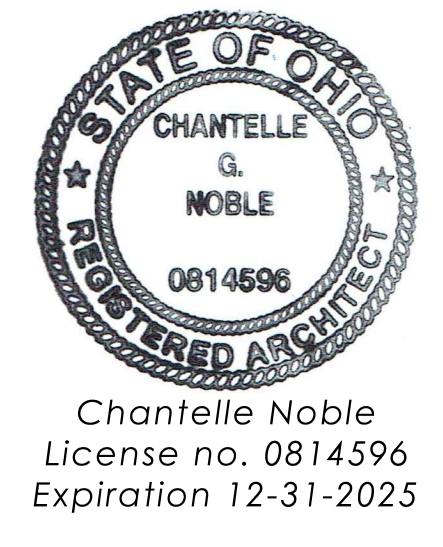


DOWNTOWN STREETSCAPE - SIDEWALK IMPROVEMENTS FOURTH ST. - WALNUT ST. - FIFTH ST.



PROJECT INFORMATION

1. PROJECT DESCRIPTION: THE PROJECT IS STRUCTURAL REPAIRS AND MODIFICATIONS TO EXISTING BASEMENT AND SIDEWALK LEVEL, RIGHT-OF-WAY ENCROACHMENTS AS PART OF A LARGER DOWNTOWN STREETSCAPE IMPROVEMENT PROJECT ON RACE ST., 4TH ST., 5TH ST., 6TH ST., AND WALNUT ST. IN THE CENTRAL BUSINESS DISTRICT IN DOWNTOWN CINCINNATI.

STRUCTURAL MODIFICATIONS TO RIGHT-OF-WAY SIDEWALK ENCROACHMENTS IN THE ATTACHED DRAWINGS FALL INTO THREE CATEGORIES:

- INFILL OF EXISTING BASEMENT ENCROACHMENT AND NEW SLAB-ON-GRADE SIDEWALK TOPPING SLAB. (TOPPING SLAB UNDER SEPARATE PERMIT.)
- NEW STRUCTURAL SLAB WITH NEW SIDEWALK TOPPING SLAB. (TOPPING SLAB UNDER SEPARATE PERMIT.)
- EXISTING TO REMAIN STRUCTURAL SLAB WITH NEW SIDEWALK TOPPING SLAB. (TOPPING SLAB UNDER SEPARATE PERMIT.)

ALL WORK IN THE R.O.W. SHALL BE IN ACCORDANCE WITH DOTE STANDARDS, INCLUDING BUT NOT LIMITED TO: STRUCTURAL DESIGN AND FIRE RATINGS.

CIVIL DRAWINGS FOR THE STREETSCAPE AND SIDEWALK IMPROVEMENTS ARE PART OF A SEPARATE DRAWING PACKAGE. THE CONTRACTOR IS TO COORDINATE WITH OWNER AND ARCHITECT TO OBTAIN THE CIVIL DRAWINGS ASSOCIATED WITH THE ATTACHED STRUCTURAL DRAWINGS.

2. GOVERNING CODES AND STANDARDS:

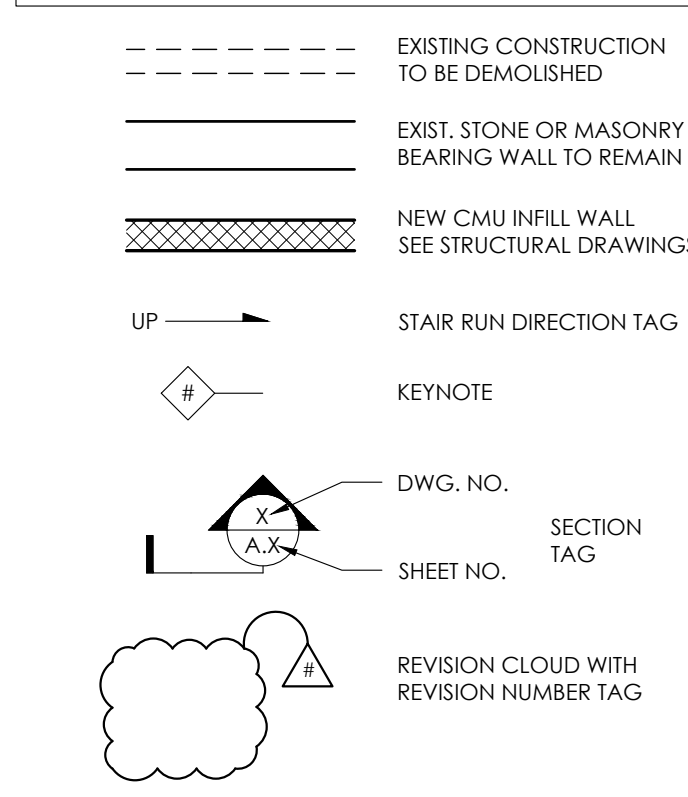
- 2024 OHIO BUILDING CODE
- 2024 OHIO EXISTING BUILDING CODE
- CINCINNATI BUILDING CODE
- CITY OF CINCINNATI, DOTE, RIGHT OF WAY PERMITS AND STREET RESTORATION MANUAL, 2022.

BUILDING PERMIT APPLICATION:
414 WALNUT STREET

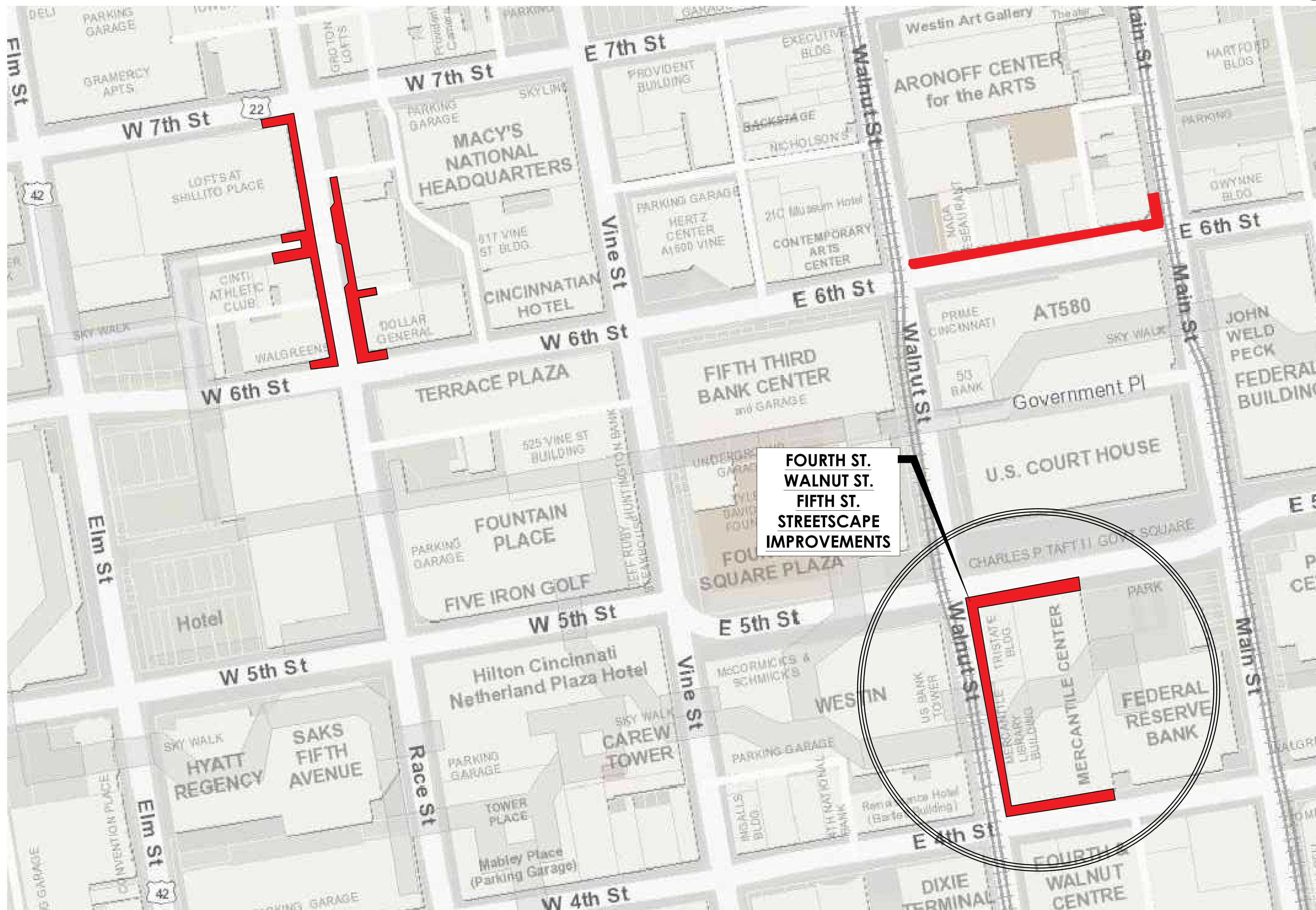
ABBREVIATIONS

ADJ.	ADJUSTABLE	LB	POUND
A.F.F.	ABOVE FINISHED FLOOR	LF	LINEAR FEET
ALT.	ALTERNATE	MAX.	MAXIMUM
ALUM.	ALUMINUM	MECH.	MECHANICAL
APPX.	APPROXIMATE	MFR.	MANUFACTURER
ARCL.	ARCHITECTURAL	MIN.	MINIMUM
AVG.	AVERAGE	MIN.	MINIMUM
BY	BOTTOM OF BOARD	M.O.	MAJORITY OPENING
BD.	BEAM	M.R.	MOISTURE RESISTANT
BLDG.	BUILDING	MW	MICROWAVE
BLKG.	BLOCKING	N.	NORTH
BSMT.	BASEMENT	NO.	NUMBER
CAB.	CABINET	NOM.	NOMINAL
CEILING	CEILING	NTS.	NOT TO SCALE
CLOS.	CLOSED	O.C.	ON CENTER
CMU	CONCRETE MASONRY UNIT	O.D.	OUTSIDE DIAMETER
CONC.	CONCRETE	ORIG.	ORIGINE
CONT.	CONTIGUOUS	PTD.	PAINTED
CPT.	CARPET	PSF	POUNDS PER SQUARE FOOT
CSMT.	CASSETT	PSI	POUNDS PER SQUARE INCH
C.F.	CUBIC FEET	PT.	PRESSURE TREATED
D	DEEP OR DEPTH	R	RISER
DIA.	DIAMETER	RAD.	RADIUS
DIM.	DIMENSION	REF.	REFLECTED CEILING PLAN
DEMO	DEMOLISH OR DEMOLITION	REF.	REFRIGERATOR
D.H.	DOUBLE HUNG	REQ'D.	REQUIRED
DK.	DOOR	REV.	REVISION OR REVISION
DW.	DISHWASHER	R.O.	ROUGH OPENING
DWG.	DRAWING	R/W.	ROOM
EA.	EACH	SECT.	SECTION
ELEC.	ELECTRIC OR ELECTRICAL	SECT.	SECTION
ELEV.	ELEVATION	S	SQUARE FEET
EQ.	EQUIPMENT	S	SQUARE FEET
EQUIP.	EQUIPMENT	SIM.	SIMILAR
EXIST.	EXISTING	STD.	STANDARD
F.E.	FIRE EXTINGUISHER	STL.	STEEL
FDN.	FOUNDATION	STL.	STAINLESS STEEL
FIN.	FINISH	SP.	SQUARE
FLG.	FLOORING	SP.	SQUARE
F.R.	FLOOR	T.	TOP OF
FRMG.	FRAMING	T.B.D.	TO BE DETERMINED
FOOT	FOOT OR FEET	TELE	TELEPHONE
FTG.	FOOTING	TYP.	TYPICAL
GA.	GALVANIZED	UNCL.	UNLESS NOTED OTHERWISE
GALV.	GALVANIZED	VERT.	VERTICAL
G.C.	GENERAL CONTRACTOR	V.I.F.	VERIFY IN FIELD
GYP.	GYPHUM	W.	WEST, WIDE OR WIDTH
H	HOUR	W.	WITH
HDWD.	HARDWOOD	W/D	WASHER & DRYER
HM	HOLLOW METAL	WD	WOOD
HVAC	HEATING, VENTILATION, & AIR CONDITIONING	WDW.	WINDOW
HORIZ.	HORIZONTAL	WH	WATER HEATER
I.D.	INSIDE DIAMETER	W.P.	WATERPROOFING
IN	INCHES	X	BY
INSUL.	INSULATION OR INSULATED	Y	YARD
	LONG OR LENGTH		

GRAPHIC SYMBOL LEGEND



LOCATION PLAN (NOT TO SCALE)



DRAWING INDEX

- ARCHITECTURAL**
- A0.0 COVER SHEET, DRAWING INDEX, & PROJECT INFORMATION
 - A0.1 BASEMENT ENCROACHMENT FLOOR PLANS
 - A0.2 SPLIT SLAB DETAILS
- STRUCTURAL**
- S001 GENERAL STRUCTURAL NOTES
 - S110 FRAMING PLANS
 - S310 FOUNDATION SECTIONS

GENERAL PROJECT NOTES

- THE GENERAL CONTRACTOR (G.C.) SHALL VERIFY ALL INFORMATION IN THESE DRAWINGS AND SHALL REPORT ANY ERRORS, OMISSIONS, OR DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DEPARTURES FROM THESE PLANS NOT APPROVED IN WRITING BY THE ARCHITECT.
- THE ARCHITECT HAS MADE NO INVESTIGATION TO DETERMINE IF ASBESTOS OR ANY OTHER HAZARDOUS MATERIAL IS PRESENT IN EXISTING CONSTRUCTION AND ASSUMES NO RESPONSIBILITY WITH REGARD TO ASBESTOS OR ANY OTHER HAZARDOUS MATERIAL.
- THE G.C. IS TO REVIEW THESE DRAWINGS AND VISIT THE SITE BEFORE COMMENCING THE PROJECT IN ORDER TO FAMILIARIZE HIM OR HERSELF WITH THE PROPOSED WORK.
- THE G.C. IS TO REMOVE ONLY THOSE ELEMENTS SLATED FOR DEMOLITION EITHER GRAPHICALLY OR BY NOTATION, AND OTHER ELEMENTS ARE TO BE REMOVED, IF THE CONTRACTOR QUESTIONS THE REMOVAL OF AN ELEMENT, OR IF THERE IS A CONFLICT BETWEEN THE NOTES AND THE GRAPHICS, CONTRACTOR IS TO ASK THE ARCHITECT IMMEDIATELY.
- THE G.C. IS TO PROTECT AND SAVE BUILDING ELEMENTS CONNECTED TO, OR ADJ. TO, THOSE ELEMENTS WHICH ARE SLATED TO BE REMOVED.
- THE G.C. SHALL NOT REMOVE ANY ELEMENTS WHICH MAY CAUSE THE STRUCTURE TO BECOME UNSTABLE, OR THAT WILL POSE A RISK TO PERSONS OR PROPERTY, EVEN IF INDICATED IN PLANS. IF ANY ELEMENTS BECOME UNSTABLE, CONTRACTOR IS TO STABILIZE AND SHALL INFORM THE ARCHITECT/OWNER IMMEDIATELY.
- IT IS UP TO THE G.C. TO CONTINUALLY EVALUATE THE STRUCTURAL STABILITY OF THE BUILDING AND THE INTEGRITY OF ELEMENTS BOTH STRUCTURAL AND NONSTRUCTURAL THAT ARE SHOWN TO REMAIN. IF THE CONTRACTOR DETERMINES THAT SOME OF THESE ELEMENTS SHOULD BE REMOVED, HE/SHE MUST FIRST RECEIVE PERMISSION FROM THE ARCHITECT/OWNER, OR MAY BE FINANCIALLY RESPONSIBLE FOR THE REPLACEMENT OF THESE ELEMENTS.
- THE G.C. IS RESPONSIBLE FOR THE REMOVAL OF ALL TRASH AND DEBRIS THROUGHOUT THE WORK. ALL DEBRIS MUST BE REMOVED AND DISCARDED IN A SAFE AND LEGAL MANNER.
- THE G.C. IS RESPONSIBLE FOR THE PROCUREMENT OF ANY ADDITIONAL MATERIALS, EQUIPMENT, AND PERMITS AND FOR ANY FEES, PENALTIES OR RENTAL COSTS ASSOCIATED WITH THE DEMOLITION WORK.
- THE G.C. SHALL IDENTIFY, LOCATE AND PROTECT ANY ABOVE AND BELOW GROUND UTILITIES ON SITE DURING THE COURSE OF THE DEMOLITION WORK. UPON COMPLETION, CONTRACTOR IS TO LEAVE ALL UTILITY LINES AND CONNECTIONS IN A STABLE, PROTECTED STATE.
- THE G.C. IS TO PROTECT THE BUILDING FROM THE ELEMENTS, THEFT AND VANDALISM AT ALL TIMES DURING WORK.
- CONTRACTOR TO COORDINATE DIRECTLY WITH OWNER & ARCHITECT FOR FINAL FIXTURES, PRODUCTS, FINISHES AND ALL COLOR SELECTIONS.

BID ALTERNATES

- THE FOLLOWING BID ALTERNATES ARE TO BE BROKEN DOWN SEPARATELY IN BIDS, BY BUILDING ADDRESS:
- CMU INFILL WALLS & WALL WATERPROOFING**
614 RACE ST., 614 RACE ST. & 414 WALNUT ST.
PROVIDE A SEPARATE LINE ITEM PRICE FOR THE CMU INFILL WALLS AND WALL WATERPROOFING AT EXISTING ENCROACHMENTS INDICATED TO BE INFILLED.
 - UTILITY, MEP, & FIRE PROTECTION DESIGN-BUILD MODIFICATIONS**
617 RACE ST., 630 RACE ST., 632 RACE ST.
PROVIDE AN ALTERNATE PRICE FOR DESIGN-BUILD MODIFICATIONS TO EXISTING MEP/FP AND UTILITY MODIFICATIONS IN EXISTING ENCROACHMENTS WHICH ARE INDICATED TO HAVE NEW STRUCTURAL SIDEWALK SLABS. EXISTING MEP/FP ELEMENTS MAY NEED TO BE PERMANENTLY OR TEMPORARILY RELOCATED IN ORDER TO COMPLETE THE NEW STRUCTURAL WORK. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS IN FIELD PRIOR TO SUBMITTING BIDS TO DETERMINE SCOPE OF DESIGN-BUILD MEP/FP WORK. MEP/FP WORK IS TO BE PERMITTED SEPARATELY BY CONTRACTOR.
 - 432 WALNUT ST. STRUCTURAL SPLIT-SLAB ASSEMBLY**
WALNUT ST. & 5TH ST.
PROVIDE AN ALTERNATE PRICE TO PROVIDE THE NEW SPLIT-SLAB SIDEWALK ASSEMBLY SHOWN IN THE 432 WALNUT ST. BUILDING RENOVATION DRAWINGS. SEE ATTACHED BIDDING REFERENCE DOCUMENTS FOR SCOPE OF WORK. STRUCTURAL SIDEWALK SLABS FOR THIS BUILDING ARE NOT INCLUDED IN BASE BID, AND HAVE BEEN PERMITTED SEPARATELY AS PART OF THE OVERALL BUILDING RENOVATION.

**DOWNTOWN STREETSCAPE IMPROVEMENTS
FOURTH ST. - WALNUT ST. - FIFTH ST.**



DATE: PERMIT/BID
07.10.2024

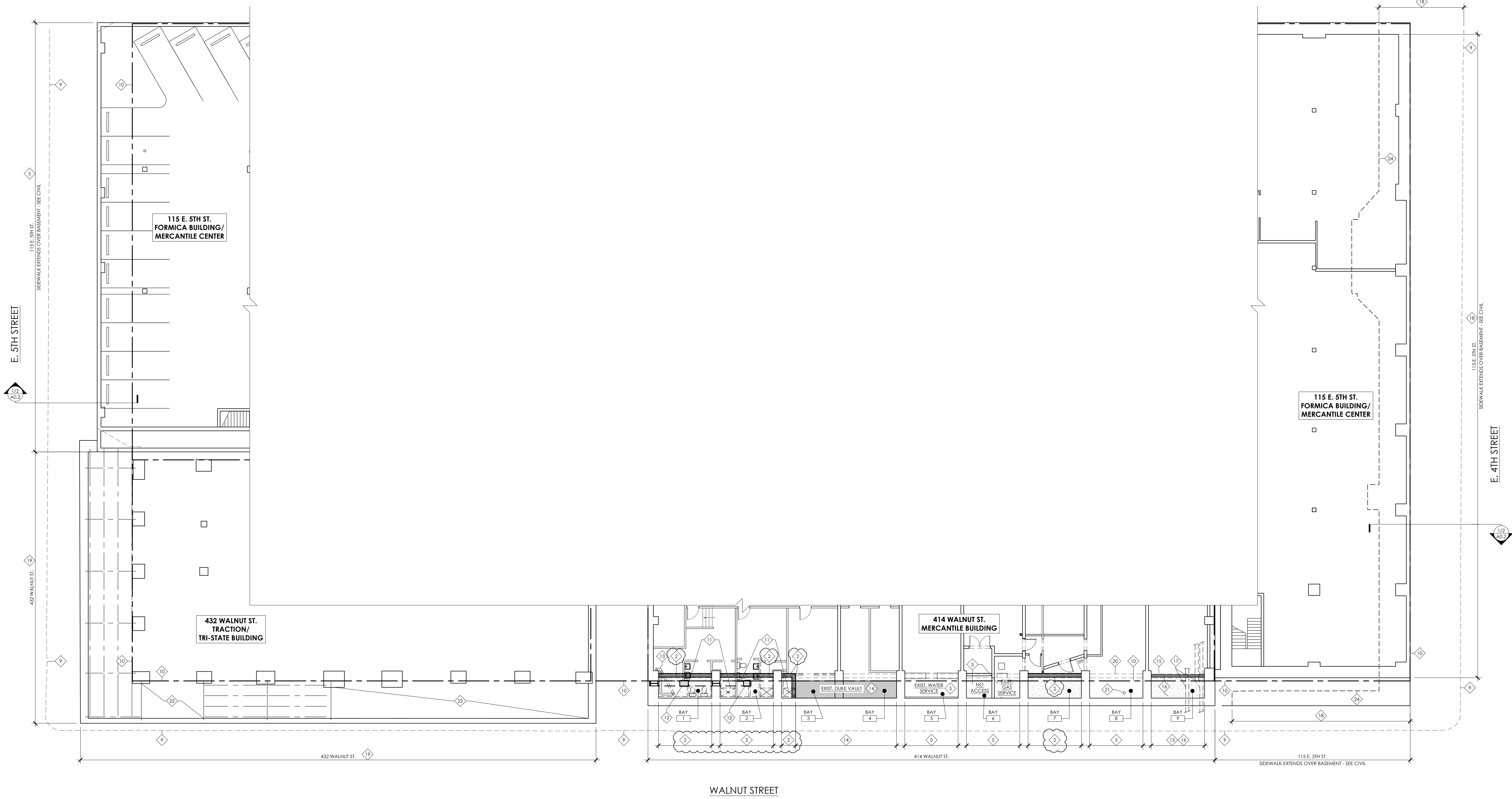
COVER SHEET,
DRAWING INDEX,
PROJECT INFORMATION,
DETAILS

A0.0

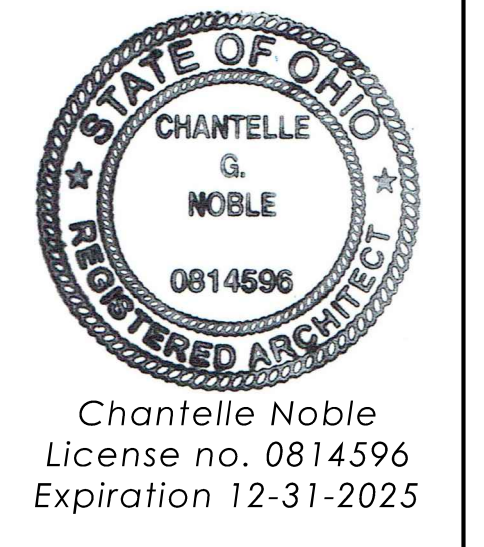
FLOOR PLAN GRAPHIC KEY	
	EXISTING MASONRY WALL
	NEW CMU INFILL WALL - SEE STRUCTURAL DRAWINGS
	EXISTING WALLS TO BE REMOVED (414 WALNUT ST., MERCANTILE BUILDING)

- FLOOR PLAN GENERAL NOTES**
- DO NOT SCALE DRAWINGS. REFER TO DIMENSIONS AND NOTES.
 - SEE STRUCTURAL DRAWINGS FOR STRUCTURAL WORK.
 - DASHED ITEMS TO BE REMOVED, WHERE NOTED ON PLAN FOR DEMOLITION WITH KEYNOTE. CONSULT ARCHITECT IF INTENT IS UNCLEAR.
 - LOAD-BEARING WALLS, COLUMNS, BEAMS, AND STRUCTURAL ELEMENTS TO REMAIN, U.N.O.
 - COORDINATE SLAB ELEVATIONS WITH CIVIL DRAWINGS. COORDINATE WITH OWNER AND ARCHITECT TO OBTAIN THE FINAL CIVIL DRAWINGS.
 - DIMENSIONS ARE TO NEW FINISH FACE OR EXISTING FINISH, U.N.O., NEW MASONRY WALLS AND MASONRY OPENINGS ARE DIMENSIONED TO MASONRY.
 - PATCH AND REPAIR ALL SURFACES TO MATCH EXISTING ADJACENT CONSTRUCTION AT AREAS OF DEMOLITION AND NEW CONSTRUCTION.
 - WORK IN RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH D.O.T.E. STANDARDS.
 - 3-HOUR FIRE-RATING:** NEW EXPOSED STRUCTURAL STEEL BENEATH SIDEWALK SHALL BE 3-HOUR FIRE RATED PER DOTE STANDARDS. SEE DETAIL ON SHEET A0.2 (RACE ST.).
 - UTILITIES AND MEP/FP WORK (BID ALTERNATE 2 - SEE A0.0)**
MECHANICAL, PLUMBING, ELECTRICAL, FIRE PROTECTION, AND WORK ASSOCIATED WITH BUILDING UTILITIES IS DESIGN-BUILD BY CONTRACTOR. PRIOR TO WORKING ON THESE ITEMS, COORDINATE ALL WORK WITH OWNER AND A.H.J. CONTRACTOR IS RESPONSIBLE FOR DESIGN AND COORDINATION OF ALL MODIFICATIONS. FIELD VERIFICATION IS NECESSARY.
 - CONCRETE SIDEWALK TOPPING SLABS:** NEW TOPPING SLABS ATOP NEW AND EXISTING STRUCTURAL SLABS ARE UNDER A SEPARATE PERMIT FOR THE STREETScape DESIGN AND ARE NOTED IN THESE DRAWINGS FOR REFERENCE. SEE CIVIL DRAWINGS FOR STREETScape DESIGN AND SIDEWALK GRADES. CONTRACTOR IS RESPONSIBLE TO OBTAIN THE CIVIL DRAWINGS FROM OWNER FOR COORDINATION PURPOSES.
 - SPLIT-SLAB WATERPROOFING:** PROVIDE NEW WATERPROOFING ON ALL NEW AND EXISTING STRUCTURAL SLABS, BENEATH TOPPING SLAB. SEE DETAILS ON SHEETS A0.2, 1E-IN NEW WATERPROOFING TO EXISTING ADJACENT SPLIT-SLAB WATERPROOFING AS PER WATERPROOFING MFG'S INSTRUCTIONS.
 - THIN TOPPING SLABS / TOPPING SLABS LESS THAN 5" THICK:** DUE TO THE TOP OF SLAB ELEVATION OF SOME OF THE EXISTING TO REMAIN STRUCTURAL SIDEWALK SLABS, SOME OF THE NEW TOPPING SLAB WILL BE LESS THAN 5" THICK, WHICH IS THE MINIMUM REQUIRED THICKNESS PER DOTE STANDARDS.
 - AT THIN TOPPING SLABS LESS THAN 5" THICK, PROVIDE FIBER REINFORCED CONCRETE. SUBMIT CONCRETE MIX DESIGN TO ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL.
 - VERIFY IN FIELD THE EXTENT AND LOCATIONS WHERE THIN TOPPING SLABS WILL OCCUR. FOR REFERENCE, REFER TO CIVIL DRAWINGS, ARCHITECTURAL PLANS, AND DETAIL 2/A0.2.
 - FOR ADDITIONAL BIDDING REFERENCE ON WHERE THIN TOPPING SLAB OCCUR, REFER TO THE ATTACHED MARKUP, PROVIDED BY OWNER, WHICH SHOWS WHERE EXPLORATORY CONCRETE CORES WERE PERFORMED IN SELECT AREAS TO DETERMINE THE THICKNESS OF EXISTING TOPPING SLABS.
 - COORDINATE TRANSITIONS FROM THIN TOPPING SLAB TO STANDARD, 5" THICK SLABS WITH CIVIL DRAWINGS SO THAT TRANSITIONS OCCUR AT REGULAR CONTROL JOINT SPACING SHOWN ON CIVIL PLANS.
 - SEE DETAIL 2/A0.2 FOR ADDITIONAL INFORMATION.

- FLOOR PLAN KEYNOTES**
- AT EXISTING BASEMENT R.O.W. ENCROACHMENT, PROVIDE NEW STRUCTURAL CONCRETE SLAB, FLUID-APPLIED WATERPROOFING, AND TOPPING SLAB. SEE STRUCTURAL DRAWING FOR NEW FOOTINGS, COLUMNS, AND BEAMS. REMOVE EXISTING STEEL COLUMNS AND BEAMS WHICH SUPPORT EXISTING STRUCTURAL SLABS, UNLESS NOTED OTHERWISE. ALL NEW, EXPOSED STRUCTURAL TO BE 3-HOUR FIRE-RATED. SEE DETAIL 1/A0.0. SEE CIVIL DRAWINGS FOR SIDEWALK GRADES.
 - INFILL EXISTING BASEMENT R.O.W. ENCROACHMENT WITH CMU WALL AND CONCRETE FILL PER STRUCTURAL DRAWINGS AND IN ACCORDANCE W/ DOTE STANDARDS. PROVIDE FLUID-APPLIED WATERPROOFING AND DRAINAGE PROTECTION BOARD ON EXTERIOR SIDE OF CMU PRIOR TO INSTALLING FILL. BREAK UP EXISTING CONCRETE FLOOR SLAB IN ENCROACHMENT PRIOR TO INSTALLING CONCRETE FILL TO ALLOW WATER TO DRAIN. POUR NEW SIDEWALK SLAB ABOVE PER CIVIL DRAWINGS. COORDINATE ENCROACHMENT INFILL WORK WITH CIVIL STREETScape DESIGN AND STREET TREE LOCATIONS, ETC. (SEE BID ALTERNATE 1 ON SHEET A0.0 FOR BIDDING INFORMATION ASSOCIATED WITH INFILLS.)
 - NO EXISTING BASEMENT R.O.W. ENCROACHMENT. SEE CIVIL DRAWINGS FOR NEW STREETScape DESIGN.
 - NOT IN SCOPE - EXISTING BASEMENT ENCROACHMENT AND EXISTING STREETScape DESIGN.
 - EXISTING BASEMENT R.O.W. ENCROACHMENT AND EXISTING STRUCTURAL SLAB TO REMAIN. PROVIDE NEW SPLIT-SLAB WATERPROOFING ATOP EXISTING STRUCTURAL SLAB AND NEW TOPPING SLAB SIDEWALK. SEE GENERAL NOTES ON THIS SHEET FOR SLAB WATERPROOFING DETAIL. SEE DETAIL ON SHEET A0.0 FOR WATERPROOFING SPEC. SEE CIVIL DRAWINGS FOR SIDEWALK GRADES AND STREETScape DESIGN.
 - EXISTING BASEMENT R.O.W. ENCROACHMENT TO BE INFILLED WITH CONCRETE UNDER SEPARATE PERMIT. REFER TO SEPARATE BUILDING PERMIT NO. 2024P03455 FOR 417 RACE ST. SEE CIVIL DRAWINGS FOR NEW STREETScape DESIGN.
 - EXISTING COLUMNS AND BEAM ABOVE TO REMAIN. SEE STRUCTURAL DRAWINGS FOR NEW STRUCTURE.
 - REMOVE EXISTING COLUMNS AND BEAMS WHICH CURRENTLY SUPPORT STRUCTURAL SIDEWALK SLAB ABOVE. SEE STRUCTURAL DRAWINGS FOR NEW STRUCTURE.
 - LINE OF SIDEWALK CURB ABOVE, SHOWN FOR REFERENCE. SEE CIVIL DRAWINGS.
 - APPROXIMATE LOCATION OF EXISTING PROPERTY LINE, SHOWN FOR REFERENCE. SEE CIVIL DRAWINGS.
 - DEMOLISH EXISTING ABANDONED BATHROOMS. REMOVE EXISTING CONSTRUCTION WHERE SHOWN DASHED AND NOTED WITH KEYNOTE ON PLAN. REMOVE EXISTING PLUMBING FIXTURES AND CAP PLUMBING BELOW SLAB. REMOVE AND TERMINATE ALL MEP ITEMS ASSOCIATED WITH BATHROOMS. COORDINATE WITH BUILDING OWNER ON BATHROOM DEMOLITION WORK.
 - EXISTING CONCRETE FOUNDATION AND STEEL BEAMS ABOVE TO REMAIN BELOW SIDEWALK. VERIFY EXACT LOCATION IN FIELD.
 - EXISTING STORM DRAIN (ASSUMED) IN BASEMENT ENCROACHMENT IS TO BE INVESTIGATED BY BUILDING OWNER AND WILL BE RE-ROUTED OR WILL REMAIN AND BE ENCASED IN CONCRETE. COORDINATE WITH BUILDING OWNER ON STATUS OF ROOF DRAIN PRIOR TO PROCEEDING WITH WORK.
 - LOCATION OF EXISTING DUKE SIDEWALK VAULT TO REMAIN. SEE CIVIL DRAWING FOR STREETScape DESIGN ABOVE.
 - EXISTING CMU WALL TO REMAIN. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFO.
 - INFILL EXISTING BASEMENT R.O.W. ENCROACHMENT WITH CONCRETE FILL PER STRUCTURAL DRAWINGS AND IN ACCORDANCE W/ DOTE STANDARDS. PROVIDE FLUID-APPLIED WATERPROOFING AND DRAINAGE PROTECTION BOARD ON EXTERIOR SIDE OF EXISTING CMU WALL PRIOR TO INSTALLING FILL. BREAK UP EXISTING CONCRETE FLOOR SLAB IN ENCROACHMENT PRIOR TO INSTALLING CONCRETE FILL TO ALLOW WATER TO DRAIN. POUR NEW SIDEWALK SLAB ABOVE PER CIVIL DRAWINGS.
 - EXISTING BLACK IRON FIRE WATER LINE AND EXISTING PVC SANITARY PLUMBING ARE TO BE ADDRESSED BY BUILDING OWNER PRIOR TO ENCROACHMENT INFILL. IT IS ASSUMED THAT THE PVC PLUMBING WILL BE MODIFIED AND CHANGED METAL SUITABLE FOR BELOW-GRADE. COORDINATE W/ BUILDING OWNER ON STATUS OF EXISTING PLUMBING PRIOR TO PROCEEDING WITH WORK.
 - EXISTING STRUCTURAL SIDEWALK SLAB TO REMAIN AND TO RECEIVE NEW WATERPROOFING AND TOPPING SLAB. AT THIS AREA OF STREETScape, THE SIDEWALK EXTENDS BEYOND THE R.O.W. PROPERTY LINE, OVER THE EXISTING BASEMENT. REFER TO KEYNOTE #3 FOR ADDITIONAL INFORMATION. SEE CIVIL DRAWINGS FOR EXTENTS OF STREETScape.
 - EXISTING BASEMENT R.O.W. ENCROACHMENT TO REMAIN. PORTIONS OF THE EXISTING STRUCTURAL SIDEWALK SLAB WILL BE REPLACED AS PART OF SEPARATE PROJECT. PROVIDE NEW SPLIT-SLAB WATERPROOFING AND NEW TOPPING SLAB, 1E-IN NEW AND EXISTING WATERPROOFING AS REQ'D.
 - BID ALTERNATE 3, SEE A0.0:** 432 WALNUT ST. PROVIDE AN ALTERNATE PRICE TO INCLUDE THE STRUCTURAL SLAB + TOPPING SLAB ASSEMBLY AS DESIGNED IN THE 432 WALNUT ST. BUILDING RENOVATION DOCUMENTS. FOR BIDDING, SEE ATTACHED DRAWINGS, SEPARATE PERMIT - SEE PERMIT NO. ON UNDER 'BID ALTERNATES' ON COVER SHEET A0.0.
 - LINE OF EXISTING HEADER/BREAM ABOVE TO REMAIN.
 - LOCATION OF EXISTING PLUMBING CLEANOUT IN FLOOR SLAB.
 - EXISTING TO REMAIN STRUCTURAL SLAB SHALL BE RE-EVALUATED W/ NEW STRUCTURAL BUILDING RENOVATION PROJECT TO DETERMINE IF REPLACEMENT W/ NEW STRUCTURAL SLAB IS REQUIRED.
 - EXISTING UTILITY ROUTING INSIDE BASEMENT ENCROACHMENT, INCLUDING SPRINKLER AND GAS LINES WILL NEED TO BE RELOCATED TO CONSTRUCT NEW STRUCTURAL SLAB. VERIFY EXISTING CONDITIONS IN FIELD, AND COORDINATE WITH BUILDING OWNER ON UTILITY AND MEP/FP WORK. MEP/FP AND UTILITY WORK IS UNDER SEPARATE PERMITS BY CONTRACTOR.
 - LINE OF FACE OF EXISTING BUILDING ABOVE AT 1ST FLOOR, SHOWN FOR REFERENCE TO SHOW EXTENT STREETScape SIDEWALK ABOVE. SEE CIVIL DRAWINGS FOR ADDITIONAL INFO.
 - NO STRUCTURAL SCOPE. SEE CIVIL DRAWINGS FOR STREETScape DESIGN.



WALNUT ST. STREETScape BASEMENT ENCROACHMENT FLOOR PLANS
 1 A0.1C 3/32" = 1'-0"



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DOWNTOWN STREETScape IMPROVEMENTS
 FOURTH ST. - WALNUT ST. - FIFTH ST.

3CDC
 DATE: PERMIT/BID
 07.10.2024

WALNUT ST. STREETScape
 BASEMENT
 ENCROACHMENT
 FLOOR PLANS

A0.1



Chantelle Noble
License no. 0814596
Expiration 12-31-2025

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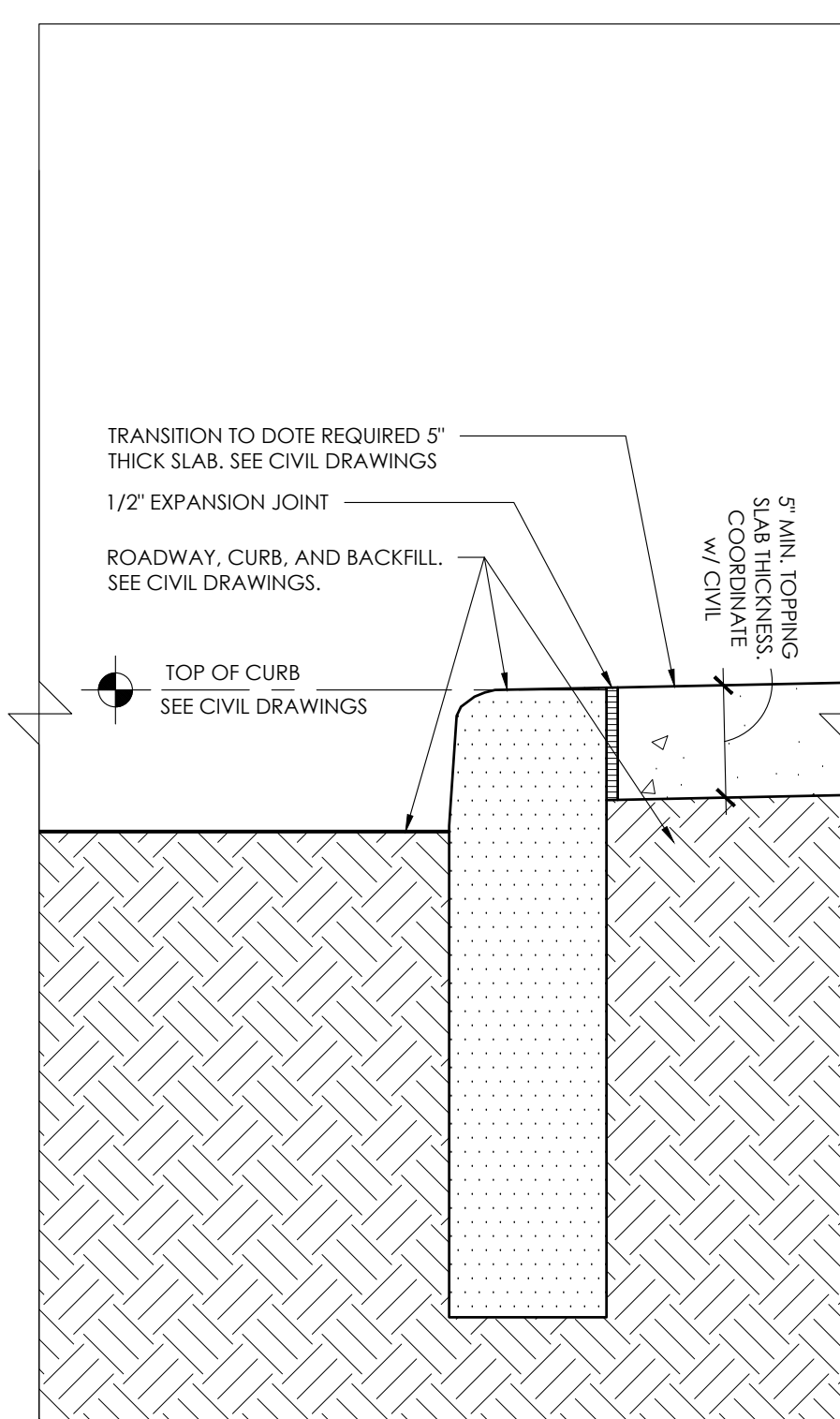
**DOWNTOWN STREETScape IMPROVEMENTS
FOURTH ST. - WALNUT ST. - FIFTH ST.**



DATE: PERMIT/BID
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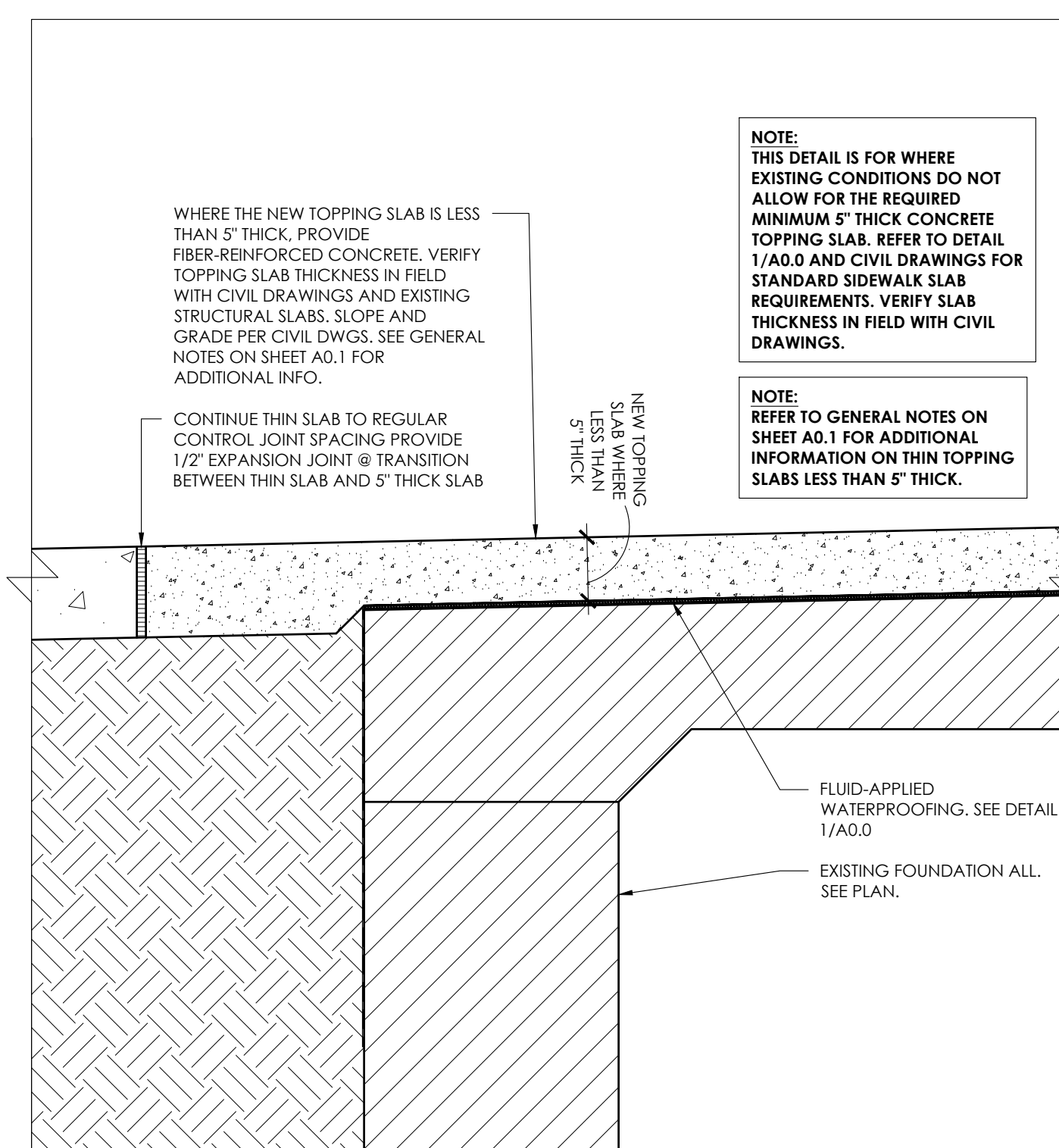
SPLIT SLAB DETAILS

A0.2



**SPLIT SLAB SIDEWALK SECTION DETAIL @
EXISTING STRUCTURAL SLAB + NEW THIN TOPPING SLAB**

2
A0.2
1 1/2" = 1'-0"



**SPLIT SLAB SIDEWALK SECTION DETAIL @
EXISTING STRUCTURAL SLAB + NEW TOPPING SLAB**

1
A0.2
1 1/2" = 1'-0"

