (220.82(C)(3)) |
| ELECTRIC COOKING | 8.5 | | TOTAL LOAD | | 29.6 |
| MOTORS | 0.25 | | BALANCED LOAD | | 142 A |
| TOTAL GENERAL LOAD | 31.4 | | PHASE A | | 100% |
| | | | PHASE B | | 99.5% |

| APPLIANCE BREAKDOWN | | HVAC Load Calculation | | KVA | NEC Code |
|-----------------------|--------------|---|--|-------|-------------|
| REFRIGERATOR | 0.5 | Heating | | 14.99 | |
| DISHWASHER | 1.2 | Cooling | | 3.79 | |
| DISPOSAL | 0.75 | Mini Split | | 0.00 | |
| MICROWAVE | 1.8 | 100% of Nameplate Rating of AC and Cooling | | 3.79 | 220.82 C(1) |
| WATER HEATER | 4.5 | 100% of Nameplate Rating of Heat Pump w/o Supplemental Heat | | 0.00 | 220.82 C(2) |
| DRYER | 5 | Heat Pump plus 65% of Supplemental Heat | | 11.07 | 220.82 C(3) |
| HOT WATER RECIRC PUMP | 0.25 | Largest Heating or Cooling Load | | 14.99 | 220.84 C(5) |
| TOTAL | 14.00 | | | | |

| Multi-Family Dwelling Unit Calc | | KVA |
|--|--|--------------|
| Total General Load | | 31.37 |
| Largest Heating or Cooling Load 220.84 | | 14.99 |
| 220.84 CONNECTED LOAD CALC | | 46.36 |

| UNIT 222 | | | | | | | |
|---------------|---------|----------|---------------------------|----------------------|---------|---------------|---------------------|
| ROOM MOUNTING | | FLUSH | | VOLTS 208/120V 2P 3W | | AIC T.B.D. | |
| FED FROM | | MC1 | | BUS AMPS 150 | | MAIN BKR MLO | |
| NOTE | | | | NEUTRAL 100% | | LUGS STANDARD | |
| CKT # | CKT BKR | LOAD KVA | CIRCUIT DESCRIPTION | CKT # | CKT BKR | LOAD KVA | CIRCUIT DESCRIPTION |
| 1 | 15/1 | 1.27 | LIGHTING, RECEPTACLE | a 2 | 20/1 | 1.5 | SMALL APPLIANCE |
| 3 | 15/1 | 1.34 | E-1, LIGHTING, RECEPTACLE | b 4 | 20/1 | 1.5 | SMALL APPLIANCE |
| 5 | 20/1 | 0.18 | BATH | a 6 | 15/1 | 0.5 | FRIG. |
| 7 | 20/1 | 1.5 | LAUNDRY | b 8 | 15/1 | 1.2 | DISHWASHER |
| 9 | 30/2 | 5 | DRYER | a 10 | 15/1 | 0.75 | DISPOSAL |
| 11 | | | | b 12 | 20/1 | 1.8 | MICROWAVE |
| 13 | 30/2 | 3.87 | ODU-2 | a 14 | 50/2 | 8.5 | RANGE |
| 15 | | | | b 16 | | | |
| 17 | 20/1 | 0 | SPACE | a 18 | 30/2 | 4.5 | EWHP |
| 19 | 20/1 | 0 | SPACE | b 20 | | | |
| 21 | 20/1 | 0 | SPACE | a 22 | 15/1 | 0.25 | HWRP |
| 23 | 20/1 | 0 | SPACE | b 24 | 20/1 | 0 | SPACE |
| 25 | 20/1 | 0 | SPACE | a 26 | 20/1 | 0 | SPACE |
| 27 | 20/1 | 0 | SPACE | b 28 | 20/1 | 0 | SPACE |
| 29 | 20/1 | 0 | SPACE | a 30 | 20/1 | 0 | SPACE |

| OPTIONAL DWELLING UNIT CALCULATION (NEC 220.82) | | | | | |
|---|------|------------------|---------------------------|----------|---------------------|
| CONN KVA | | CONN KVA | | CALC KVA | |
| LIGHTING AND RECEPTACLES | 1.61 | 535 SF (3 VA/SF) | GENERAL LOAD UP TO 10 KVA | 10 | 10 (100%) |
| SMALL-APPLIANCE | 3 | | OVER 10 KVA | 18.6 | 7.44 (40%) |
| LAUNDRY APPLIANCES | 1.5 | | MAX HEATING OR COOLING | | 3.87 (220.82(C)(1)) |
| ELECTRIC COOKING | 8.5 | | TOTAL LOAD | | 21.3 |
| MOTORS | 0.25 | | BALANCED LOAD | | 102 A |
| TOTAL GENERAL LOAD | 28.6 | | PHASE A | | 92.5% |
| | | | PHASE B | | 108% |

| APPLIANCE BREAKDOWN | | HVAC Load Calculation | | KVA | NEC Code |
|-----------------------|--------------|---|--|------|-------------|
| REFRIGERATOR | 0.5 | Heating | | 3.87 | |
| DISHWASHER | 1.2 | Cooling | | 0.00 | |
| DISPOSAL | 0.75 | Mini Split | | 3.87 | |
| MICROWAVE | 1.8 | 100% of Nameplate Rating of AC and Cooling | | 3.87 | 220.82 C(1) |
| WATER HEATER | 4.5 | 100% of Nameplate Rating of Heat Pump w/o Supplemental Heat | | 0.00 | 220.82 C(2) |
| DRYER | 5 | Heat Pump plus 65% of Supplemental Heat | | 0.00 | 220.82 C(3) |
| HOT WATER RECIRC PUMP | 0.25 | Largest Heating or Cooling Load | | 3.87 | 220.84 C(5) |
| TOTAL | 14.00 | | | | |

| Multi-Family Dwelling Unit Calc | | KVA |
|--|--|--------------|
| Total General Load | | 28.61 |
| Largest Heating or Cooling Load 220.84 | | 3.87 |
| 220.84 CONNECTED LOAD CALC | | 32.48 |

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Progress Dates
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 08/30/2024 BID SET 2

Revisions

Checked By: PRS
 Drawn by: AJW

PR-09757



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PROPOSED PROJECT:
 RENOVATION FOR
 1726 Vine St / 1728 Vine St / 1730 Vine St /
 1675 Hamer St
 CINCINNATI, OH, 45202
 FINDLAY FLATS

Job No: 22042 8/10/2022

E4.03

Z:\Project_Directories\9700-9799\9757 - Findlay Flats - Findlay Flats - Findlay Flats - Phase II - Construction Documents - Phase 1 (8 Buildings)\1724 - WNE VREF - AFR - AFR - Model - Plot - Date/Time: Aug 29, 2024 - 10:49am - Bc - derek.grundy
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| UNIT 223 | | | | | | | |
|----------|---------|----------|---------------------------|----------|----------|----------|---------------------|
| ROOM | FLUSH | VOLTS | 208/120V 2P 3W | AIC | T.B.D. | | |
| MOUNTING | FLUSH | BUS AMPS | 150 | MAIN BKR | MLO | | |
| FED FROM | MC1 | NEUTRAL | 100% | LUGS | STANDARD | | |
| NOTE | | | | | | | |
| CKT # | CKT BKR | LOAD KVA | CIRCUIT DESCRIPTION | CKT # | CKT BKR | LOAD KVA | CIRCUIT DESCRIPTION |
| 1 | 15/1 | 1.22 | E-1, LIGHTING, RECEPTACLE | a 2 | 20/1 | 1.5 | SMALL APPLIANCE |
| 3 | 15/1 | 1.15 | E-1, LIGHTING, RECEPTACLE | b 4 | 20/1 | 1.5 | SMALL APPLIANCE |
| 5 | 15/1 | 1.01 | LIGHTING, RECEPTACLE | a 6 | 15/1 | 0.5 | FRIG. |
| 7 | 15/1 | 1.35 | E-4, LIGHTING, RECEPTACLE | b 8 | 15/1 | 1.2 | DISHWASHER |
| 9 | 15/1 | 1.36 | LIGHTING, RECEPTACLE | a 10 | 15/1 | 0.75 | DISPOSAL |
| 11 | 15/1 | 1.18 | LIGHTING, RECEPTACLE | b 12 | 20/1 | 1.8 | MICROWAVE |
| 13 | 20/1 | 0.36 | BATH | a 14 | 50/2 | 8.5 | RANGE |
| 15 | 20/1 | 0.36 | BATH | b 16 | | | |
| 17 | 20/1 | 1.5 | LAUNDRY | a 18 | 30/2 | 4.5 | EWI |
| 19 | 30/2 | 5 | DRYER | b 20 | | | |
| 21 | | | | a 22 | 15/1 | 0.25 | HWRP |
| 23 | 30/2 | 4.22 | HP-R-3 | b 24 | 20/1 | 0 | SPACE |
| 25 | | | | a 26 | 20/1 | 0 | SPACE |
| 27 | 60/2 | 11.2 | AHU-R-3 | b 28 | 20/1 | 0 | SPACE |
| 29 | | | | a 30 | 20/1 | 0 | SPACE |

| OPTIONAL DWELLING UNIT CALCULATION (NEC 220.82) | | | | | | |
|---|----------|--------------------|------------------------|----------|----------|----------------|
| | CONN KVA | | GENERAL LOAD | CONN KVA | CALC KVA | |
| LIGHTING AND RECEPTACLES | 3.95 | 1,318 SF (3 VA/SF) | UP TO 10 KVA | 10 | 10 | (100%) |
| SMALL-APPLIANCE | 3 | | OVER 10 KVA | 21 | 8.38 | (40%) |
| LAUNDRY APPLIANCES | 1.5 | | MAX HEATING OR COOLING | | 11.5 | (220.82(C)(3)) |
| ELECTRIC COOKING | 8.5 | | TOTAL LOAD | | 29.9 | |
| MOTORS | 0.25 | | BALANCED LOAD | | 144 A | |
| TOTAL GENERAL LOAD | 31 | | PHASE A | | 99.8% | |
| | | | PHASE B | | 100% | |

| APPLIANCE BREAKDOWN | |
|-----------------------|--------------|
| TYPE | KVA |
| REFRIGERATOR | 0.5 |
| DISHWASHER | 1.2 |
| DISPOSAL | 0.75 |
| MICROWAVE | 1.8 |
| WATER HEATER | 4.5 |
| DRYER | 5 |
| HOT WATER RECIRC PUMP | 0.25 |
| TOTAL | 14.00 |

| HVAC Load Calculation | | | |
|---|-------|-------------|--|
| | KVA | NEC Code | |
| Heating | 15.42 | | |
| Cooling | 4.22 | | |
| Mini Split | 0.00 | | |
| 100% of Nameplate Rating of AC and Cooling | 4.22 | 220.82 C(1) | |
| 100% of Nameplate Rating of Heat Pump w/o Supplemental Heat | 0.00 | 220.82 C(2) | |
| Heat Pump plus 65% of Supplemental Heat | 11.50 | 220.82 C(3) | |
| Largest Heating or Cooling Load | 15.42 | 220.84 C(5) | |

| Multi-Family Dwelling Unit Calc | KVA |
|--|--------------|
| Total General Load | 30.95 |
| Largest Heating or Cooling Load 220.84 | 15.42 |
| 220.84 CONNECTED LOAD CALC | 46.37 |

| UNIT 302 | | | | | | | |
|----------|---------|----------|---------------------------|----------|----------|----------|---------------------|
| ROOM | FLUSH | VOLTS | 208/120V 2P 3W | AIC | T.B.D. | | |
| MOUNTING | FLUSH | BUS AMPS | 150 | MAIN BKR | MLO | | |
| FED FROM | MC1 | NEUTRAL | 100% | LUGS | STANDARD | | |
| NOTE | | | | | | | |
| CKT # | CKT BKR | LOAD KVA | CIRCUIT DESCRIPTION | CKT # | CKT BKR | LOAD KVA | CIRCUIT DESCRIPTION |
| 1 | 15/1 | 0.992 | E-1, LIGHTING, RECEPTACLE | a 2 | 20/1 | 1.5 | SMALL APPLIANCE |
| 3 | 15/1 | 0.813 | LIGHTING, RECEPTACLE | b 4 | 20/1 | 1.5 | SMALL APPLIANCE |
| 5 | 15/1 | 1.14 | LIGHTING, RECEPTACLE | a 6 | 15/1 | 0.5 | FRIG. |
| 7 | 20/1 | 0.18 | BATH | b 8 | 15/1 | 1.2 | DISHWASHER |
| 9 | 20/1 | 1.5 | LAUNDRY | a 10 | 15/1 | 0.75 | DISPOSAL |
| 11 | 30/2 | 5 | DRYER | b 12 | 20/1 | 1.8 | MICROWAVE |
| 13 | | | | a 14 | 50/2 | 8.5 | RANGE |
| 15 | 30/2 | 3.95 | ODU-1 | b 16 | | | |
| 17 | | | | a 18 | 30/2 | 4.5 | EWI |
| 19 | 20/1 | 0 | SPACE | b 20 | | | |
| 21 | 20/1 | 0 | SPACE | a 22 | 15/1 | 0.25 | HWRP |
| 23 | 20/1 | 0 | SPACE | b 24 | 20/1 | 0 | SPACE |
| 25 | 20/1 | 0 | SPACE | a 26 | 20/1 | 0 | SPACE |
| 27 | 20/1 | 0 | SPACE | b 28 | 20/1 | 0 | SPACE |
| 29 | 20/1 | 0 | SPACE | a 30 | 20/1 | 0 | SPACE |

| OPTIONAL DWELLING UNIT CALCULATION (NEC 220.82) | | | | | | |
|---|----------|------------------|------------------------|----------|----------|----------------|
| | CONN KVA | | GENERAL LOAD | CONN KVA | CALC KVA | |
| LIGHTING AND RECEPTACLES | 1.86 | 619 SF (3 VA/SF) | UP TO 10 KVA | 10 | 10 | (100%) |
| SMALL-APPLIANCE | 3 | | OVER 10 KVA | 18.9 | 7.54 | (40%) |
| LAUNDRY APPLIANCES | 1.5 | | MAX HEATING OR COOLING | | 3.95 | (220.82(C)(1)) |
| ELECTRIC COOKING | 8.5 | | TOTAL LOAD | | 21.5 | |
| MOTORS | 0.25 | | BALANCED LOAD | | 103 A | |
| TOTAL GENERAL LOAD | 28.9 | | PHASE A | | 103% | |
| | | | PHASE B | | 97.1% | |

| APPLIANCE BREAKDOWN | |
|-----------------------|--------------|
| TYPE | KVA |
| REFRIGERATOR | 0.5 |
| DISHWASHER | 1.2 |
| DISPOSAL | 0.75 |
| MICROWAVE | 1.8 |
| WATER HEATER | 4.5 |
| DRYER | 5 |
| HOT WATER RECIRC PUMP | 0.25 |
| TOTAL | 14.00 |

| HVAC Load Calculation | | | |
|---|------|-------------|--|
| | KVA | NEC Code | |
| Heating | 3.95 | | |
| Cooling | 0.00 | | |
| Mini Split | 3.95 | | |
| 100% of Nameplate Rating of AC and Cooling | 3.95 | 220.82 C(1) | |
| 100% of Nameplate Rating of Heat Pump w/o Supplemental Heat | 0.00 | 220.82 C(2) | |
| Heat Pump plus 65% of Supplemental Heat | 0.00 | 220.82 C(3) | |
| Largest Heating or Cooling Load | 3.95 | 220.84 C(5) | |

| Multi-Family Dwelling Unit Calc | KVA |
|--|--------------|
| Total General Load | 28.86 |
| Largest Heating or Cooling Load 220.84 | 3.95 |
| 220.84 CONNECTED LOAD CALC | 32.81 |

| TYP OB1 | | | | | | | |
|----------|---------|----------|---------------------------|----------|----------|----------|---------------------|
| ROOM | FLUSH | VOLTS | 208/120V 2P 3W | AIC | T.B.D. | | |
| MOUNTING | FLUSH | BUS AMPS | 150 | MAIN BKR | MLO | | |
| FED FROM | | NEUTRAL | 100% | LUGS | STANDARD | | |
| NOTE | | | | | | | |
| CKT # | CKT BKR | LOAD KVA | CIRCUIT DESCRIPTION | CKT # | CKT BKR | LOAD KVA | CIRCUIT DESCRIPTION |
| 1 | 15/1 | 0.491 | E-1, LIGHTING, RECEPTACLE | a 2 | 20/1 | 1.5 | SMALL APPLIANCE |
| 3 | 15/1 | 1.08 | RECEPTACLE | b 4 | 20/1 | 1.5 | SMALL APPLIANCE |
| 5 | 20/1 | 0.18 | BATH | a 6 | 15/1 | 0.5 | FRIG. |
| 7 | 20/1 | 1.5 | LAUNDRY | b 8 | 15/1 | 1.2 | DISHWASHER |
| 9 | 30/2 | 5 | DRYER | a 10 | 15/1 | 0.75 | DISPOSAL |
| 11 | | | | b 12 | 20/1 | 1.8 | MICROWAVE |
| 13 | 30/2 | 3.87 | ODU-2 | a 14 | 50/2 | 8.5 | RANGE |
| 15 | | | | b 16 | | | |
| 17 | 20/1 | 0 | SPACE | a 18 | 30/2 | 4.5 | EWI |
| 19 | 20/1 | 0 | SPACE | b 20 | | | |
| 21 | 20/1 | 0 | SPACE | a 22 | 15/1 | 0.25 | HWRP |
| 23 | 20/1 | 0 | SPACE | b 24 | 20/1 | 0 | SPACE |
| 25 | 20/1 | 0 | SPACE | a 26 | 20/1 | 0 | SPACE |
| 27 | 20/1 | 0 | SPACE | b 28 | 20/1 | 0 | SPACE |
| 29 | 20/1 | 0 | SPACE | a 30 | 20/1 | 0 | SPACE |

| OPTIONAL DWELLING UNIT CALCULATION (NEC 220.82) | | | | | | |
|---|----------|------------------|------------------------|----------|----------|----------------|
| | CONN KVA | | GENERAL LOAD | CONN KVA | CALC KVA | |
| LIGHTING AND RECEPTACLES | 1.39 | 464 SF (3 VA/SF) | UP TO 10 KVA | 10 | 10 | (100%) |
| SMALL-APPLIANCE | 3 | | OVER 10 KVA | 18.4 | 7.36 | (40%) |
| LAUNDRY APPLIANCES | 1.5 | | MAX HEATING OR COOLING | | 3.87 | (220.82(C)(1)) |
| ELECTRIC COOKING | 8.5 | | TOTAL LOAD | | 21.2 | |
| MOTORS | 0.25 | | BALANCED LOAD | | 102 A | |
| TOTAL GENERAL LOAD | 28.4 | | PHASE A | | 90.9% | |
| | | | PHASE B | | 109% | |

| APPLIANCE BREAKDOWN | |
|-----------------------|--------------|
| TYPE | KVA |
| REFRIGERATOR | 0.5 |
| DISHWASHER | 1.2 |
| DISPOSAL | 0.75 |
| MICROWAVE | 1.8 |
| WATER HEATER | 4.5 |
| DRYER | 5 |
| HOT WATER RECIRC PUMP | 0.25 |
| TOTAL | 14.00 |

| HVAC Load Calculation | | | |
|---|------|-------------|--|
| | KVA | NEC Code | |
| Heating | 3.87 | | |
| Cooling | 0.00 | | |
| Mini Split | 3.87 | | |
| 100% of Nameplate Rating of AC and Cooling | 3.87 | 220.82 C(1) | |
| 100% of Nameplate Rating of Heat Pump w/o Supplemental Heat | 0.00 | 220.82 C(2) | |
| Heat Pump plus 65% of Supplemental Heat | 0.00 | 220.82 C(3) | |
| Largest Heating or Cooling Load | 3.87 | 220.84 C(5) | |

| Multi-Family Dwelling Unit Calc | KVA |
|--|--------------|
| Total General Load | 28.39 |
| Largest Heating or Cooling Load 220.84 | 3.87 |
| 220.84 CONNECTED LOAD CALC | 32.26 |

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Progress Dates
 05/26/2023 BID/PERMIT
 08/30/2024 BID SET 2

Revisions

Checked By: PRS
 Drawn by: AJW



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 SHARED SUCCESS
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PROPOSED PROJECT:
 RENOVATION FOR
 1726 Vine St / 1728 Vine St / 1730 Vine St /
 1675 Hamer St
 CINCINNATI, OH, 45202
 FINDLAY FLATS

Job No: 22042 8/10/2022

E4.04

Z:\Project_Directories\9700-9789\9757 - Findlay Flats - Findlay Flats (Williams) - Phase II - Construction Documents - Phase I (8 Buildings)\1724 WNEVREF-ART-App-Model_Plot_Date/Time: Aug 29, 2024-10:49am - Bc derek.gandy
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| C1 | | | | C2 | | | |
|---------------|---------|----------|---------------------|-----------------------|---------|---------------|---------------------|
| ROOM MOUNTING | | FLUSH | | VOLTS 208Y/120V 3P 4W | | AIC T.B.D. | |
| FED FROM | | CT-CAB | | BUS AMPS 400 | | MAIN BKR 400 | |
| NOTE | | | | NEUTRAL 100% | | LUGS STANDARD | |
| CKT # | CKT BKR | LOAD KVA | CIRCUIT DESCRIPTION | CKT # | CKT BKR | LOAD KVA | CIRCUIT DESCRIPTION |
| 1 | 20/1 | 0 | SPACE | a 2 | 20/1 | 2.08 | GF-5 |
| 3 | 20/1 | 0.549 | LIGHTING | b 4 | 20/1 | 2.08 | GF-5 |
| 5 | 20/1 | 0.72 | RECEPTACLE | c 6 | 50/2 | 6.95 | CU-5 |
| 7 | 20/1 | 0.36 | RECEPTACLE | d 8 | | | |
| 9 | 20/1 | 0 | SPACE | b 10 | 50/2 | 6.95 | CU-5 |
| 11 | 20/1 | 0 | SPACE | c 12 | | | |
| 13 | 20/1 | 0 | SPACE | d 14 | 30/2 | 4.5 | EWB |
| 15 | 20/1 | 0 | SPACE | b 16 | | | |
| 17 | 20/1 | 0 | SPACE | c 18 | 20/1 | 0 | SPACE |
| 19 | 20/1 | 0 | SPACE | d 20 | 20/1 | 0 | SPACE |
| 21 | 20/1 | 0 | SPACE | b 22 | 20/1 | 0 | SPACE |
| 23 | 20/1 | 0 | SPACE | c 24 | 20/1 | 0 | SPACE |
| 25 | 20/1 | 0 | SPACE | d 26 | 20/1 | 0 | SPACE |
| 27 | 20/1 | 0 | SPACE | b 28 | 20/1 | 0 | SPACE |
| 29 | 20/1 | 0 | SPACE | c 30 | 20/1 | 0 | SPACE |
| 31 | 20/1 | 0 | SPACE | d 32 | 20/1 | 0 | SPACE |
| 33 | 20/1 | 0 | SPACE | b 34 | 20/1 | 0 | SPACE |
| 35 | 20/1 | 0 | SPACE | c 36 | 20/1 | 0 | SPACE |
| 37 | 20/1 | 0 | SPACE | d 38 | 20/1 | 0 | SPACE |
| 39 | 20/1 | 0 | SPACE | b 40 | 20/1 | 0 | SPACE |
| 41 | 20/1 | 0 | SPACE | c 42 | 20/1 | 0 | SPACE |

| | CONN KVA | CALC KVA | | CONN KVA | CALC KVA | |
|---------------|----------|----------|--------|-----------------------|----------|---------------|
| LIGHTING | 0.549 | 0.687 | (125%) | MOTORS | 4.15 | 4.15 (100%) |
| LARGEST MOTOR | 6.95 | 1.74 | (25%) | RECEPTACLES | 1.08 | 1.08 (50%>10) |
| | | | | CONTINUOUS | 4.5 | 5.63 (125%) |
| | | | | COOLING | 13.9 | 13.9 (100%) |
| | | | | TOTAL LOAD | | 27.2 |
| | | | | BALANCED 3-PHASE LOAD | | 75.4 A |
| | | | | PHASE A | | 101% |
| | | | | PHASE B | | 104% |
| | | | | PHASE C | | 94.9% |

| C1 | | | | C2 | | | |
|---------------|---------|----------|---------------------|-----------------------|---------|---------------|---------------------|
| ROOM MOUNTING | | FLUSH | | VOLTS 208Y/120V 3P 4W | | AIC T.B.D. | |
| FED FROM | | MC1 | | BUS AMPS 200 | | MAIN BKR MLO | |
| NOTE | | | | NEUTRAL 100% | | LUGS STANDARD | |
| CKT # | CKT BKR | LOAD KVA | CIRCUIT DESCRIPTION | CKT # | CKT BKR | LOAD KVA | CIRCUIT DESCRIPTION |
| 1 | 20/1 | 0.239 | LIGHTING | a 2 | 15/1 | 1.22 | GF-1.5 |
| 3 | 20/1 | 0.18 | RECEPTACLE | b 4 | 20/2 | 2.37 | CU-1.5 |
| 5 | 20/1 | 0.9 | RECEPTACLE | c 6 | | | |
| 7 | 15/1 | 0.96 | DE-1 | d 8 | 20/1 | 0.25 | FUTURE RADON |
| 9 | 20/1 | 1 | DH-1 | b 10 | 20/1 | 0 | SPACE |
| 11 | 20/1 | 0 | SPACE | c 12 | 20/1 | 0 | SPACE |
| 13 | 20/1 | 0 | SPACE | d 14 | 20/1 | 0 | SPACE |
| 15 | 20/1 | 0 | SPACE | b 16 | 20/1 | 0 | SPACE |
| 17 | 20/1 | 0 | SPACE | c 18 | 20/1 | 0 | SPACE |
| 19 | 20/1 | 0 | SPACE | d 20 | 20/1 | 0 | SPACE |
| 21 | 20/1 | 0 | SPACE | b 22 | 20/1 | 0 | SPACE |
| 23 | 20/1 | 0 | SPACE | c 24 | 20/1 | 0 | SPACE |
| 25 | 20/1 | 0 | SPACE | d 26 | 20/1 | 0 | SPACE |
| 27 | 20/1 | 0 | SPACE | b 28 | 20/1 | 0 | SPACE |
| 29 | 20/1 | 0 | SPACE | c 30 | 20/1 | 0 | SPACE |
| 31 | 20/1 | 0 | SPACE | d 32 | 20/1 | 0 | SPACE |
| 33 | 20/1 | 0 | SPACE | b 34 | 20/1 | 0 | SPACE |
| 35 | 20/1 | 0 | SPACE | c 36 | 20/1 | 0 | SPACE |
| 37 | 20/1 | 0 | SPACE | d 38 | 20/1 | 0 | SPACE |
| 39 | 20/1 | 0 | SPACE | b 40 | 20/1 | 0 | SPACE |
| 41 | 20/1 | 0 | SPACE | c 42 | 20/1 | 0 | SPACE |

| | CONN KVA | CALC KVA | | CONN KVA | CALC KVA | |
|---------------|----------|----------|--------|-----------------------|----------|---------------|
| LIGHTING | 0.239 | 0.298 | (125%) | RECEPTACLES | 1.08 | 1.08 (50%>10) |
| LARGEST MOTOR | 2.37 | 0.593 | (25%) | NONCONTINUOUS | 0.96 | 0.96 (100%) |
| MOTORS | 1.47 | 1.47 | (100%) | HEATING | 1 | 0 (0%) |
| | | | | COOLING | 2.37 | 2.37 (100%) |
| | | | | TOTAL LOAD | | 6.78 |
| | | | | BALANCED 3-PHASE LOAD | | 18.8 A |
| | | | | PHASE A | | 109% |
| | | | | PHASE B | | 101% |
| | | | | PHASE C | | 89.8% |

| H1 | | | | H2 | | | |
|---------------|---------|----------|---------------------------|-----------------------|---------|---------------|---------------------|
| ROOM MOUNTING | | FLUSH | | VOLTS 208Y/120V 3P 4W | | AIC T.B.D. | |
| FED FROM | | MC1 | | BUS AMPS 125 | | MAIN BKR MLO | |
| NOTE | | | | NEUTRAL 100% | | LUGS STANDARD | |
| CKT # | CKT BKR | LOAD KVA | CIRCUIT DESCRIPTION | CKT # | CKT BKR | LOAD KVA | CIRCUIT DESCRIPTION |
| 1 | 20/1 | 1.02 | LIGHTING | d 2 | 20/2 | 2 | H-1 |
| 3 | 20/1 | 0.495 | E-3, LIGHTING, RECEPTACLE | b 4 | | | |
| 5 | 20/1 | 0.82 | E-2, RECEPTACLE | c 6 | 20/2 | 2 | H-1 |
| 7 | 20/1 | 1.1 | E-2, RECEPTACLE | d 8 | | | |
| 9 | 15/1 | 0.96 | DE-1 | b 10 | 20/2 | 2 | H-1 |
| 11 | 15/1 | 0.96 | DE-1 | c 12 | | | |
| 13 | 20/1 | 1 | DH-1 | d 14 | 60/3 | 14.5 | (BP) BOOSTER PUMP |
| 15 | 20/1 | 1 | DH-1 | b 16 | | | |
| 17 | 20/1 | 0.75 | FUTURE RADON | c 18 | | | |
| 19 | 20/1 | 0 | SPACE | d 20 | 20/1 | 0 | SPACE |
| 21 | 20/1 | 0 | SPACE | b 22 | 20/1 | 0 | SPACE |
| 23 | 20/1 | 0 | SPACE | c 24 | 20/1 | 0 | SPACE |
| 25 | 20/1 | 0 | SPACE | d 26 | 20/1 | 0 | SPACE |
| 27 | 20/1 | 0 | SPACE | b 28 | 20/1 | 0 | SPACE |
| 29 | 20/1 | 0 | SPACE | c 30 | 20/1 | 0 | SPACE |

| | CONN KVA | CALC KVA | | CONN KVA | CALC KVA | |
|---------------|----------|----------|--------|-----------------------|----------|---------------|
| LIGHTING | 1.06 | 1.32 | (125%) | MOTORS | 15.7 | 15.7 (100%) |
| LARGEST MOTOR | 14.5 | 3.63 | (25%) | RECEPTACLES | 1.98 | 1.98 (50%>10) |
| | | | | NONCONTINUOUS | 1.92 | 1.92 (100%) |
| | | | | HEATING | 8 | 8 (100%) |
| | | | | TOTAL LOAD | | 32.5 |
| | | | | BALANCED 3-PHASE LOAD | | 90.3 A |
| | | | | PHASE A | | 104% |
| | | | | PHASE B | | 97.4% |
| | | | | PHASE C | | 98.2% |

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Progress Dates
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 08/30/2024 BID SET 2

Revisions

Checked By: PRS
 Drawn by: AJW

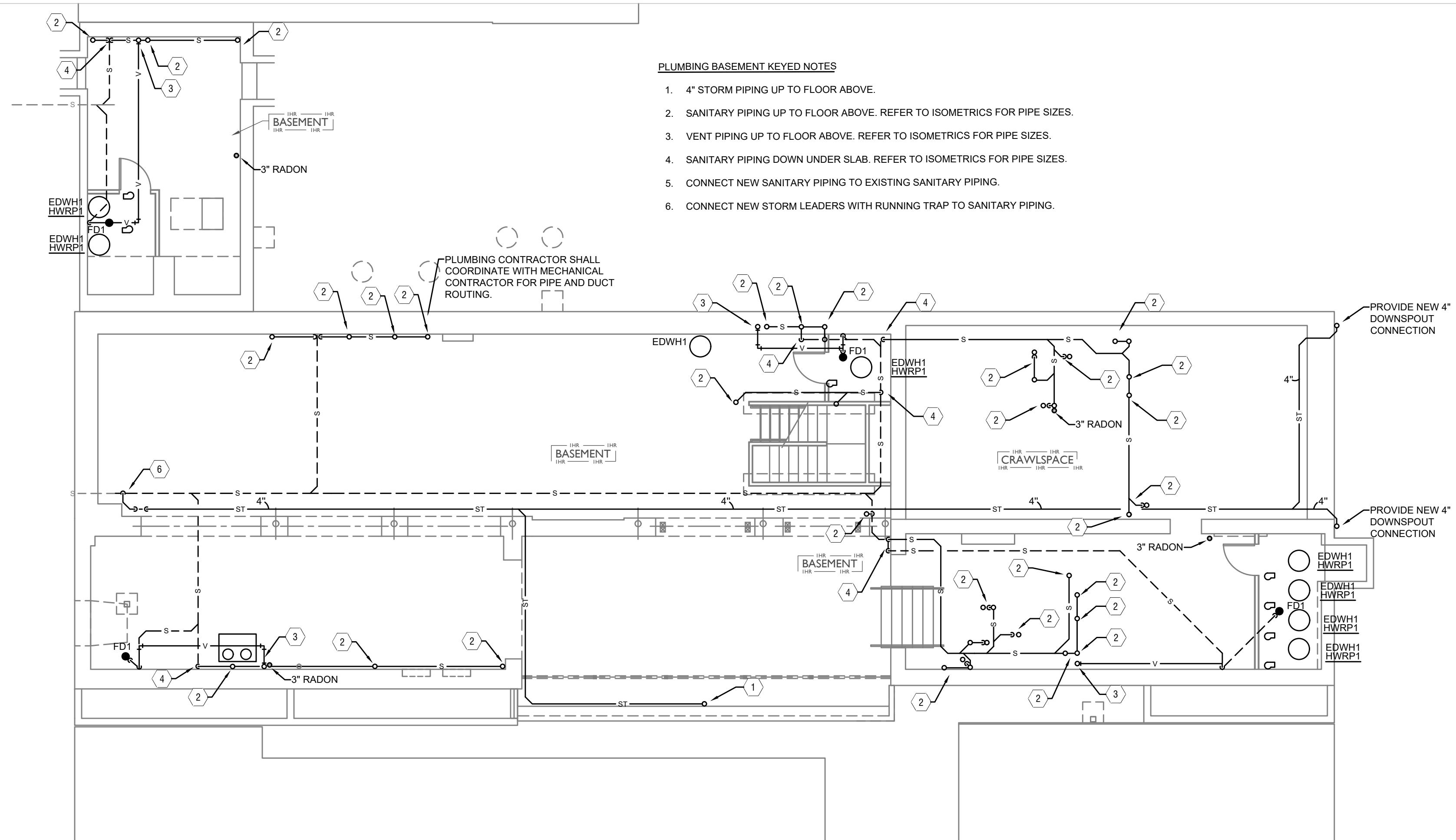
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 Newport, KY 41071 (859) 261-0586
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PROPOSED PROJECT:
 RENOVATION FOR
 1726 Vine St / 1728 Vine St / 1730 Vine St /
 1675 Hamer St
 CINCINNATI, OH, 45202
 FINDLAY FLATS

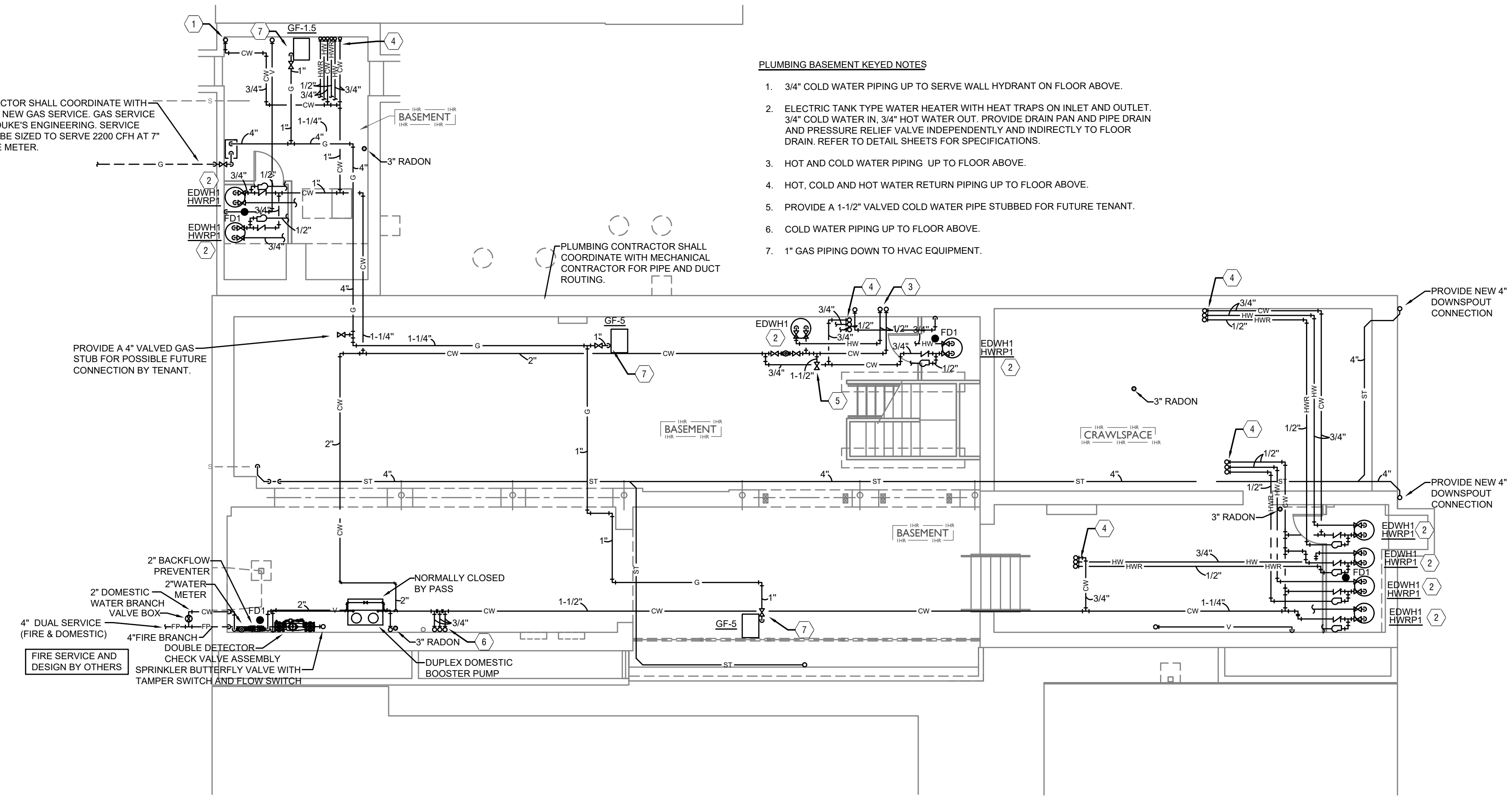
Job No: 22042 8/10/2022

E4.04

Z:\Project_Directories\9700-9799\9757 - Findlay Flats - Findlay Parkside (Williamson) 2 Phase II\Construction Documents\Phase 1 (8 Buildings)\1724 WNA\9757-P1-00-PLUMBING-BASEMENT-PLAN.dwg-EBS - Pkt. Date/Time: Aug 29, 2024 - 15:56pm - By: sss
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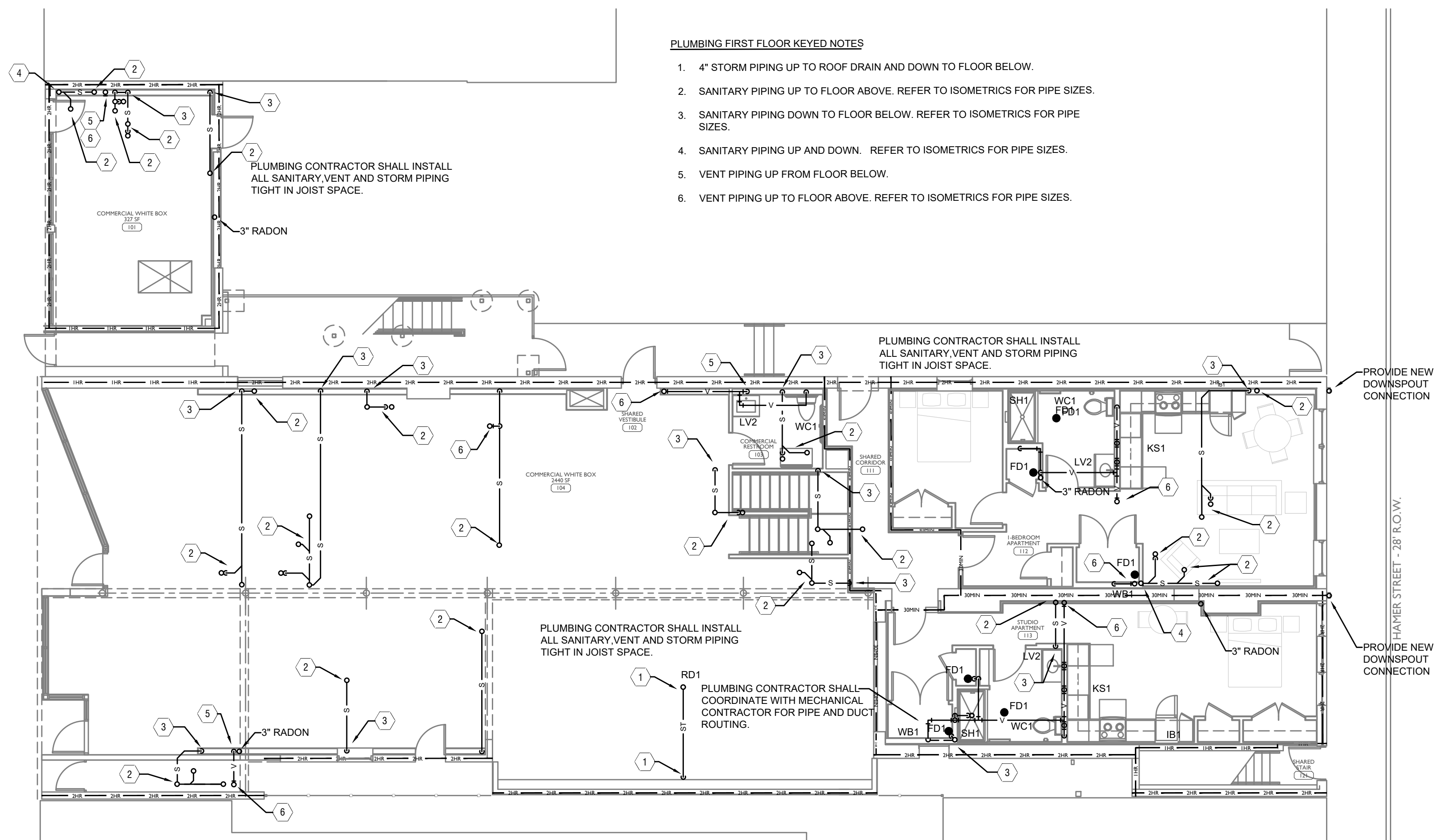
SANITARY AND STORM PLAN



Z:\Project_Directories\9700-9799\9757 - Findlay Flats - Findlay Periside (Williamson) 2 Phase 1\1-Construction Documents\Phase 1 (8 Buildings)\1724 VINA 9757-P1-01-PLUMBING-FIRST FLOOR-PLAN.dwg-EBS Plot Date/Time: Aug 29, 2024-2:01pm - 4(+)
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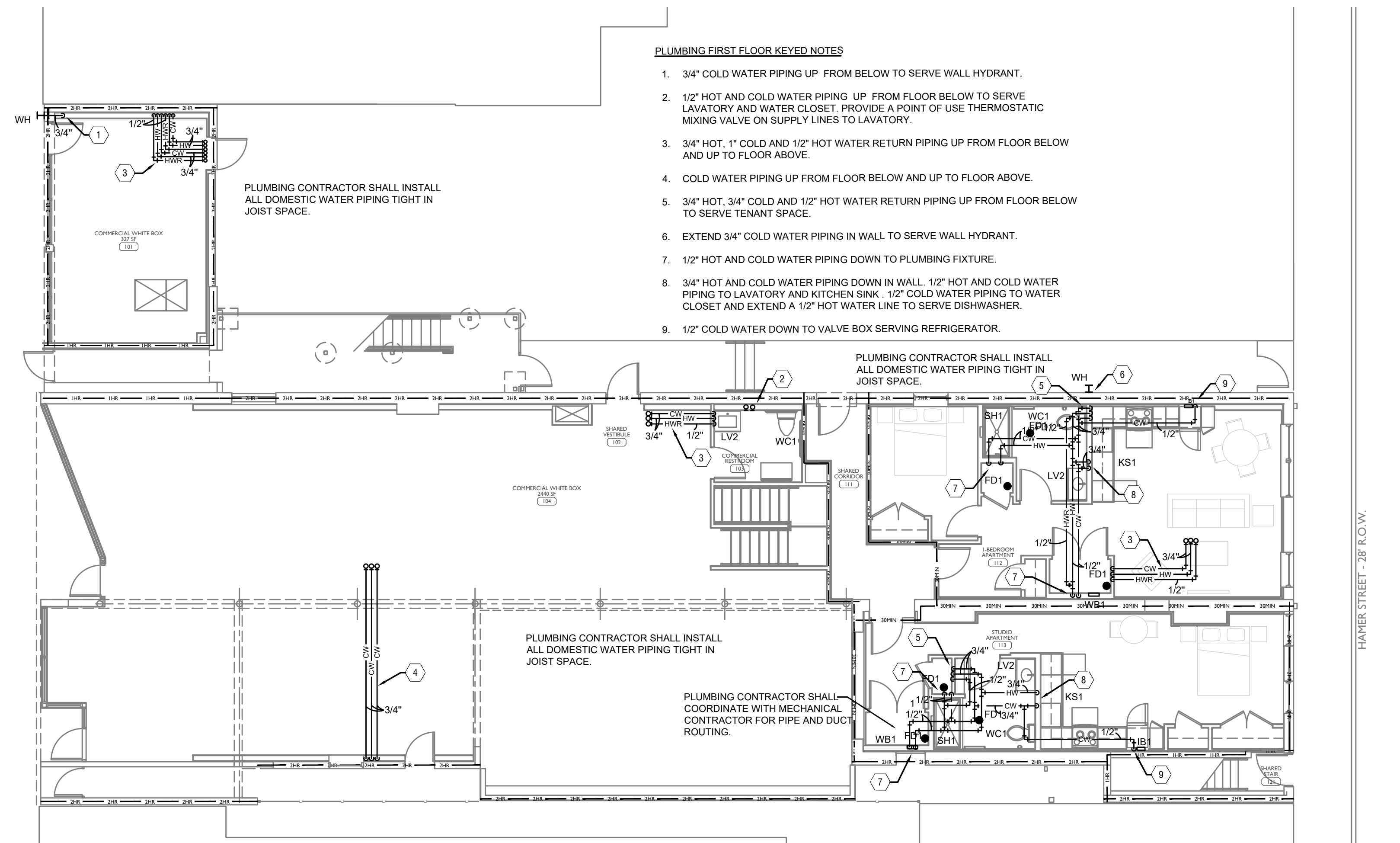
VINE STREET - 60' R.O.W.

VINE STREET - 60' R.O.W.



- PLUMBING FIRST FLOOR KEYED NOTES**
- 4" STORM PIPING UP TO ROOF DRAIN AND DOWN TO FLOOR BELOW.
 - SANITARY PIPING UP TO FLOOR ABOVE. REFER TO ISOMETRICS FOR PIPE SIZES.
 - SANITARY PIPING DOWN TO FLOOR BELOW. REFER TO ISOMETRICS FOR PIPE SIZES.
 - SANITARY PIPING UP AND DOWN. REFER TO ISOMETRICS FOR PIPE SIZES.
 - VENT PIPING UP FROM FLOOR BELOW.
 - VENT PIPING UP TO FLOOR ABOVE. REFER TO ISOMETRICS FOR PIPE SIZES.

SANITARY AND STORM PLAN



- PLUMBING FIRST FLOOR KEYED NOTES**
- 3/4" COLD WATER PIPING UP FROM BELOW TO SERVE WALL HYDRANT.
 - 1/2" HOT AND COLD WATER PIPING UP FROM FLOOR BELOW TO SERVE LAVATORY AND WATER CLOSET. PROVIDE A POINT OF USE THERMOSTATIC MIXING VALVE ON SUPPLY LINES TO LAVATORY.
 - 3/4" HOT, 1" COLD AND 1/2" HOT WATER RETURN PIPING UP FROM FLOOR BELOW AND UP TO FLOOR ABOVE.
 - COLD WATER PIPING UP FROM FLOOR BELOW AND UP TO FLOOR ABOVE.
 - 3/4" HOT, 3/4" COLD AND 1/2" HOT WATER RETURN PIPING UP FROM FLOOR BELOW TO SERVE TENANT SPACE.
 - EXTEND 3/4" COLD WATER PIPING IN WALL TO SERVE WALL HYDRANT.
 - 1/2" HOT AND COLD WATER PIPING DOWN TO PLUMBING FIXTURE.
 - 3/4" HOT AND COLD WATER PIPING DOWN IN WALL. 1/2" HOT AND COLD WATER PIPING TO LAVATORY AND KITCHEN SINK. 1/2" COLD WATER PIPING TO WATER CLOSET AND EXTEND A 1/2" HOT WATER LINE TO SERVE DISHWASHER.
 - 1/2" COLD WATER DOWN TO VALVE BOX SERVING REFRIGERATOR.

DOMESTIC WATER AND GAS PLAN

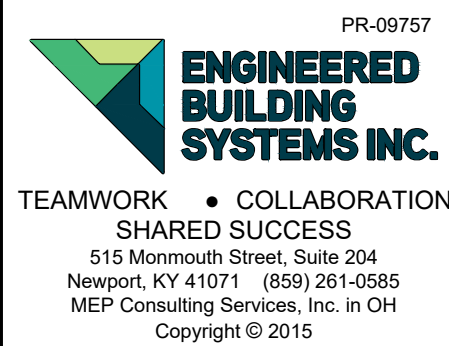
SCALE: 1/8" = 1'-0"

PLUMBING PLAN - FIRST FLOOR



Progress Dates
 05/26/2023 BID/PERMIT
 08/30/2024 BID SET 2

Revisions
 Checked By: sss
 Drawn by: DAG



PROPOSED PROJECT:
**RENOVATION FOR
 1726 Vine St / 1728 Vine St / 1730 Vine St /
 1675 Hamer St
 CINCINNATI, OH, 45202
 FINDLAY FLATS**

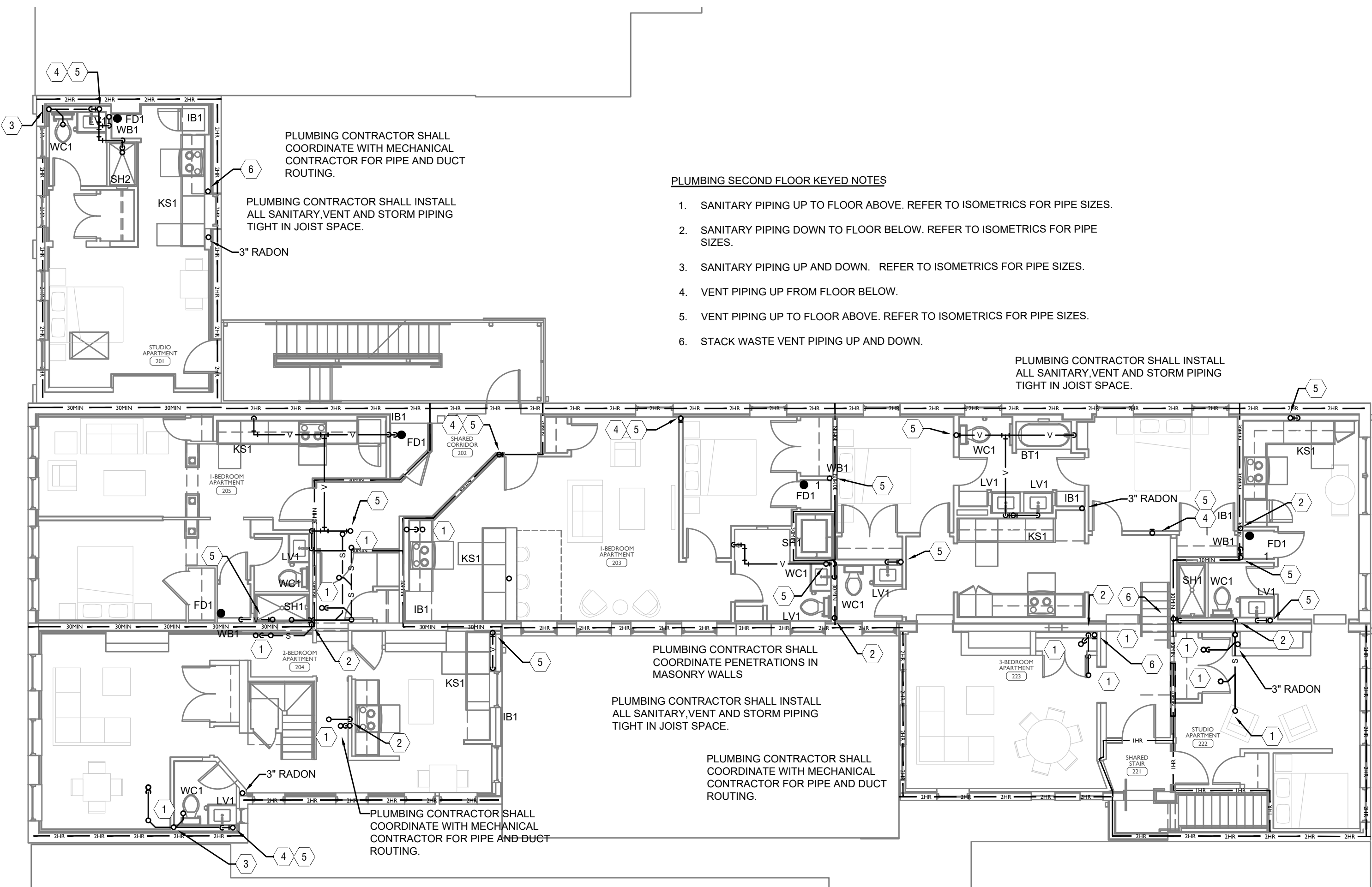
Job No: 22042 8/10/2022

PI.01

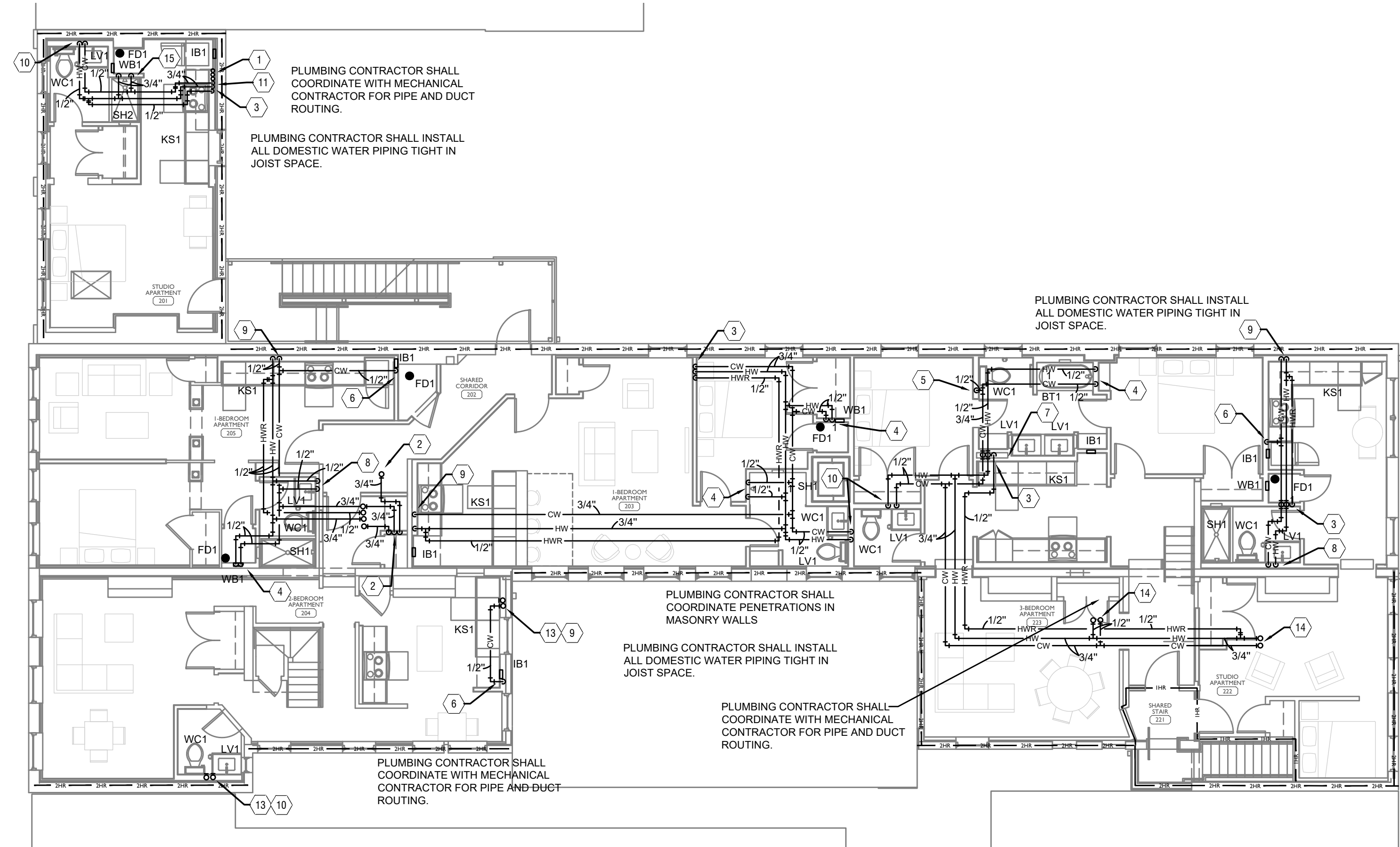
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Z:\Projects\Director\9700-9799\9757 - Findlay Flats - Findlay Paradise (Williamson) 2 Phase II\Construction Documents\Phase 1 (B Buildings)\1724 WNA\9757-P1-02-PLUMBING-SECOND-FLOOR-PI.dwg - EBS - Plot Date/Time: Aug. 29, 2024 - 2:02pm (1/1)

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SANITARY AND STORM PLAN



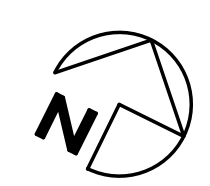
DOMESTIC WATER AND GAS PLAN

PLUMBING SECOND FLOOR KEYED NOTES

1. 3/4" HOT, 1" COLD AND 1/2" HOT WATER RETURN PIPING UP FROM FLOOR BELOW AND UP TO FLOOR ABOVE.
2. 3/4" COLD WATER PIPING UP FROM FLOOR BELOW AND UP TO FLOOR ABOVE.
3. 3/4" HOT, 3/4" COLD AND 1/2" HOT WATER RETURN PIPING UP FROM FLOOR BELOW TO SERVE TENANT SPACE.
4. 1/2" HOT AND COLD WATER PIPING DOWN TO PLUMBING FIXTURE.
5. 1/2" COLD WATER DOWN TO WATER CLOSET.
6. 1/2" COLD WATER DOWN TO VALVE BOX SERVING REFRIGERATOR.
7. 3/4" HOT AND COLD WATER ROUTED THROUGH WALL TO SERVE LAVATORIES, KITCHEN SINK AND DISHWASHER. EXTEND 1/2" COLD WATER PIPING TO VALVE BOX SERVING REFRIGERATOR.
8. 3/4" HOT AND COLD WATER PIPING DOWN. 1/2" HOT AND COLD WATER PIPING TO LAVATORY AND SHOWER. 1/2" COLD WATER TO WATER CLOSET.
9. 1/2" HOT AND COLD WATER PIPING DOWN TO SINK. PROVIDE 1/2" HOT WATER LINE TO SERVE DISH WASHER.
10. 1/2" HOT AND COLD WATER PIPING DOWN. 1/2" HOT AND COLD WATER TO LAVATORY AND 1/2" COLD WATER TO SERVE WATER CLOSET.
11. 1/2" HOT AND COLD WATER ROUTED THROUGH WALL TO SERVE KITCHEN SINK AND DISHWASHER. EXTEND 1/2" COLD WATER PIPING TO VALVE BOX SERVING REFRIGERATOR.
12. 3/4" COLD WATER UP TO FLOOR ABOVE. 3/4" HOT WATER AND 1/2" HOT WATER RETURN PIPING UP TO FLOOR ABOVE.
13. 1/2" HOT AND COLD WATER PIPING DOWN FROM FLOOR ABOVE.
14. HOT AND COLD WATER PIPING UP TO FLOOR ABOVE.
15. 3/4" HOT AND COLD WATER PIPING DOWN IN WALL. 1/2" HOT AND COLD WATER TO SHOWER AND 1/2" HOT AND COLD WATER TO WASHER BOX.

SCALE: 1/8" = 1'-0"

PLUMBING PLAN - SECOND FLOOR | 1



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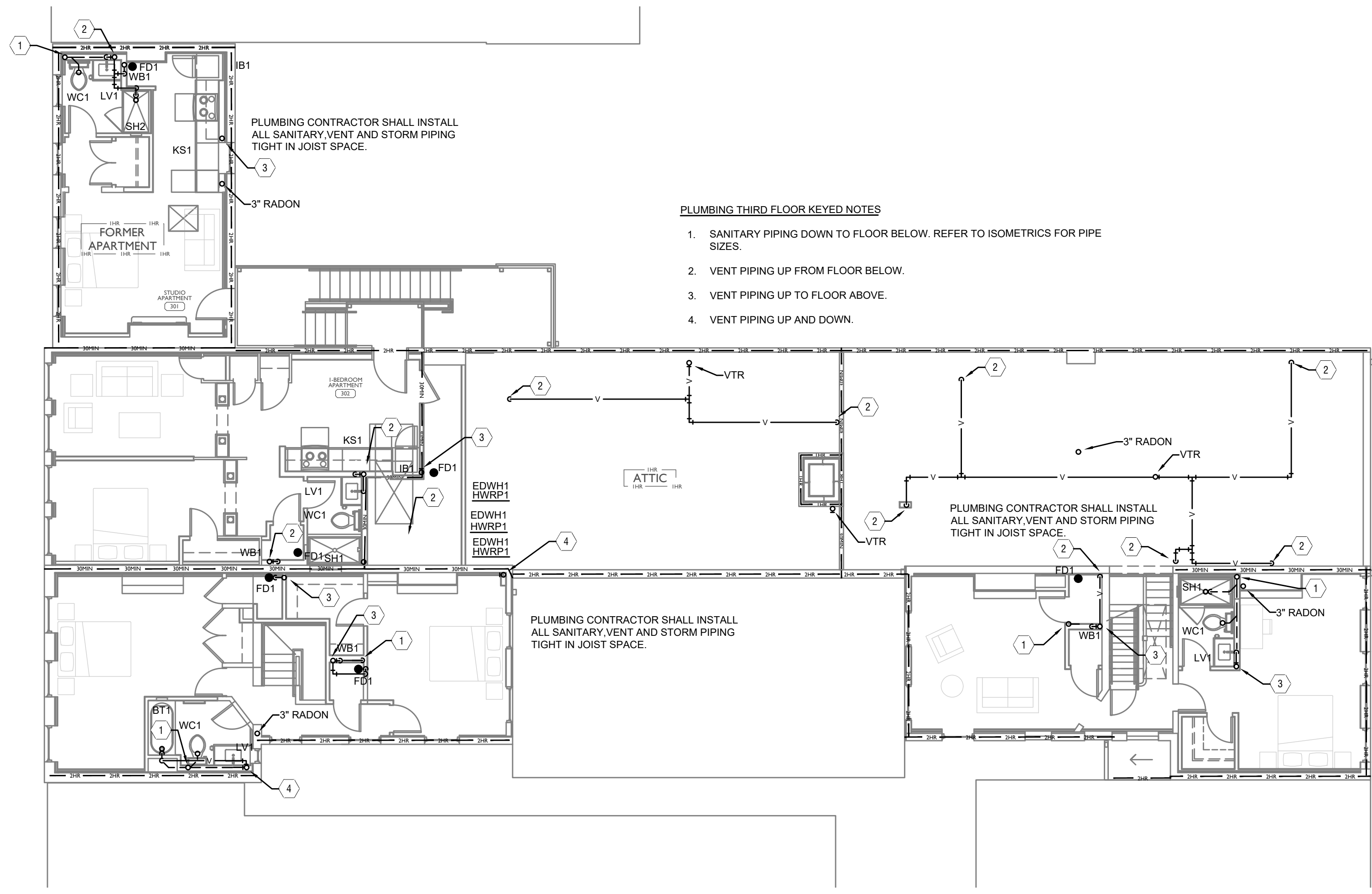
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**RENOVATION FOR
1726 Vine St / 1728 Vine St / 1730 Vine St /
1675 Hamer St
CINCINNATI, OH, 45202
FINDLAY FLATS**

Job No: 22042 8/10/2022

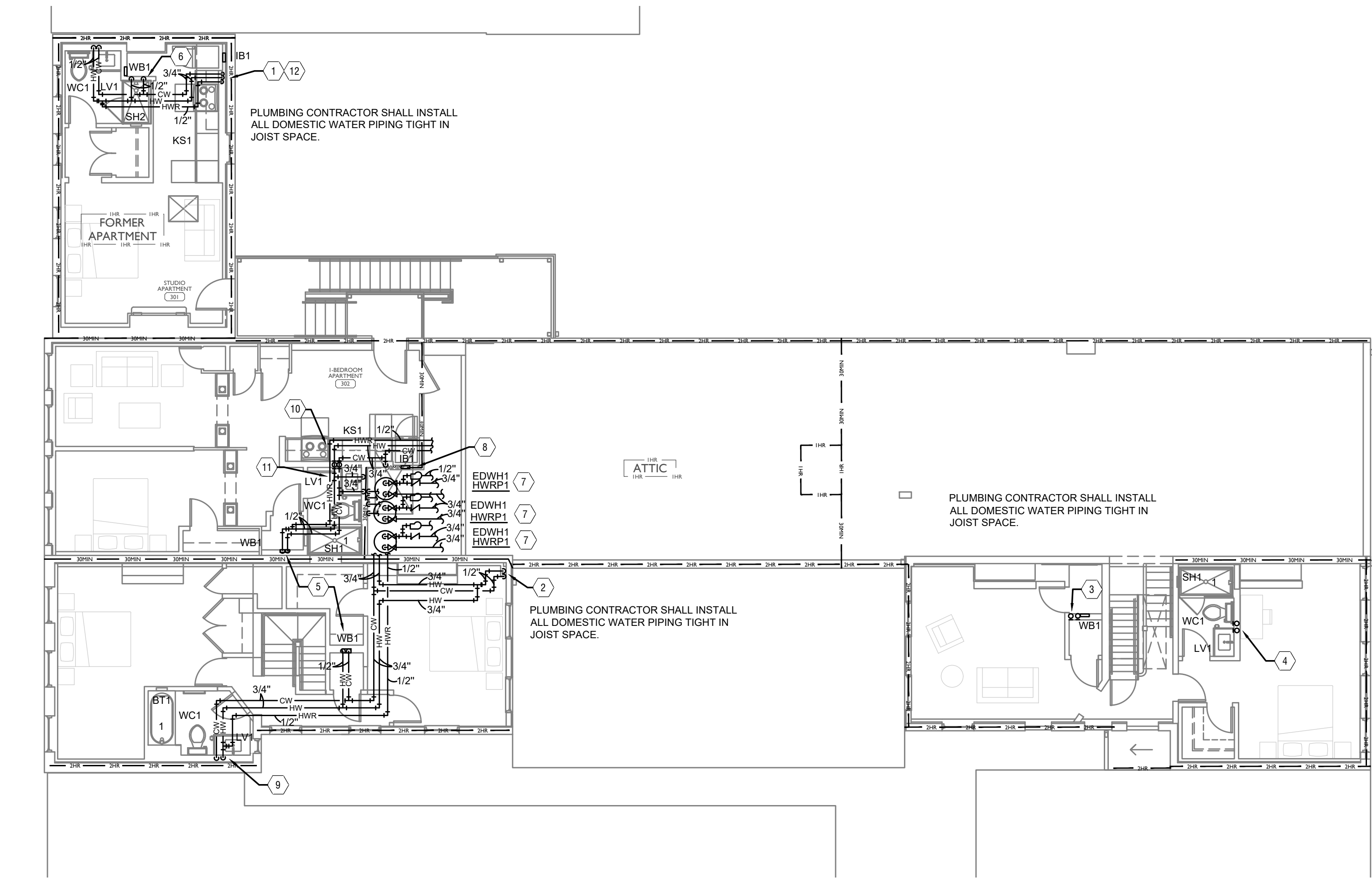
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- PLUMBING THIRD FLOOR KEYED NOTES**
- SANITARY PIPING DOWN TO FLOOR BELOW. REFER TO ISOMETRICS FOR PIPE SIZES.
 - VENT PIPING UP FROM FLOOR BELOW.
 - VENT PIPING UP TO FLOOR ABOVE.
 - VENT PIPING UP AND DOWN.

SANITARY AND STORM PLAN

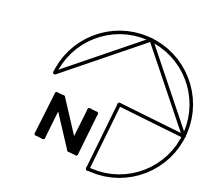


- PLUMBING THIRD FLOOR KEYED NOTES**
- 3/4" HOT, 1" COLD AND 1/2" HOT WATER RETURN PIPING UP FROM FLOOR BELOW AND UP TO FLOOR ABOVE.
 - 1/2" HOT AND COLD WATER PIPING DOWN TO FLOOR BELOW.
 - 1/2" HOT AND COLD WATER PIPING UP FROM FLOOR BELOW TO SERVE PLUMBING FIXTURES
 - 3/4" HOT AND COLD WATER RETURN PIPING UP FROM FLOOR BELOW TO SERVE BATHROOM. 1/2" HOT AND COLD WATER TO LAVATORY AND SHOWER. 1/2" COLD WATER TO SERVE WATER CLOSET.
 - 1/2" HOT AND COLD WATER PIPING DOWN TO PLUMBING FIXTURE.
 - 3/4" HOT AND COLD WATER PIPING DOWN IN WALL. 1/2" HOT AND COLD WATER TO SHOWER AND 1/2" HOT AND COLD WATER TO WASHER BOX.
 - ELECTRIC TANK TYPE WATER HEATER WITH HEAT TRAPS ON INLET AND OUTLET. 3/4" COLD WATER IN, 3/4" HOT WATER OUT. PROVIDE DRAIN PAN AND PIPE DRAIN AND PRESSURE RELIEF VALVE INDEPENDENTLY AND INDIRECTLY TO FLOOR DRAIN. REFER TO DETAIL SHEETS FOR SPECIFICATIONS
 - 1/2" COLD WATER DOWN TO VALVE BOX SERVING REFRIGERATOR.
 - 3/4" HOT AND COLD WATER PIPING DOWN. 1/2" HOT AND COLD WATER PIPING TO LAVATORY AND SHOWER. 1/2" COLD WATER TO WATER CLOSET. 1/2" HOT AND COLD WATER DOWN TO FLOOR BELOW.
 - 1/2" HOT AND COLD WATER PIPING DOWN TO SINK. PROVIDE 1/2" HOT WATER LINE TO SERVE DISH WASHER.
 - 3/4" HOT AND COLD WATER PIPING DOWN. 1/2" HOT AND COLD WATER TO LAVATORY AND SHOWER. 1/2" COLD WATER TO SERVE WATER CLOSET.
 - 1/2" HOT AND COLD WATER ROUTED THROUGH WALL TO SERVE KITCHEN SINK AND DISHWASHER. EXTEND 1/2" COLD WATER PIPING TO VALVE BOX SERVING REFRIGERATOR.

DOMESTIC WATER AND GAS PLAN

SCALE: 1/8" = 1'-0"

PLUMBING PLAN - THIRD FLOOR | 1



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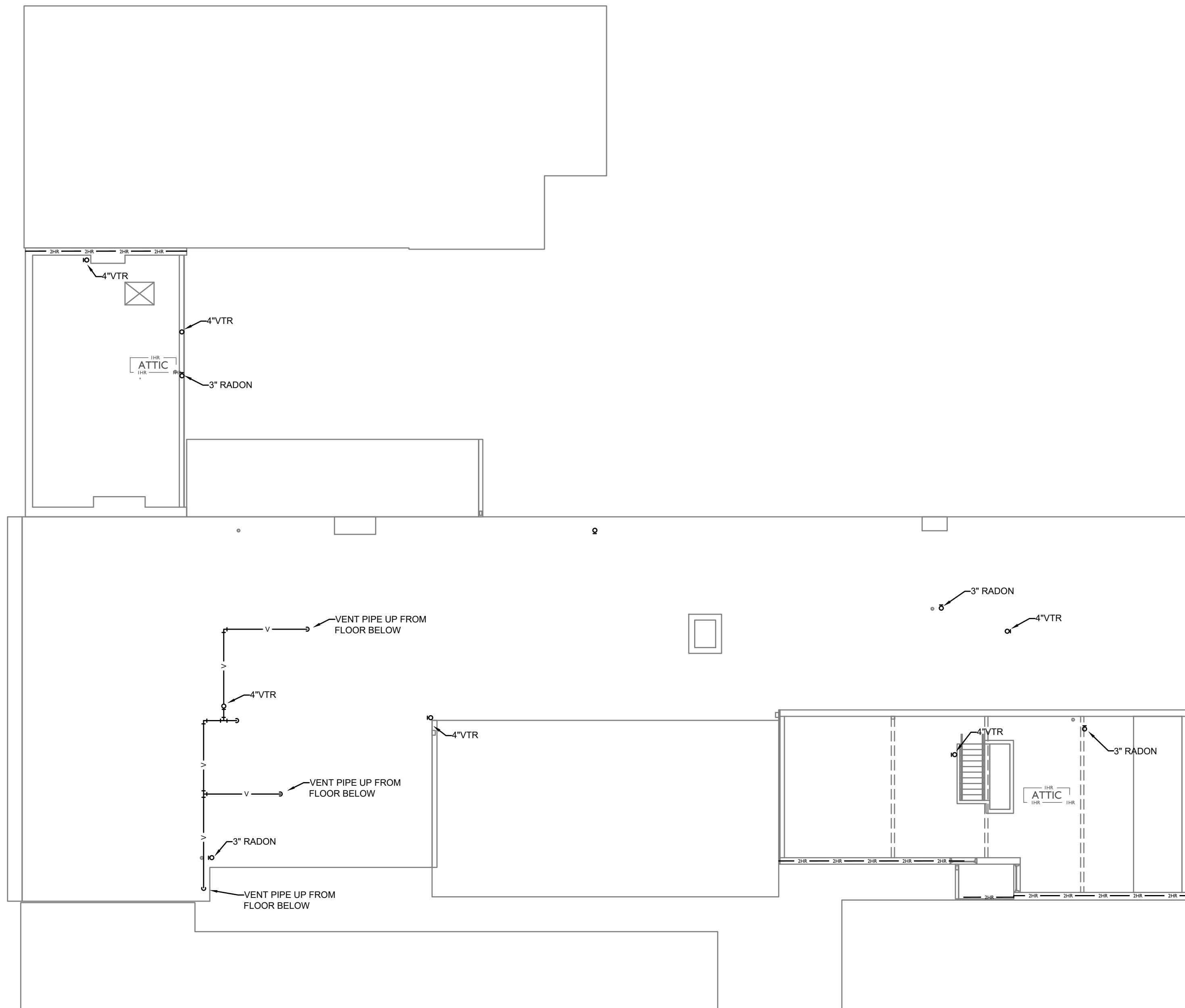
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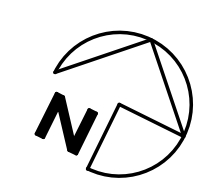
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SCALE: 1/8" = 1'-0"

PLUMBING PLAN - ATTIC |



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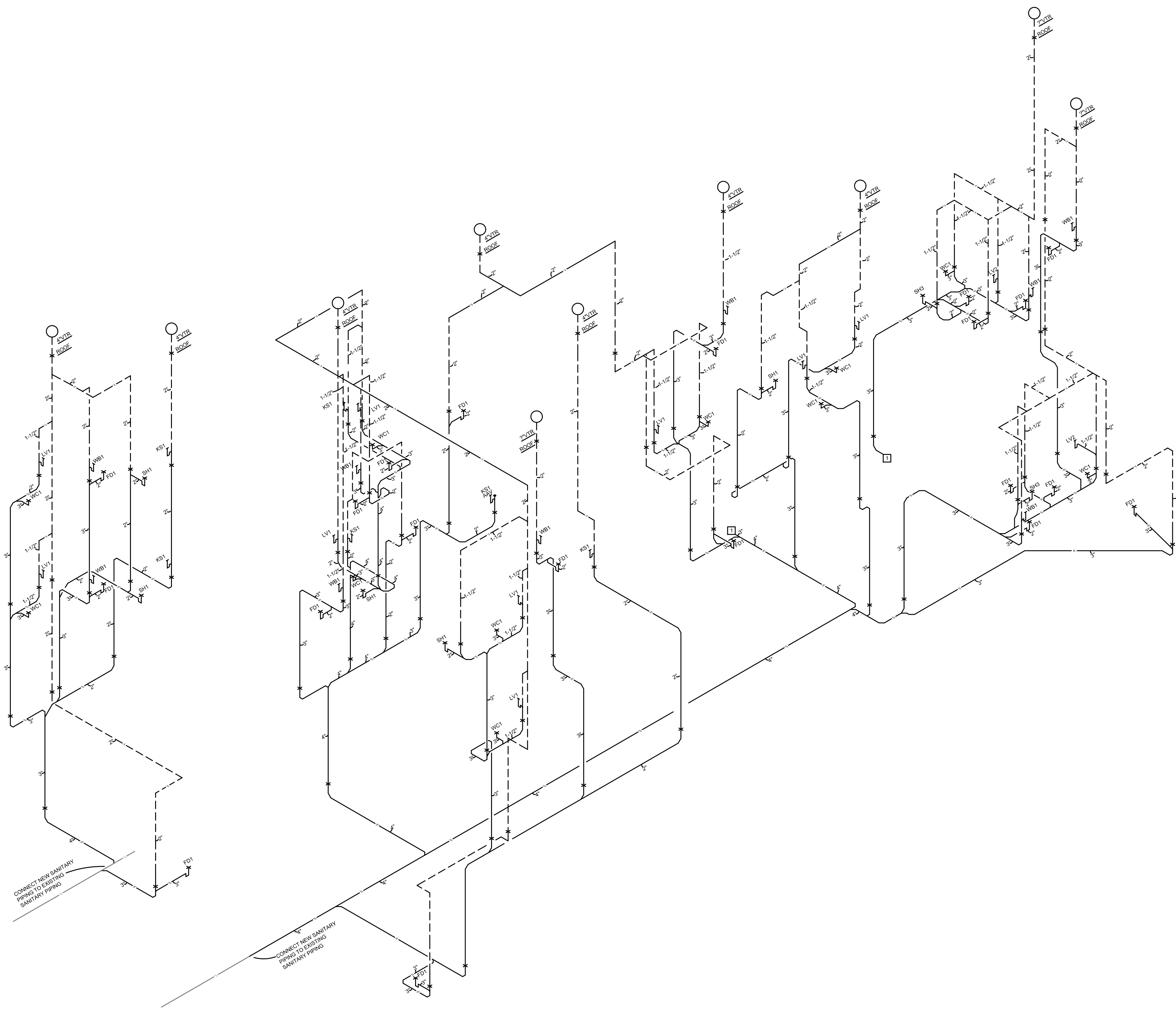
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