DOWNTOWN STREETSCAPE - SIDEWALK IMPROVEMENTS FOURTH ST. - WALNUT ST. - FIFTH ST.

PROJECT INFORMATION

1. PROJECT DESCRIPTION: THE PROJECT IS STRUCTURAL REPAIRS AND MODIFICATIONS TO EXISTING BASEMENT AND SIDEWALK LEVEL RIGHT-OF-WAY ENCROACHMENTS AS PART OF A LARGER DOWNTOWN STREETSCAPE IMPROVEMENT PROJECT ON RACE ST., 4TH ST., 5TH ST, 6TH ST, AND WALNUT ST. IN THE CENTRAL BUSINESS DISTRICT IN DOWNTOWN CINCINNATI.

- STRUCTURAL MODIFICATIONS TO RIGHT-OF-WAY SIDEWALK ENCROACHMENTS IN THE ATTACHED DRAWINGS FALL INTO THREE CATEGORIES: 1. INFILL OF EXISTING BASEMENT ENCROACHMENT AND NEW SLAB-ON-GRADE SIDEWALK
- TOPPING SLAB. (TOPPING SLAB UNDER SEPARATE PERMIT.) 2. NEW STRUCTURAL SLAB WITH NEW SIDEWALK TOPPING SLAB. (TOPPING SLAB UNDER
- 3. EXISTING TO REMAIN STRUCTURAL SLAB WITH NEW SIDEWALK TOPPING SLAB. (TOPPING SLABS UNDER SEPARATE PERMIT.) ALL WORK IN THE R.O.W. SHALL BE IN ACCORDANCE WITH DOTE STANDARDS, INCLUDING BUT

NOT LIMITED TO: STRUCTURAL DESIGN AND FIRE-RATINGS.

CIVIL DRAWINGS FOR THE STREETS CAPE AND SIDEWALK IMPROVEMENTS ARE PART OF A SEPARATE DRAWING PACKAGE. THE CONTRACTOR IS TO COORDINATE WITH OWNER AND ARCHITECT TO OBTAIN THE CIVIL DRAWINGS ASSOCIATED WITH THE ATTACHED STRUCTURAL

2. GOVERNING CODES

2024 OHIO BUILDING CODE 2024 OHIO EXISTING BUILDING CODE CINCINNATI BUILDING CODE

CITY OF CINCINNATI, DOTE, RIGHT OF WAY PERMITS AND STREET RESTORATION MANUAL, 2022.

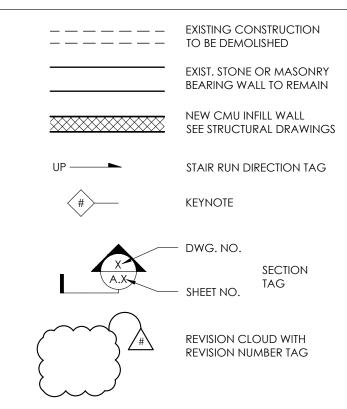
BUIDLING PERMIT APPLICATION: 414 WALNUT STREET

ABBREVIATIONS

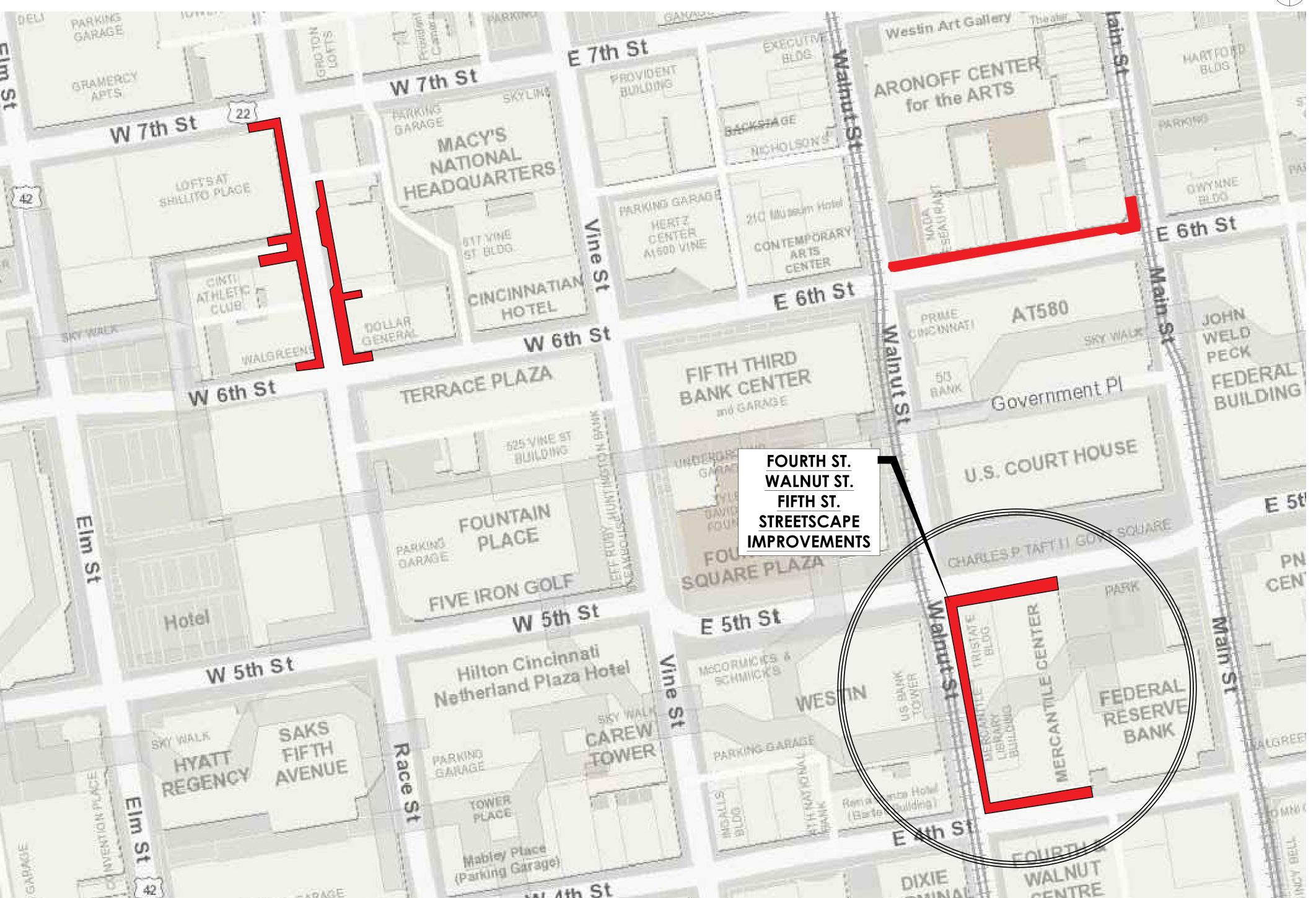
ADJ. A.F.F.	ADJUSTABLE ABOVE FINISHED FLOOR	LB LF	POUND LINEAR FEET
ALT.	ALTERNATE	MAX.	MAXIMUM
ALUM.	ALUMINUM	MECH.	MECHANICAL
APPX.	APPROXIMATE	MFR.	MANUFACTURER
ARCH.	ARCHITECT(URAL)	MIN	MINUTE
AVG.	AVERAGE	MIN.	MINIMUM
		· ·	
B/	BOTTOM OF	M.O.	MASONRY OPENING
BD.	BOARD	M.R.	MOISTURE RESISTANT
BM.	BEAM	MW	MICROWAVE
BLDG.	BUILDING	N	NORTH
BLKG.	BLOCKING	NO.	NUMBER
BSMT.	BASEMENT	NOM.	NOMINAL
CAB.	CABINET	N.T.S.	NOT TO SCALE
CLG.	CEILING	O.C.	ON CENTER
CLOS.	CLOSET	O.D.	OUTSIDE DIAMETER
CMU	CONCRETE MASONRY UNIT	OPG.	OPENING
COL.	COLUMN	OZ	OUNCE
CONC.	CONCRETE	PLWD.	PLYWOOD
CONT.	CONTINUOUS	PTD.	PAINTED
CPT.	CARPET	PSF	POUNDS PER SQUARE FOOT
CSMT.	CASEMENT	PSI	POUNDS PER SQUARE INCH
CSMI.			
C.F.	CUBIC FEET	PT.	PRESSURE TREATED
D	DEEP OR DEPTH	R	RISER
DIA.	DIAMETER	RAD.	RADIUS
DIM.	DIMENSION	RCP	REFLECTED CEILING PLAN
DEMO	DEMOLISH OR DEMOLITION	REF.	REFRIGERATOR
D.H.	DOUBLE HUNG	REQ'D.	REQUIRED
DR.	DOOR	REV.	REVISION OR REVISION
DW	DISHWASHER	R.O.	ROUGH OPENING
DWG.	DRAWING	RM.	ROOM
EA.	EACH	SECT.	SECTION
ELEC.	ELECTRIC OR ELECTRICAL	SPECS	WRITTEN SPECIFICATIONS
ELEV.	ELEVATION	S	SOUTH
EQ.	EQUAL	SF	SQUARE FEET
EQUIP.	EQUIPMENT	SIM.	SIMILAR
EXIST.	EXISTING	STD.	STANDARD
F.E.	FIRE EXTINGUISHER	STL.	STEEL
FDN.	FOUNDATION	SSTL.	STAINLESS STEEL
FIN.	FINISH(ED)	SQ.	
FLG.	FLOORING	J 3Q.	SQUARE TREAD
		T/	
FLR.	FLOOR		TOP OF
FRMG.	FRAMING	T.B.D.	TO BE DETERMINED
FT	FOOT OR FEET	TELE.	TELEPHONE
FTG.	FOOTING	T.M.E.	TO MATCH EXISTING
GA	GAUGE	TYP.	TYPICAL
GALV.	GALVANIZED	TV	TELEVISION
G.C.	GENERAL CONTRACTOR	U.N.O.	UNLESS NOTED OTHERWISE
GYP.	GYPSUM	VERT.	VERTICAL
Н	HIGH OR HEIGHT	V.I.F.	VERIFY IN FIELD
HR	HOUR	W	WEST, WIDE OR WIDTH
HDWD.	HARDWOOD	W/	WITH
HM	HOLLOW METAL	W/D	WASHER & DRYER
HVAC	HEATING, VENTILATION, & AIR	WD.	WOOD
	CONDITIONING	WDW.	WINDOW
U∩DI7		WH	WATER HEATER
HORIZ.	HORIZONTAL	W.P.	WATERPROOF(ING)
I.D.	INSIDE DIAMETER	X X	BY
IN Natur	INCH(ES)	ŶD	YARD
insul.	INSULATION OR INSULATED	ا ا	ועגט

GRAPHIC SYMBOL LEGEND

LONG OR LENGTH



LOCATION PLAN (NOT TO SCALE)



DRAWING INDEX

A0.0 COVER SHEET, DRAWING INDEX, & PROJECT INFORMATION **A0.1** BASEMENT ENCROACHMENT FLOOR PLANS

A0.2 SPLIT SLAB DETAILS

STRUCTURAL
SOO1 GENERAL STRUCTURAL NOTES

\$110 FRAMING PLANS **\$310** FOUNDATION SECTIONS

GENERAL PROJECT NOTES

- THE GENERAL CONTRACTOR (G.C.) SHALL VERIFY ALL INFORMATION IN THESE DRAWINGS AND SHALL REPORT ANY ERRORS, OMISSIONS, OR DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DEPARTURES FROM THESE PLANS NOT APPROVED IN
- 2. THE ARCHITECT HAS MADE NO INVESTIGATION TO DETERMINE IF ASBESTOS OR ANY OTHER HAZARDOUS MATERIAL IS PRESENT IN EXISTING CONSTRUCTION AND ASSUMES NO RESPONSIBILITY WITH REGARD TO ASBESTOS OR ANY OTHER HAZARDOUS MATERIAL.
- 3. THE G.C. IS TO REVIEW THESE DRAWINGS AND VISIT THE SITE BEFORE COMMENCING THE PROJECT IN ORDER TO FAMILIARIZE HIM OR HERSELF WITH THE PROPOSED WORK. 4. THE G.C. IS TO REMOVE ONLY THOSE ELEMENTS SLATED FOR DEMOLITION EITHER GRAPHICALLY OR BY
- NOTATION. NO OTHER ELEMENTS ARE TO BE REMOVED. IF THE CONTRACTOR QUESTIONS THE REMOVAL OF AN ELEMENT, OR IF THERE IS A CONFLICT BETWEEN THE NOTES AND THE GRAPHICS, CONTRACTOR IS TO ASK THE
- 5. THE G.C. IS TO PROTECT AND SAVE BUILDING ELEMENTS CONNECTED TO, OR ADJ. TO, THOSE ELEMENTS WHICH
- 6. THE G.C. SHALL NOT REMOVE ANY ELEMENTS WHICH MAY CAUSE THE STRUCTURE TO BECOME UNSTABLE, OR THAT WILL POSE A RISK TO PERSONS OR PROPERTY, EVEN IF INDICATED IN PLANS. IF ANY ELEMENTS BECOME UNSTABLE, CONTRACTOR IS TO STABILIZE AND SHALL INFORM THE ARCHITECT/OWNER IMMEDIATELY.
- 7. IT IS UP TO THE G.C. TO CONTINUALLY EVALUATE THE STRUCTURAL STABILITY OF THE BUILDING AND THE INTEGRITY OF ELEMENTS BOTH STRUCTURAL AND NON-STRUCTURAL THAT ARE SHOWN TO REMAIN. IF THE CONTRACTOR DETERMINES THAT SOME OF THESE ELEMENTS SHOULD BE REMOVED, HE/SHE MUST FIRST RECEIVE PERMISSION FROM THE ARCHITECT/OWNER, OR MAY BE FINANCIALLY RESPONSIBLE FOR THE REPLACEMENT OF THESE
- 8. THE G.C. IS RESPONSIBLE FOR THE REMOVAL OF ALL TRASH AND DEBRIS THROUGHOUT THE WORK. ALL DEBRIS MUST BE REMOVED AND DISCARDED IN A SAFE AND LEGAL MANNER. 9. THE G.C. IS RESPONSIBLE FOR THE PROCUREMENT OF ANY ADDITIONAL MATERIALS, EQUIPMENT, AND PERMITS
- AND FOR ANY FEES, PENALTIES OR RENTAL COSTS ASSOCIATED WITH THE DEMOLITION WORK. 10. THE G.C. SHALL IDENTIFY, LOCATE AND PROTECT ANY ABOVE AND BELOW-GROUND UTILITIES ON SITE DURING THE COURSE OF THE DEMOLITION WORK. UPON COMPLETION, CONTRACTOR IS TO LEAVE ALL UTILITY LINES AND
- CONNECTIONS IN A STABLE, PROTECTED STATE. 11. THE G.C. IS TO PROTECT THE BUILDING FROM THE ELEMENTS, THEFT AND VANDALISM AT ALL TIMES DURING
- 12. CONTRACTOR TO COORDINATE DIRECTLY WITH OWNER & ARCHITECT FOR FINAL FIXTURES, PRODUCTS, FINISHES

BID ALTERNATES

THE FOLLOWING BID ALTERNATES ARE TO BE BROKEN DOWN SEPARATELY IN BIDS BY BUILDING ADDRESS:

1. CMU INFILL WALLS & WALL WATERPROOFING 614 RACE ST., 616 RACE ST. & 414 WALNUT ST.

PROVIDE A SEPARATE LINE ITEM PRICE FOR THE CMU INFILL WALLS AND WALL WATERPROOFING AT EXISTING ENCROACHMENTS INDICATED TO BE INFILLED.

2. UTILITY, MEP, & FIRE PROTECTION DESIGN-BUILD MODIFICATIONS

617 RACE ST., 630 RACE ST., 632 RACE ST. PROVIDE AN ALTERNATE PRICE FOR DESIGN-BUILD MODIFICATIONS TO EXISTING MEP/FP AND UTILITY MODIFICATIONS IN EXISTING ENCROACHMENTS WHICH ARE INDICATED TO HAVE NEW STRUCTURAL SIDEWALK SLABS. EXISTING MEP/FP ELEMENTS MAY NEED TO BE PERMANENTLY OR TEMPORARILY RELOCATED IN ORDER TO COMPLETE THE NEW STRUCTURAL WORK. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS IN FIELD PRIOR TO SUBMITTING BIDS TO DETERMINE SCOPE OF DESIGN-BUILD MEP/FP WORK, MEP/FP WORK IS TO BE PERMITTED

432 WALNUT ST. STRUCTURAL SPLIT-SLAB ASSEMBLY WALNUT ST. & 5TH ST.

SEPARATELY, BY CONTRACTOR.

PROVIDE AN ALTERNATE PRICE TO PROVIDE THE NEW SPLIT-SLAB SIDEWALK ASSEMBLY SHOWN IN THE 432 WALNUT ST. BUILDING RENOVATION DRAWINGS. SEE ATTACHED BIDDING REFERENCE DOCUMENTS FOR SCOPE OF WORK. STRUCTURAL SIDEWALK SLABS FOR THIS BUILDING ARE NOT INCLUDED IN BASE BID, AND HAVE BEEN PERMITTED SEPARATELY AS PART OF THE OVERALL BUILDING RENOVATION.



License no. 0814596 Expiration 12-31-2025

ARCHITECTURE 1148 Main Street Cincinnati, OH 45202 ph. 513.621.0750 citystudiosarch.com



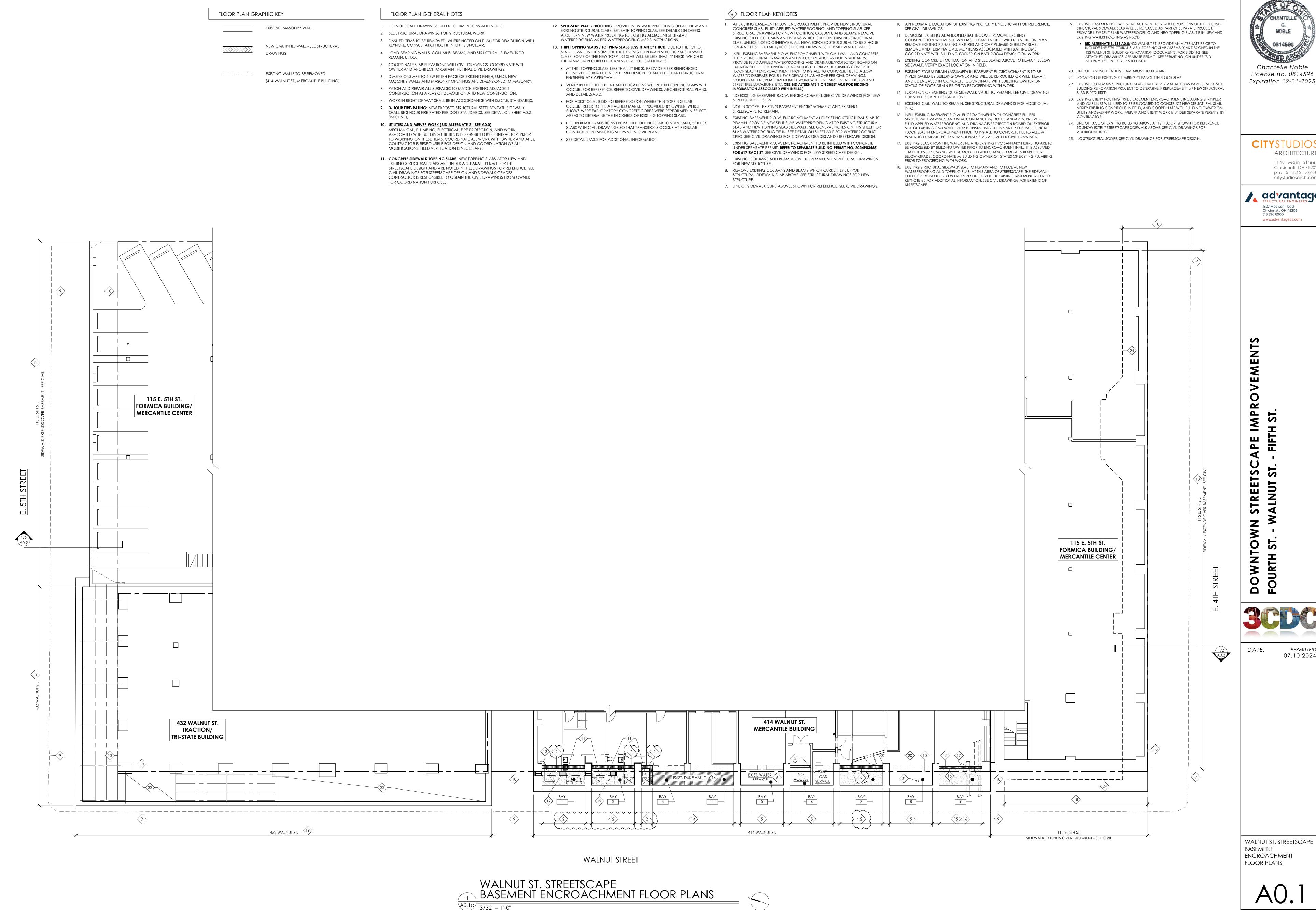
513 396 8900 www.advantageSE.com

S URTH



DATE: PERMIT/BID 07.10.2024

COVER SHEET, DRAWING INDEX, PROJECT INFORMATION, DETAILS



Chantelle Noble

ARCHITECTURE

1148 Main Street Cincinnati, OH 45202 ph. 513.621.0750 citystudiosarch.com

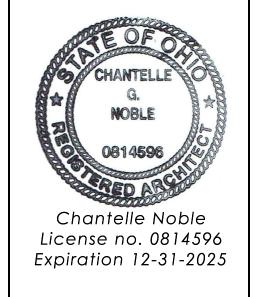
advantage 1527 Madison Road

Cincinnati, OH 45206

www.advantageSE.com

PERMIT/BID 07.10.2024

WALNUT ST. STREETSCAPE BASEMENT



CITYSTUDIOS ARCHITECTURE

1148 Main Street Cincinnati, OH 45202 ph. 513.621.0750 citystudiosarch.com

advantage STRUCTURAL ENGINEERS www.advantageSE.com

IMPR STREETSC

DOWNTOWN FOURTH ST. - W

DATE: PERMIT/BID 07.10.2024

- EXTERIOR FACE OF EXISTING BUILDING

TOP OF EXISTING STRUCTURAL SLAB VERIFY IN FIELD

- CORNER DETAIL AND WATERPROOFING TERMINATION IN ACCORDANCE WITH WATERPROOFING MFR'S DETAILS

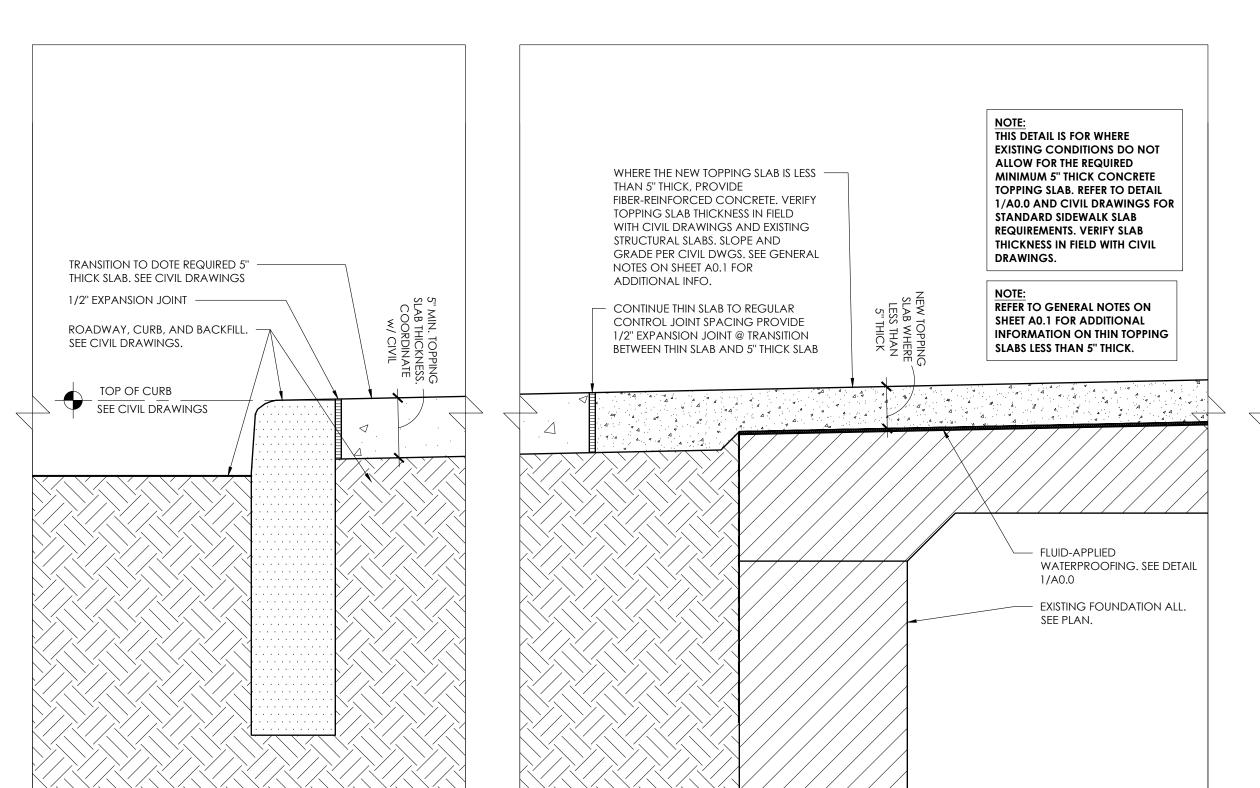
TOP OF SIDEWALK
SEE CIVIL DRAWINGS

POLYPROPYLENE JOINT FILLER PER

DOTE STANDARDS

----- 1/2" EXPANSION JOINT

SPLIT SLAB DETAILS



SPLIT SLAB SIDEWALK SECTION DETAIL @ EXISTING STRUCTURAL SLAB + NEW THIN TOPPING SLAB

SPLIT SLAB SIDEWALK SECTION DETAIL @ EXISTING STRUCTURAL SLAB + NEW TOPPING SLAB

SLABS ON GRADE VARY - SEE PLANS

- ROADWAY. SEE CIVIL DRAWINGS.

- CURB PER CIVIL DRAWINGS.

BACKFILL/CONCRETE PER DOTE

STANDARDS. SEE CIVIL DRAWINGS.

____ 1/2" EXPANSION JOINT

EXISTING SPANS VARY - SEE PLANS

EXISTING FOUNDATION ALL.

WATERPROOFING. EXTEND MIN. 24" BELOW TOP OF SLAB.

LAP EXISTING SLAB-WALL JOINT 4" MIN. TERMINATE PER

MFR'S INSTRUCTIONS.

– SIDEWALK CONCRETE TOPPING SLAB PER ——

THICKNESS SHALL BE PER DOTE STANDARDS

TO THE GREATEST EXTENT FEASIBLE). SLOPE

AWAY FROM BUILDING PER CIVIL DWGS.

FLUID APPLIED WATERPROOFING SYSTEM. —

BASIS OF DESIGN = "TREMCO", "250 GC" OR

EXISTING CONCRETE STRUCTURAL SLAB TO — REMAIN. VERIFY TOP OF SLAB ELEVATION IN

EXISTING BEAM TO REMAIN, WHERE OCCURS -

"TREMCO" PROTECTION COURSE.

"TREMDRAIN" DRAINAGE BOARD.

APPROVED EQUAL. INSTALL PER MFR'S DETAILS:

DOTE STANDARDS (TOPPING SLAB

SEE CIVIL FOR ADDITIONAL INFO,

INCLUDING SIDEWALK GRADES.

"TREMPROOF 250GC".

SEE CIVIL DRAWINGS

1148 Main Street Cincinnati, OH 45202

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Z

SCHEDULE OF SPECIAL INSPECTION SERVICES

Verify the embedment depths and drilling procedure used to create hole.

Verify bars are free of dirt and excessive rust, oil, or damage of any kind.

Verify specified lap splices in field with information on the drawings.

Document outside temperature and installation method use to install the epoxy

Periodic Inspection of reinforcing steel size, spacing and placement, per ACI 318:

Reviewing and documenting the size, grade, spacing and clearance of all embedded

Periodic Verification of the use of the required design mix per project specifications

per ACI 318: Chapters 4, 5.2-5.4. (Ref. Code Section 1904.2, 1910.2,1910.3).

Minimum frequency (1910.10) Samples for strength tests of each class of concrete

Continuous Inspection of concrete placement for proper application techniques per

ACI 318: Chapters 5.9 & 5.10. (Ref. Code Section 1910.6, 1910.7, 1910.8).

Verify the application of Cold Weather concrete and or Hot Weather concrete

Periodic Inspection for maintenance of specified curing and temperature and

Curing of concrete shall be maintained above 40-degree F and in a moist

Verify size and dimensions of structural members being formed.

nspection of Masonry Construction per Section 1705.4

Periodic verification for compliance with approved submittals.

consolidating grout as delivered to the project.

techniques per ACI 318: Chapters 5.11 - 5.13. (ref. Code Section 1910.9).

Periodic Inspection of Formwork construction: (This inspection is not to address the

means or methods of forming / shoring but to verify the geometry affecting the

Periodic verification of f'm and f'ACC prior to construction and for every 5,000 SF

Periodic verification of proportions of materials in premixed or preblended mortar,

Periodic verification of Slump Flow and Visual Stability Index (VSI) of self-

Periodic verification of site prepared mortar, mortar strength evaluation and the

Periodic verification and location of structural reinforcement per ACI 530/ASCE

Periodic verification of size and location of structural elements; type, size, and

members, frames, or other construction per ACI 530/ASCE 5/TMS 602.

Periodic verification of the placement of reinforcing steel, connectors, and

anchorages per ACI 530/ASCE 5/TMS 602: Article 3.4.

530/ASCE 5/TMS 602: Article 2.4, 3.4. (Ref. Code Section 2107).

Periodic verification of specified size, grade, and type of reinforcement per ACI

location of anchors; including details of anchorage of masonry to structural steel

Periodic verification of protection of masonry during cold weather (temperature below

40 degrees Fahrenheit) or hot weather (temperature above 90 degrees Fahrenheit)

per ACI 530.1/ASCE 6/TMS 602: Article 1.8. (Ref. Code Section 2104.3 & 2104.4).

of site prepared grout are present per ACI 530/ASCE 5/TMS 602: Article 2.6 & 3.2.

Periodic verification prior to grouting that grout space is clean and correct proportions

Verification that grout is placed in compliance with code and construction documents

per ACI 530/ASCE 5/TMS 602: Article 3.5. Randomly check sections of wall for

required grouted cells and grouted bond beams for the placement of grout.

prestressing grout, and grout other than self-consolidating grout, as delivered to the

determining the temperature of fresh concrete at the time of making specimens for

shall be taken at least once per shift, but not less than one sample for each 50 cubic

strength tests per ASTM C 172, ASTM C 31 & ACI 318: Chapters 5.6 & 5.8. (Ref.

Continuous sampling of fresh concrete and performing slump, air content and

Verify that hole has been cleaned and dust removed properly.

Inspection of Concrete Construction per Section 1705.3

Chapters 3.5, 7.1-7.7. (Ref. Code Section 1901)

reinforcing bars prior to placement of concrete.

Verify method of bar support and ties.

Code Section 1910.10).

yards placed.

Verify the use of epoxy coating if applicable.

techniques per ACI 318: Chapters 5.12-5.13.

that comply with ACI 318, section 5.11.3.

structural integrity of such form).

Agent: TO BE DETERMINED

construction of mortar joints.

5/TMS 602: Article 3.3b.

Expansion / Adhesive Anchors
Agent: TO BE DETERMINED

Scope to include:

Periodic Inspection of post installed anchor rods:

PERMIT/BID

GENERAL STRUCTURAL NOTES

GENERAL STRUCTURAL NOTES

COPIES OF PUBLICATIONS REFERENCED IN THESE GENERAL STRUCTURAL NOTES ARE AVAILABLE FOR REVIEW AT ADVANTAGE GROUP ENGINEERS, INC. CONTRACTORS UNFAMILIAR WITH THESE PUBLICATIONS MUST REVIEW THEM PRIOR TO CONSTRUCTION.

GOVERNING CODE

OHIO BUILDING CODE – 2024, BASED ON 2021 IBC

CLASSIFICATION OF THE BUILDING STRUCTURE: RISK CATEGORY II, TABLE 1604.5 AASHTO, LRFD BRIDGE DESIGN SPECIFICATION 2020

<u>DESIGN LOADS</u>

- 1. SIDEWALK LOAD:
- A. LIVE LOAD: 250 PSF
- B. CONCRETE SLAB ON METAL DECK: 75 PSF C. JOIST FRAMING LOAD: 3 PSF
- D. TOPPING SLAB: 63 PSF E. MISC MECH AND DEAD LOAD ALLOWANCE: 3 PSF
- 2. CONCENTRATED LOADS:
- A. 8,000 POUND WHEEL LOAD DISTRIBUTED OVER A 5 3/4"x14"
- RECTANGULAR AREA B. PAIR OF 8,000 POUND CONCENTRATED WHEEL LOADS SPACED 6 FEET APART OVER A 5 3/4"x14" RECTANGULAR AREA AT EACH LOCATION

SPECIAL INSPECTIONS

PER THE REQUIREMENTS OF CHAPTER 17 SECTION 1704.2 OF THE REFERENCED BUILDING CODE, A SPECIAL INSPECTION IS REQUIRED FOR THE PROPOSED BUILDING CONSTRUCTION. SPECIAL INSPECTION INVOLVES THE VERIFICATION OF COMPLIANCE OF MATERIALS, INSTALLATION, FABRICATION, ERECTION AND OR PLACEMENT OF COMPONENTS WITH THE OFFICIAL SET OF CONSTRUCTION DOCUMENTS AND REFERENCED STANDARDS. SPECIAL INSPECTION IS PART OF THE PERMIT APPLICATION PROCESS FUNDED BY THE OWNER OR THE OWNER'S AGENT.

A STATEMENT OF SPECIAL INSPECTION LISTING THE REQUIREMENTS ALONG WITH A SCHEDULE OF TESTING. SUBMITTAL REVIEWS. AND FIELD OBSERVATION REQUIREMENTS HAS BEEN PREPARED BY THE STRUCTURAL ENGINEER OF RECORD IN ACCORDANCE WITH SECTION 106.1 OF THE BUILDING CODE. THIS STATEMENT INCLUDES A COMPLETE LIST OF MATERIAL AND ACTIVITY REQUIRING INSPECTION. IT IS THE RESPONSIBILITY OF ALL PARTIES TO BECOME FAMILIAR WITH THIS REQUIREMENT AND UNDERSTAND THE GUIDELINES AND REQUIREMENTS OF EACH PARTY INVOLVED WITH THE CONSTRUCTION. A COPY OF THE STATEMENT OF SPECIAL INSPECTION IS AVAILABLE UPON REQUEST. THE SPECIAL INSPECTOR COORDINATOR SHALL COORDINATE WITH THE OWNER, CONTRACTOR AND THE DESIGN

SUBSTITUTIONS, SUBMITTALS, AND RFI'S

1. CONTRACTOR SHALL SUBMIT ALL SUBSTITUTIONS FOR APPROVAL PRIOR TO CONSTRUCTION WITH THE FOLLOWING INFORMATION:

PROFESSIONALS AND SCHEDULE THE INSPECTIONS ACCORDINGLY.

- A. THE SCOPE, EXTENT, AND ALL LOCATIONS AFFECTED BY THE
- PROPOSED SUBSTITUTION. B. SPECIFIC DRAWING OR SPECIFICATION REFERENCES FOR THE ORIGINAL PRODUCT OR SYSTEM SPECIFIED.
- C. THE REASON FOR THE PROPOSED CHANGE. D. COST SAVINGS AND/OR IMPACT ON THE SCHEDULE
- E. IMPACT ON ANY GUARANTEES OR WARRANTIES ASSOCIATED WITH THE PRODUCT OR SYSTEM.
- F. COORDINATION REQUIRED WITH OTHER TRADES OR ADJACENT MATERIALS. G. ANY AND ALL DEVIATIONS FROM THE SPECIFIED REQUIREMENTS.
- 2. SHOP DRAWING SUBMITTALS SHALL BE SUBMITTED BY THE GENERAL CONTRACTOR IN A TIMELY MANNER TO PROVIDE AN ADEQUATE AMOUNT OF TIME FOR REVIEW.
- A. ALL SUBMITTALS MUST BE REVIEWED BY THE GENERAL CONTRACTOR PRIOR TO SUBMITTING FOR REVIEW. ANY SHOP DRAWINGS RECEIVED DO NOT BEAR THE STAMP OF THE GENERAL CONTRACTOR AS WELL AS CLEAR EVIDENCE THAT THE SUBMITTAL HAS BEEN REVIEWED WILL BE REJECTED WITHOUT REVIEW.
- B. REVIEW BY STRUCTURAL ENGINEER OF RECORD WILL BE FOR GENERAL COMPLIANCE WITH THE CONTRACT DOCUMENTS AND CONFORMANCE WITH THE DESIGN CONCEPT. THIS REVIEW DOES NOT IN ANYWAY RELIEVE THE CONTRACTOR AND/OR THE CONTRACTOR'S SUBCONTRACTORS FROM RESPONSIBILITY FOR ERRORS OR DEVIATIONS FROM THE CONTRACT REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR ALL DIMENSIONS, PROPER FIT, QUALITIES OF THE MATERIALS, AND COORDINATION WITH OTHER TRADES AND SUPPLIERS. C. IF CHANGES ARE MADE TO A PREVIOUSLY REVIEWED SUBMITTAL,
- DENOTE ALL REVISED AREAS WITH REVISION CLOUD AND TAGS. D. STRUCTURAL SUBMITTAL REQUIREMENTS:

Submittal/Shop Drawing	Submittal	Calculations	PE/SE Seal & Signature
Concrete Mix – Conforming to ACI 318	For Review	N/a	N/a
Concrete Reinforcing	For Review	N/a	N/a
Masonry Block, Mortar, and Grout Spec & Strength	For Review	N/a	N/a
Masonry Reinforcing	For Review	N/a	N/a
Structural Steel	For Review	N/a	N/a

- For Review denotes the contractor must submit to the design team for review. The contractor shall not fabricate or install until all design team comments have been resolved in writing. - N/a denotes not applicable.

- 3. REQUESTS FOR INFORMATION (RFI'S) SHALL BE SUBMITTED IN A TIMELY MANNER WHEN INFORMATION IS MISSING FROM THE CONSTRUCTION DOCUMENTS, INFORMATION IS CONFLICTING WITHIN THE CONSTRUCTION DOCUMENTS, OR IS AMBIGUOUS.
- A. THE CONTRACTOR MUST USE DUE DILIGENCE IN ATTEMPTING TO FIND ANY ANSWER PRIOR TO SUBMITTING AN RFI.
- B. IF THE INFORMATION REQUESTED IN AN RFI IS APPARENT FROM FIELD OBSERVATION, IS CONTAINED IN THE CONSTRUCTION DOCUMENTS, OR IS REASONABLY INFERABLE FROM THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR ALL REASONABLE COSTS CHARGED RELATED TO ADDITIONAL SERVICES INCURRED DUE TO ANSWERING THE RFI.

CONSTRUCTION AND SAFETY

- 1. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF CONSTRUCTION SELECTED BY THE CONTRACTOR.
- 2. THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. WHEN ON SITE, THE ENGINEER IS RESPONSIBLE FOR HIS OWN SAFETY BUT HAS NO RESPONSIBILITY FOR THE SAFETY OF OTHER PERSONNEL OR SAFETY CONDITIONS AT THE SITE.
- 3. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. SHOULD ANY DISCREPANCY BE FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY OF THE CONDITION.
- 4. THE CONTRACTOR SHALL BRACE ENTIRE STRUCTURE AS REQUIRED DURING DEMOLITION AND CONSTRUCTION TO MAINTAIN STABILITY UNTIL THE STRUCTURE IS COMPLETE AND FUNCTIONING AS THE DESIGNED UNIT.

MISCELLANEOUS STRUCTURAL NOTES

- 1. THESE STRUCTURAL DRAWINGS DEPICT A STRUCTURAL SYSTEM AND THE MAJOR COMPONENTS OF THAT SYSTEM. MINOR ITEMS, INCLUDING BUT NOT LIMITED TO, POURSTOPS, DECK SUPPORT ANGLES, FRAMES AT FLOOR AND ROOF DECK OPENINGS, CFS AT ARCHITECTURAL FEATURES, ETC. SHALL BE SUPPLIED BY THE CONTRACTOR AS NEEDED TO PROVIDE A COMPLETE SYSTEM.
- 2. WHERE DETAILS ARE CALLED FOR IN ONE AREA OF THE BUILDING, THEY SHALL BE DUPLICATED AT SIMILAR CONDITIONS UNLESS NOTED
- 3. STRUCTURAL AND ARCHITECTURAL PLANS SHOW DIMENSIONS AND ELEVATIONS TO SIGNIFICANT WORKING POINTS. CONTRACTORS, DETAILERS AND SUPPLIERS ARE RESPONSIBLE FOR THE DETERMINATION OF ALL DIMENSIONS, PITCHES, ELEVATIONS, ETC. BEYOND THOSE NOTED AS NECESSARY TO THOROUGHLY DETAIL/FABRICATE THEIR WORK. CONTACT ARCHITECT WITH ANY DISCREPANCIES FOUND.

CONCRETE

- 1. CONCRETE WORK AND TESTING SHALL CONFORM TO ALL REQUIREMENTS OF ACI 301, "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS", EXCEPT AS MODIFIED BY THE SUPPLEMENTAL REQUIREMENTS BELOW, REPORTS FROM TESTS REQUIRED BY SECTION 1.6 OF ACI 301 SHALL BE SUBMITTED TO STRUCTURAL ENGINEER, ARCHITECT, OWNER, CONTRACTOR, CONCRETE SUPPLIER, AND BUILDING OFFICIAL.
- 2. CONCRETE WORK IN COLD WEATHER SHALL CONFORM TO ALL REQUIREMENTS OF ACI 306.1 "STANDARD SPECIFICATION FOR COLD WEATHER CONCRETING" AND ACI 306R "COLD WEATHER CONCRETING"
- 3. CONCRETE WORK IN HOT WEATHER SHALL CONFORM TO ALL REQUIREMENTS OF ACI 305R "HOT WEATHER CONCRETING". THE AIR TEMPERATURE, RELATIVE HUMIDITY, CONCRETE TEMPERATURE, AND WIND VELOCITY SHALL BE ENTERED INTO THE NOMOGRAPH OF THIS REFERENCE TO DETERMINE IF PRECAUTIONS AGAINST PLASTIC SHRINKAGE ARE
- 4. CONCRETE MIX DESIGNS SHALL BE SUBMITTED FOR EACH TYPE OF CONCRETE TO THE STRUCTURAL ENGINEER FOR APPROVAL IN ACCORDANCE WITH ACI 301 SECTION 4.2.3.4 FIELD TEST DATA OR TRIAL

5. SUBMIT SHOP DRAWINGS OF REINFORCING STEEL.

- 6. MATERIALS (ALSO SEE CONCRETE MIX SCHEDULE):
- A. REINFORCING STEEL: ASTM A615 OR ASTM 996 (AXLE ONLY) 60 KSI YIELD DEFORMED BARS AND ASTM A1064 MESH, FLAT SHEETS ONLY.
- B. FLY ASH: ASTM C618, TYPE F OR C. FLY ASH-TO-TOTAL CEMENTITIOUS RATIO SHALL NOT EXCEED 25% MAXIMUM. C. GROUND GRANULATED BLAST FURNACE SLAG: ASTM C989. TOTAL GROUND GRANULATED BLAST FURNACE SLAG-TO-TOTAL
- CEMENTITIOUS RATIO SHALL NOT EXCEED 50% MAXIMUM. D. HIGH RANGE WATER REDUCER (HRWR) ADMIXTURE: ASTM C494. E. CHLORIDE CONTENT OF CONCRETE: LIMIT TOTAL CHLORIDE ION CONTENT TO AMOUNT INDICATED IN TABLE 4.2.2.6 OF ACI 318. ADMIXTURES CONTAINING CHLORIDE ARE NOT PERMITTED IN REINFORCED CONCRETE OR CONCRETE CONTAINING METALS.

CONCRETE MIX SCHEDULE:

Application	f' _c @ 28 days (psi)	Air Content ¹	Max w/c ratio ²	Max Agg. Size ¹ (in)	F Class	S Class	W Class	C Class
Interior Floor Slab on Grade ³	4000	N/a	0.5	3/4	F0	S0	W0	C0
Exterior Flatwork (Plain Concrete)	4500	6% ± 1.5%	0.45	3/4	F3	S0	W1	C1

] - Where 3/8" maximum aggregate is preferred, adjust air entrainment to 7.5% ± [2] - Where air entrainment is not required by design, the contractor/supplier may choose to include air entrainment to improve placement or finish characteristics. Air entrainment is not permitted in normal weight concrete to receive a hard trowel finish and entrapped air shall not exceed 3%. [3] - f'c = 1800 psi @ 3 days.

8. SLUMP SHALL BE MEASURED PRIOR TO THE ADDITION OF HRWR.

- 9. ALL REINFORCING BARS, EMBEDS, AND ANCHOR RODS SHALL BE PLACED WITHIN THE REQUIRED TOLERANCES AND SUPPORTED TO PREVENT DISPLACEMENT DURING CONCRETE PLACEMENT. WORKING REINFORCING BARS, EMBEDS, AND ANCHOR RODS INTO WET CONCRETE (KNOWN AS "WET STICKING") IS PROHIBITED. IF NECESSARY, CONTRACTOR MAY PROVIDE ADDITIONAL REINFORCING BARS TO SECURELY TIE REINFORCING BARS, EMBEDS, AND ANCHOR RODS.
- 10. LAP SPLICE REINFORCING BARS 48 BAR DIAMETERS UNLESS NOTED
- 11. BAR CLEARANCES BETWEEN ADJACENT BARS AND FORMWORK SHALL BE AS NOTED ON THE DRAWINGS OR A MINIMUM AS PER ACI REQUIREMENTS.
- 12. AT SLAB REENTRANT CORNERS, PROVIDE (1) #5 BAR IN EACH FACE PARALLEL TO EACH EDGE EXTENDING A MINIMUM OF 2'-0" PAST EDGE OF OPENING. THIS STEEL MAY BE OMITTED IF TYPICAL REINFORCING STEEL EXCEEDS THIS MINIMUM REQUIREMENT.
- 13. FINISH OF CONCRETE HANDICAP RAMPS TO CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA). COORDINATE LOCATION AND PATTERN WITH ARCHITECTURAL DRAWINGS.
- 14. PROVIDE 3/4" CHAMFER AT CORNERS OF EXPOSED CONCRETE.

EXPANSION AND EPOXY ADHESIVE ANCHORS

1. EPOXY ADHESIVE ANCHORS:

- A. EPOXY ADHESIVE SHALL BE HIT-HY 270 V3 EPOXY ADHESIVE MANUFACTURED BY THE HILTI COMPANY. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. SUBSTITUTES MAY BE
- INSTALLATION. B. THREADED RODS SHALL BE ASTM A36. SIZES AND EMBEDMENT AS INDICATED ON THE DRAWINGS.

CONSIDERED; SUBMIT MANUFACTURER'S DATA PRIOR TO

C. CONDUCT JOB-SITE TRAINING OF ALL CONTRACTOR'S PERSONNEL INSTALLING THIS PRODUCT FOR SAFE AND PROPER INSTALLATION, HANDLING, AND STORAGE OF THE EPOXY SYSTEM.

- 1. MASONRY CONSTRUCTION AND MATERIALS SHALL CONFORM TO ALL REQUIREMENTS OF "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (TMS 402)" AND "SPECIFICATION FOR MASONRY STRUCTURES (TMS 602)" EXCEPT AS MODIFIED BY THE REQUIREMENTS OF THESE CONTRACT DOCUMENTS.
- 2. COMPRESSIVE STRENGTH SHALL BE DETERMINED FOR EACH TYPE OF MASONRY BY THE UNIT STRENGTH METHOD.
- A. NET AREA COMPRESSIVE STRENGTH OF CONCRETE MASONRY USED FOR DESIGN: f'm = 2000 PSI AT 28 DAYS
- 3. SUBMITTALS SHALL BE MADE FOR THE FOLLOWING
- A. COLD WEATHER CONSTRUCTION PROCEDURE B. HOT WEATHER CONSTRUCTION PROCEDURE.

4. MATERIALS:

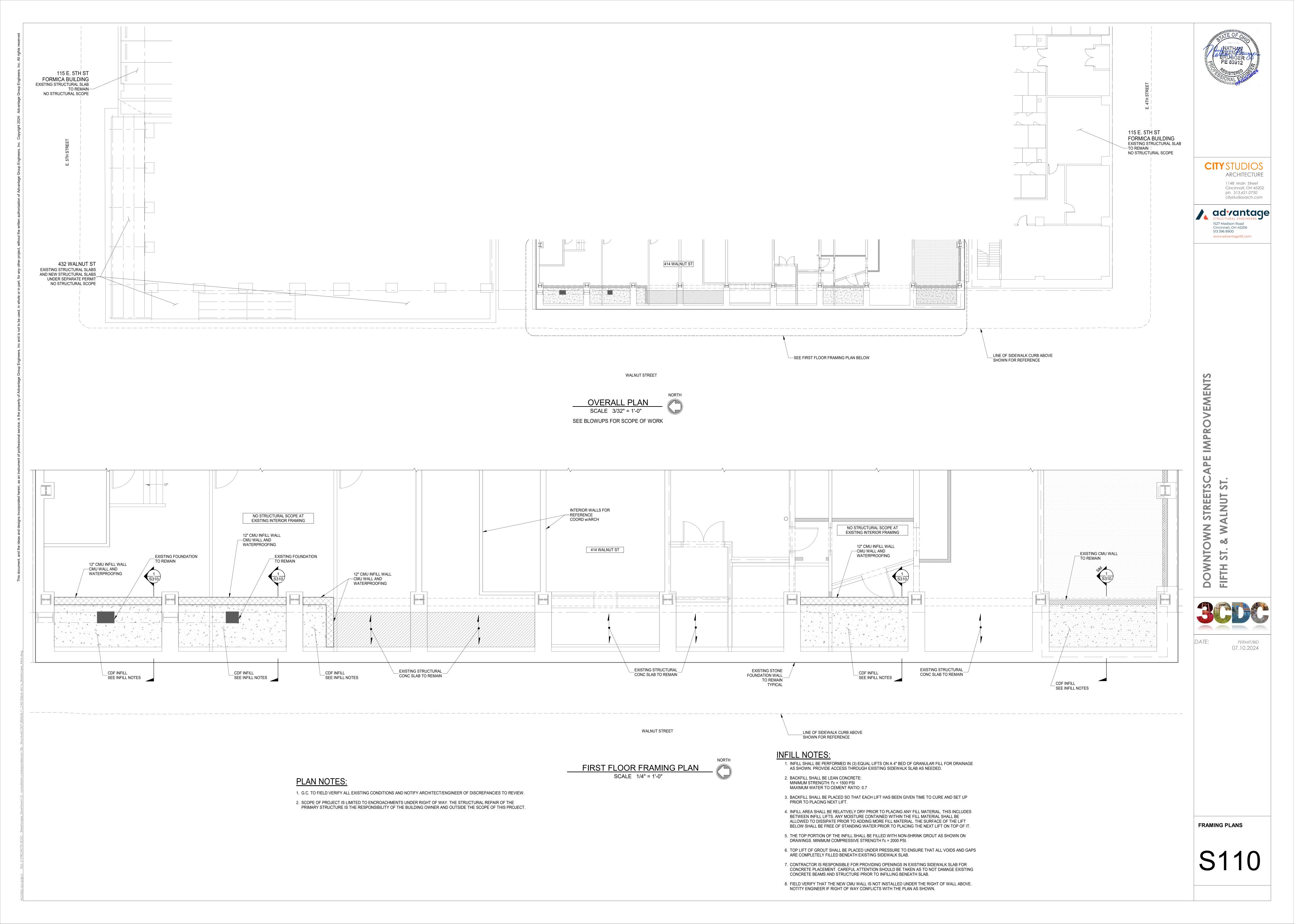
- A. CONCRETE MASONRY UNITS: ASTM C90 TYPE I BELOW GRADE: NORMAL WEIGHT AGGREGATE PER ASTM C33.
- a. MINIMUM UNIT COMPRESSIVE STRENGTH, f'm = 2000 PSI. B. MORTAR: ASTM C270 TYPE S, f'm = 1800 PSI AT 28 DAYS.
- a. PORTLAND CEMENT-LIME MORTAR: i. PORTLAND CEMENT: TYPE I AND HYDRATED LIME
- b. MASONRY CEMENT MORTAR: AT CONTRACTOR'S OPTION. C. GROUT: ASTM C476. f'c = 2000 PSI, SLUMP 8" TO 10".
- D. REINFORCING STEEL: ASTM A615, 60 KSI YIELD. E. HORIZONTAL JOINT REINFORCING FOR SINGLE WYTHE CONCRETE MASONRY: 9 GAUGE LADDER TYPE. HOT DIPPED GALVANIZED PER ASTM A153 CLASS B. PLACE HORIZONTAL JOINT REINFORCING AT 16" CENTERS VERTICALLY FOR CONCRETE MASONRY. LAP HORIZONTAL JOINT REINFORCING 6" MINIMUM. HORIZONTAL JOINT REINFORCING
- SHALL BE DISCONTINUOUS ACROSS MOVEMENT JOINTS. 5. MORTAR PROPORTIONS MUST BE ACCURATELY MEASURED PRIOR TO MIXING. ADD CEMENT TO MIX IN FULL BAG QUANTITIES. MEASURE SAND IN BOX WITH VOLUME OF ONE CUBIC FOOT AS OFTEN AS NECESSARY TO MAINTAIN CONSISTENT PROPORTIONS AND AT LEAST ONCE DAILY AND
- EVERY 4 HOURS OF MIXING. 6. MINIMUM VERTICAL REINFORCEMENT REQUIREMENTS FOR ALL MASONRY
- A. AS A MINIMUM, ALL MASONRY SHALL BE REINFORCED PER SECTION ACI 530 1.14.2.2.2.1. B. #4 VERTICAL BARS SHALL BE PLACED AT ALL CORNERS, WITHIN 16 INCHES OF EACH WALL OPENINGS, WITHIN 8 INCHES OF EACH WALL
- C. HORIZONTAL JOINT REINFORCEMENT SHALL BE SPACED AT 16" MAX. WALL OPENINGS SHALL BE REINFORCED TOP AND BOTTOM OF OPENINGS AND SHALL EXTEND NOT LESS THAN 24 INCHES BEYOND PAST THE ROUGH OPENING.

MOVEMENT JOINT AND WITHIN 8 INCHES OF THE END OF THE WALL.

- D. SPACING OF VERTICAL REINFORCEMENT SHALL NOT EXCEED 2'-0". 7. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS AND SPECIFICATIONS OF FIRE RATED MASONRY.
- 8. PROVIDE PREFABRICATED "L" AND "T" SHAPED HORIZONTAL JOINT REINFORCING AT WALL INTERSECTIONS. ALTERNATE MESH TIES REINFORCEMENT TO BE SUBMITTED FOR REVIEW CONSIDERATION PRIOR
- 9. RUNNING BOND PATTERN SHALL BE USED FOR ALL MASONRY WORK UNLESS OTHERWISE NOTED.
- 10. UNLESS NOTED OTHERWISE ON PLANS, UNDER LINTELS, BEARING PLATES, BEAMS, ETC.; FILL CELLS WITH GROUT, 3 COURSES MINIMUM BELOW
- 11. ALL REINFORCING STEEL SHALL BE SUPPORTED AND FASTENED TO APPROVED POSITIONERS LOCATED AT 192 BAR DIAMETERS MAXIMUM SPACING AND WITH A MINIMUM OF TWO POSITIONERS PER GROUT POUR (ONE NEAR THE BOTTOM AND ONE NEAR THE TOP) TO PREVENT DISPLACEMENT DURING THE PLACEMENT OF GROUT. ALL REINFORCING BARS MUST BE FULLY GROUTED IN PLACE IN LIFTS NOT TO EXCEED 60
- 12. BAR LAPS ARE AS FOLLOWS UNLESS OTHERWISE NOTED. MINIMUM BAR LAPS SHALL NOT BE LESS THAN 48 BAR DIAMETERS.
- A. #4 BAR: 24" MINIMUM LAP B. #5 BAR: 30" MINIMUM LAP

TO CONSTRUCTION.

13. GROUT ALL CELLS BELOW GRADE SOLID.





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DOWNTOWN STREETSCAPE IMPROVEMEN FIFTH ST. & WALNUT ST.



FOUNDATION SECTIONS

S310